

EARTHQUAKE RECOVERY (EQR) DOCUMENTATION

The documents within the Earthquake Recovery Documentation section, encompass all works completed under the Canterbury Home Repair Programme (CHRP). These contain assessments, contractor quotes, work orders and sign offs.

Released under the Official Information Act 1982

EQR Property Overview Report

Company Fletcher EQR (division of FCC) as agent for EQC

Printed Date: 26-04-2018

EQC Property ID	Property Address	Vulnerable?	Property F Status	Property Finalisation Indicator		
2010092719	133 SUMNERVALE DRIVE, SUMNER		F3 - Complete & Finalised	Some Finalisation has taken place		
Main Contractor:	CLOSED OUT-Richard Groves Building Limited ***** (S322)		Property F2'd By:	System Generated Finalisation	F2 Completed Date:	23-04-2015
Cont Managing Hub:	<UNALLOCATED>	Not Vulnerable	Property F3'd By:	System Generated Finalisation	F3 Completed Date:	07-05-2015

Adjustments

				Original Budget			Budget Variation			Gross Claimed	Gross Certified
EQC Claim Number + Address	Project	Status	Unmapped Adjmt Lines	Total OB	Allocated	Unallocated	Total BV	Allocated	Unallocated		
CLM/2011/024602 133 SUMNERVALE DRIVE	E010	F3	0	0.00	0.00	0.00	2,475.53	2,475.53	0.00	2,475.53	2,475.53
CLM/2011/198799 133 SUMNERVALE DRIVE	E010	F3	0	0.00	0.00	0.00	8,387.35	8,387.35	0.00	8,387.35	8,387.35
CLM/2011/198799 133 SUMNERVALE DRIVE	E030	F3	0	70,179.09	70,179.09	0.00	3,075.00	3,075.00	0.00	73,254.09	73,254.09
Property Total			0	70,179.09	70,179.09	0.00	13,937.88	13,937.88	0.00	84,116.97	84,116.97

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Cont Managing Hub:	<UNALLOCATED>	Not Vulnerable	Property F3'd By:	System Generated Finalisation	F3 Completed Date:	07-05-2015

Assignments								
EQC Claim Number + Address			Subcontractor	Workflow	Contractor	Adjustment	Gross	Gross
	CC + Hub Status	Assignment	Hub Comments	Status	Quote	Line Count	Claimed	Certified
CLM/2011/024602	133 SUMNERVALE DRIVE	Emergency Works - Primary	CLOSED OUT-Andy's Building Service Limited ***** (S184)	NOT REQUIRED	0.00	0	0.00	0.00
	Allocated To Hub -> Not Required - No EW Required		**ATS 5/7/11** WINDOWS MOVED OUT OF FRAMES, HOUSE UNSECURE					
CLM/2011/024602	133 SUMNERVALE DRIVE	Emergency Works - Primary	CLOSED OUT-Garden City Builders Limited ***** (S197)	COMPLETIONS	0.00	0	0.00	0.00
	Allocated To Hub -> Awaiting Claim File Review		Retaining wall in danger of falling / HWC Leaking completed four shore 12/09/2011					
CLM/2011/024602	133 SUMNERVALE DRIVE	Emergency Works - Primary	CLOSED OUT-Whyte EQR Limited ***** (S029)	COMPLETIONS	0.00	1	148.65	148.65
	Transmitted To Hub -> Awaiting Claim File Review		PA MAPPING, historical emergency costs.					
CLM/2011/024602	133 SUMNERVALE DRIVE	Emergency Works - Primary	CLOSED OUT-Four Shore Building and Construction Limited - In Liquidation ***** (S490)	COMPLETIONS	0.00	2	2,326.88	2,326.88
	Transmitted To Hub -> Awaiting Claim File Review		PA MAPPING, historical emergency costs.					
CLM/2011/198799	133 SUMNERVALE DRIVE	Emergency Works - Primary	CLOSED OUT-Andy's Building Service Limited ***** (S184)	COMPLETIONS	0.00	1	6,026.32	6,026.32
	Allocated To Hub -> Awaiting Claim File Review		**ATS 20/7/2011**					
CLM/2011/198799	133 SUMNERVALE DRIVE	Substantive Works - Primary	CLOSED OUT-Richard Groves Building Limited ***** (S322)	COMPLETIONS	72,069.09	8	72,069.09	72,069.09
	Transmitted To Hub -> Claim File Review Complete		S/O COMPLETED 7/11/14 GOH SEE EQR NOTES - DLC ISSUED - Finalisation started 16/04/15					
CLM/2011/198799	133 SUMNERVALE DRIVE	Substantive Works - Specialist Contractor	CLOSED OUT-ICP Asbestos Consultants Limited ***** (SF78)	COMPLETIONS	1,185.00	1	1,185.00	1,185.00
	Transmitted To Hub -> Claim File Review Complete		ASBESTOS TEST-WO ISSUED 24/04/2014.DQ/					
CLM/2011/198799	133 SUMNERVALE DRIVE	Emergency Works - Primary	CLOSED OUT-Garden City Builders Limited ***** (S197)	COMPLETIONS	0.00	1	2,361.03	2,361.03
	Transmitted To Hub -> Awaiting Claim File Review		PA MAPPING, historical emergency costs					
Property Total					73,254.09	14	84,116.97	84,116.97

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Company Fletcher EQR (division of FCC) as agent for EQC

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Main Contractor:	CLOSED OUT-Richard Groves Building Limited ***** (S322)		Property F2'd By:	System Generated Finalisation	F2 Completed Date:	23-04-2015
Cont Managing Hub:	<UNALLOCATED>	Not Vulnerable	Property F3'd By:	System Generated Finalisation	F3 Completed Date:	07-05-2015

Works Orders								
EQC Claim Number	WO Number	Assignment	Subcontractor	Workflow Status	Issuing QS	WO Status	Issued Date	Works Order Value
CLM/2011/198799	E030-01896	Substantive Works - Specialist Contractor - 23-Apr-2014	CLOSED OUT-ICP Asbestos Consultants Limited ***** (SF78)	COMPLETIONS	Philip Lever	Issued	24/04/2014	1,185.00
CLM/2011/198799	E030-02520	Substantive Works - Primary - 03-Jul-2012	CLOSED OUT-Richard Groves Building Limited ***** (S322)	COMPLETIONS	James Ward	Issued	11/06/2014	70,179.09
CLM/2011/198799	E030-02520-01	Substantive Works - Primary - 03-Jul-2012	CLOSED OUT-Richard Groves Building Limited ***** (S322)	COMPLETIONS	Sabir Sunasara	Issued	11/11/2014	1,890.00
Property Total								73,254.09

Claims / Certs / Payables								
S029	CLOSED OUT-Whyte EQR Limited *****							
EQC Claim Num	Line Type	Approval Type	Claim No	Claimed By	Remaining	Claim Date	This Claim	
CLM/2011/024602	E2Emg BV	Emergency Under 2k (Delegated)	12	EQR\TommyT	\$0.00	07-Jun-2011	\$148.65	
EQC Claim Num	Line Type	Approval Type	Cert No	Certified By	Remaining	Certified Date	This Cert	Cert Line Notes
CLM/2011/024602	E2Emg BV	Emergency Under 2k (Delegated)	11	EQR\TommyT	\$0.00	07-Jun-2011	\$148.65	
S029	CLOSED OUT-Whyte EQR Limited ***** Total					Claims	\$148.65 Certs	\$148.65 Payables
S490	CLOSED OUT-Four Shore Building and Construction Limited - In Liquidation *****							
EQC Claim Num	Line Type	Approval Type	Claim No	Claimed By	Remaining	Claim Date	This Claim	
CLM/2011/024602	E2Emg BV	Emergency Under 2k (Delegated)	12	EQR\MarkD	\$0.00	15-Sep-2011	\$1,155.70	
CLM/2011/024602	E2Emg BV	Emergency Under 2k (Delegated)	12	EQR\MarkD	\$0.00	15-Sep-2011	\$1,171.18	
EQC Claim Num	Line Type	Approval Type	Cert No	Certified By	Remaining	Certified Date	This Cert	Cert Line Notes
CLM/2011/024602	E2Emg BV	Emergency Under 2k (Delegated)	10	EQR\MarkD	\$0.00	15-Sep-2011	\$1,155.70	inv 624
CLM/2011/024602	E2Emg BV	Emergency Under 2k (Delegated)	10	EQR\MarkD	\$0.00	15-Sep-2011	\$1,171.18	inv 624
S490	CLOSED OUT-Four Shore Building and Construction Limited - In Liquidation ***** Total					Claims	\$2,326.88 Certs	\$2,326.88 Payables

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Main Contractor:	CLOSED OUT-Richard Groves Building Limited ***** (S322)				Property F2'd By:	System Generated Finalisation	F2 Completed Date:	23-04-2015			
Cont Managing Hub:	<UNALLOCATED>			Not Vulnerable	Property F3'd By:	System Generated Finalisation	F3 Completed Date:	07-05-2015			
S184	CLOSED OUT-Andy's Building Service Limited *****										
EQC Claim Num	Line Type	Approval Type	Claim No	Claimed By	Remaining	Claim Date	This Claim				
CLM/2011/198799	E2Emg BV	Emergency Under 50k(Delegated)	19	EQR\SamT	\$0.00	26-Aug-2011	\$6,026.32				
EQC Claim Num	Line Type	Approval Type	Cert No	Certified By	Remaining	Certified Date	This Cert	Cert Line Notes			
CLM/2011/198799	E2Emg BV	Emergency Under 50k(Delegated)	19	EQR\SamT	\$0.00	26-Aug-2011	\$6,026.32	INV 272			
S184	CLOSED OUT-Andy's Building Service Limited ***** Total					Claims	\$6,026.32	Certs	\$6,026.32	Payables	\$0.00
S197	CLOSED OUT-Garden City Builders Limited *****										
EQC Claim Num	Line Type	Approval Type	Claim No	Claimed By	Remaining	Claim Date	This Claim				
CLM/2011/198799	E2Emg BV	Emergency Under 50k(Delegated)	11	EQR\TommyT	\$0.00	31-Aug-2011	\$2,361.03				
EQC Claim Num	Line Type	Approval Type	Cert No	Certified By	Remaining	Certified Date	This Cert	Cert Line Notes			
CLM/2011/198799	E2Emg BV	Emergency Under 50k(Delegated)	11	EQR\TommyT	\$0.00	01-Sep-2011	\$2,361.03				
S197	CLOSED OUT-Garden City Builders Limited ***** Total					Claims	\$2,361.03	Certs	\$2,361.03	Payables	\$0.00
SF78	CLOSED OUT-ICP Asbestos Consultants Limited *****										
EQC Claim Num	Line Type	Approval Type	Claim No	Claimed By	Remaining	Claim Date	This Claim				
CLM/2011/198799	Asbest Test BV	Scope Addition	32	EQR\BrendanB	\$0.00	22-May-2014	\$1,185.00				
EQC Claim Num	Line Type	Approval Type	Cert No	Certified By	Remaining	Certified Date	This Cert	Cert Line Notes			
CLM/2011/198799	Asbest Test BV	Scope Addition	27	EQR\BrendanB	\$0.00	22-May-2014	\$1,185.00 INV#6025				
SF78	CLOSED OUT-ICP Asbestos Consultants Limited ***** Total					Claims	\$1,185.00	Certs	\$1,185.00	Payables	\$0.00

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Cont Managing Hub:	<UNALLOCATED>		Not Vulnerable	Property F3'd By:	System Generated Finalisation	F3 Completed Date:	07-05-2015		
S322	CLOSED OUT-Richard Groves Building Limited *****								
EQC Claim Num	Line Type	Approval Type	Claim No	Claimed By	Remaining	Claim Date	This Claim		
CLM/2011/198799	Subst OB	Substantive Works	18	EQR\SabirSu	\$0.00	13-Nov-2014	\$56,794.84		
CLM/2011/198799	Asbest Work OB	Substantive Works	18	EQR\SabirSu	\$0.00	13-Nov-2014	\$13,384.25		
CLM/2011/198799	Subst BV	Variation	18	EQR\SabirSu	\$0.00	13-Nov-2014	\$1,890.00		
EQC Claim Num	Line Type	Approval Type	Cert No	Certified By	Remaining	Certified Date	This Cert	Cert Line Notes	
CLM/2011/198799	Subst OB	Substantive Works	16	EQR\SabirSu	\$0.00	13-Nov-2014	\$56,794.84	INV 640	
CLM/2011/198799	Asbest Work OB	Substantive Works	16	EQR\SabirSu	\$0.00	13-Nov-2014	\$13,384.25	INV 640	
CLM/2011/198799	Subst BV	Variation	16	EQR\SabirSu	\$0.00	13-Nov-2014	\$1,890.00	INV 640	
S322	CLOSED OUT-Richard Groves Building Limited ***** Total					Claims	\$72,069.09 Certs	\$72,069.09 Payables	\$0.00
Property Total						Claims	\$84,116.97 Certs	\$84,116.97 Payables	\$0.00

No Open Complaints / Remedial Issues on this Property

Finalisation Documents

EQC Claim Number	Document Type	Hub Zone	File Last Modified Date
CLM/2011/198799	Final Account Agreement	Ensors	19/11/2014
CLM/2011/198799	Construction Completion Inspection	Ensors	05/12/2014
CLM/2011/198799	Defects Liability Certificate	Ensors	16/04/2015
Property Total			Finalisation Documents Present: 3

No Technical Services Referrals on this Property

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Cont Managing Hub:	<UNALLOCATED>	Not Vulnerable	Property F3'd By:	System Generated Finalisation	F3 Completed Date:	07-05-2015

Asbestos Test Information

EQC Claim Number	Claim Address	Asbestos Test Required?	Asbestos Test Result			
CLM/2011/024602	133 SUMNERVALE DRIVE	<NOT SPECIFIED>	<NOT SPECIFIED>			
CLM/2011/198799	133 SUMNERVALE DRIVE	Yes	Positive			

Property Total Number of Claims: 2

Contractors

Contractor	Accreditation Status	Accreditation Number	Classification	Type of Work on the Property	
S197 CLOSED OUT-Garden City Builders Limited *****	Rationalised	EQRC0188	Main Contractor	Emergency Works	
SF78 CLOSED OUT-ICP Asbestos Consultants Limited *****	Accredited	SPLA6870	Specialist Subcontractor	Substantive Works	
S490 CLOSED OUT-Four Shore Building and Construction Limited - In Liquidation *****	Deaccredited	EQRC0913	Main Contractor	Emergency Works	
S029 CLOSED OUT-Whyte EQR Limited *****	Accredited	EQRC0551	Main Contractor	Emergency Works	
S322 CLOSED OUT-Richard Groves Building Limited *****	Rationalised	EQRC1038	Main Contractor	Substantive Works	
S184 CLOSED OUT-Andy's Building Service Limited *****	Rationalised	EQRC0040	Main Contractor	Emergency Works	

Property Total Number of Contractors: 6

Scope of Works

CLM/2011/198799



Customer: ROGER CUFF

Document explanatory note:

This document provides a summary of the earthquake damage identified by the EQC assessment team. Land, building and room by room damage is listed along with an indication of how this damage is to be repaired. A glossary of terms describing the type of damage that may be listed on your Scope of Works is provided at the end of this document.

Assessment of Property at 133 SUMNERVALE DRIVE, SUMNER, CHRISTCHURCH 8081 on 2/08/2011

Site

Element	Damage	Repair
Land (Exposed - Soil - 555.00 m2)		
Land (Under dwelling - Soil - 155.00 m2)		
Outbuildings (Other - Timber - 8.75 m2)		
Retaining Walls (Gravity - Concrete - 34.02 m2)	Structural damage	Refer to Engineer

Services

Element	Damage	Repair
Sewerage (Town Connection - PVC Pipe - 15.00 l/m)	No Earthquake Damage	
Water Supply (Town Connection - Plastic - 15.00 l/m)	No Earthquake Damage	

Main Building

Exterior

Elevation (South lower)

Element	Damage	Repair
Wall Cladding (Block - Concrete - 42.00 m2)	Cracking	Grind out and repoint mortar 3.00 l/m
	Cracking	Paint wall 42.00 m2
	Structural damage	Remove, dispose and replace concrete block veneer 4.50 m2

Elevation (South upper)

Element	Damage	Repair
Wall Cladding (Hardiplank - Hardiplank - 38.75 m2)	Cracking	Paint wall 38.75 m2
	Structural damage	Remove, dispose and replace Linea 12.00 m2
Wall framing (Timber Frame - Timber - 38.75 m2)	No Earthquake Damage	

Elevation (West lower)

Element	Damage	Repair
Wall Cladding (Block - Concrete - 26.97 m2)	Cracking	Paint wall 26.97 m2
	Structural damage	Remove, dispose and replace concrete block veneer 13.75 m2

Elevation (North lower)

Element	Damage	Repair	
Wall Cladding (Block - Concrete - 25.20 m2)	Cracking	Paint wall	25.20 m2
	Structural damage	Remove, dispose and replace concrete block veneer	9.01 m2

Elevation (Upper north)

Element	Damage	Repair	
Wall Cladding (Hardiplank - Hardiplank - 18.00 m2)	Cracking	Paint wall	18.00 m2
	Structural damage	Remove, dispose and replace Linea	1.00 m2
Wall Cladding (Weatherboard - Timber - 17.00 m2)	No Earthquake Damage		
Wall framing (Timber Frame - Timber - 35.00 m2)	No Earthquake Damage		

Elevation (East upper)

Element	Damage	Repair	
Wall Cladding (Hardiplank - Hardiplank - 37.20 m2)	Cracking	Paint wall	37.20 m2
	Structural damage	Remove, dispose and replace Linea	2.00 m2
Wall framing (Timber Frame - Timber - 37.20 m2)	No Earthquake Damage		

Elevation (East lower)

Element	Damage	Repair	
Wall Cladding (Block - Concrete - 3.72 m2)	Cracking	Paint wall	3.72 m2
	Structural damage	Remove, dispose and replace concrete block veneer	2.00 m2

Roof (Coloursteel)

Element	Damage	Repair	
No Damage			

Foundations (Pole, piles)

Element	Damage	Repair	
No Damage			

Elevation (West upper)

Element	Damage	Repair	
Wall Cladding (Hardiplank - Hardiplank - 8.75 m2)	Cracking	Paint wall	8.75 m2
	Structural damage	Remove, dispose and replace Linea	3.00 m2
Wall Cladding (Weatherboard - Timber - 14.50 m2)	No Earthquake Damage		
Wall framing (Timber Frame - Timber - 23.25 m2)	No Earthquake Damage		

Interior**Ground Floor - Kitchen (Kitchen and dining)**

Room Size: 4.50 x 7.10 = 31.95 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Paint - 31.95 m2)	Cosmetic Damage	Scrape off, rake out, fill, restipple	31.95 m2
Door (Internal) (Single Hollow Core - Timber - 1.00 No of)			
Floor (Chipboard - Carpet - 31.95 m2)	No Earthquake Damage		
Hob (Gas - Standard Spec - 1.00 item)	Impact damage	Replace hob	1.00 item

Kitchen joinery (Medium Spec - MDF - 1.00 item)

Range (Free standing oven) (Electric - Standard Electric - 1.00 item)

Range Hood (Over Head - Standard spec - 1.00 item)

Wall covering (Gib - Paint - 55.68 m2)	Cosmetic damage	Remove, rake out, plaster, supply, replace wallpaper and paint	55.68 m2
	Cosmetic damage	Refix Gib	1.00 m2
Window (Timber medium - Pane single glazed - 1.00 No of)	Cosmetic damage	Ease window	1.00 No of
	Cosmetic damage	Re-seal around window frame	4.00 l/m
Work top (Kitchen work top - Laminate - 5.00 l/m)	Impact damage	Remove, supply, dispose and fix laminate	5.00 l/m

Ground Floor - Lounge

Room Size: 4.60 x 5.90 = 27.14 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Stipple - 27.14 m2)	Cosmetic Damage	Scrape off, rake out, fill, restipple	27.14 m2
Door (External) (Single glass door - Timber - 1.00 item)	Cosmetic damage	Ease door	1.00 No of
Door (External) (Sliding / Ranch sliding door - Aluminium - 1.00 item)	No Earthquake Damage		
Floor (Chipboard - Carpet - 27.14 m2)	Impact damage	Lift covering, screw / nail floor and relay covering	27.14 m2
Wall covering (Gib - Paint - 50.40 m2)	Structural damage	Supply and replace Gib (Excluding Trim)	2.88 m2
Window (Aluminium Casement - Pane double glazed - 2.00 No of)	No Earthquake Damage		

Ground Floor - Laundry

Room Size: 1.80 x 2.80 = 5.04 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Stipple - 5.04 m2)	No Earthquake Damage		
Door (External) (Single glass door - Timber - 1.00 item)	Cosmetic damage	Ease door	1.00 No of
Door (Internal) (Single Hollow Core - Timber - 1.00 No of)	No Earthquake Damage		
Floor (Chipboard - Vinyl - 5.04 m2)	No Earthquake Damage		
Wall covering (Gib - Lining paper - 22.08 m2)	Cosmetic damage	Remove, dispose, hang and paint lining paper	22.08 m2
Wash tub (Single - Stainless Steel - 1.00 item)	No Earthquake Damage		
Window (Aluminium Casement - Pane double glazed - 1.00 No of)	No Earthquake Damage		

Ground Floor - Toilet

Room Size: 1.60 x 0.90 = 1.44 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Stipple - 1.44 m2)	No Earthquake Damage		
Door (Internal) (Sliding - Timber - 1.00 No of)	No Earthquake Damage		
Floor (Chipboard - Vinyl - 1.44 m2)	No Earthquake Damage		
Toilet (Standard - Standard Spec - 1.00 item)	No Earthquake Damage		

Wall covering (Gib - Wallpaper - 12.00 m2)	Cosmetic damage	Remove, rake out, plaster, supply and replace wallpaper	12.00 m2
Window (Aluminium Casement - Pane double glazed - 1.00 No of)	No Earthquake Damage		

Ground Floor - Hallway

Room Size: 9.00 x 5.40 = 48.60 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Stipple - 48.60 m2)	Cosmetic Damage	Scrape off, rake out, fill, restipple	4.86 m2
Door (Internal) (Single Hollow Core - Timber - 1.00 No of)	No Earthquake Damage		
Floor (Chipboard - Carpet - 48.60 m2)	No Earthquake Damage		
Wall covering (Gib - Wallpaper - 69.12 m2)	Cosmetic damage	Remove, rake out, plaster, supply and replace wallpaper	69.12 m2

Ground Floor - Bedroom (Opposite bathroom)

Room Size: 3.00 x 3.30 = 9.90 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Built in wardrobe (Wardrobe - Timber - 2.40 m2)	Impact damage	Install, repaint	2.40 m2
Ceiling (Gib - Stipple - 9.90 m2)	Cosmetic Damage	Scrape off, rake out, fill, restipple	9.90 m2
Door (Internal) (Single Hollow Core - Timber - 1.00 No of)			
Floor (Chipboard - Carpet - 9.90 m2)	No Earthquake Damage		
Wall covering (Gib - Wallpaper - 30.24 m2)	Cosmetic damage	Remove, rake out, plaster, supply and replace wallpaper	30.24 m2
Window (Aluminium Casement - Pane double glazed - 1.00 No of)	No Earthquake Damage		

Ground Floor - Bathroom

Room Size: 1.60 x 3.40 = 5.44 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Bathroom Sink (Basin - Standard specification - 1.00 item)	Impact damage	Remove, dispose, supply	1.00 item
Built In Shelves (Wall unit - MDF - .30 m2)	No Earthquake Damage		
Ceiling (Gib - Stipple - 5.44 m2)	Cosmetic Damage	Scrape off, rake out, fill, restipple	5.44 m2
Door (Internal) (Single Hollow Core - Timber - 1.00 No of)	No Earthquake Damage		
Floor (Chipboard - Vinyl - 5.44 m2)	No Earthquake Damage		
Mirror (Fixed) (Standard Spec - Mirror - .60 m2)	No Earthquake Damage		
Shower (Cubical shower unit - Acrylic shower - .81 m2)	No Earthquake Damage		
Toilet (Standard - Standard Spec - 1.00 item)	No Earthquake Damage		
Wall covering (Gib - Wallpaper - 24.00 m2)	No Earthquake Damage		
Window (Aluminium Casement - Pane double glazed - 1.00 No of)	No Earthquake Damage		

Ground Floor - Bedroom (End bedroom on right)

Room Size: 3.40 x 3.50 = 11.90 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Stipple - 11.90 m2)	Cosmetic Damage	Scrape off, rake out, fill, restipple	11.90 m2
Door (Internal) (Single Hollow Core - Timber - 1.00 No of)	No Earthquake Damage		
Floor (Chipboard - Carpet - 11.90 m2)	No Earthquake Damage		
Wall covering (Gib - Wallpaper - 33.12 m2)	Cosmetic damage	Remove, rake out, plaster, supply and replace wallpaper	33.12 m2
Window (Aluminium Casement - Pane double glazed - 1.00 No of)	No Earthquake Damage		

Ground Floor - Bedroom (End on left)

Room Size: 3.00 x 3.30 = 9.90 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Stipple - 9.90 m2)	Cosmetic Damage	Scrape off, rake out, fill, restipple	9.90 m2
Door (Internal) (Single Hollow Core - Timber - 1.00 No of)	No Earthquake Damage		
Floor (Chipboard - Carpet - 9.90 m2)	No Earthquake Damage		
Wall covering (Gib - Wallpaper - 30.24 m2)	Cosmetic damage	Remove, rake out, plaster, supply and replace wallpaper	30.24 m2
Window (Aluminium Casement - Pane double glazed - 1.00 No of)	No Earthquake Damage		

First Floor - Internal Garage (Under dwelling)

Room Size: 5.50 x 9.20 = 50.60 (length(m) x width(m) = Area Size(m2))

Stud Height: 3.00 m

Element	Damage	Repair
No Damage		

Scope of Works - Glossary of Terms

Cosmetic Damage	Cosmetic damage is used to record repairs to an element that can be done in situ e.g. minor cracking to plasterboard. For example a repair strategy may state "rake, stop and paint" and this is carried out without needing to remove or replace the damaged element. Where the plasterboard for example needs to be removed and replaced, this will be recorded as 'structural damage'.
Impact Damage	Impact damage is where an element or part of a building sustains earthquake damage and then breaks away or collapses causing damage to another part of the building. An example is a chimney that has collapsed and caused damage to roof tiles.
Structural Damage	The term structural damage is used where a repair requires an element to be removed and replaced e.g. major cracking to plasterboard or external cladding that has been dislodged. This term does not relate to the structural integrity of the building as a whole, but to the individual element only.

Additional Information

Building Terms	The Department of Building and Housing website has a comprehensive list of common building terms: http://www.dbh.govt.nz/building-az-wxyz
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EQC Full Assessment Report

Claim Number: CLM/2011/198799
Claimant: ROGER CUFF
Property Address: 133 SUMNERVALE DRIVE
 SUMNER
 CHRISTCHURCH 8081

Assessment Date: 02/08/2011 17:44
Assessor: Shanahan, Foss
Estimator: Croft, Mark
Property Occupied By: Owner Occupied

Claimant Setup

Type	Name	Home Number	Mobile Number	Work Number	Email Address
Owner	ROGER, CUFF				

Insurance & Mortgage Details

Insurance Details - From Claim Centre

Insurer	Policy Type	Policy Number	Insurance Sighted	Insurance Valid
IAG - BNZ Bank Insurance Scheme	Dwelling		Yes	
IAG - BNZ Bank Insurance Scheme	Contents			

Insurance Details - Added in COMET

Insurer	Policy Type	Policy Number	Insurance Sighted	Insurance Valid
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Insurance Details - Comments

Mortgage Details - From Claim Centre

Bank

Mortgage Details - Added in COMET

Bank
No Mortgage

Mortgage Details - Comments

Opt Out

For repairs costing between \$10,000 and \$100,000 the claimant wishes to manage their own repairs? No

Hazards

Hazards: Damaged retaining wall on lower west side of section below the drive way, it is currently braced and needs to be repaired
Property Sticker: No Sticker

Building Configurations

Leaky Home Syndrome? No

Building Name	Number of floors	Building Finish	Age of house	Footprint	Area (m2)
Main Building	2	Standard	1961 - 1980	Rectangular	206.08

Full Assessment

Site

Element	Type	Material	Damages	Measure	Rate	Cost
Land	Exposed	Soil	No Earthquake Damage			
Land	Under dwelling	Soil	No Earthquake Damage			
Outbuildings	Other	Timber	No Earthquake Damage			
Retaining Walls	Gravity	Concrete	Structural damage			
			Refer to Engineer		0.00	0.00

General Comments: Damaged retaining wall needs to be referred to land assessment team and engineer

Services

Element	Type	Material	Damages	Measure	Rate	Cost
Sewerage	Town Connection	PVC Pipe	No Earthquake Damage			
Water Supply	Town Connection	Plastic	No Earthquake Damage			

General Comments:

Main Building

Exterior

Elevation (South lower)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Block	Concrete	Cracking			
			Grind out and repoint mortar	3.00 l/m	35.00	105.00
			Cracking			
			Paint wall	42.00 m2	29.00	1,218.00
			Structural damage			
			Remove, dispose and replace concrete block veneer	4.50 m2	180.00	810.00

General Comments:

Elevation (South upper)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Hardiplank	Hardiplank	Cracking			
			Paint wall	38.75 m2	29.00	1,123.75
			Structural damage			
			Remove, dispose and replace Linea	12.00 m2	240.00	2,880.00
Wall framing	Timber Frame	Timber	No Earthquake Damage			

General Comments:

Elevation (West lower)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Block	Concrete	Cracking			
			Paint wall	26.97 m2	29.00	782.13
			Structural damage			
			Remove, dispose and replace concrete block veneer	13.75 m2	180.00	2,475.00

General Comments:

Elevation (North lower)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Block	Concrete	Cracking			
			Paint wall	25.20 m2	29.00	730.80
			Structural damage			
			Remove, dispose and replace concrete block veneer	9.01 m2	180.00	1,621.80

General Comments:**Elevation (Upper north)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Hardiplank	Hardiplank	Cracking			
			Paint wall	18.00 m2	29.00	522.00
			Structural damage			
			Remove, dispose and replace Linea	1.00 m2	240.00	240.00

Wall Cladding Weatherboard Timber No Earthquake Damage

Wall framing Timber Frame Timber No Earthquake Damage

General Comments:**Elevation (East upper)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Hardiplank	Hardiplank	Cracking			
			Paint wall	37.20 m2	29.00	1,078.80
			Structural damage			
			Remove, dispose and replace Linea	2.00 m2	240.00	480.00

Wall framing Timber Frame Timber No Earthquake Damage

General Comments:**Elevation (East lower)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Block	Concrete	Cracking			
			Paint wall	3.72 m2	29.00	107.88
			Structural damage			
			Remove, dispose and replace concrete block veneer	2.00 m2	180.00	360.00

General Comments:**Roof (Coloursteel)****Damage:** No damage**Require Scaffolding?** No**General Comments:** 9.3 x 14m**Foundations (Pole, piles)****Damage:** No damage**Require Scaffolding?** No**General Comments:****Elevation (West upper)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Hardiplank	Hardiplank	Cracking			
			Paint wall	8.75 m2	29.00	253.75

Wall Cladding	Hardiplank	Hardiplank	Structural damage			
			Remove, dispose and replace Linea	3.00 m2	240.00	720.00
Wall Cladding	Weatherboard	Timber	No Earthquake Damage			
Wall framing	Timber Frame	Timber	No Earthquake Damage			

General Comments:**Ground Floor - Kitchen (Kitchen and dining)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Paint	Cosmetic Damage			
			Scrape off, rake out, fill, restipple	31.95 m2	50.00	1,597.50
Door (Internal)	Single Hollow Core	Timber				
Floor	Chipboard	Carpet	No Earthquake Damage			
Hob	Gas	Standard Spec	Impact damage			
			Replace hob	1.00 item	400.00	400.00
Kitchen joinery	Medium Spec	MDF				
Range (Free standing oven)	Electric	Standard Electric				
Range Hood	Over Head	Standard spec				
Wall covering	Gib	Paint	Cosmetic damage			
			Remove, rake out, plaster, supply, replace wallpaper and paint	55.68 m2	67.00	3,730.56
			Cosmetic damage			
			Refix Gib	1.00 m2	3.50	3.50
Window	Timber medium	Pane single glazed	Cosmetic damage			
			Ease window	1.00 No of	90.00	90.00
			Cosmetic damage			
			Re-seal around window frame	4.00 l/m	21.00	84.00
Work top	Kitchen work top	Laminate	Impact damage			
			Remove, supply, dispose and fix laminate	5.00 l/m	218.00	1,090.00

General Comments:**Ground Floor - Lounge****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Stipple	Cosmetic Damage			
			Scrape off, rake out, fill, restipple	27.14 m2	50.00	1,357.00
Door (External)	Single glass door	Timber	Cosmetic damage			
			Ease door	1.00 No of	90.00	90.00
Door (External)	Sliding / Ranch sliding door	Aluminium	No Earthquake Damage			
Floor	Chipboard	Carpet	Impact damage			
			Lift covering, screw / nail floor and relay covering	27.14 m2	66.00	1,791.24
Wall covering	Gib	Paint	Structural damage			
			Supply and replace Gib (Excluding Trim)	2.88 m2	50.00	144.00

Window Aluminium Pane double No Earthquake Damage
Casement glazed

General Comments:**Ground Floor - Laundry**

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Stipple	No Earthquake Damage			
Door (External)	Single glass door	Timber	Cosmetic damage			
			Ease door	1.00 No of	90.00	90.00
Door (Internal)	Single Hollow Core	Timber	No Earthquake Damage			
Floor	Chipboard	Vinyl	No Earthquake Damage			
Wall covering	Gib	Lining paper	Cosmetic damage			
			Remove, dispose, hang and paint lining paper	22.08 m2	55.00	1,214.40
Wash tub	Single	Stainless Steel	No Earthquake Damage			
Window	Aluminium Casement	Pane double glazed	No Earthquake Damage			

General Comments:**Ground Floor - Toilet**

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Stipple	No Earthquake Damage			
Door (Internal)	Sliding	Timber	No Earthquake Damage			
Floor	Chipboard	Vinyl	No Earthquake Damage			
Toilet	Standard	Standard Spec	No Earthquake Damage			
Wall covering	Gib	Wallpaper	Cosmetic damage			
			Remove, rake out, plaster, supply and replace wallpaper	12.00 m2	43.00	516.00
Window	Aluminium Casement	Pane double glazed	No Earthquake Damage			

General Comments:**Ground Floor - Hallway**

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Stipple	Cosmetic Damage			
			Scrape off, rake out, fill, restipple	4.86 m2	50.00	243.00
Door (Internal)	Single Hollow Core	Timber	No Earthquake Damage			
Floor	Chipboard	Carpet	No Earthquake Damage			
Wall covering	Gib	Wallpaper	Cosmetic damage			
			Remove, rake out, plaster, supply and replace wallpaper	69.12 m2	43.00	2,972.16

General Comments:**Ground Floor - Bedroom (Opposite bathroom)**

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Built in wardrobe	Wardrobe	Timber	Impact damage			
			Install, repaint	2.40 m2	89.00	213.60
Ceiling	Gib	Stipple	Cosmetic Damage			
			Scrape off, rake out, fill, restipple	9.90 m2	50.00	495.00
Door (Internal)	Single Hollow Core	Timber				

Door (Internal)	Single Hollow Core	Timber				
Floor	Chipboard	Carpet	No Earthquake Damage			
Wall covering	Gib	Wallpaper	Cosmetic damage			
			Remove, rake out, plaster, supply and replace wallpaper	30.24 m2	43.00	1,300.32
Window	Aluminium Casement	Pane double glazed	No Earthquake Damage			

General Comments:**Ground Floor - Bathroom****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Bathroom Sink	Basin	Standard specification	Impact damage	1.00 item	602.00	602.00
			Remove, dispose, supply			
Built In Shelves	Wall unit	MDF	No Earthquake Damage			
Ceiling	Gib	Stipple	Cosmetic Damage	5.44 m2	50.00	272.00
			Scrape off, rake out, fill, restipple			
Door (Internal)	Single Hollow Core	Timber	No Earthquake Damage			
Floor	Chipboard	Vinyl	No Earthquake Damage			
Mirror (Fixed)	Standard Spec	Mirror	No Earthquake Damage			
Shower	Cubical shower unit	Acrylic shower	No Earthquake Damage			
Toilet	Standard	Standard Spec	No Earthquake Damage			
Wall covering	Gib	Wallpaper	No Earthquake Damage			
Window	Aluminium Casement	Pane double glazed	No Earthquake Damage			

General Comments:**Ground Floor - Bedroom (End bedroom on right)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Stipple	Cosmetic Damage			
			Scrape off, rake out, fill, restipple	11.90 m2	50.00	595.00
Door (Internal)	Single Hollow Core	Timber	No Earthquake Damage			
Floor	Chipboard	Carpet	No Earthquake Damage			
Wall covering	Gib	Wallpaper	Cosmetic damage			
			Remove, rake out, plaster, supply and replace wallpaper	33.12 m2	43.00	1,424.16
Window	Aluminium Casement	Pane double glazed	No Earthquake Damage			

General Comments:**Ground Floor - Bedroom (End on left)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Stipple	Cosmetic Damage			
			Scrape off, rake out, fill, restipple	9.90 m2	50.00	495.00
Door (Internal)	Single Hollow Core	Timber	No Earthquake Damage			
Floor	Chipboard	Carpet	No Earthquake Damage			
Wall covering	Gib	Wallpaper	Cosmetic damage			
			Remove, rake out, plaster, supply and replace wallpaper	30.24 m2	43.00	1,300.32
Window	Aluminium Casement	Pane double glazed	No Earthquake Damage			

General Comments:

First Floor - Internal Garage (Under dwelling)

Damage: No damage
Require Scaffolding? No
General Comments: Unfinished block walls, concrete floor, no ceiling

Fees**Fees**

Name	Duration	Estimate
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Overheads

Name	Estimate
Preliminary and general	3,009.57
Margin	4,062.92
GST	6,703.83

Scope Of Works Estimate

Property

Description	Estimate
Site	0.00
Services	0.00
	0.00

Main Building

Name	Description	Estimate
Exterior	Roof (Coloursteel)	0.00
	Elevation (East lower)	467.88
	Elevation (East upper)	1,558.80
	Elevation (North lower)	2,352.60
	Foundations (Pole, piles)	0.00
	Elevation (South lower)	2,133.00
	Elevation (South upper)	4,003.75
	Elevation (Upper north)	762.00
	Elevation (West lower)	3,257.13
	Elevation (West upper)	973.75
		15,508.91

Floor	Description	Estimate
First Floor	Internal Garage (Under dwelling)	0.00
		0.00
Ground Floor	Bathroom	874.00
	Bedroom (End bedroom on right)	2,019.16
	Bedroom (End on left)	1,795.32
	Bedroom (Opposite bathroom)	2,008.92
	Hallway	3,215.16
	Kitchen (Kitchen and dining)	6,995.56
	Laundry	1,304.40
	Lounge	3,382.24
	Toilet	516.00
		22,110.76

22,110.76

Fees

Description	Estimate
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Overheads

Description	Estimate
Preliminary and general	3,009.57
Margin	4,062.92
GST	6,703.83
	13,776.32

Total Estimate	51,395.99
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Inspection Sign Off

Description	Answer	comments
Contents Damage		
Has the contents schedule been left with claimant?	No	
Have the contents been sighted?	No	
Land Damage		
Is there land damage?	Yes	Damaged retaining wall, currently braced needs repair an land assessment team to assess
Landslip damage has been assessed on paper	No	
Was a full inspection done?		
In roof space	Yes	
On roof?	Yes	
Under sub floor?	Yes	
Decline Claim		
Recommend Declining Claim	No	
Next Action:		
To fletchers for repairs. Refer to land assessment team.		

Previous Claim Numbers (recorded manually in field)

- 2010/092719
- 2011/024602
- 2011/141484

File Notes

Date Created: 08/08/2011 22:06
Created : Administrator, Alchemy
Subject: COMET sent to EQR on 08/08/2011
Note: COMET sent to EQR on 08/08/2011
Next Action:

Urgent Works Items



Approved Scope of Works

Claim Number: 2011/198799
 Customer Name: Roger Cliff
 Customer Address: 133 Sumnervale Drive
 Sumner

Age of Dwelling: 1961-1980
 Total Sq. Meterage: 206m2

Document explanatory note:

This document details the work that will be undertaken to repair earthquake damage at this address as agree by EQC>.

The approved Scope of Works supersedes any previous Scope of Works document you may have received.

Any amendment to this Scope of Works must be approved by EQC. You may request a new Approved Scope of Works at any time.

Assessment of Property at - 2011/198799 - 133 Sumnervale Drive, Sumner

Scope of Works

Exterior: Elevation N

Element	Repair	Qty	Unit
Walls	Wall Cladding - Gap fill, sand and paint weatherboards to manufacturers specifications	27	m2
Walls	Wall Cladding - Remove, dispose, supply and install Linea	1	m2
Walls	Wall Cladding - Paint textured wall	18	m2

Exterior: Elevation S

Element	Repair	Qty	Unit
Walls	Wall Cladding - Remove, dispose, supply and install Linea	22	m2
Walls	Wall Cladding - Paint textured wall	38.75	m2

Exterior: Elevation E

Element	Repair	Qty	Unit
Walls	Wall Cladding - Remove, dispose, supply and install Linea	14	m2
Walls	Wall Cladding - Paint textured wall	67.2	m2

Exterior: Elevation W

Element	Repair	Qty	Unit
Walls	Wall Cladding - Remove, dispose, supply and install Linea	23	m2
Walls	Wall Cladding - Paint textured wall	35.72	m2
Walls	Wall Cladding - Remove, dispose, supply and install concrete blockwork	2	m2

Exterior: Roof

Element	Repair	Qty	Unit
Roof	Roof - Inspection	4	Hr

Lounge

Element	Repair	Qty	Unit
Floor	Floor - Remove covering, set aside, refix t&g boarding and reinstall covering	27.14	m2
Walls	Wall Covering - Pigment Seal, Fibre Fuse, Skim and Paint Plasterboard (includes crack repair)	44.64	m2
Walls	Wall Covering - Remove, dispose, supply and install plasterboard, stop and paint	5.76	m2

Ceiling	Ceiling - Specialist Removal of ceiling asbestos and decontamination of the site	27.14 m2
Ceiling	Ceiling - Pigment Seal, Skim and Paint Plasterboard (includes crack repair)	27.14 m2
Doors	Door (External) - Ease & Adjust	1 No.of
Doors	Door (External) - Gap fill, sand and paint jambs/sills	6 m

Kitchen

Element	Repair	Qty	Unit
Floor	Floor - Remove, set aside and reinstall carpet	21.95	m2
Floor	Floor - Remove, dispose, supply and install vinyl	10	m2
Walls	Wall Covering - Remove, dispose, supply and install plasterboard, stop and paint	11.52	m2
Walls	Wall Covering - Rake out and stop plasterboard joint cracks and paint	44.16	m2
Ceiling	Ceiling - Specialist Removal of ceiling asbestos and decontamination of the site	31.95	m2
Ceiling	Ceiling - Pigment Seal, Skim and Paint Plasterboard (includes crack repair)	31.95	m2
Doors	Door (Internal) - Ease and paint door surround	1	No.of
Trim	Trim - Gap fill & paint trim	14	m
Windows	Window - Ease window	1	No.of
Windows	Window - Reseal around window frame	4	m

Toilet 1

Element	Repair	Qty	Unit
Walls	Wall Covering - Remove, dispose, pigment seal, rake out plaster, supply and install lining paper and paint	12	m2
Ceiling	Ceiling - Gap fill, sand and paint	1.44	m2

Bathroom 1

Element	Repair	Qty	Unit
Windows	Door / Window (External) - Cosmetic damage - Gap fill and paint jambs / sills	6	m
Bathroom Sink	Bathroom Sink - Remove, dispose, supply and install bathroom sink (PC Sum \$350)	1	Sum
Walls	Wall Covering - Remove, dispose, pigment seal, rake out plaster, supply and install lining paper and paint	24	m2
Ceiling	Ceiling - Specialist Removal of ceiling asbestos and decontamination of the site	5.44	m2
Ceiling	Ceiling - Fibre Fuse, Skim and Paint Plasterboard (includes crack repair)	2.56	m2
Ceiling	Ceiling - Remove, dispose, supply and install plasterboard, stop and paint	2.88	m2
Tank	Check connection of overflow tank in roof to header tank	1	Sum
Doors	Door (Internal) - Ease & Adjust door	1	No.of

Laundry

Element	Repair	Qty	Unit
Walls	Wall Covering - Remove, dispose, pigment seal, rake out plaster, supply and install lining paper and paint	22.08	m2
Ceiling	Ceiling - Gap fill, sand and paint	5.04	m2
Doors	Door (External) - Ease or realign	1	No.of
Doors	Door (Internal) - Ease door	1	No.of

Hallway

Element	Repair	Qty	Unit
Walls	Wall Covering - Remove, dispose, pigment seal, rake out plaster, supply and install lining paper and paint	69.12	m2
Ceiling	Ceiling - Specialist Removal of ceiling asbestos and decontamination of the site	4.86	m2
Ceiling	Ceiling - Pigment Seal, Skim and Paint Plasterboard (includes crack repair)	4.86	m2

Bedroom 1 (Opposite Bathroom)

Element	Repair	Qty	Unit
Walls	Wall Covering - Remove, dispose, pigment seal, rake out plaster, supply and install lining paper and paint	30.24	m2

Ceiling	Ceiling - Specialist Removal of ceiling asbestos and decontamination of the site	9.9 m2
Ceiling	Ceiling - Pigment Seal, Skim and Paint Plasterboard (includes crack repair)	9.9 m2
Doors	Door (Internal) - Ease and paint door	2 No.of

Bedroom 2 (End on Right)

Element	Repair	Qty	Unit
Walls	Wall Covering - Remove, dispose, pigment seal, rake out plaster, supply and install lining paper and paint	33.12	m2
Ceiling	Ceiling - Specialist Removal of ceiling asbestos and decontamination of the site	11.9	m2
Ceiling	Ceiling - Pigment Seal, Skim and Paint Plasterboard (includes crack repair)	11.9	m2
Doors	Door (Internal) - Paint door surround	1	No.of

Bedroom 3 (End on Left)

Element	Repair	Qty	Unit
Walls	Wall Covering - Remove, dispose, pigment seal, rake out plaster, supply and install lining paper and paint	30.24	m2
Ceiling	Ceiling - Specialist Removal of ceiling asbestos and decontamination of the site	9.9	m2
Ceiling	Ceiling - Pigment Seal, Skim and Paint Plasterboard (includes crack repair)	9.9	m2
Doors	Door (Internal) - Paint door surround	1	No.of

P&G's

Element	Repair	Qty	Unit
Project Management	Project Management	50	Hr
Floor Protection	Floor Protection	92	m2
Scaffolding	Scaffolding - Scaffolding wall face area including erect and dismantle (double storey)	120	m2
Plumber	Plumber	6	Hr
Electrician	Electrician	6	Hr
Heating	Heating - Remove and reinstall heat pump for other trades	2	No.of

Preliminaries and General

Roger Burbury EQC 3/6/2014. APPROVED
(Not Attended At Scope Time)

- 10 WEEKS SUPER
 750p RUCK LOADING. ELEC. 2 x 3 HRS
 APPROX 120m² SUFFOLD. REMOVE 2 HEAT PUMPS
- ROCK INVESTIGATE 4 HRS.
 PLUMBOK 6 HRS.

EQC Claim Assessment

Address	133 SUMNERVALE DRIVE, SUMNER, CHRISTCHURCH, 8081	EQC Claim Number	CLM/2011/198799
Hazards	Damaged retaining wall on lower west side of section below the drive way, it is currently braced and needs to be repaired	EQC Assessor (L,F)	Shanahan, Foss
Inspection Date	02-Aug-2011	Placard	No Sticker
Status	Current	EQC Estimator (L,F)	Croft, Mark

Claimants				
Name	Home Phone	Work Phone	Mobile Phone	Email Address
CUFF ROGER		64		

Property Detail - Services		
Element	Description / Damage / Repair Strategy	Measure
Water Supply	Town Connection, Plastic	15 m
Sewerage	Town Connection, PVC Pipe	15 m

Property Detail - Site		
Element	Description / Damage / Repair Strategy	Measure
Land	Exposed, Soil	555 m ²
Retaining Walls	Gravity, Concrete	34.02 m ²
	Structural damage Refer to Engineer	
Outbuildings	Other, Timber	8.75 m ²
Land	Under dwelling, Soil	155 m ²

MAIN BUILDING	Age 1961 - 1980	Area 206.1m ²	Footprint Rectangular
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Structure		
Element	Description / Damage / Repair Strategy	Measure
Elevation (East lower)		
Wall cladding	Block, Concrete (3.72 m ²)	12.0 m ²
	Cracking	
	Paint wall	30 3.72 m ²
	Structural damage	
	Remove, dispose and replace concrete block veneer	2 m ²

Element	Description / Damage / Repair Strategy	Measure
Elevation (West upper)		
Wall cladding	Hardiplank (8.75 m ²)	
	Cracking	
	Paint wall	✓ 8.75 m ²
	Structural damage	
	Remove, dispose and replace Linea	✓ 3 m ²
Wall framing	Timber Frame, Timber (23.25 m ²)	

EQC Claim Number CLM/2011/198799

Wall cladding Weatherboard, Timber (14.50 m2)

Element	Description / Damage / Repair Strategy	Measure
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Elevation (North lower)

Wall cladding Block, Concrete (25.20 m2)

Cracking

GAP FIL + PAINT WALL

27.0 m²

Paint wall

25.2 m2

Structural damage

Remove, dispose and replace concrete block
veener

9.01 m2

Element	Description / Damage / Repair Strategy	Measure
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Elevation (Upper north)

Wall cladding Hardiplank (18.00 m2)

Cracking

Paint wall

✓ 18 m2

Structural damage

Remove, dispose and replace Linea

✓ 1 m2

Wall framing Timber Frame, Timber (35.00 m2)

Wall cladding Weatherboard, Timber (17.00 m2)

Element	Description / Damage / Repair Strategy	Measure
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Elevation (East upper)

Wall cladding Hardiplank (37.20 m2)

Cracking

Paint wall

✓ 37.2 m2

Structural damage

Remove, dispose and replace Linea

✓ 2 m2

Wall framing Timber Frame, Timber (37.20 m2)

Element	Description / Damage / Repair Strategy	Measure
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Elevation (South lower)

Wall cladding Block, Concrete (42.00 m2)

Cracking

Grind out and repoint mortar

Paint wall

3 m

42 m2

Structural damage

Remove, dispose and replace concrete block
veener

4.5 m2

REMOVE + REFIT LINEA BOARD

TO ALLOW WALL INSPECTION 10.0 m²

Element	Description / Damage / Repair Strategy	Measure
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Elevation (South upper)

Wall cladding Hardiplank (38.75 m2)

Cracking

Paint wall

✓ 38.75 m2

Structural damage

Remove, dispose and replace Linea

✓ 12 m2

Wall framing Timber Frame, Timber (38.75 m2)

EQC Claim Number CLM/2011/198799

Element	Description / Damage / Repair Strategy	Measure
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Elevation (West lower)

Wall cladding	Block, Concrete (26.97 m2)	REMOVE DISPOSE REPLACE LINEA BOARD 20.0 m ²
	Cracking	
	Paint wall	✓ 26.97 m2
	Structural damage	
	Remove, dispose and replace concrete block veneer	2.0 13.75 m2

Element	Description / Damage / Repair Strategy	Measure
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Foundations (Pole, piles)

Element	Description / Damage / Repair Strategy	Measure
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Roof (Coloursteel)

Comments: 9.3 x 14m

Ground Floor

Room / Element	Description / Damage / Repair Strategy	Measure
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Kitchen Kitchen and dining (L=7.1m W=4.5m H=2.4m)

Floor (A) VINYL	Chipboard, Carpet (31.95 m2)	FLOOR LIFT CARPET REFIX 21.95 m ²
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Range (Free standing oven)	Electric, Standard Electric (1.00 Item)	LIFT, FIX FLOOR + LENS VINYL 10.00 m ²
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Hob	Gas, Standard Spec (1.00 Item)	
	Impact damage	
	Replace hob	✓ 1 Item

Wall covering	Gib, Paint (55.68 m2)	
	Cosmetic damage	REMOVE + REPLACE GIB 4 SHEETS
	Refix Gib	RPP BALANCE 1 m2 11.52 m ²

Remove, rake out, plaster, supply, replace wallpaper and paint 55.68 m2 44.16 m²

Ceiling (A)	Gib, Paint (31.95 m2)	
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Cosmetic Damage	SKIM + PAINT
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Scrape off, take out, fill, restipple	31.95 m2
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Work top	Kitchen work top, Laminate (5.00 m)	
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Impact damage	
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Remove, supply, dispose and fix laminate	5 m
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Kitchen joinery	Medium Spec, MDF (1.00 Item)	
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Range Hood	Over Head, Standard spec (1.00 Item)	COOKER TOP IMPACT DAMAGED!
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Door (Internal)	Single Hollow Core, Timber (1.00 No of)	EASE DOOR + PAINT SURROUND
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Window	Timber medium, Pane single glazed (1.00 No of)	GAP FILL + PAINT TRIMS - 14m
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Cosmetic damage	
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Ease window	1 No of
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Re-seal around window frame	4 m
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Room - Additional Notes:**Lounge (L=5.9m W=4.6m H=2.4m)**

Window	Aluminium Casement, Pane double glazed (2.00 No of)	
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EQC Claim Number CLM/2011/198799

Floor	Chipboard, Carpet (27.14 m2)	
	Impact damage	
	Lift covering, screw / nail floor and relay covering	✓ 27.14 m2
Wall covering	Gib, Paint (50.40 m2)	
	Structural damage	
	Supply and replace Gib (Excluding Trim)	2.88 m2
Ceiling	Gib, Stipple (27.14 m2)	
	Cosmetic Damage	
	Scrape off, rake out, fill, restipple	27.14 m2
Door (External)	Single glass door, Timber (1.00 Item)	
	Cosmetic damage	
	Ease door	1 No of

Door (External) Sliding / Ranch sliding door, Aluminium (1.00 Item) — EASE + ADJUST 1 NO

Room - Additional Notes: (OPENING BETWEEN ROOMS) - GAP FILL + PAINT LINING DENING 6M, (SURROUND)

Laundry (L=2.8m W=1.8m H=2.4m)

Window	Aluminium Casement, Pane double glazed (1.00 No of)	
Floor	Chipboard, Vinyl (5.04 m2)	
Wall covering	Gib, Lining paper (22.08 m2)	
	Cosmetic damage	
	Remove, dispose, hang and paint lining paper	✓ 22.08 m2
Ceiling	Gib, Stipple (5.04 m2)	
Wash tub	Single, Stainless Steel (1.00 Item)	
Door (External)	Single glass door, Timber (1.00 Item)	
	Cosmetic damage	
	Ease door	✓ 1 No of

Door (Internal) Single Hollow Core, Timber (1.00 No of) — EASE DOOR 1 NO

Room - Additional Notes:

Toilet (L=0.9m W=1.6m H=2.4m)

Window	Aluminium Casement, Pane double glazed (1.00 No of)	
Floor	Chipboard, Vinyl (1.44 m2)	
Wall covering	Gib, Wallpaper (12.00 m2)	
	Cosmetic damage	
	Remove, rake out, plaster, supply and replace wallpaper	✓ 12 m2
Ceiling	Gib, Stipple (1.44 m2)	
Door (Internal)	Sliding, Timber (1.00 No of)	
Toilet	Standard, Standard Spec (1.00 Item)	

Room - Additional Notes:

Hallway (L=5.4m W=9.0m H=2.4m)

Floor	Chipboard, Carpet (48.60 m2)	
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EQC Claim Number CLM/2011/198799

Wall covering Gib, Wallpaper (69.12 m2)
Cosmetic damage
Remove, rake out, plaster, supply and replace 69.12 m2
~~wallpaper~~ *LINNE PAPER + PAINT*

Ceiling  Gib, Stipple (48.60 m2)
Cosmetic Damage *SCRAPE OFF, SKIM + PAINT*
Scrape off, rake out, fill, restipple 4.86 m2

Door (Internal) Single Hollow Core, Timber (1.00 No of)

Room - Additional Notes:

Bedroom Opposite bathroom (L=3.3m W=3.0m H=2.4m)

Window Aluminium Casement, Pane double glazed (1.00 No of)

Floor Chipboard, Carpet (9.90 m2)

Wall covering Gib, Wallpaper (30.24 m2)
Cosmetic damage
Remove, rake out, plaster, supply and replace 30.24 m2
~~wallpaper~~ *LINNE PAPER + PAINT*

Ceiling  Gib, Stipple (9.90 m2)
Cosmetic Damage
Scrape off, rake out, fill, restipple 9.9 m2

Door (Internal) Single Hollow Core, Timber (1.00 No of) *PAINT DOOR SURROUND*

Built in wardrobe Wardrobe, Timber (2.40 m2)
Impact damage
Install, repaint *REPAIR IN WARD* 2.4 m2

Room - Additional Notes:

*TAKE OFF 2 NO DOORS + A
REHANG + DECORATE*

Bathroom (L=3.4m W=1.6m H=2.4m)

Window Aluminium Casement, Pane double glazed (1.00 No of) *PAINT SURROUND 6M*

Bathroom sink Basin, Standard specification (1.00 Item)
Impact damage *+ PLUMBER 4 HRS.*
Remove, dispose, supply 1 Item

Floor Chipboard, Vinyl (5.44 m2)

Shower Cubical shower unit, Acrylic shower (0.81 m2)

Wall covering Gib, Wallpaper (24.00 m2) *STRIP PAPER LINE + PAINT 24M²*

Ceiling  Gib, Stipple (5.44 m2)
Cosmetic Damage *A NEW ISLET GIB REP. + SKIM*
Scrape off, rake out, fill, restipple *F/F + SKIM REST + PAINT* 5.44 m2

Door (Internal) Single Hollow Core, Timber (1.00 No of) *BASE + ADJUST*

Toilet Standard, Standard Spec (1.00 Item)

Mirror (Fixed) Standard Spec, Mirror (0.60 m2)

Built in shelves Wall unit, MDF (0.30 m2)

Room - Additional Notes:

*CHOCOL CONSTRUCTION OF O/FLOW IN ROOF TO
LUPPER TANK*

EQC Claim Number CLM/2011/198799

Bedroom End bedroom on right (L=3.5m W=3.4m H=2.4m)

Window	Aluminium Casement, Pane double glazed (1.00 No of)	
Floor	Chipboard, Carpet (11.90 m2)	
Ceiling	Gib, Stipple (11.90 m2)	
	Cosmetic Damage	SKIM PAINT
	Scrape off, rake out, fill, restipple	11.9 m2
Wall covering	Gib, Wallpaper (33.12 m2)	
	Cosmetic damage	
	Remove, rake out, plaster, supply and replace	33.12 m2
	wallpaper LINING PAPER + PAINT	
Door (Internal)	Single Hollow Core, Timber (1.00 No of)	PAINT SURROUND / NO

Room - Additional Notes:**Bedroom End on left (L=3.3m W=3.0m H=2.4m)**

Window	Aluminium Casement, Pane double glazed (1.00 No of)	
Floor	Chipboard, Carpet (9.90 m2)	
Ceiling	Gib, Stipple (9.90 m2)	
	Cosmetic Damage	SKIM + PAINT
	Scrape off, rake out, fill, restipple	9.9 m2
Wall covering	Gib, Wallpaper (30.24 m2)	
	Cosmetic damage	
	Remove, rake out, plaster, supply and replace	30.24 m2
	wallpaper LINING + PAINT	
Door (Internal)	Single Hollow Core, Timber (1.00 No of)	PAINT SURROUND / NO

Room - Additional Notes:**First Floor**

Room / Element	Description / Damage / Repair Strategy	Measure
Internal Garage Under dwelling (L=9.2m W=5.5m H=3.0m)		
Room - Comments: Unfinished block walls, concrete floor, no ceiling		
Room - Additional Notes:		

End Of Assessment



Contractors Approved Scope of Works

Planned Start Date

Planned Finish Date

Claim Number: 2011/198799
 Customer Name: Roger Cliff
 Customer Address: 133 Sumnervale Drive
 Sumner
 Age of Dwelling: 1961-1980
 Total Sq. Meterage: 206m2

Hub: Ensors
 EQR Site Supervisor: Jon Wroth
 QS: James Ward
 Contractor: Richard Groves Building Ltd
 Accreditation Number: EQRC1038

Document explanatory note:

There shall be no amendments to this document. All associated costs (i.e. labour, materials and plant) for each repair as described below shall be included in the rate provided. Any margin for profit and off site overheads shall be included in your rates to carry out the repairs. No claim for additional costs will be considered once a works order has been issued for this Approved Scope of Works. Once a work order has been issued all changes must be approved as a variation order.

Assessment of Property at - 2011/198799 - 133 Sumnervale Drive, Sumner

Scope of Works

Exterior: Elevation N

Element	Repair	Qty	Unit	Rate	Total
Walls	Wall Cladding - Gap fill, sand and paint weatherboards to manufacturers specifications	27 m2	x	35.00	945.00
Walls	Wall Cladding - Remove, dispose, supply and install Linea	1 m2	x	168.00	168.00
Walls	Wall Cladding - Paint textured wall	18 m2	x	35.00	630.00
Sub Total					1743.00 ✓

Exterior: Elevation S

Element	Repair	Qty	Unit	Rate	Total
Walls	Wall Cladding - Remove, dispose, supply and install Linea	22 m2	x	168.00	3696.00
Walls	Wall Cladding - Paint textured wall	38.75 m2	x	35.00	1356.25
Sub Total					5052.25 ✓

Exterior: Elevation E

Element	Repair	Qty	Unit	Rate	Total
Walls	Wall Cladding - Remove, dispose, supply and install Linea	14 m2	x	168.00	2352.00
Walls	Wall Cladding - Paint textured wall	67.2 m2	x	35.00	2352.00
Sub Total					4704.00 ✓

Exterior: Elevation W

Element	Repair	Qty	Unit	Rate	Total
Walls	Wall Cladding - Remove, dispose, supply and install Linea	23 m2	x	168.00	3864.00
Walls	Wall Cladding - Paint textured wall	35.72 m2	x	35.00	1250.20
Walls	Wall Cladding - Remove, dispose, supply and install concrete blockwork	2 m2	x	250.00	500.00
Sub Total					5614.20 ✓

Exterior: Roof

Element	Repair	Qty	Unit	Rate	Total
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Roof	Roof - Inspection	4 Hr	x	45.00	=	180.00
				Sub Total		180.00 ✓

Lounge

Element	Repair	Qty	Unit		Rate	Total
Floor	Floor - Remove covering, set aside, refix t&g boarding and reinstall covering	27.14 m2	x		33.00	895.62
Walls	Wall Covering - Pigment Seal, Fibre Fuse, Skim and Paint Plasterboard (includes crack repair)	44.64 m2	x		80.00	3571.20
Walls	Wall Covering - Remove, dispose, supply and install plasterboard, stop and paint	5.76 m2	x		80.00	460.80
Ceiling	Ceiling - Specialist Removal of ceiling asbestos and decontamination of the site	27.14 m2	x		As Per Quote = Attached	
Ceiling	Ceiling - Pigment Seal, Skim and Paint Plasterboard (includes crack repair)	27.14 m2	x		65.00	1764.10
Doors	Door (External) - Ease & Adjust	1 No.of	x		90.00	90.00
Doors	Door (External) - Gap fill, sand and paint jambs/sills	6 m	x		15.00	90.00
				Sub Total		6871.72 ✓

Kitchen

Element	Repair	Qty	Unit		Rate	Total
Floor	Floor - Remove, set aside and reinstall carpet	21.95 m2	x		20.00	439.00
Floor	Floor - Remove, dispose, supply and install vinyl	10 m2	x		120.00	1200.00
Walls	Wall Covering - Remove, dispose, supply and install plasterboard, stop and paint	11.52 m2	x		80.00	921.60
Walls	Wall Covering - Rake out and stop plasterboard joint cracks and paint	44.16 m2	x		20.00	883.20
Ceiling	Ceiling - Specialist Removal of ceiling asbestos and decontamination of the site	31.95 m2	x		As Per Quote = Attached	
Ceiling	Ceiling - Pigment Seal, Skim and Paint Plasterboard (includes crack repair)	31.95 m2	x		65.00	2076.75
Doors	Door (Internal) - Ease and paint door surround	1 No.of	x		180.00	180.00
Trim	Trim - Gap fill & paint trim	14 m	x		15.00	210.00
Windows	Window - Ease window	1 No.of	x		90.00	90.00
Windows	Window - Reseal around window frame	4 m	x		12.50	50.00
				Sub Total		6050.55 ✓

Toilet 1

Element	Repair	Qty	Unit		Rate	Total
Walls	Wall Covering - Remove, dispose, pigment seal, rake out plaster, supply and install lining paper and paint	12 m2	x		65.00	780.00
Ceiling	Ceiling - Gap fill, sand and paint	1.44 m2	x		24.00	34.56
				Sub Total		814.56 ✓

Bathroom 1

Element	Repair	Qty	Unit		Rate	Total
Windows	Door / Window (External) - Cosmetic damage - Gap fill and paint jambs / sills	6 m	x		15.00	90.00

Bathroom Sink	Bathroom Sink - Remove, dispose, supply and install bathroom sink (PC Sum \$350)	1 Sum	x	350.00	=	350.00
Walls	Wall Covering - Remove, dispose, pigment seal, rake out plaster, supply and install lining paper and paint	24 m2	x	65.00	=	1560.00
Ceiling	Ceiling - Specialist Removal of ceiling asbestos and decontamination of the site	5.44 m2	x	As Per Quote	=	Attached
Ceiling	Ceiling - Fibre Fuse, Skim and Paint Plasterboard (includes crack repair)	2.56 m2	x	80.00	=	204.80
Ceiling	Ceiling - Remove, dispose, supply and install plasterboard, stop and paint	2.88 m2	x	80.00	=	230.40
Tank	Check connection of overflow tank in roof to header tank	1 Sum	x	150.00	=	150.00
Doors	Door (Internal) - Ease & Adjust door	1 No.of	x	90.00	=	90.00
Sub Total						2675.20 ✓

Laundry

Element	Repair	Qty	Unit	Rate	Total
Walls	Wall Covering - Remove, dispose, pigment seal, rake out plaster, supply and install lining paper and paint	22.08 m2	x	65.00	= 1435.20
Ceiling	Ceiling - Gap fill, sand and paint	5.04 m2	x	24.00	= 120.96
Doors	Door (External) - Ease or realign	1 No.of	x	90.00	= 90.00
Doors	Door (Internal) - Ease door	1 No.of	x	90.00	= 90.00
Sub Total					1736.16

Hallway

Element	Repair	Qty	Unit	Rate	Total
Walls	Wall Covering - Remove, dispose, pigment seal, rake out plaster, supply and install lining paper and paint	69.12 m2	x	65.00	= 4492.80
Ceiling	Ceiling - Specialist Removal of ceiling asbestos and decontamination of the site	4.86 m2	x	As Per Quote	= Attached
Ceiling	Ceiling - Pigment Seal, Skim and Paint Plasterboard (includes crack repair)	4.86 m2	x	65.00	= 315.90
Sub Total					4808.70 ✓

Bedroom 1 (Opposite Bathroom)

Element	Repair	Qty	Unit	Rate	Total
Walls	Wall Covering - Remove, dispose, pigment seal, rake out plaster, supply and install lining paper and paint	30.24 m2	x	65.00	= 1965.60
Ceiling	Ceiling - Specialist Removal of ceiling asbestos and decontamination of the site	9.9 m2	x	As Per Quote	= Attached
Ceiling	Ceiling - Pigment Seal, Skim and Paint Plasterboard (includes crack repair)	9.9 m2	x	65.00	= 643.50
Doors	Door (Internal) - Ease and paint door	2 No.of	x	180.00	= 360.00
Sub Total					2969.10 ✓

Bedroom 2 (End on Right)

Element	Repair	Qty	Unit	Rate	Total
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Walls	Wall Covering - Remove, dispose, pigment seal, rake out plaster, supply and install lining paper and paint	33.12 m2	x	65.00	=	2152.80
Ceiling	Ceiling - Specialist Removal of ceiling asbestos and decontamination of the site	11.9 m2	x	As Per Quote	=	Attached
Ceiling	Ceiling - Pigment Seal, Skim and Paint Plasterboard (includes crack repair)	11.9 m2	x	65.00	=	773.50
Doors	Door (Internal) - Paint door surround	1 No.of	x	90.00	=	90.00
Sub Total						3016.30 ✓

Bedroom 3 (End on Left)

Element	Repair	Qty	Unit		Rate	Total
Walls	Wall Covering - Remove, dispose, pigment seal, rake out plaster, supply and install lining paper and paint	30.24 m2	x		65.00	1965.60
Ceiling	Ceiling - Specialist Removal of ceiling asbestos and decontamination of the site	9.9 m2	x		As Per Quote	Attached
Ceiling	Ceiling - Pigment Seal, Skim and Paint Plasterboard (includes crack repair)	9.9 m2	x		65.00	643.50
Doors	Door (Internal) - Paint door surround	1 No.of	x		90.00	90.00
Sub Total						2699.10 ✓

P&G's

Element	Repair	Qty	Unit		Rate	Total
Project Management	Project Management	50 Hr	x		50.00	2500.00
Floor Protection	Floor Protection	92 m2	x		4.00	368.00
Scaffold	Scaffolding - Scaffolding wall face area including erect and dismantle (double storey)	120 m2	x		35.00	4200.00
Plumber	Plumber	6 Hr	x		65.00	390.00
Electrician	Electrician	6 Hr	x		65.00	390.00
Heating	Heating - Remove and reinstall heat pump for other trades	2 No.of	x		550.00	1100.00
Sub Total						8948.00
SOW Total						55682.84

Preliminaries and General

Other	Asbestos Removal As Per Quote	x		1 Item	=	10,150.00
Other	Asbestos As Per Quote	x		1 Item	=	1,385.00
Other	P&G 7.5% on Quotes	x			=	761.25
Other		x			=	
P&G Total						12,296.25

Grand Total (Excl.GST)

GST

70,179.09

10,526.86

Grand Total (Incl.GST)

\$ 80,703.45



Fletcher EQR acting as agent for EQC
(divn of FletcherConstruction)
P O Box 80105
CHRISTCHURCH 8440

Telephone 03 341 9900
Facsimile 03 343 4167

Works Order

To:

International Construction Partners NZ Limited
40 Huxley St
Beckenham
Christchurch, 8023
Phone 022 427-6987
Email mark@icp-usa.com

Order No E030-01896

Please quote Works Order Number on
all invoices, correspondences etc

Accreditation Number SPA6870
Contractor Code SF78

From:

Hub Ensors
Works Order Date 24-Apr-2014

Project Number E030

Please proceed with the works outlined in the attached approved Scope of Works for:

EQC Claim Number	Address	Start Date	\$ Ex. GST
CLM/2011/198799	133 SUMNERVALE DRIVE, SUMNER	28-Apr-2014	1,185.00
NZ Govt Goods and Services Tax Is Not Included In This Total			Total Cost 1,185.00

The above stated contract price is deemed to be a complete price to undertake and complete the works as detailed within the attached Scope of Works. The Scope of Works shall not be varied without Fletcher EQR's prior written consent. No additional costs will be accepted unless approved by a written Variation Order issued and signed by Fletcher EQR. Any request for payment based on an invalid variation instruction will be refused.
All Works shall be completed in accordance with the approved Scope of Works unless varied as above.

Authorised By **Philip Lever**
On behalf of Fletcher Construction
as agent for Earthquake Commission Signature

IMPORTANT

This Works Order is only valid when authorized and signed by a Fletcher EQR Quantity Surveyor.
This Works Order is conditional upon evaluation and acceptance by the Fletcher EQR Contract Supervisor of the SSSP (and Task Analysis where applicable). You may not proceed with any work without this signed acceptance.
This Works Order is to be read in conjunction with the attached approved Scope of Works referencing this Works Order.
If no Scope of Works is attached please contact the issuing Quantity Surveyor for a copy of the Scope of Works.
This Works Order is subject to the terms and conditions contained in the Short Form Agreement for engagement of contractors between the parties.
Please send all invoices and correspondence to the Fletcher EQR Hub responsible for issuing this Works Order.
The Contractor is responsible for all Warranties to be passed onto the homeowner.
No additional private work is to be undertaken. Fletcher EQR reserves the right to terminate the contract and de-accredit any contractor working on site without approval.
EQC and Fletcher EQR employ zero tolerance in relation to fraud and will prosecute offenders.



Fletcher EQR acting as agent for EQC
(divn of FletcherConstruction)
P O Box 80105
CHRISTCHURCH 8440

Telephone 03 341 9900
Facsimile 03 343 4167

Works Order

To:

Richard Groves Building Limited

1 Sandholm Close

North New Brighton

Christchurch 8083

Phone (03) 383 4401

Email richardgroves@hotmail.co.nz

Order No E030-02520

Please quote Works Order Number on
all invoices, correspondences etc

Accreditation Number EQRC1038

Contractor Code S322

From:

Hub

Ensors

Project Number

E030

Works Order Date 11-Jun-2014

Please proceed with the works outlined in the attached approved Scope of Works for:

EQC Claim Number	Address	Start Date	\$ Ex. GST
CLM/2011/198799	133 SUMNERVALE DRIVE, SUMNER		70,179.09
NZ Govt Goods and Services Tax Is Not Included In This Total			Total Cost 70,179.09

The above stated contract price is deemed to be a complete price to undertake and complete the works as detailed within the attached Scope of Works. The Scope of Works shall not be varied without Fletcher EQR's prior written consent. No additional costs will be accepted unless approved by a written Variation Order issued and signed by Fletcher EQR. Any request for payment based on an invalid variation instruction will be refused.
All Works shall be completed in accordance with the approved Scope of Works unless varied as above.

Authorised By **James Ward**

On behalf of Fletcher Construction

as agent for Earthquake Commission Signature

IMPORTANT

This Works Order is only valid when authorized and signed by a Fletcher EQR Quantity Surveyor.

This Works Order is conditional upon evaluation and acceptance by the Fletcher EQR Contract Supervisor of the SSSP (and Task Analysis where applicable). You may not proceed with any work without this signed acceptance.

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EQC and Fletcher EQR employ zero tolerance in relation to fraud and will prosecute offenders.

Defects Liability Certificate

Claim Number	CLM/2011/198799		
Date of Completion	7/11/2014	Date defect period ends	5/02/2015
Property address	133 SUMNERVALE DRIVE, SUMNER		
Main contractor	zzzzzzRichard Groves Building Limited *****		
Principal	Earthquake Commission (EQC)		

End of Defects Liability Period

The Principal is required to issue a Defects Liability Certificate. The NBC SW Standard Conditions rul 13.1 states that:

The Principal must certify to the Contractor when in relation to the Contract Works or a Separate Section of them:-

- (a) the Defects Liability Period has ended; and
- (b) the Contractor has completed all minor omissions and corrected all minor defects referred to in rule 12.1; and
- (c) the Contractor has completed agreed deferred work.

This Certificate

This is to certify that in accordance with rule 13.1, the above named Contract Works the Defect Liability Period has ended, all deferred work has been completed and all defects have been corrected.

The issuing of this certificate does not affect the Contractor's liability to fulfil any obligation in the Contract which remains unperformed or not properly performed.

The Principal has used all reasonable care and skill in the preparation of this Certificate

This certificate cannot be relied on for any other purpose.

Contracts supervisor

Jonathan Wroth

Date of issue 16/04/2015

on behalf of Fletcher EQR acting as agent to EQC

Contractor Producer Statement for Construction

Contract:

Location:

Issued by

Person:

Company:

Issued to

Principal:

Fletcher EQR as duly authorised agent of the Earthquake Commission of New Zealand.

The Contractor has contracted to the Principal to carry out and complete certain building works in accordance with the above named Contract.

I, a duly authorised representative of the Contractor, believe on reasonable grounds, that the Contractor has completed the Contract Works as particularly described below.

This Producer Statement will be relied upon to confirm that the Contract Works, which is the subject of this Contract, has been performed in compliance with the NZ Building Code and where the Works is the subject of a Building Consent, in compliance with the Consent and duly authorised associated amendments.

Particular of Works:

As per EQR statement of claim

Signed by:

Date:

Qualification:

Address:

Form 6A

Memorandum from licensed building practitioner: Record of building work
Section 88, Building Act 2004

VED

12 NOV 2014

The building

Street address of building:

133 Sumnervale Drive

Sumner

The project

Building consent number:

The owner

Name

Address:

Telephone number:

Email address:

Record of work that is restricted building work

Work that is restricted building work	Description	Carried out/ supervised
<i>[Tick]</i>	<i>[If necessary, describe the restricted building work]</i>	<i>[Specify whether you carried out the restricted building work or supervised someone else carrying out the restricted building work]</i>

Primary structure

Foundations and subfloor framing	()	() Carried out () Supervised
Walls	()	() Carried out () Supervised
Roof	()	() Carried out () Supervised
Columns and beams	()	() Carried out () Supervised
Bracing	(y)	Fit ply to the studwork inside the garage area () Carried out () Supervised
Other	()	() Carried out () Supervised

12 NOV 2014

External moisture management systems

Damp proofing	()		() Carried out () Supervised
Roof cladding or roof cladding system	(y)	<i>Re hammer home existing roof nails that appeared high</i>	(y) Carried out () Supervised
Ventilation system (for example, subfloor or cavity)	()		() Carried out () Supervised
Wall cladding or wall cladding system	(y)	<i>Repair and replace hadie frontier cladding</i>	(y) Carried out () Supervised
Waterproofing	()		() Carried out () Supervised
Other	()		() Carried out () Supervised

Note: continue on another page if necessary.

Issued by

Name: Richard Groves

LBP number: BP 110069

Class(es) licensed in: carpentry

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address: 4 Torrey Pines

Street address or registered office:

Phone number: Landline: Mobile: 0212476837

Daytime: After hours:

Fax number:

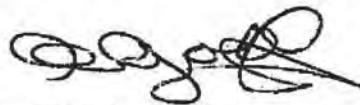
Email address: richardgroves@hotmail.co.nz

Website:

DeclarationI Richard Groves [name of practitioner]

carried out or supervised the restricted building work recorded on this form.

Signature:



Date: 11.11.14

MS-SF0702 CONSTRUCTION COMPLETION INSPECTION

Address **133 Sumnervale Drive, Sumner**
 Claim Number **CLM/2011/198799**
 Contractor **Richard Groves**
 Contract Supervisor **Jon Wroth**

Inspection completed by:

JON WROTH

Date 07/11/14

Others present:

RICHARD GROVES
 WAYNE BARRINGTON
 ROGER + MAUREEN CURR

CONTRACTOR
 EQO(PA)
 N/Os.

- This document is a record of the Construction Completion Inspection carried out at the above address. It documents that all work specified in the Scope of Work and authorised by the Works Order (including all Variations to that Works Order) and has been carried out by the Contractor to a workmanlike standard, is in accordance with any regulations, and is to the satisfaction of Fletcher EQR acting as agent to EQC.

- | | | | |
|----|--|------------------------------------|--------------------------------------|
| 1. | All work completed as per approved Scope of Work? (Refer Summary of Work Completed) | ☒ Y | ☐ N |
| 3. | All Variations completed (detail below)? | ☒ Y | ☐ N |
| 4. | Any quality issues or minor defects? (detail below) | ☐ Y | ☒ N |
| 5. | Any significant deferred work? (detail below) | ☐ Y | ☒ N |
| 6. | All consented or restricted work carried out and associated inspections completed (as required)? | ☐ Y | ☒ N/A |
- * Advise Contractor that PS3, Memorandum of Building, Inspection records and evidence are required to be submitted at time of invoicing

ALL VARIATIONS COMPLETED (BRIEF DESCRIPTION)

		VO per scope	Quality
VO1	PLYWOOD CLADDING IN BASEMENT/GARAGE	☒	☒
VO2			
VO3			
VO4			

MINOR DEFECTS

Minor defects are considered those that can be remedied promptly and do not have any impact on the overall quality or finish of the work. The Contracts Supervisor is to follow-up and ensure all minor defects are rectified by the date shown below.

- | | |
|----|--|
| 1. | |
| 2. | |
| 3. | |
| 4. | |
| 5. | |

Date that all minor defects will be rectified: / /

CA

10

MS-SF0702 CONSTRUCTION COMPLETION INSPECTION

SIGNIFICANT DEFERRED WORK

Significant Deferred Work is that work defined in the Scope of Work that cannot be completed until a later time (i.e. Garage rebuilds, external painting, awaiting components from overseas etc.).

Brief description:

Proposed Date for commencement of Significant Deferred Work: / /

ecm

SIGNATURES

This is to advise that the earthquake repair work performed under this contract has been reviewed and it has been agreed that works has been completed as per **Approved Scope of Work** and **Approved Variations**, excluding any minor defects noted.

Contract Supervisor

Jan Wroth

Jan Wroth

07/11/14

Contractor

Richard Groves

Richard Groves

07/11/14

Works Manager / EQC (if attending)

Wayne Barrington

Wayne Barrington

07/11/14

Homeowner (or their authorised representative)

Roger Cuff-Maureen Cuff

Roger Cuff-Maureen Cuff

M.E. Cuff

07/11/14

Name

Signature

Date

If the Homeowners signature is not obtained for any reason please state the reason below:

CRM

NOTES

FOR OFFICE USE

ECM UPDATED

JEW

2/11/14

ALL MINOR DEFECTS CONFIRMED AS RECTIFIED*

/ /

ALL ACTIONS COMPLETED (Letter, PCC Issued etc)

/ /

Initials

Date

*Note: PCC not to be issued until it is confirmed that all minor defects have been rectified.

MS-SF0509

FINAL ACCOUNT AGREEMENT

 **Fletcher**

CLAIM NUMBER:

2 0 1 1 1 9 8 7 9 9

Property Address:		133 Sumnervale Drive		Date		11.11.14	
		Sumner		Hub		Ensors	
		Christchurch		Contracts Supervisor		Jon Wroth	
Property Contact Name:							
Contractor Details		Richard Groves Building Ltd		Accreditation No		1038	
Contact details		Ph. (1) 0212476837		Ph. (2)			
		email richardgroves@hotmail.co.nz					
Original Contract Value		(Ex GST)				70179.09	
Variations		(Ex GST)				1890.00	
Final Contract Value		(Ex GST)				72069.09	
Less Previous Payments		(Ex GST)				none	
GST Amount						10810.36	
Amount for Final payment		(Including GST)				82879.45	

12 NOV 2014

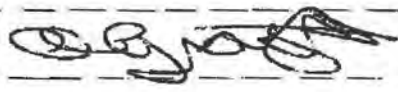
We hereby confirm that this statement represents the full and Final Contract Value and amount outstanding for all matters relating to this subcontract.

Contract Start Date:

8.9.14

Contract Finish Date:

7.11.14

Signature of Contractor:**Date** 11.11.14

Print Name Richard Groves

Signature of Contracts Supervisor:**Date:**

Print Name

Signature of Quantity Surveyor:**Date:** 13.11.14

Print Name

SABIR SUNASARA



INTERNATIONAL CONSTRUCTION PARTNERS



21/05/2014

**Fletchers EQR - Ensors Hub
P O Box 80105
CHRISTCHURCH**

Re: Asbestos Identification Analysis – 133 Sumnervale Drive

Collected by: International Construction Partners NZ Limited, for the above-referenced address
EQR Order Number: E030-01896
EQC Claim Number: 2011/198799
Analysis by: IANZ accredited laboratory. Reference Number: 2011/198799

Please see Laboratory Results on next page.

This report has been prepared by International Construction Partners NZ Ltd on the specific instructions of our Client. It is solely for our Client's use for the purpose for which it is intended with the agreed scope of work. Any use or reliance by any person contrary to the accompanying Laboratory Results is at that person's own risk. If required, an additional copy of the Laboratory Results are available upon request.

When dealing with asbestos it is recommended to use a qualified DOL Certificate of Competence for Restricted Work Involving Asbestos holder.

Asbestos consultancy work is not covered by indemnity insurance in New Zealand, and therefore International Construction Partners NZ Ltd's liability for asbestos related work shall be limited to the amount of the related invoice.

If you have any questions about of these sample results, please do not hesitate to contact me.
Thank you.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Mark Quigley'.

Mark Quigley
Director
International Construction Partners NZ Limited

© International Construction Partners NZ Ltd
Mark Quigley, AdPM, Coc
(+64) 03 967-1500
Mark@icp-usa.com
(EQR SPA6870 - Asbestos)

DOWDELL & ASSOCIATES LTD

OCCUPATIONAL HEALTH ANALYSTS & CONSULTANTS

4 Cain Rd, Penrose, PO Box 112-017 Auckland 1642. Phone (09) 5260-246. Fax (09) 5795-389.

20th May 2014

International Construction Partners
40 Huxley Street
Christchurch 8023

Attention: Mark Quigley

Re: **Bulk Fibre Analysis**

Sampled by	: Client
Date received	: 20 th May 2014
Laboratory no.	: 46238
Description	: 8x various sample(s)
Location	: 133 Sumnervale Drive
Reference no.	: CLM/2011/198799
Method	: AS 4964 (2004) - Method for the Qualitative Identification of Asbestos in Bulk Samples

We examined the following sample(s) using Low Powered Stereomicroscopy followed by 'Polarised Light Microscopy' including Dispersion Staining Techniques. The following result(s) relate(s) to the sample(s) as received:

Reg no: J4452 Labelled as: Kitchen floor vinyl
Sample size: 14 cm²
Result: Asbestos **NOT** detected.

Reg no: J4453 Labelled as: Kitchen/Dining ceiling (comp)
Sample size: 1 g
Result: **Chrysotile** (White Asbestos) detected.

Reg no: J4454 Labelled as: Lounge ceiling (comp)
Sample size: 1 g
Result: **Chrysotile** (White Asbestos) detected.

Reg no: J4455 Labelled as: Hallway ceiling (comp)
Sample size: 1 g
Result: **Chrysotile** (White Asbestos) detected.

Reg no: J4456 Labelled as: Bedroom (opposite bathroom) ceiling (comp)
Sample size: 1 g
Result: **Chrysotile** (White Asbestos) detected.

Reg no: J4457 Labelled as: Bathroom ceiling (comp)
Sample size: 1 g
Result: **Chrysotile** (White Asbestos) detected.

Reg no: J4458 Labelled as: Bedroom (end on L) ceiling (comp)
Sample size: 1 g
Result: **Chrysotile** (White Asbestos) detected.

Reg no: J4459 Labelled as: Bedroom (end on R) ceiling (comp)
Sample size: 1 g
Result: **Chrysotile** (White Asbestos) detected.

Yours faithfully

DOWDELL & ASSOCIATES LTD



Ian Little BSc (Forensic Biology)
Analyst



Michael Sullivan
Analyst/Consultant

NOTE: This report must not be altered, or reproduced except in full.

3

MS-SF0411 ASBESTOS SCOPING CHECKLIST

H/O ROGER CURR

Address

133 Sumnervale Drive, Sumner

Claim Number

CLM/2011/198799

Contractor

Richard Groves

Contract Supervisor

Jon Wroth

- A copy of this document must be forwarded to the asbestos sampling company along with a floor plan sketch, Works Order and customer contact details.
- Sampling and testing **must not** proceed without a Works Order for the work being issued.
- All asbestos work including assessment, sampling and testing is to be in accordance with procedures contained in the *Asbestos Management and Repair Guidelines*.

This checklist completed by:

JON WROTH

Date

23/04/14

Hub

ENSORS

Asbestos sampling company engaged

Areas of the property suspected of containing asbestos that will be disturbed during earthquake repairs will require sampling and testing to confirm the presence of asbestos. If a material is obviously an asbestos product (e.g. Super6) then this will not require sampling and must be treated as asbestos.

When completing this checklist ensure that all areas relevant to the repair process are assessed for potential asbestos content.

- | | | | | |
|----|----------------------------|--|------------------------------------|-------------------------|
| 1. | Reason asbestos suspected: | a) Dwelling constructed between 1940 and 1990. | ☒ Y | ☐ N |
| | | b) Evidence of renovations between 1940 and 1990. | ☐ Y | ☐ N |
| | | c) Any other evidence that asbestos may be present | ☐ Y | ☐ N |

* If the property fits any of the above criteria and during earthquake repair or refinishing work will any of the following areas will be disturbed then asbestos testing must be carried out on all the suspected areas.

- | | | | |
|----|--|------------------------------------|------------------------------------|
| 2. | Ceilings - Plaster / stippled finish | ☒ Y | ☐ N |
| 3. | Wall linings - Wall linings with plasterboard or lathe and plaster | ☐ Y | ☒ N |
| 4. | Floors - Vinyl (lino) flooring or vinyl flooring tiles? | ☒ Y | ☐ N |
| 5. | Roofing - Cement tile or similar roof materials | ☐ Y | ☒ N |
| 6. | Cement board or similar soffits linings? | ☐ Y | ☒ N |
| 7. | Exterior linings made from a cement board or tiles | ☐ Y | ☒ N |
| 8. | Insulation in walls or ceiling suspected of being asbestos based | ☐ Y | ☒ N |
| 9. | Other (describe): | | |

* If YES to any of the above record the area of the property affected and the location of sample to be tested. Sketch a floor plan of the property and clearly identify rooms on plan

NOTES (additional notes may also be added to File Note at end of book)

3

MS-SF0411 ASBESTOS SCOPING CHECKLIST

TESTS REQUESTED

	Location (lounge, bed 1 etc)	Area to be tested (ceiling, wall etc)
Test 1	KITCHEN	FLOOR - VINYL,
Test 2	KITCHEN/DINING	CEILING - 1 STIPPLE x4 COMP.
Test 3	LOUNGE	CEILING - STIPPLE x4 COMP.
Test 4	HALL	CEILING - STIPPLE x2 COMP
Test 5	BED OPP BATH	CEILING - STIPPLE x4 COMP
Test 6	BATH.	CEILING - STIPPLE x2 COMP.
Test 7	BED END ON LEFT	CEILING - STIPPLE x4 COMP
Test 8	BED END ON RIGHT	CEILING - STIPPLE x4 COMP.
Test 9		
Test 10		
Test 11		
Test 12		

1185

REPAIR STRATEGY INFORMATION

Discuss possible asbestos repair options with the customer (in line with the 7 point Checklist). In the event of a POSITIVE result this will assist with determining a suitable repair strategy and ensure customer requirements have been taken into account. This area is not intended to document the actual repair strategy for the asbestos repairs, this will be covered by the Scope of Work.

CUST. INITIAL

1. Customer agrees OK to enclose ceilings? (acknowledge that ceiling height will be lowered) Y N
2. Plan for reuse or replacement of trims (ceiling roses, scotias etc) [Reuse] [Replace] [Delete] [Other]

3. Any other requirements?

FOR OFFICE USE

ECM updated

All Stakeholders notified

All actions complete

Initials

Date

FLOOR PLAN



Address **133 Sumnervale Drive, Sumner**

Claim Number **CLM/2011/198799**

Contractor **Richard Groves**

Contract Supervisor **Jon Wroth**

- Use this form to sketch a floor plan of the property. This is required for ASBESTOS SCOPING and ELECTRICAL ASSESSMENTS to assist with identifying areas of the property.
- Ensure plans are clearly labelled and identifies areas of the property (i.e. Ground floor, Second floor, Lounge, Kitchen, Bed 1, Bed 2 etc) and are consistent with those referred to for asbestos scoping or electrical assessment checklists.
- A Floor Plan may also be useful for general construction purposes.

SHEET 1 / 2



CASH SETTLED CLAIM(S)

The following information contains documents relating to claim(s) that were cash settled for the property.

If you require sign off or repair completion documents, they may be obtainable from the contractors who completed the substantive repairs at the property.

HUB FILE NOTE:

Completed By:	Roger Burbury	Claim Number:	2011 / 024602
Date:	11/02/2015	Customer Name:	Roger Cuff
Role :	ESTIMATOR	Address:	133 Sumnervale Drive
			Sumner
			Christchurch
Hub:	Ensors Rd		
Type(tick one)	SCOPE/COST VARIATION	☒	PARTIAL /FULL CASH SETTLEMENT
	NEW/ADDITIONAL DAMAGE	☐	REPORT/CLAIM INFORMATION
	POSSIBLE OVERCAP	☐	OTHER
ASSOCIATED CLAIMS			
FULL OR PARTIAL CASH SETTLEMENT: (TICK ONE)		☒ PARTIAL	☐ FULL
RECOMMENDED SETTLEMENT VALUE:		\$618.85	INC P&G, MARGIN & GST
REASON FOR CASH SETTLEMENT			

This Cash settlement is to cover the installation of the gas cooker.

The costings have been taken directly from and invoice from the contractor. The homeowner has already been paid for the replacement hob.

The reason for the cash settlement is the homeowner carried out the repair and is now requesting to be reimbursed.

I believe this settlement represents an accurate assessment of the damage and the figure given is a fair and reasonable one.

The claimant has been informed about this settlement recommendation via email on 11-2-20145 at 7:30am.

Please note that :

1. This cash settlement is a recommendation only and is subject to final approval,
2. Settlement figure may be subject to deductions of excess, urgent works or any other claim related costs.

Estimator
Ensors HUB

NEXT ACTION/ RECOMMENDATION FOR HUB SUPPORT

Upload hub file to CMS.
Submit cash settlement recommendation for approval.

CASH SETTLEMENT:

3-Dec-14

3 December 2014

Quote GO1

G01

Mr R Cuff

SITE:- 133 Sumnervale Drive

133 Sumnervale Drive

Sumner

Sumner

Christchurch

Christchurch

Client Mr R Cuff

Dear Mr Cuff

We have much pleasure in submitting the following quotation

Job Description

To replace the existing gas hob with a new gas hob (Customer supplied). To shift the 9 kg bottle outside to conform to the new gas standards. (Customer to supply own bottle)

This price is for materials and labour to shift the bottle station for the gas hob outside not more than 5 metres, and to replace the gas hob.

Total \$618.85 inc GSTsee above for extras

Please ensure you discuss work associated with a build with your building supervisor prior to work commencing

HUB FILE NOTE:

Completed By:	Roger Burbury	Claim Number:	2011 / 024602
Date:	11/12/2014	Customer Name:	Roger Cuff
Role :	ESTIMATOR	Address:	133 Sumnervale Drive
			Sumner
			Christchurch
Hub:	Ensors Rd		
Type(tick one)	SCOPE/COST VARIATION	☒	PARTIAL /FULL CASH SETTLEMENT
	NEW/ADDITIONAL DAMAGE	☐	REPORT/CLAIM INFORMATION
	POSSIBLE OVERCAP	☐	OTHER
ASSOCIATED CLAIMS			
FULL OR PARTIAL CASH SETTLEMENT: (TICK ONE)		☒ PARTIAL	☐ FULL
RECOMMENDED SETTLEMENT VALUE:		\$699.00	INC P&G, MARGIN & GST
REASON FOR CASH SETTLEMENT			

This Cash settlement is to cover EQ damage to the gas cooker.

The costings have been taken directly from and invoice from the contractor.

The reason for the cash settlement is the homeowner carried out the repair and is now requesting to be reimbursed.

I believe this settlement represents an accurate assessment of the damage and the figure given is a fair and reasonable one.

The claimant has been informed about this settlement recommendation via email on 11-12-2014 at 7:30am.

Please note that :

1. This cash settlement is a recommendation only and is subject to final approval,
2. Settlement figure may be subject to deductions of excess, urgent works or any other claim related costs.

Estimator
Ensors HUB

NEXT ACTION/ RECOMMENDATION FOR HUB SUPPORT

Upload hub file to CMS.
Submit cash settlement recommendation for approval.

CASH SETTLEMENT:

3 December 2014

Mr R Cuff
133 Sumnervale Drive
Sumner
Christchurch

Dear Mr Cuff

We have much pleasure in submitting the following quotation

Job Description

To replace the existing gas hob with a new gas hob (Customer supplied). To shift the 9 kg bottle outside to corner (Customer to supply own bottle)

This price is for materials and labour to shift the bottle station for the gas hob outside not more than 5 metres

Please ensure you discuss work associated with a build with your building supervisor prior to work commencing

Please note: Quote valid for 60 days from the above date.

EXTRAS: this price is based on the information supplied or discussions had at your site. Any unnecessary site visits or accessories that have not been specified on our quotation will be invoiced in addition to our quoted price.
--

LAND DOCUMENTS

The following information contains documents relating to the land assessments that were either cash settled or declined:

The attached land document(s) help NHC Toka Tū Ake identify information that may be relevant to its assessment of your residential land claims. They are not intended to form a complete technical report on land damage to your land. The land information, including valuations, repair costs and estimates, do not necessarily reflect the final land settlement received

Completed by: Paul Hunter

Date: 28.2.12

Page 1 of 1

CLM/2011/024602

ROGER CUFF
133 SUMNERVALE DRIVE
SUMNER
CHRISTCHURCH
H: [REDACTED]
W: [REDACTED]
M: [REDACTED]

Land	☒	Building	☐	Bridges/culverts	☐	Retaining walls	☐	Other	☐
Other									☐

Description: LANDSLIP - RTW FEES

Repair strategy: ENGINEERS FEES

[illegible]

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

Subtotal	22,000
-----------------	--------

(x 1.265)	Margin & GST Figure	5830-002
------------	---------------------	----------

Total	27830	· AM
--------------	-------	------

EQC 039 - Revised 13-02-2012

CHECKED *GF*



Scope of Works

Completed by: <u>Paul Hunter</u>	CLM <u>2011 / 024602</u>
Date: <u>30 - 2 - 12</u>	Claimant Name: <u>Roger Cuff</u>
	<u>133 Sunnerville Drive</u>
	<u>Summer</u>
	<u>P.H.-115</u>
Page <u>1 of 1</u>	

Element details:

Land	☒	Building	☐	Bridges/culverts	☐	Retaining walls	☐	Other	☐
Other									☐

Description:	LANDSLIP - INUNDATED LAND	RTW (1)	m2	1.0
Repair strategy:	REMOVAL OF INUNDATION / DEBRIS		m3	0.5

Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
Transport-Machine	each					160.00	—
Machine Hire	hrs					110.00	—
Truck Hire	hrs					100.00	—
Soil Removal/Tip Fees/ clean	m3					20.00	—
Tip Fees/mixed	m3					100.00	—
Labour	hrs				8	45.00	360.00
Skip (4m3)	Each				1	330.00	330.00
* Unit categories to be used as follows: Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic	Subtotal						690.00
	(x 1.3662) P&G, Margin & GST Figure						252.67
	Total						942.67

* Unit categories to be used as follows:
Each, Sheet, Kilogram, Linear metre, Square metre,
Cubic metre, Per hour, Per day, Per week. Cubic
metre calculations must include length, breadth and
depth figures. Square metre calculations must
include length and breadth figures.

EOC 039 - Revised 29-02-2012

CHECKED



Scope of Works

Completed by: Paul Hunter

Date: 30.2.12

Page 1 of 1

CLM 2011 / 024602

Claimant Name: Roger Guff

133 Samnewalk Drive

Summer

CH-CL

Element details:

Land	☒	Building	☐	Bridges/culverts	☐	Retaining walls	☐	Other	☐
Other									☐

Description: DAMAGE TO LAND

Repair strategy: Remove and/or import materials & labour to repair land. 116 m2

Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
REMOVAL OF DEBRIS							
Transporter- machine	each					160.00	—
Machine Hire	hrs					110.00	—
Spill Removal/Tip Fees (clean)	M3					20.00	—
Truck Hire	hrs					100.00	—
labour	hrs					45.00	—
Skip	each						
LAND UNDER ACCESSWAY							
Supply & level hardfill	m2	29.0	4.0		116	12.00	1392.00
LAND UNDER PAVED/PATIO & CONCRETE AREA							
Supply & level hardfill	m2					12.00	—
UNDULATING LAWN AREAS							
Rotary hoe, level	m2					7.00	—
<u>LAND CRACK IN accessway</u>							
	m2					12.00	—
<u>Bentonite</u>	each				2	25	50.00
<u>Sand (bag)</u>	each				2	15	30.00
<u>labour</u>	hr				8	45	360.00

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

Subtotal	1832.00
(x 1.3662) P&G, Margin & GST Figure	670.87
Total	2502.87

CHECKED *WF*

Page / of /

Roger Cuff

Land	☒	Building	Bridges/culverts	Retaining walls	Other
Lounge		Dining	Kitchen	Family Room	Bedroom
Office/Study		Rumpus	Hallway	Stairwell	Toilet
Laundry		Bathroom	Ensuite	Chimney	Foundations
Piling		Services	Kitchen Ovens	Hot Water Cylinders	Header Tanks
Glazing/windows		Fireplace/woodburner	Floor	External Walls	Roof
Outbuildings		Other			

DESCRIPTION: Inundation caused by partial collapse (Rtw 8)
REPAIR STRATEGY: Remove inundation $M^2 = .5$

[illegible]

TOTAL	245.91
-------	--------

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per Hour, Per Day, Per Week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

EQC 039 – Revised 07-09

EQC 039 – Revised 07-09



Scope of Works

Completed by: J Cosgrove

Date: 12/3/12

Page 1 of 1

CLM 2011 / 024602

Claimant Name: Roger cuff
133 Summer vale drive

Element details:

Land	☒	Building	☐	Bridges/culverts	☐	Retaining walls	☒	Other	☐
Description:		(Landslip) Failed Retaining Wall				RTW # 1		20m2	
Repair strategy: Remove and construct new Concrete Block wall & footing									
Wall Size		Length 13		Height 1.5		Footing 13		Length Width .950 Key .150	
Wall Type 2		Block Series 190							

Line items:

Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
Transporter - Machinery	Each				2	160.00	320.00
Machinery hire	hrs				68	110.00	7480.00
Truck hire	hrs				18	100.00	1800.00
Boxing materials / Fixings	Lm				30	4.00	120.00
Steel for footing 12Lm per Lm (13 x 12)	Lm	156			156	3.00	468.00
Tip Fees- (mixed) Failed wall & backcut	m3	13	1.25	1.5	24.375	100.00	2437.50
Tip Fees/footing (spoil)	m3	13	1.4	.25	4.55	20.00	91.00
Concrete supplied / pumped (footing)	m3	13	1.1	.25	3.575	330.00	1179.75
Concrete blocks supplied/placed, steel & concrete	m2	13		1.5	19.5	180	3510.00
Drainage cloth	m2	13	.95	1.5	18.525	8.00	148.20
Drainage metal	m3	13	1.05	1.5	20.475	35.00	716.62
Novacoil Pipe	lm	21			21	10.00	210.00
Compactor	Day				1	76.00	76.00
Labour/Boxing,footing,steel,backfill etc	hrs				56	45.00	2520.00
Handrail supplied & fitted	Lm	13			13	125.00	1625.00

Subtotal 22,702.07

(x 1.3662) P&G, Margin & GST Figure 8,313.49

Total 31,015.56

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

CHECKED

EQC 039 - Revised 29-02-12



Scope of Works

Completed by: *Paul Hunter*

Date: *29-2-12*

Page *1 of 1*

CLM/2011/024602

ROGER CUFF
133 SUMNERVALE DRIVE
SUMNER
CHRISTCHURCH

Element details:

Land	☒	Building	☐	Bridges/culverts	☐	Retaining walls	☐	Other	☐
Description:		(Landslip) Failed Retaining Wall				RTW # 2		13.0m ²	
Repair strategy: Remove and construct new Concrete Block wall & footing									
Wall Size		Length 8.0m		Height 1.6m		Footing		Length 8.0m Width .75 Key .100	

type 2 / 190 Series

Line items:

Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
Transporter - Machinery	Each				2	160.00	320.00
Machinery hire <i>Handel</i>	hrs				48	110.00	5280.00
Truck hire	hrs				10	100.00	1000.00
Boxing materials	Lm	18.1			18.1	4.00	72.40
Fixings for boxing & steel work	Each				1	50	50.00
Steel for footing 12Lm per Lm (8 x 12)	Lm				96	3.00	288.00
Tip Fees- (mixed) Failed wall & backcut	m3	8.0	1.05	1.6	13.44	100.00	1344.00
Tip Fees/footing (spoil)	m3	8.0	1.15	.25	2.3	20.00	46.00
Concrete supplied / pumped (footing)	m3	8.0	.85	.25	1.7	330.00	561.00
Concrete blocks supplied/placed, steel & concrete	m2	8.0		1.6	12.8	180.00	2304.00
Drainage cloth	m2	8.0	4.9		39.20	8.00	313.60
Drainage metal	m3	8.0	.85	1.6	10.88	35.00	380.80
Novacoli Pipe	lm	8.0			16	10.00	160.00
Equipment Hire - compactor	Day				1	76.00	76.00
Labour/Boxing,footing,steel,backfill etc	hrs				32.0	45.00	1440.00
Handrail supplied & fitted	Lm	8			8.0	125.00	1000.00

Subtotal 14635.80

(x 1.3662) P&G, Margin & GST Figure 5359.62

Total 19995.42

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

CHECKED *mf*

Completed by: J Cosgrove

Date: 12/3/12

Page 1 of 1

CLM

2011 / 024602

Claimant Name: Roger cuff

133 Sumnervale Drive

Summer

Land	☒	Building	☐	Bridges/culverts	☐	Retaining walls	RTW# 3	4.5 m ²
Description:		(Landslip) Failed Retaining Wall				RTW # 4	22 m2	
Repair strategy: Remove and construct new Concrete Block wall & footing								
Wall Size	Length 15.5	Height 1.7	Footing		Length 15.5	Width .950	Key .150	
Wall Type 2	Block Series 190 RTW 3 & 4 combined as							
Per Engineers Proforma		Line items: new Wall 15.5 x 1.7						
Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost	
Transporter - Machinery	Each				2	160.00	320.00	
Machinery hire	Hard hrs				64	110.00	7040.00	
Truck hire	hrs				24	100.00	2400.00	
Boxing materials / Fixings	Lm				35	4.00	140.00	
Steel for footing 12Lm per Lm (15.5 x 12)	Lm	186			186	3.00	558.00	
Tip Fees- (mixed) Failed wall & backcut	m3	15.5	1.25	1.7	32.937	100.00	3293.70	
Tip Fees/footing (spoil)	m3	15.5	1.4	.25	5.425	20.00	108.50	
Concrete supplied / pumped (footing)	m3	15.5	1.1	.25	4.262	330.00	1406.46	
Concrete blocks supplied/placed, steel & concrete	m2	15.5		1.7	26.35	180	4743.00	
Drainage cloth	m2	15.5		5.5	85.25	8.00	682.00	
Drainage metal	m3	15.5	1.05	1.7	27.667	35.00	968.34	
Novacoil Pipe	lm	23.5			23.5	10.00	235.00	
Compactor	Day				2	76.00	152.00	
Labour/Boxing,footing,steel,backfill etc	hrs				80	45.00	3600.00	
Handrail supplied & fitted	Lm	15.5			15.5	125.00	1937.50	

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

Subtotal	27584.50
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(x 1.3662) P&G, Margin & GST Figure	10/01/14
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Total	37685.94
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CHECKED

Completed by: Paul Hunter

Date: 12/3/12

Page 1 of 1

133 Summervale Drive
Summer

Page 1 of 1

Land	☒	Building	☐	Bridges/culverts	☐	Retaining walls	☐	Other	☐
Other									☐

Line items:

[illegible]

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

Total	9.816.96
-------	----------

CHECKED *if*

CLM/2011/024602

ROGER CUFF
133 SUMNERVALE DRIVE
SUMNER
CHRISTCHURCH

H
W
M



LAND ASSESSMENT
LEGEND SHEET

Date: 28. 2. 12
Author: PAUL Hunter.

CHECKED

Wall no:	Construction/Material	Length	Height	Damage	Damaged Area	Evacuated M2	Inundated M2	Debris m3	Access E D	Cost Estimate
1	Masonry block wall	13.0 ^m	1.5 ^m	cracked & Rotated.	20.0 ^m ² 40,000	6.5- 3250	1.0 500	—	E	44,000
2	Masonry Block Wall	8.0 ^m	1.6 ^m	sliding & settlement.	13.0 ^m ² 26000	—	—	—	E	26,000
3	Masonry block wall.	4.5 ^m	1.0	cracked & rotated.	4.5 ^m ²	—	—	—	E	9000
4	Masonry block wall	11.0	2.0	cracked & Rotated.	22 ^m ²	—	—	—	E	44,000
5	masonry block wall.	3.0	0.6	cracked	2 ^m ²	—	—	—	E	2000
6	Driveway stamped concrete	27.0	3.5	cracked. Settlement.	60.0				E	60,000
7.	Mortared Drystack Volcanic Rock.	7.0	0.6	MO	—	—	—	—	E	
8	Mortared Drystack Volcanic Rock	6.0	0.5	collapsed (Partial)	3.0 900	3.0 1500	0.05 250	0.25 125	E	2800

13-02-2012



1268837 2011 CHCH EQ - LAND ENGINEERING REPORT

EQC Claim Number:

New: 201 /

Significant Risk to Safety:

YES ☒ NO

Old: 201 /

Engineer's Names:

E. ROSS

H. UDELL

Claimant Name:

Claimants Address:

133 SUMNERVALE DRIVE,
SUMNER

Engineers E-mail:

NOT REQ'D

Date: 31/10/2011

Team no: 34

Was an EQC Engineering Land Assessment undertaken following the Darfield Earthquake (4 September 2010) and prior to 22 February 2011:

YES NO

GENERAL

Type of Damage	<u>Earthquake</u>	Landslip	Storm/Flood	Other
EQC Priority of claims	1 - Home/Land seriously damaged and uninhabitable	2 - Home/Land seriously damaged but habitable		
	3 - Home/Land moderately damaged & Habitable	4 - All other damage		
Is this natural Disaster Damage?	<u>YES</u>	NO		
Is there an Imminent Risk of Loss?	YES	<u>NO</u>	(If 'YES' - Fill in Summary Information Table and Imminent Loss Checklist)	

INSPECTION DATA & DISCUSSION WITH CLAIMANT(S)

Discussion with Claimant/Occupier?	<u>YES</u>	NO
What happened? Claimant's story	Boundary retaining wall belongs to this property, driveway cracked and dropping to east, widening with after-shocks, concrete blocks fallen off walls around basement, hot tub area jumped but no structural damage.	

SITE DESCRIPTION (Refer Site Plan and/or Cross Section)

General:	sloping site, terraced in places. Sloping down towards the north, 10-15%
----------	--

LAND - (DAMAGED ACCESS, LAND, & DESTROYED LAND, & RETAINING WALLS, BRIDGES, CULVERTS)

None

LIQUEFACTION/Flat land damage		Sand boils		Lateral spreading		Settlement		Remediation Rqd (TBC in office)		
Land damage observed:		<u>None</u>						Yes	No	Notes
(i) Lateral Spreading	Not Observed	Spreading <100mm over property	Spreading >100mm over property	Tilt > 5 degrees	Vertical offset > 50 mm				☒	
(ii) Crust Thinning (TBC in office)										
(iii) Cracks	Not Observed	Distribution:	Single crack	Multiple cracks					☒	
		Crack Width:	>100mm	>100mm						
			<100mm	<100mm						
			<5mm	<5mm						
		Resulting from:	Lateral spreading	Liquefaction	Ground oscillation					
(iv) Undulating land	Not Observed	Lawn: > 50 mm high	Lawn steeper than 1 in 20 slope	Patio/Paths >10 mm high	Patio/Paths steeper than 1 in 100				☒	
		Lawn < 50 mm high	Lawn shallower than 1 in 20 slope	Patio/Paths <10 mm high	Patio/Paths shallower than 1 in 100				☒	
(v) Flood risk (TBC in office)		Above 50yfl pre 4 Sept	Above 50yfl pre 22 Feb	Above 50yfl post 22 Feb	No Increased Flood Risk					
		Below 50yfl pre 4 Sept	Below 50yfl pre 22 Feb	Below 50yfl post 22 Feb	Increased Flood Risk					
(vi) Local Ponding	Not Observed	Observed within EQC covered land							☒	
(vii) Localised settlement causing drainage issues	Not Observed	Property no longer draining to road/public services							☒	
(viii) New Groundwater Springs	Not Observed	Observed							☒	
(ix) Inundation of land with sand to silt	Not Observed	Observed	Already Removed						☒	

Refer to the Potential Remedial Works page of this report

LAND - (DAMAGED ACCESS, LAND, & DESTROYED LAND, & RETAINING WALLS, BRIDGES, CULVERTS) Continued

LIQUEFACTION/Flat land damage comments:

N/A

OTHER Flat land damage

None

Settlement resulting from: Ground Oscillation

Consolidation of fill

Other (specify).....

Driveway settled and
one retaining wall
rotated also.

LANDSLIDE/SLOPING LAND & RETAINING WALL DAMAGE

None

Landslip

Rockfall

Retaining wall damage

Other

Geological situation (fill/loess/bedrock etc):

loess

Groundwater situation (seepage/runoff etc):

none observed

Imminent risk
(Y/N)Remediation
(TBC in office)

Landslip:

Tension Cracks

Toe-bulge

Erosion

Surface slump

Description:

Rotational Slip

Translational Slip

Ridge-venting

Other:

driveway moved away from house 10-20mm horizontally & vertically
100mm settlement of drive and large cracking along drive.

N

Rockfall:

Source:

Upslope

Within property boundary

Description:

N/A

Downslope

Beyond property boundary

N

Are multiple properties affected:

Yes

No

If Yes, list affected properties:

131 SUMMIT HILL DRIVE

N

Refer to the Potential Remedial
Works page of this report

Comments:

area of land damage below driveway appears to have slipped, additional to retaining
wall damage, however all slip is likely to be in fill

RETAINING WALL DAMAGE

Imminent risk
(Y/N)Remediation
(TBC in office)

Retaining wall damaged?

None yes

No. of walls damaged 5

Description:

see attached sheets

Type of damage to retaining wall(s):

Cracks

Rotated/leaning

Slid

Bulging

N

Location of retaining wall(s):

Settlement

Within 8m of building

Within 60m & needed to protect/support land comprising accessway

Other

Are multiple properties affected:

Yes

No

If Yes, list affected properties:

131 SUMMIT HILL DRIVE

Refer to the Potential
Remedial Works page of this
reportComments: Boundary retaining wall retains driveway, wall severely damaged and driveway cracked and slopes
down to wall.

EQC Claim Number: 201_/_

LAND - (DAMAGED ACCESS, LAND, & DESTROYED LAND, & RETAINING WALLS, BRIDGES, CULVERTS) Continued

LAND DAMAGE AREAS (see table on page 6 for more details)

Areas of land Damage	Entire Site	Portion of Site	None
Land beneath Main access way damaged?	No-N/A		Other.....

PRELIMINARY LAND REMEDIAL OPTION & COST (Refer Site Plan and Cross Section)

Land Remedial option	Drainage	Retaining Wall	Pallisade Wall	Soil Nail/Rock Bolt	Earthworks
	Debris Wall/Catch Fence	Remove rock hazard	Other	Combination of Above	None
Estimated Land Remedial Cost	TBC - (To be confirmed by Cost Estimator)				

DWELLING DESCRIPTION (Refer Site Plan and Cross Section)

General : (eg. Single level, roof type, foundations, cladding etc)	2 storey with basement, tin roof, weatherboard and brick cladding around basement, timber pole foundations
---	--

BUILDING DAMAGE - GENERAL

Has the building been Damaged?	YES	NO
Is the Dwelling at Imminent Risk?	YES	NO
Estimated Remedial Value?	TBC - (To be confirmed by Cost Estimator)	
Have any Appurtenant structures been damaged?	YES	NO
Are any appurtenant structures at Imminent Risk?	YES	NO
Have any services within 60 m of dwelling been damaged?	YES	NO
Are any services within 60 m of dwelling at Imminent Risk?	YES	NO

(Does not include Patios/Paving)

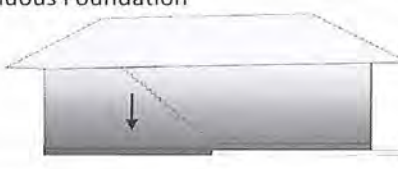
DAMAGED DWELLING, APPURTENANT STRUCTURES, & SERVICES (Refer Site Plan and Cross Section)

Dwelling : features damaged :	None	External walls	Internal walls	Ceiling	Door/window frames
	Window glass	Steps	Foundation/slab	Roof	Chimney
	Other:				
Type of damage to Dwelling:	Cracks (walls)	Cracks (ceiling)	Cracks (window glass)	Cracks (chimney)	Floor sloping
	Racking/sagging	Walls etc out of vertical	Crack in slab	Crack in footing	Other:
Appurtenant structure(s) damaged :	None	Garage/shed	Carport	Deck	Other:
What services have been damaged?	Water	Sewer	Drainage	Gas	Electrical
	Telephone	Service structures	Don't Know	Other:	None

GENERAL :	
-----------	--

EQC - Christchurch Land Engineering Report 2010 (Revision B: 17/03/2011) Claim No.: 201_

Floors and Foundations	Roof Cladding	Wall Cladding
✓ Timber floor on piles	✓ Light: Iron roof	✓ Light: weatherboard/plywood/stucco etc
Timber on internal piles with perimeter concrete footing	Heavy: concrete tiles/clay tiles/slate etc	✓ Heavy: brick veneer/stone/solid plaster
Concrete slab on grade		

Damage to Dwelling predominantly from:	Shaking		Land damage
Type of Damage	Severity		
	Minor	Moderate	Major
Stretching 	0 to 5mm	5 to 30mm	>30mm
Hogging 	0 to 20mm	20 to 50mm	>50mm
Dishing 	0 to 20mm	20 to 50mm	>50mm
Racking/Twisting 	0 to 10mm	10 to 30mm	>30mm
Tilting 	0 to 20mm	20 to 50mm	>50mm
Discontinuous Foundation 	0 to 10mm	10 to 20mm	>20mm
Global Settlement 	0 to 50mm	50 to 100mm	>100mm

Potential Remedial Works

The works described below are to repair or protect insured land (i.e. within the property boundary, on or supporting the main access within 60m of the dwelling, or within 8m of a residential building) and the structure(s) that has/have been damaged or is/are at imminent risk as a direct result of the natural disaster that has occurred.

A solution that reinstates the damaged land and removes the imminent risk threat would comprise the following works:

- Repair/replace damaged retaining walls
↳ See attached proforma and sheets.
- Earthworks
↳ Fill cracks with sand/bentonite slurry
- ↳ Upfill settled areas behind retaining walls and compact fill appropriately.
- Access to repair retaining walls adjacent to #131
Sumnervale Drive will require access agreement to be reached with that property owner

Additional information for cost estimation:

<u>Construction Issues</u>	<u>Easy</u>	<u>Moderate</u>	<u>Hard</u>	<u>N/A</u>
• Construction Access			✓	
• Drilling				✓
• Reinstatement		✓		

This preliminary design is for the purposes of costing for the claim settlement process only, it is not for construction. There may be a solution that is more cost effective and/or appropriate. Even if this concept is considered to be appropriate, further subsurface investigation, detailed design and consenting may be required prior to construction.

We estimate the cost (excluding GST) to construct the proposed solution will be as follows:

Engineering investigation, design and drawings	\$ 12,000
Construction Observations and PS4	\$ 3,000
Survey (if required)	\$ 1,500
Building/Resource consents (if required)	\$ 4,000
Project Management	\$ 1,500
Construction of 4 retaining walls (as detailed above)	
(Cost to be determined by cost estimator)	\$ TBC
TOTAL non construction Costs (Excluding GST)	\$ 22,000

The total construction cost estimates should be confirmed by a contractor or estimator.

Preliminary Summary Information (all costs excl GST)

Is this Natural Disaster damage?	Yes
Land within 8m of dwelling or appurtenant structures	
Area of Land damaged Evacuated: Inundated:	123m ² 1m ²
Area of Land at imminent risk Evacuation: Inundation:	— —
Main access way within 60m of dwelling (or an appurtenant structure)	
Area of Land damaged on accessway or supporting accessway: Evacuated: Inundated:	— —
Additional Area of Land at imminent risk on accessway or supporting accessway: Evacuation: Inundation:	— —
Retaining Walls (covered by EQC)	
Description.....(list and describe each affected wall). <u>RWL - RWS</u> Damaged: (face area - m ²) <u>(20 + 13 + 4.5 + 22 + 2)</u> At imminent risk: (face area - m ²);	62m ² —
Dwelling & Appurtenant Structures	
Has dwelling or appurtenant structure been damaged as a result of the natural disaster? Description: <u>gib fallen off due to shaking</u>	Yes
Cost to repair damage:	TBC
Is dwelling (or appurtenant structure) at imminent risk as a result of the natural disaster: Description.....	—
Cost to remove imminent loss threat to dwelling (or appurtenant structure):	TBC
Value of imminent risk damage to dwelling (or appurtenant structures) :	—
Services within 60m of Dwelling or Appurtenant Structure	
Services damaged (list) Services at imminent risk (list)	Unknown
Remedial Option: (describe briefly and state what the remedial option/s will repair) <u>Retaining wall repair and secure marks to</u> <u>remediate driveway damage</u>	TBC (excluding GST)

TBC – To be calculated & confirmed by cost estimator

Maximum EQC Insured
Area m²

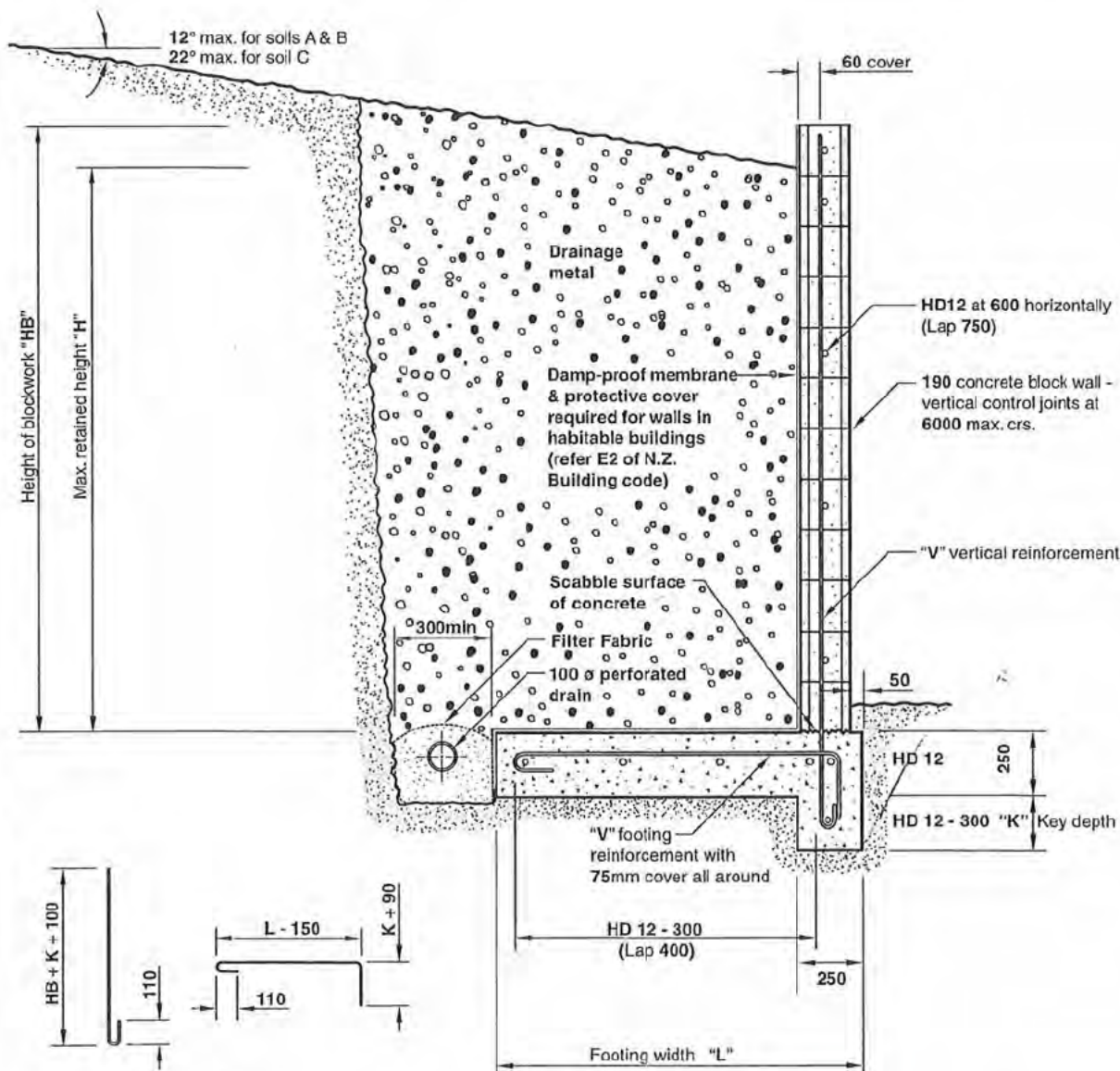
Prepared by: H. Vohell x E. Ross
Team 41 31/10/11

[illegible]

} One wall to replace these two walls.

Remedial solution for retaining wall RWC

TYPE II. 190mm RETAINING WALL – WITH BACKSLOPE



BAR BENDING DIMENSIONS

CROSS-SECTION OF RETAINING WALL

NOTES

- Masonry designed to NZS4230 PART 1.
- Concrete foundation and grout infill strengths 20MPa at 28 days.
- Reinforcement is deformed 500 grade.
- Ultimate bearing pressure for footing taken as 300kPa.
- Drainage shall be a layer of suitable granular material with perforated pipe to an open end.
- Compaction forces from machinery are not included in the design.

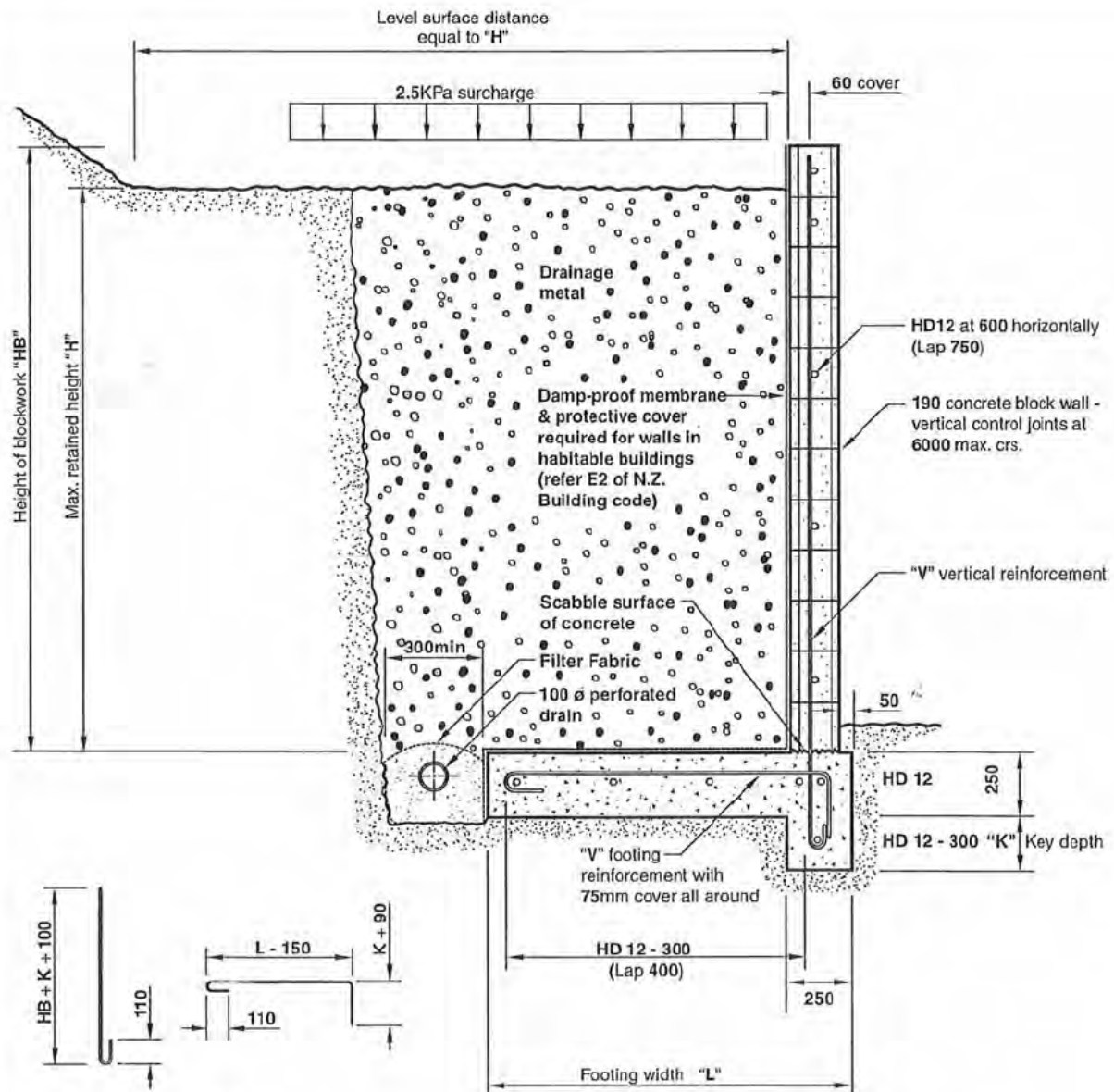
	γ kN/m ³	ϕ
7. Soil A includes • Dense Gravel	19.6	30
Soil B includes • Loose Gravel	16.7	30
• Gravely Sand	16.7	35
• Pumice Soil	12.7	35
Soil C includes • Weak Clay	16.7	25

Vertical and Footing Reinforcement "V"	SOIL A		SOIL B		SOIL C	
	Maximum height "H"		Maximum height "H"		Maximum height "H"	
	"L"	"K"	"L"	"K"	"L"	"K"
HD10-400	1200		1200		1200	
	550	100	550	100	850	100
HD10-400	1750		1850		1400	
	750	100	750	100	1000	150
HD12-600	1750		1800		1400	
	750	100	750	100	1000	150
HD12-400	2000		2050		1600	
	900	100	900	100	1100	150
HD16-600	2100		2200		1700	
	900	150	950	150	1200	150
HD16-400	2350		2450		1900	
	1050	150	1050	150	1300	200

DESIGN DIMENSIONS

Remedial solution for RW2 and RW3/RW4 joint solution

TYPE II. 190mm RETAINING WALL – WITH SURCHARGE



BAR BENDING DIMENSIONS

CROSS-SECTION OF RETAINING WALL

NOTES

- Masonry designed to NZS4230 PART 1.
- Concrete foundation and grout infill strengths 20MPa at 28 days.
- Reinforcement is deformed 500 grade.
- Ultimate bearing pressure for footing taken as 300kPa.
- Drainage shall be a layer of suitable granular material with perforated pipe to an open end.
- Compaction forces from machinery are not included in the design.

	γ kN/m ³	ϕ
7. Soil A Includes • Dense Gravel	19.6	30
Soil B Includes • Loose Gravel	16.7	30
• Gravely Sand	16.7	35
• Pumice Soil	12.7	35
Soil C Includes • Weak Clay	16.7	25

Vertical and Footing Reinforcement "V"	SOIL A		SOIL B		SOIL C	
	Maximum height "H"		Maximum height "H"		Maximum height "H"	
	"L"	"K"	"L"	"K"	"L"	"K"
HD10-400	1200		1200		1200	
	550	100	550	100	850	100
HD10-400	1750		1850		1400	
	750	100	750	100	1000	150
HD12-800	1750		1800		1400	
	750	100	750	100	1000	150
HD12-400	2000		2050		1600	
	900	100	900	100	1100	150
HD16-800	2100		2200		1700	
	900	150	950	150	1200	150
HD16-400	2350		2450		1900	
	1050	150	1050	150	1300	200

DESIGN DIMENSIONS



Tonkin & Taylor

Project: EQC
LDAT

Computed: E. Ross 31/10/2011

Office:

Checked: 20

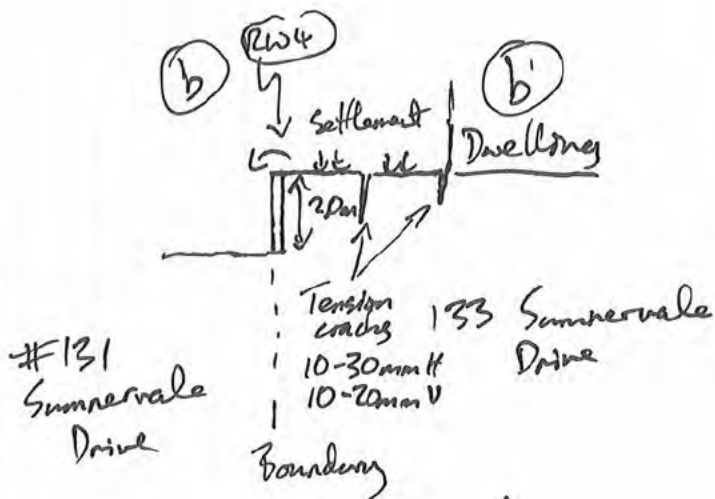
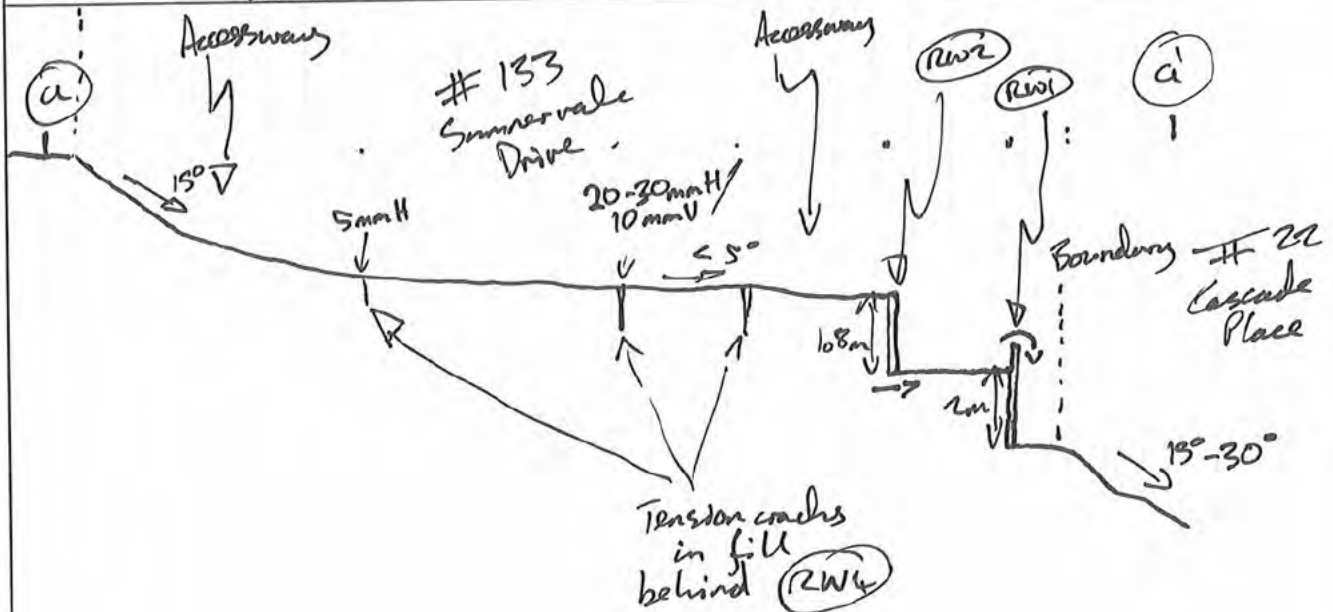
Job No:

Revised: 20

File:

Checked: 20

Sheet No.

Description: 133 Sumnervale Drive
Sumner



Project:

Computed: HM 3/10/2011

Office:

Checked:

20

Job No:

Revised:

20

File:

Checked:

20

Sheet No. 1 of

Description: 133 SUMMERVALE DRIVE.

RW1 = CONCRETE BLOCK WALL (190mm) SUPPORTING GARDEN
BACKSLOPE $< 5^\circ$

H = 0.5 - 2.2m (1.5m AV. H) (2.0m RETAINED HEIGHT)
L = 13m

* DAMAGED - CRACKED AND ROTATED
EVACUATED LAND $0.5m \times 13m = 6.5m^2$
INUNDATED $1m^2$.

REPLACE WITH CONCRETE BLOCK WALL TYPE 2

RW5 = CONCRETE BLOCK WALL WITH DRYSTONE ON TOP SUPPORTING
HOT TUB AREA

H = 0.6m AV (0.7m MAX) $\times$ L = 3m

* DAMAGED - CRACKED 2mm WIDE
NO INUNDATION
NO EVACUATED LAND
REPLACE WITH TIMBER POLE WALL.

RW2 = CONCRETE BLOCK WALL SUPPORTING DRIVEWAY EDGE

H = 0.7 - 1.8m (AV. 1.6m) $\times$ 8m L

* DAMAGED - 100mm SUBSIDENCE BEHIND THE WALL.
CONNECTED TO RW4 WHICH HAS SLID TO NORTH - DIRECTION
OF SUBSIDENCE / SETTLEMENT.

RW3 = See proforma α #131 Summervale Drive

RW4 = See proforma α #131 Summervale Drive



A4 SCALE 1:250



Team 41



Drawn by:
E. Ross

Date:
31/10/11



22 FEB 2011 - EARTHQUAKE
SUMNER, CHRISTCHURCH
(C156-139125) - 133 Sumnervale Drive

EQC Claim No: 201 /