

MARLBOROUGH COUNTY COUNCIL
BUILDING APPLICATION FORM

The County Engineer,
(attn. Building Inspector),
Marlborough County Council,
BLENHEIM.

Date 22.1.1982

Dear Sir,

I hereby apply for permission to erect
alter
convert
reinstate
add
demolish

Mr. L. COLLINS / (Previous Owner)

Address: BLAKE INVESTMENTS % 58 BLAKE ST
Builder: (Name) (Address) G.H.G.H.

Drainlayer/Plumber Address

According to the plans and specifications deposits herewith in duplicate.

1. LOCALITY WAIKAWA BAY
2. VALUATION No. 20250-17800
3. DESCRIPTION: Lot No. Sec 17A2.

4. AREA OF GROUND FLOOR 120 M²

5. AREA OF OUTBUILDING 120 M²

6. ESTIMATED VALUE OF WORKS

Building \$30,000
Plumbing and Drainage Labour \$700
Materials \$1,000
TOTAL \$31,700

Inspection Fee \$125-00
Travelling Surcharge Fee \$
Plumbing and Drainage Fee \$65-00
Building Research Levy \$32-00
TOTAL \$222-00

If work valued at over \$20,000 state estimated date of commencement March / 1982
estimated date of completion June / 1982

7. ARE THERE ANY OTHER BUILDINGS ON THE SITE? NO
8. PROPOSED PURPOSES for which every part of above building is to be used or occupied (describe separately each part intended for use of occupation for a separate purpose).
PRIVATE DWELLING FOR NORMAL FAMILY USE

Yours faithfully,

Signature of Applicant R. G. G. G.

Address % 302 WAIKAWA RD
P. G. G. G.

NOTE: Fees, Plans and Specifications should accompany this application (see reverse).

NOTE: No active work shall be commenced on any building until all necessary permits have been issued.
FOR OFFICE USE ONLY

Application No. 473 Date 20/1/82 Approved A. A. G. G.
Permit No. R074429 Date 10/3/82 Date 26.02.82
Fee Paid \$222-00 Date 24/2/82 Condition
Receipt No. 61299 Date 24/2/82
Zone
Remarks

INFORMATION

BUILDING BY-LAWS — NZSS 1900 N.Z. STANDARD MODEL BUILDING BY-LAWS

Building Permits are required among other things for the erection, re-erection, reconditioning of a building, alterations, repair, addition or removal from one place to another (maintenance-work, other than structural is not deemed a repair). For buildings whether temporary or permanent, movable or immovable. For retaining walls within 1.25m of a boundary or exceeding 1.25m in height.

Applications:

Both applications for Building, Drainage and Plumbing (if required) to be submitted with the fees. In duplicate — site plan, foundation and floor plan, elevations and cross section, and specifications of material and workmanship, and all measurements to be in metrics.

Estimate value means the value of the completed work including all materials and labour. The Engineer shall have absolute determination of the valuation of such work.

No person shall erect or cause to erect a building without first obtaining a permit. Nor shall they commence any excavations or filling to form access from any road or reserve without prior approval from the Engineer. Especially where the garage is above or below the road level.

The Building Inspector is to be notified at least 24 hours prior to foundations being poured.

Any enquiries regarding zoning and land use refer to the County Land Planning Officer.

SCHEDULE OF FEES:

Estimated Value of Work

FIRST SCHEDULE

Examination and Inspection Fee based on estimated value of work:				FEE \$
	Not exceeding	\$ 4,000	—	\$ 25
\$ 4,000	Not exceeding	\$ 5,000	—	\$ 30
\$ 5,000	"	\$ 6,000	—	\$ 36
\$ 6,000	"	\$ 8,000	—	\$ 46
\$ 8,000	"	\$10,000	—	\$ 56
\$10,000	"	\$15,000	—	\$ 75
\$15,000	"	\$20,000	—	\$100
\$20,000	"	\$30,000	—	\$125
\$30,000	"	\$40,000	—	\$150
\$40,000	"	\$50,000	—	\$175
\$50,000	"	\$60,000	—	\$200
\$60,000	"	\$70,000	—	\$225
\$70,000	"	\$80,000	—	\$250
\$80,000	"	\$90,000	—	\$275
\$90,000	"	\$100,000	—	\$300
For every \$50,000 in excess of \$100,000				— \$ 45

SECOND SCHEDULE

Fees payable for special duties, travelling surcharge:

TRAVELLING SURCHARGE

0 - 6 kms	- \$5
6 - 11 kms	- \$10
11 - 16 kms	- \$18
16 - 31 kms	- \$24
31 - 46 kms	- \$32
46 - 61 kms	- \$48
Over 60 kms	- \$64

This to apply to all buildings except dwellings costing over \$30,000 excluding plumbing, drainage. Commercial and Industrial Buildings costing over \$40,000.

BUILDING RESEARCH LEVY FOR VALUE EXCEEDING \$3,000

Total Value (including plumbing) \$	Levy \$
3,000- 4,000	4.00
4,000- 5,000	5.00
5,000- 6,000	6.00
6,000- 7,000	7.00
7,000- 8,000	8.00
8,000- 9,000	9.00
9,000-10,000	10.00
10,000-11,000	11.00
11,000-12,000	12.00
12,000-13,000	13.00
13,000-14,000	14.00
14,000-15,000	15.00
15,000-16,000	16.00
16,000-17,000	17.00
17,000-18,000	18.00
18,000-19,000	19.00
19,000-20,000	20.00
20,000-21,000	21.00
21,000-22,000	22.00
22,000-23,000	23.00
23,000-24,000	24.00
24,000-25,000	25.00
25,000-26,000	26.00
26,000-27,000	27.00
27,000-28,000	28.00
28,000-29,000	29.00
29,000-30,000	30.00
30,000-31,000	31.00
31,000-32,000	32.00
32,000-33,000	33.00
33,000-34,000	34.00
34,000-35,000	35.00
35,000-36,000	36.00
36,000-37,000	37.00
37,000-38,000	38.00
38,000-39,000	39.00
39,000-40,000	40.00
40,000-41,000	41.00
41,000-42,000	42.00
42,000-43,000	43.00
43,000-44,000	44.00
44,000-45,000	45.00
45,000-46,000	46.00
46,000-47,000	47.00
47,000-48,000	48.00
48,000-49,000	49.00
49,000-50,000	50.00

For fees in excess of those shown contact the
County Office.

Additional fees may be calculated at
\$1 per \$1,000 value or part thereof.

Marlborough County Council

Application for Plumbing/Drainage Permit

(Drainage and Plumbing Regulations 1978)

Application No. 423

Assessment No. 20250.11800

Receipt No. 61297

Permit No. 2012 Plumbing 2015

Date Issued 10/3/82 18/3/82

TO THE INSPECTOR,

I, the undersigned, hereby apply for permission for the work described herein and set out in the plans attached

hereto, to be carried out in the premises situated in WAIKAWA BAY

Street/Road, WAIKAWA RD District, Lot SEC 17A2 D.P.

Blk S.D.

Owner L. COLLINS Address 302 WAIKAWA RD

Occupier

Plumber/Drainlayer K. WATKINS Ltd. / M. Cole & Co. Reg. No.

Address 6 Shortcliffe Ave

SCHEDULE OF FEES

If the value of the proposed work (excluding the cost of materials)

exceeds \$ 0 but does not exceed \$100	fee is \$10
\$100 but does not exceed \$150	fee is \$15
\$150 but does not exceed \$200	fee is \$20
\$200 but does not exceed \$250	fee is \$25
\$250 but does not exceed \$300	fee is \$30
\$300 but does not exceed \$350	fee is \$35
\$350 but does not exceed \$400	fee is \$40
\$400 but does not exceed \$450	fee is \$45
\$450 but does not exceed \$500	fee is \$50
\$500 but does not exceed \$600	fee is \$60
\$600 but does not exceed \$700	fee is \$65
\$700 but does not exceed \$800	fee is \$70
\$800 but does not exceed \$900	fee is \$75
\$900 but does not exceed \$1000	fee is \$80

For every \$100 part in excess of \$1000; the fee increase is \$5.00. A \$10.00 additional fee to the above scale to be charged for each inspection where there is no travelling fee subsequent to a building permit, i.e. Govt. and Housing Corporation building.

Estimated Cost: Labour \$700

Materials \$1000
(N.B. Work out fee on Labour only)

Fee Payable \$ 65.00

Description of Work NORMAL PLUMBING / DRAIN LAYING ON A NEW HOUSE.
(The decision of the Inspector shall be final as to estimated cost).

Owner or Plumber Drainlayer L. COLLINS

Address 302 WAIKAWA RD Date 22.1.82
(If the Graph Sheet is not large enough for the Drainage, a full scale drawing to be supplied).

(For Office Record Only)

Application Approved Dated 26.02.82

Inspector S. L. BRYAN

Conditions That the effluent disposal system is installed as per the consulting engineers (Mr. A. Brumby) recommendations.

Inspected foundations
Designing Engineer also
looking at foundations &
slabwork.

26. 05. 82.	Graving isp 7. more. lower. mistaken 16%
9. 06. 82.	Drain laid. uneven fall / 4isp req. not straight
16. 06. 82.	Drain not even fall.
23. 06. 82.	Drain fail
30. 06. 82	Drain OK.
23. 12. 82	Complete.

Sec 1742.

Locality Waikawa Bay..

Work Dwelling.

Builder ~~Brake Investments~~ Owner L. Collins.

Appl. No. 423

Issue Date 10/3/82

Val. No. 20260-17800.

branz

L. COLLINS
302. WAIKAWA RD

SHEET A
(CIRCLE whichever is applicable)

PICTON

NAME: MR & MRS COLLINS

ADDRESS: WAIKAWA BAY ACTON
20250-17800

STOREY: Single or Uppermost
Lower of two or middle of three
Lower of three

ROOF TYPE: Light / Heavy

ROOF PITCH: 0° - 25° / 26° - 45°

WIND AREA: High / Medium / Low

W = 33 B.U.'s/m

EARTHQUAKE ZONE: A / B / C

E = 5 B.U.'s/m²

ROOF OR BUILDING LENGTH

BL = 18.2 m

ROOF OR BUILDING WIDTH

BW = 6.6 m

GROSS ROOF OR BUILDING PLAN AREA

GPA = 151.3 m²

EARTHQUAKE: B.U.'s ALONG AND ACROSS

E x GPA = 5 x 151 = 755 B.U.'s

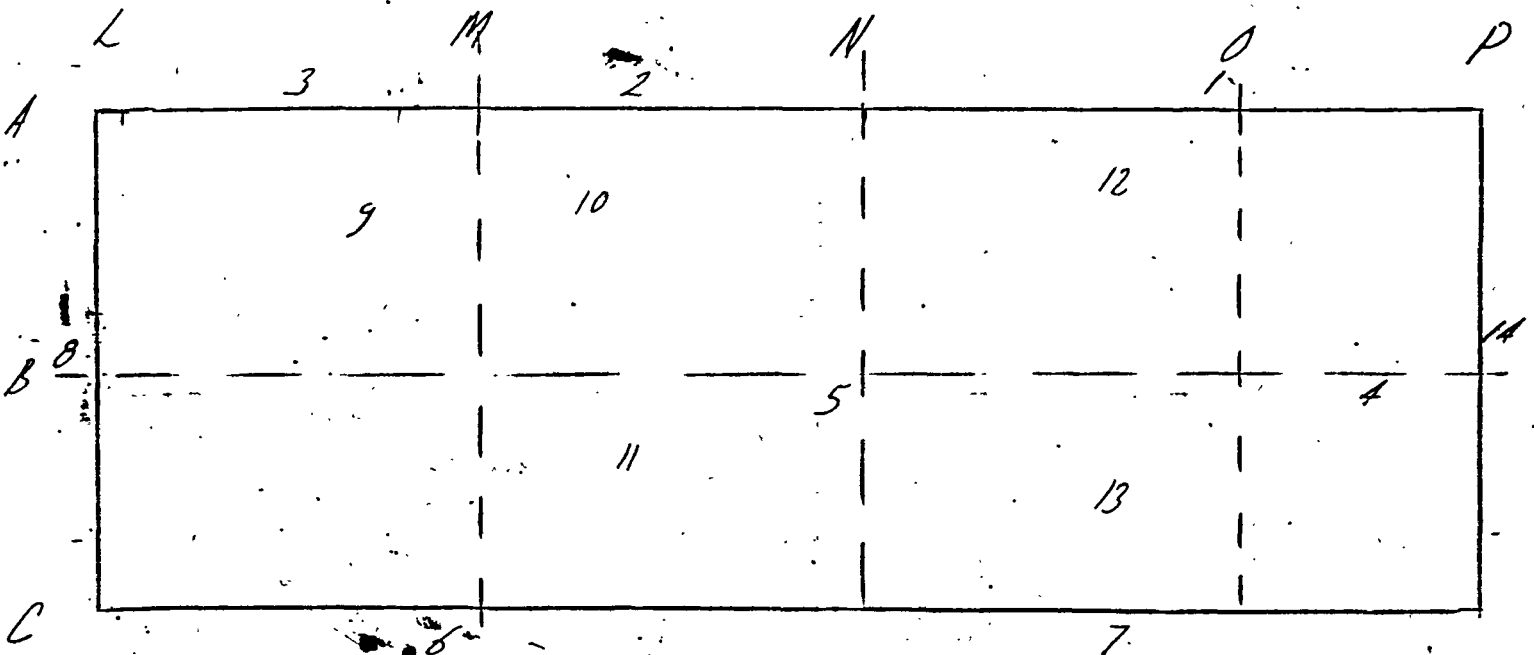
WIND: B.U.'s ALONG

W x BW = 33 x 6.6 = 218 B.U.'s

WIND: B.U.'s ACROSS

W x BL = 33 x 18.2 = 601 B.U.'s

SKETCH PLAN (external and internal walls) :



SHEET B

1 Total B.U.'s Required	2 Wall Line		3 Wall Bracing Elements Provided				
	Label	Minimum B.U.'s Required	Label No.	Type	Rating B.U.'s/m	Length (m)	B.U.'s Provided
ALONG	A		1	1	42	2.4	100
			2	1	42	1.7	71
			3	1	42	2.4	100
		182	Sub-total				271
	B		4	2	62	3.0	186
			5	2	62	2.4	149
		70	Sub-total				335
	C		6	1	42	2.4	100
			7	1	42	3.0	126
		182	Sub-total---				226
	D						
			Sub-total				
755	TOTAL	434	TOTAL---				832
ACROSS	L		8	1	42	3.0	126
		66	Sub-total				126
	M		9	2	62	3.0	186
		70	Sub-total				186
	N		10	2	62	2.4	149
			11	2	62	2.4	149
		70	Sub-total				298
	O		12	2	62	2.4	149
			13	2	62	1.7	105
		70	Sub-total				254
	P		14	1	42	2.4	100
		66	Sub-total				100
755	TOTAL	342	TOTAL				964

branzSHEET A

(CIRCLE whichever is applicable)

NAME: Mr & Mrs. L. COLLINS ADDRESS: WAIKAWA BAY PICTON.

STOREY: ~~Single or uppermost~~
Lower of two or ~~middle of three~~
Lower of threeROOF TYPE: Light / ~~Heavy~~ROOF PITCH: $0^\circ - 25^\circ / 26^\circ - 45^\circ$ WIND AREA: High / ~~Medium / Low~~

W = 80 B.U.'s/m

EARTHQUAKE ZONE: A / ~~B / C~~E = 6 B.U.'s/m²

ROOF OR BUILDING LENGTH

BL = 18.2m

ROOF OR BUILDING WIDTH

BW = 6.6m

GROSS ROOF OR BUILDING PLAN AREA

GPA = 120m²

EARTHQUAKE: B.U.'s ALONG AND ACROSS

E x GPA = $6 \times 120 = 720$ B.U.'s

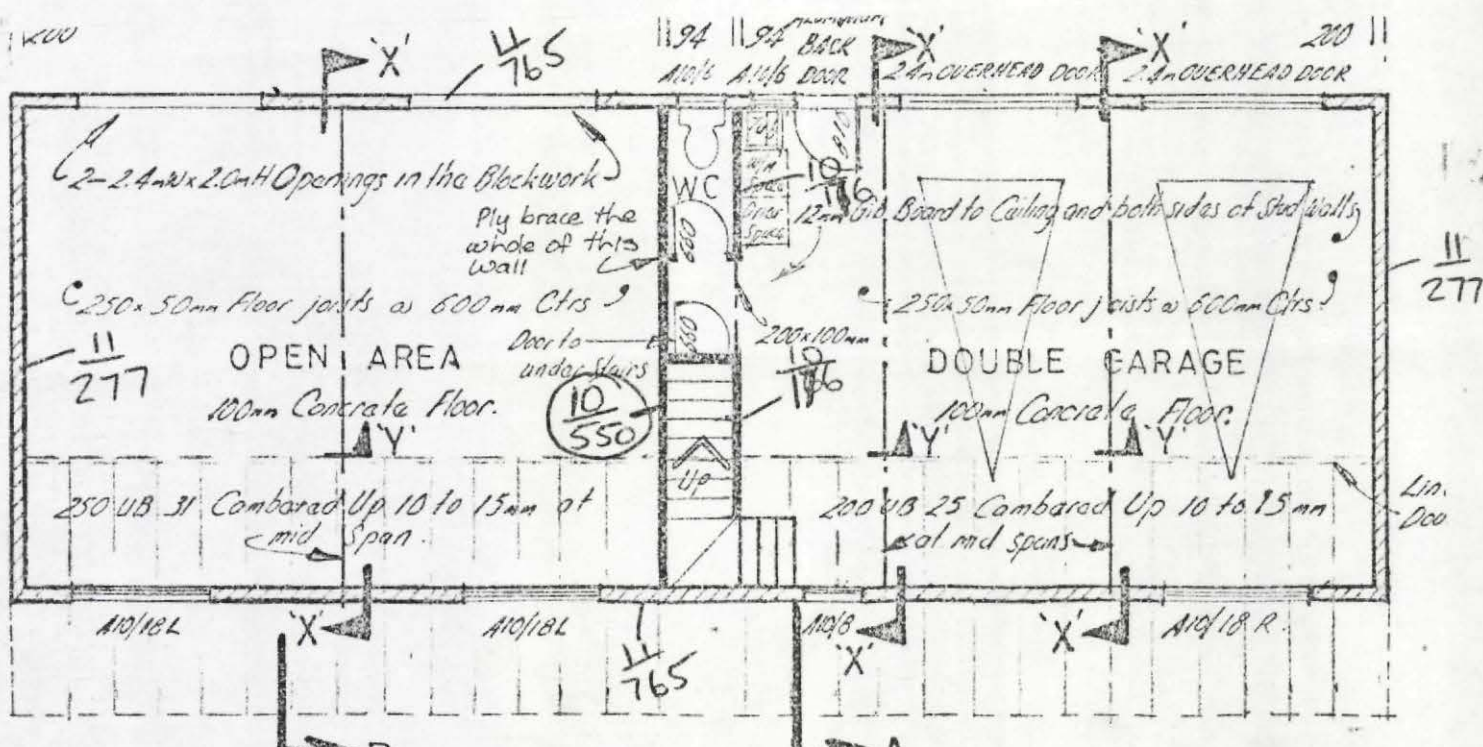
WIND: B.U.'s ALONG

W x BW = $80 \times 6.6 = 528$ B.U.'s

WIND: B.U.'s ACROSS

W x BL = $80 \times 18.2 = 1456$ B.U.'s

SKETCH PLAN (external and internal walls):

Resistance provided along = 1530 B.U.
across = 1456 B.U.

L. C. Collins.

Installing Spaceheater
Include on Permit
for dwelling.


Warren R. Lewis

B.E. (HONS.), M.N.Z.I.E.

194 Gloucester Street

Christchurch

P.O. Box 13-282

Telephone 64-320

*Registered consulting engineer
civil and structural*
DESIGN CERTIFICATE

 To Whom it may concern.

 I WARREN RICHARD LEWIS

 being registered under the provisions of the Engineers Registration Act, 1924 and currently holding an Annual Practising Certificate, hereby certify that I have supervised the design of, and the calculations for Floor joists, steel beams, and blockwork

 shown on the accompanying plan(s) prepared ^{by Graeme Smith} ~~in my office~~, numbered

— Titled Proposed Residence For Mr & Mrs. L
 dated — proposed to be erected for Mr & Mrs L
Collins

 on Lot — Deposited Plan No —
 located at Waikawa Bay B. PICTON

I further certify that the works defined above have been designed in accordance with sound and widely accepted engineering principles; that they have been designed to support loads specified in N.Z.S. 4203:1976 and further that I have ascertained to the best of my ability that the stresses and combinations of stresses in the various materials of construction under the above loads will not exceed the maxima to ensure the safety and stability of the structure if erected in accordance with these plans and specifications.

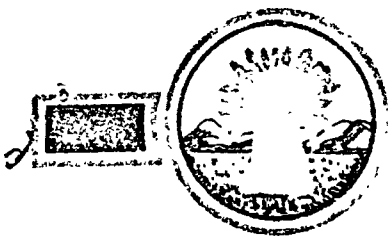
Various aspects of the design are in accord with the following relevant authorities N.Z.S. 1900 Chapters 9.1, 9.2, 9.3, 9.4.

Signature

W. R. Lewis

Date

9 February 1982.



20250 - 17800

MARLBOROUGH COUNTY COUNCIL

P.O. BOX 19

BLenheim, N.Z.

TELEPHONE 83-249

IN REPLY QUOTE REFERENCE APQ:CAM 7/10/498 Min. A4220

FOR ENQUIRIES ASK FOR Mr. Morris

1 October 1982

MILES

Dear Sir,

NOTIFIED PLANNING APPLICATION - L.C. COLLINS

Council at its meeting held on 1 October 1982 considered a recommendation from the Planning Committee on an application by L.C. Collins to subdivide and create two lots with substandard frontages in respect of a property located in Waikawa Road being Section 17A2 Waikawa Village Maori Block.

Council in adopting the recommendation resolved that consent be given to the application pursuant to Section 74 of the Town and Country Planning Act 1977, subject to observance of any conditions imposed at the time the scheme plan is processed in terms of the Local Government Act 1974.

In a note to the decision Council indicated that one such condition would be the imposition of a reserve fund contribution.

The ground for the decision was that given adequate safeguards in respect of suitable sewerage disposal systems, the land could be used for the purpose indicated.

Please note that in terms of the Town and Country Planning Act 1977, this consent will generally lapse 2 years after the date on which it was granted unless the person to whom it was granted has given effect to the consent within the 2 year period.

If you have any query concerning the consent, please contact Council's Assistant Executive Officer Mr Morris.

Yours faithfully,


A.P. Quirk,
COUNTY SECRETARY.

• COLLINS

COPIES SENT TO

Valuation Department

United Council

Ministry of Works - Head, District and Local

Brian McHugh and Miles

Mr L.C. Collins, C/- Messrs Davidson, Ayson & Associates, P.O.Box
256, Blenheim



22 January 1982

The Chief Executive Officer
Marlborough County Council
P.O. Box 19
BLenheim

Dear Sir

Mr L. Collins
Waikawa Bay

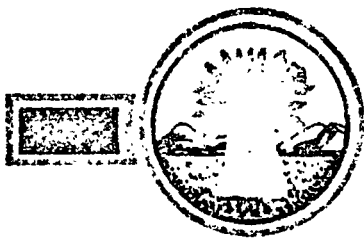
Further to a preliminary report by your Assistant Executive Officer I have carried out an on-site inspection of the area Mr Collins proposed to build on. It is my opinion that the septic tank drainage field should be constructed on the area in front of the house towards Waikawa Road. That it consist of at least 3 runs of field tiles encased all around in 150mm of chips terminating with a 500mm diameter pipe sent vertically 1000mm into the ground then filled with chips and/or stones.

The field tile drain to be zig-zagged across the section and to be at least 30 metres in length, with legs at 2.4 metres centres.

Yours faithfully

D.M.C.

D.M. CROMARTY



MARLBOROUGH COUNTY COUNCIL

P.O. BOX 19

BLenheim, N.Z.

TELEPHONE 83-249

IN REPLY QUOTE REFERENCE.....MMc:CAM 20250/17800

FOR ENQUIRIES ASK FOR Mr. McConway.....

10th March, 1982.

Mr L.C. Collins,
C/- 302 Waikawa Road,
WAIKAWA BAY.

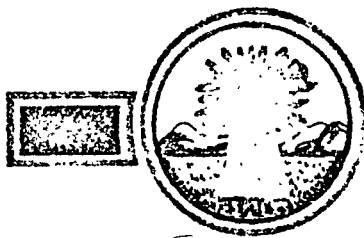
Dear Sir,

Would you please advise this office by telephone or return mail, who is to do the drainage work for your new dwelling.

Yours faithfully,

W.J.D. Olliver,
EXECUTIVE OFFICER.

Per:



MARLBOROUGH COUNTY COUNCIL

P.O. BOX 19

BLenheim, N.Z.

TELEPHONE 83-249

IN REPLY QUOTE REFERENCE MMc:CAM 20250/17800

FOR ENQUIRIES ASK FOR Mr McConway

10th March, 1982.

Mr L.C. Collins,
C/- 302 Waikawa Road,
WAIKAWA BAY.

Dear Sir,

Would you please advise this office by telephone or return mail, who is to do the drainage work for your new dwelling.

Yours faithfully,

W.J.D. Olliver,
EXECUTIVE OFFICER.

Per:

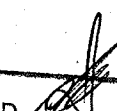
PROPOSED RESIDENCE FOR,

MIR AND MRS . L . COLLINS,

WAIKAWA BAY,

PICTON.



APPROVED 
SUBJECT TO THE CONDITIONS
SET OUT ON THE PERMIT.
MARLBOROUGH COUNTY COUNCIL

SITE PLAN

PROPOSED RESIDENCE FOR MR & MRS. L. COLLINS • WAIKAWA BAY • PICTON.

20190-245

ROLL NO: 245

OWNER: EDWARD J. L. & E.
HARVEY S. J. A

~~1. COLLINS~~

Address

296 A WAIKAWA ~~ST~~ RD.

504049

Checked For

Access to Property

Stormwater Disposal

Water

Sewer

Set Back

Building Line Restriction

Zoning Det Res. A.

Coverage

Yard Requirement

Fire Zoning

Structural Details

Site Stability

Permanent Levels

Off-Street Parking Provisions

Other Acts and Regulations

Sent to Council

for Decision January 82 re drainage system.

Signed by: See that copy of details attached to permit

Engineer

Health/Building Inspector S. E. Longman 26-02-82.

Land Planning Officer A. Morris 29-1-82

Inspections

Permit K074427.

Red. Plumbing 2012

Drainage 2015.

1.2.82. L Collins informed me
that another copy of plans
along with Design Certificate
will be dropped in once
received from Eng. Consulting
Engineers.

1.2.82

03.02.82.

Source no required. awaiting further
plans.

**Code Compliance Certificate No: 8088**

Section 43(3), Building Act 1991

Application No: 991379

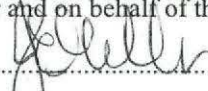
<i>Owner</i>	<i>Project</i>
Name: Jacob V G Address: 296 Waikawa Road PICTON	Use(s): Legalise Free Standing Kent Tile Log Fire and Little Dorrit Stove Life: Indefinite, but not less than 50 years Stage: 1 Of: 1 Nature of consent: 3 DH Estimated Value: \$100.00
<i>Site</i>	<i>Legal Description</i>
Address: 296 Waikawa Road PICTON	Property no: 504049 Legal Description: Lot 2 DP 6125 Valuation Roll No: 20190 24500

This is

- ☒ A final code compliance certificate in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.

This code compliance certificate is issued subject to the conditions specified below.

Signed for and on behalf of the Council :

Name: Position: **Building Administration Officer**

BC

Date: **16-Sep-99**

THE TILE FIRE INSTALLATION INSTRUCTIONS

The Tile Fire

(NEW ZEALAND AND AUSTRALIA)



BC 991379

RECEIVED

7 SEP 1999

MARLBOROUGH
DISTRICT COUNCIL
PICTON

**READ ALL INSTRUCTIONS BEFORE INSTALLING
AND USING THIS APPLIANCE.**

INSTALLING THE TILE FIRE

1. The Tile Fire must be installed in accordance with these instructions. Do not allow any makeshift compromise installation methods or parts to be used — this could result in a house fire.
2. The Tile Fire should be installed in accordance with NZS 7421:1985 in New Zealand or AS 2918 in Australia.
3. Where an installation permit is required, this should be obtained prior to installation and we recommend that you advise your insurance company that you are having the heater installed.
4. The clearances shown in these instructions are necessary to prevent overheating of nearby combustibles and the drying out of timber in the house structure.

FLUE SYSTEMS

The flue should be vertical and without any bends. If an offset is required it should be as close to the heater as practical and should not offset more than 500mm from the centre line of the flue collar. Also clearances from flue pipe to combustible materials should be maintained (see table 1).

Restrictions or leaks can cause smoking under certain conditions due to poor draught. Joints between sections should be securely fastened using stainless steel self tapping screws or "Pop" rivets.

The flue cowl should be at least 600mm above the highest ridge of the roof to ensure the draught is not affected by pressure zones caused by wind currents around the house. When the flue is installed through a flat roof, the cowl should be at least 1500mm above the highest part of the roof. Note that any roof with a pitch angle of less than 30 degrees is treated as a flat roof for the purposes of pressure zones. At joints, the crimped end of the upper flue section should be fitted to the uncrimped end of the lower flue section.

The Kent flue kit provides a maximum height of 4.2m (New Zealand) or 3.6m (Australia). Should extra flue or flue shield be required, this may be obtained through your nearest Kent dealer. Two lengths of galvanised steel flue shield are supplied with the flue kit. These must be fitted in the roof space to prevent the hot flue coming into contact with any timber or other combustible materials.

MARLBOROUGH DISTRICT COUNCIL
 APPROVED SUBJECT TO:
 1. All work complying with the N.Z. Building Code.
 2. 24 hours notice being given to the Building Inspector prior to installation.

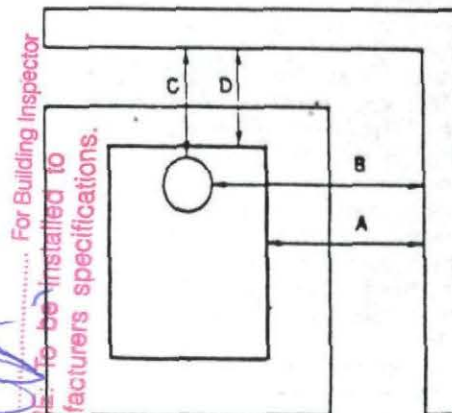


FIG 1a

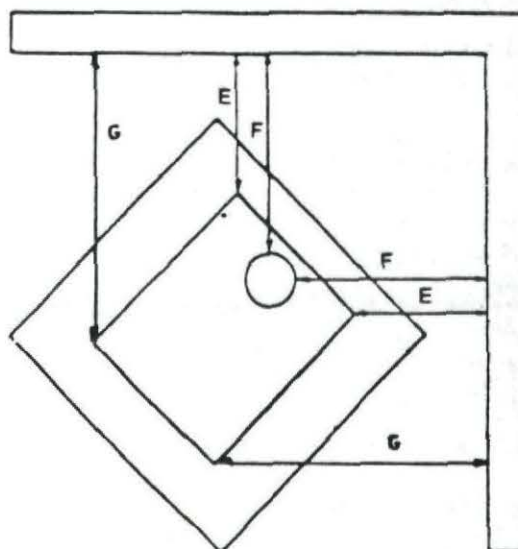


FIG 1b

**TABLE 1:
Installation Options**

NEW ZEALAND

- 150mm dia. single wall flue pipe
- 150mm dia. single wall flue pipe with Kent flue screen

AUSTRALIA

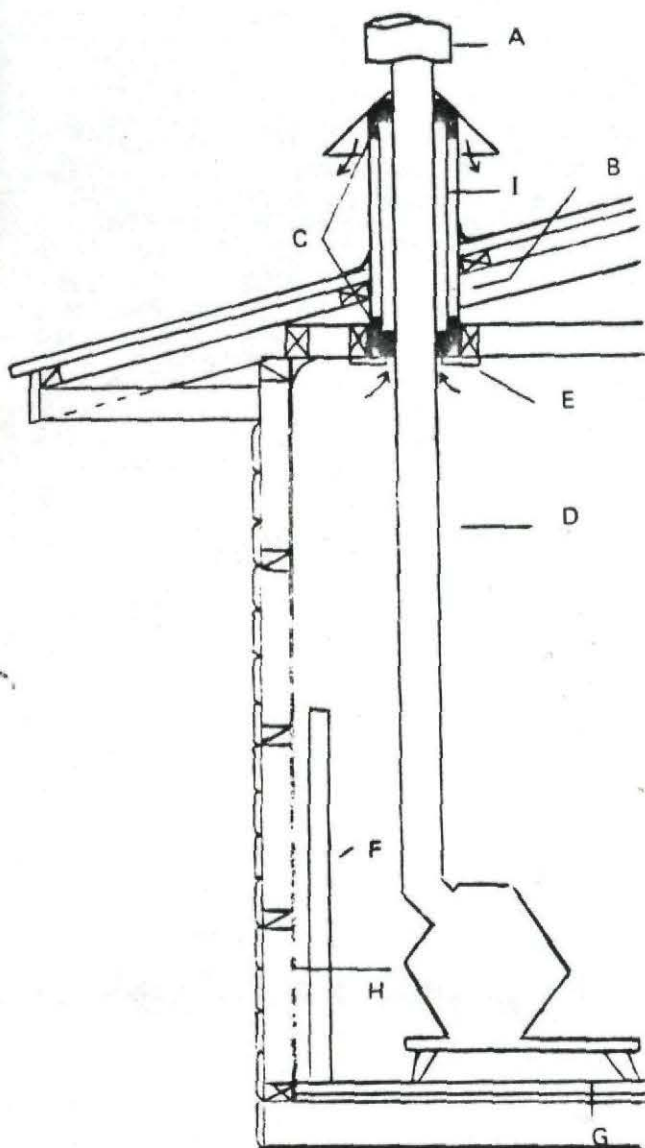
- 150mm dia. single wall flue pipe
- 150mm dia. single wall flue pipe with Kent flue screen

**Minimum Clearances from heater to Combustibles
when installed with Kent Flue Systems (mm).**

A	B*	C*	D	E	F*	G
450	630	440	350	250	480	690
450	630	215	125	200	430	640
450	630	340	250	150	380	590
400	580	190	100	150	380	590

*Measured from the flue collar. These clearances must be maintained from the flue pipe to combustible materials within the room.

RECEIVED
7 SEP 1999
MARLBOROUGH DISTRICT COUNCIL
PICTON



CHECK WITH YOUR LOCAL BUILDING
INSPECTOR BEFORE INSTALLING A
SOLID FLUE BURNING STOVE.

INSTALLATION OF THE LITTLE DORRIT STOVE

Check with your Local Building
Inspector to ascertain Local Body
requirements.

The Stack's Little Dorrits comply with
New Zealand Standards 7421:1972 if installed
using parts supplied by The Stack
Manufacturing Company Limited.

When deciding on the position of the stove,
check the ceiling and roof above for
obstructions such as ceiling battens, roof
rafters, valleys or ridges.

The hearth must be constructed of non
combustible insulation material at least
50 mm thick, as approved by the New Zealand
Standards. It must extend 300 mm in any
direction from under firing or ash removal
opening.

It is recommended to use an additional layer
of heat resistant board (12 mm) under the
hearth where floors are constructed of
particle board.

HEAT SHIELD

This reduces the distance that the stove may
be placed against various types of wall.
Heat shields may be of brick, pumice,
concrete or fire rated board, Gibraltar Board
cannot be used. They are to extend from
the floor or hearth to at least 500 mm above
the height of the flue nozzle, and there
must be a 25 mm minimum air space between
the shield and combustible material. Stoves
may be placed at a distance of 150 mm from
the shield, providing the flue is at least
225 mm from the heat sensitive material.
Note: We would recommend that flues be
305 mm from wooden walls.

Minimum thickness of shield:

Brick	100 mm
Pumice	50 mm
Fire rated board	12 mm

Distances from walls (without heat shields)

Brick, block or concrete	150 mm
Gib Board or plaster lined	500 mm
Wood lined walls	635 mm



Installation of Solid Fuel Burning or Oil Burning Spaceheaters

Notes for guidance of applicants when applying for Consent to install a solid fuel burning or oil burning spaceheater.

1. Fill in all the details on building consent application form.
2. Forward form(s) to Council with two (2) copies of the manufacturer's installation instructions. These are to be accompanied by a sketch plan showing location of appliance.
3. If installing a Wet Back to the log fire, a tempering valve must be fitted to all cylinders and storage heaters.
4. **Free Standing Appliance**
 - a) Appliance must be seismically restrained (ie; bolted down).
 - b) Ceiling plate should not be fixed to the ceiling until inspected and certified.
5. **Installation of Heater into Existing Open Fire Places**
 - a) Chimney shall be swept and thoroughly examined for **soundness by the installer**.
 - b) Check joint between chimney and surround for tightness.
 - c) If a non-zero clearance (or a non-Appendix J tested) model is to be fitted, an inspection hole will have to be made above the mantel to ensure all timber is 50 mm clear of the chimney breastwork.
 - d) An inspection of this clearance must be made by the Building Inspector prior to sealing up the inspection panel.
 - e) A stainless steel flue must be installed to the full length of the chimney.
6. **DO NOT** light the fire until it has been inspected.
7. Please ring Building Control Section of the Marlborough District Council telephone 577 2517 and arrange for inspection of installed appliance. At least 24 hours notice is required.
8. The issue of a Code Compliance Certificate does not warrant the appliance.
9. I agree to follow the above instructions, and install the unit in accordance with the manufacturer's installation instructions.

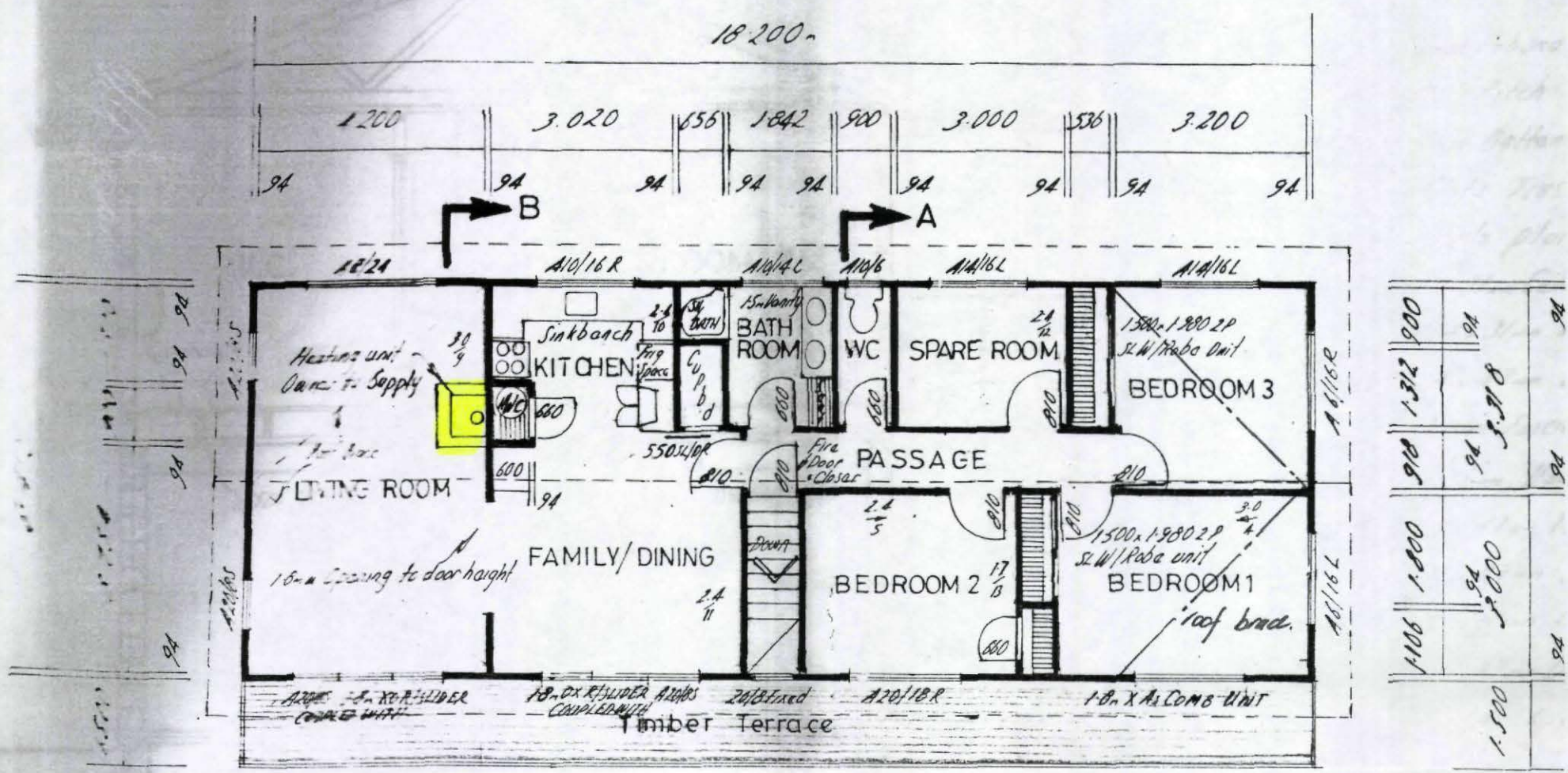
Signed by Applicant:

V. G. Jacob

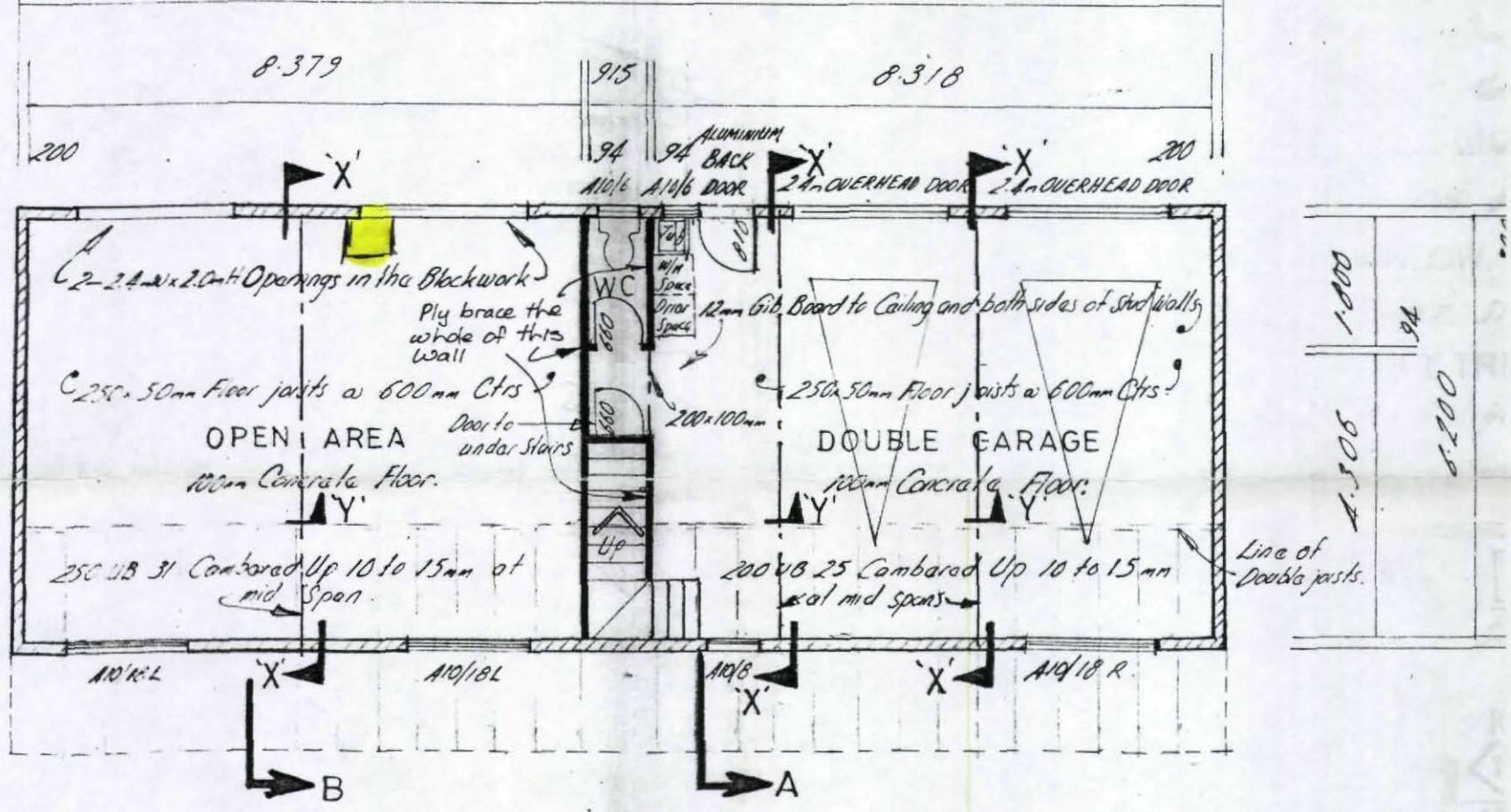
Address:



RECEIVED
 - 7 SEP 1999
 MARLBOROUGH
 DISTRICT COUNCIL
 PICTON



FIRST FLOOR
 18.200m



GROUND FLOOR
 Scale 1:100

$$A = 120.12m^2 \text{ c/floor} (1293^{\circ}) + 120.12m^2 \text{ c/block} (1293^{\circ}) = 240.24m^2 \text{ c/A}$$

PROPOSED RESIDENCE FOR MR & MRS. L. COLLI

BOROUGH OF PICTON

Application for ~~Plumbing~~/Drainage Permit

Application No. _____
Assessment No. 20190/245
Receipt No. 11315
Permit No. 1123
Date Issued 24.11.1986.

TO THE INSPECTOR,

I, the undersigned, hereby give notice that I intend to carry out the following work subject to the provisions of the Council's By-Laws, amendments thereof or any other provisions whatsoever applicable thereto, and request that a permit be issued for the execution of same.

Section on which work is to be placed: Lot 2 D.P. 6125

Section 296 WAIKAWA RD Street

Owner L COLLINS Address WAIKAWA RD.

Occupier _____

Plumber/Drainlayer J. George Reg. No. 06316

Class of Work	Plumbing	Drainage <u>30 mtr.</u>
* Installing	No. of W.C.'s _____	Installing <u>30</u> feet of drain
Repairing	No. of Baths _____	Repairing Drain _____
	No. of Showers _____	Clearing Drain _____
	No. of Basins _____	Other Drainage _____
	No. of Sinks _____	
	No. of Tubs _____	
* Delete the term which does not apply.	Sundries _____	



The Fee payable as per schedule hereunder must accompany this application.

SCHEDULE OF FEES

Estimated value of work based on labour content of contract price.

Not exceeding \$100	= 16.50	\$1101 but not exceeding \$1200	= 137.50
\$101 but not exceeding \$200	= 27.50	\$1201 but not exceeding \$1300	= 148.50
\$201 but not exceeding \$300	= 38.50	\$1301 but not exceeding \$1400	= 165.00
\$301 but not exceeding \$400	= 55.00	\$1401 but not exceeding \$1500	= 176.00
\$401 but not exceeding \$500	= 66.00	\$1501 but not exceeding \$1600	= 192.50
\$501 but not exceeding \$600	= 82.50	\$1601 but not exceeding \$1700	= 203.50
\$601 but not exceeding \$700	= 88.00	\$1701 but not exceeding \$1800	= 220.00
\$701 but not exceeding \$800	= 99.00	\$1801 but not exceeding \$1900	= 231.00
\$801 but not exceeding \$900	= 104.50	\$1901 but not exceeding \$2000	= 247.50
\$900 but not exceeding \$1000	= 110.00	For every \$100 or part in excess of	
\$1001 but not exceeding \$1100	= 121.00	\$2000	= 5.50

Above fees are inclusive of Goods and Services Tax (G.S.T.)

Proposed commencement date _____

Estimated cost, \$ 200.00

Fee Payable \$ 27.50

(The decision of the Inspector shall be final as to estimated cost.)

Plumber _____

Drainlayer _____

Address 81 MOUNT FORT ST CH-CH 2

Date 17-11-86.

(If the Graph Sheet is not large enough for the Drainage a full scale drawing to be supplied)

(For Office Record Only)

APPLICATION APPROVED

P.B. Eaton Inspector

18.11.86 19

FINAL INSPECTION APPROVED

Inspector

19

building paper
 & nothing under

INCORRECT. SEE
 COLLINS PLAN. 20.2.82
 SECTION. 17A2

PVC spooling

fiberflow bd →

artificial floor
 pts @ 400

"insulated" lining

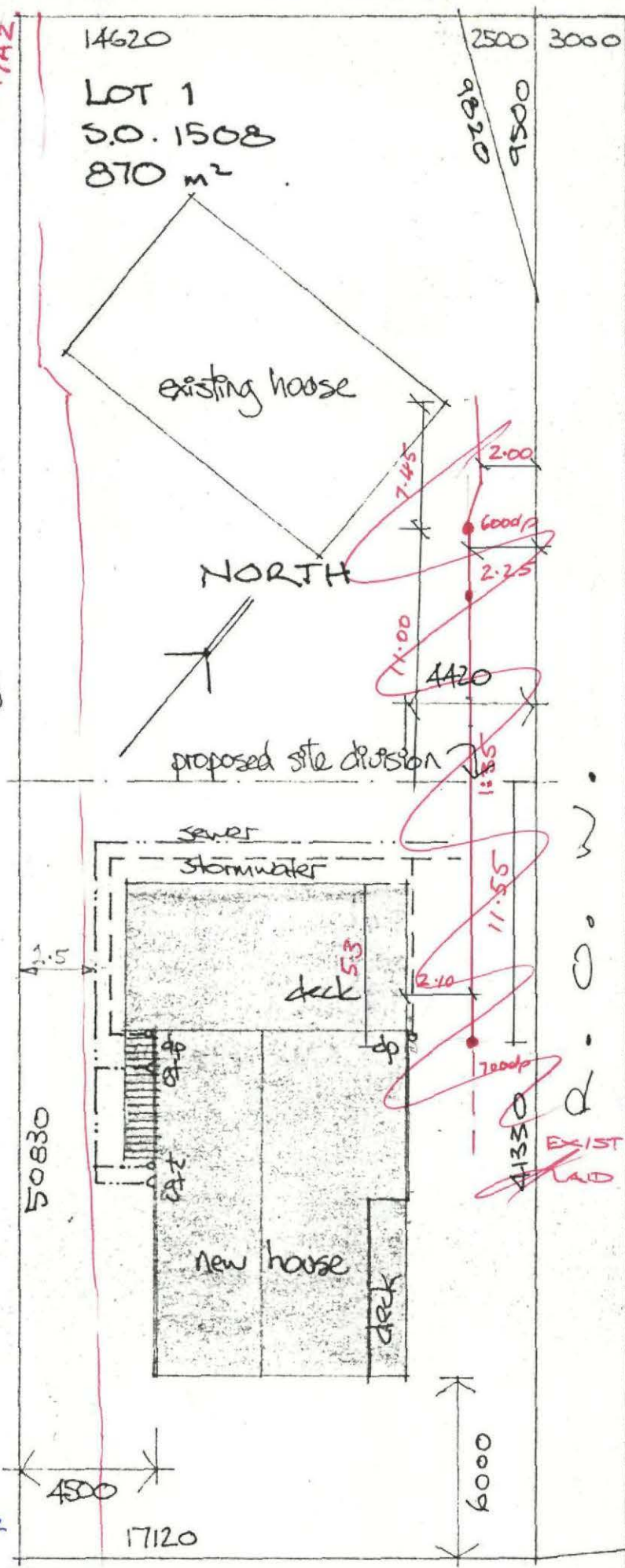
100x50 framing

fgoists
 in "Plycopine"
 whb

11 175 min

addition L. COLLINS.
 296 WAIKAWARD.

DRAINLAYER A.E. PARTRIDGE.
 INSP 15-1.87.



EXISTING DRAIN
 18.11.86

site plan



BC

PERMIT 1166

BOROUGH OF PICTON

Application for Plumbing/Drainage Permit

Application No.

Assessment No.

Receipt No. 12945Permit No. 1166Date Issued 16-1-87

TO THE INSPECTOR,

I, the undersigned, hereby give notice that I intend to carry out the following work subject to the provisions of the Council's By-Laws, amendments thereof or any other provisions whatsoever applicable thereto, and request that a permit be issued for the execution of same.

Section on which work is to be placed: Lot LOT 2 D.P. 6125

Section Street

Owner L.C. & M. GOLLINS Address 296 WAIKAWA RD.Occupier L.C. & M. GOLLINS~~Plumber~~/Drainlayer A E Partridge Reg. No. 08066

Class of Work	Plumbing	Drainage
* Installing	No. of W.C.'s	Installing feet of drain
Repairing	No. of Baths	Repairing Drain
	No. of Showers	Clearing Drain
	No. of Basins	Other Drainage
	No. of Sinks	
	No. of Tubs	
* Delete the term which does not apply.	Sundries	

The Fee payable as per schedule hereunder must accompany this application.

SCHEDULE OF FEES

Estimated value of work based on labour content of contract price.

Not exceeding \$100	= 16.50	\$1101 but not exceeding \$1200	= 137.50
\$101 but not exceeding \$200	= 27.50	\$1201 but not exceeding \$1300	= 148.50
\$201 but not exceeding \$300	= 38.50	\$1301 but not exceeding \$1400	= 165.00
\$301 but not exceeding \$400	= 55.00	\$1401 but not exceeding \$1500	= 176.00
\$401 but not exceeding \$500	= 66.00	\$1501 but not exceeding \$1600	= 192.50
\$501 but not exceeding \$600	= 82.50	\$1601 but not exceeding \$1700	= 203.50
\$601 but not exceeding \$700	= 88.00	\$1701 but not exceeding \$1800	= 220.00
\$701 but not exceeding \$800	= 99.00	\$1801 but not exceeding \$1900	= 231.00
\$801 but not exceeding \$900	= 104.50	\$1901 but not exceeding \$2000	= 247.50
\$900 but not exceeding \$1000	= 110.00	For every \$100 or part in excess of	
\$1001 but not exceeding \$1100	= 121.00	\$2000	= 5.50

Above fees are inclusive of Goods and Services Tax (G.S.T.)

Proposed commencement date

Estimated cost, \$ 150-00Fee Payable \$27 : 50

(The decision of the Inspector shall be final as to estimated cost.)

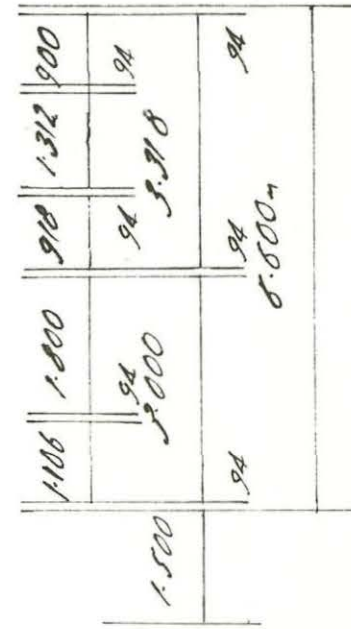
~~Plumber~~ A E PartridgeDrainlayer
Address 30 Beach Rd PictonDate 16-1-1987

(If the Graph Sheet is not large enough for the Drainage a full scale drawing to be supplied)

(For Office Record Only)

APPLICATION APPROVED Inspector

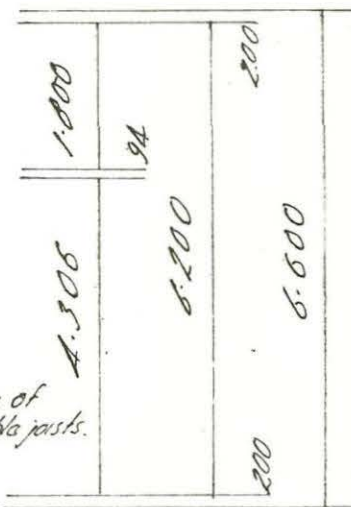
FINAL INSPECTION APPROVED Inspector



4.200 4.191 95 3.500 536 4.200

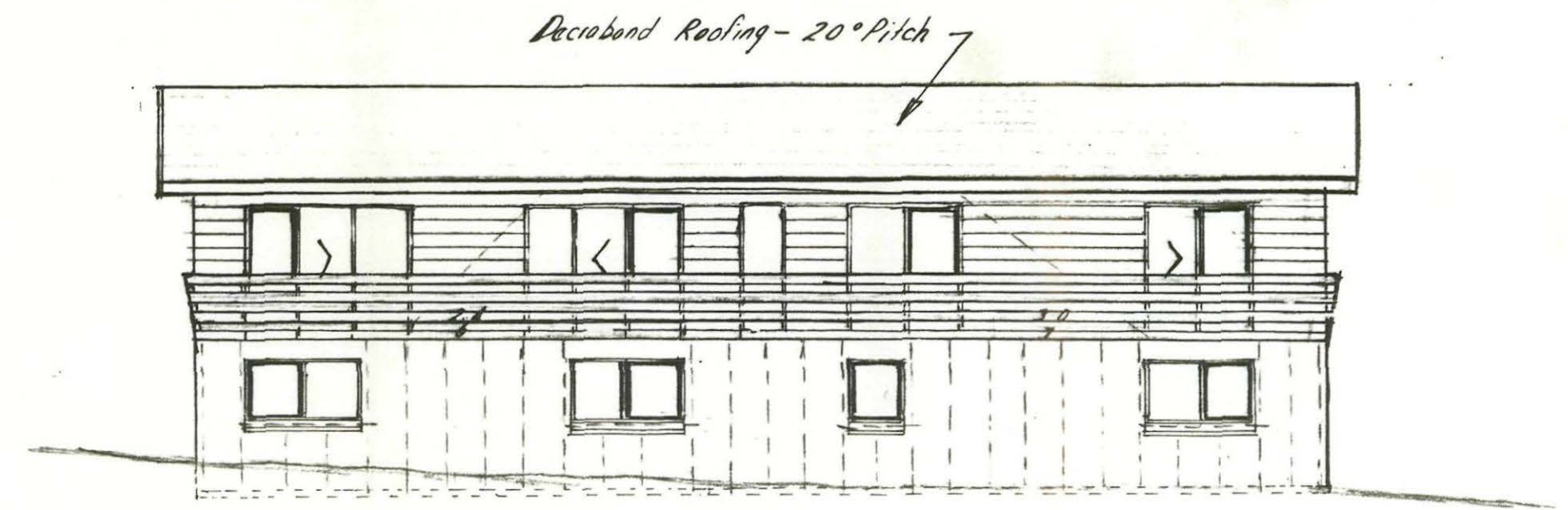
94 94 94 94 94 94 94

FIRST FLOOR

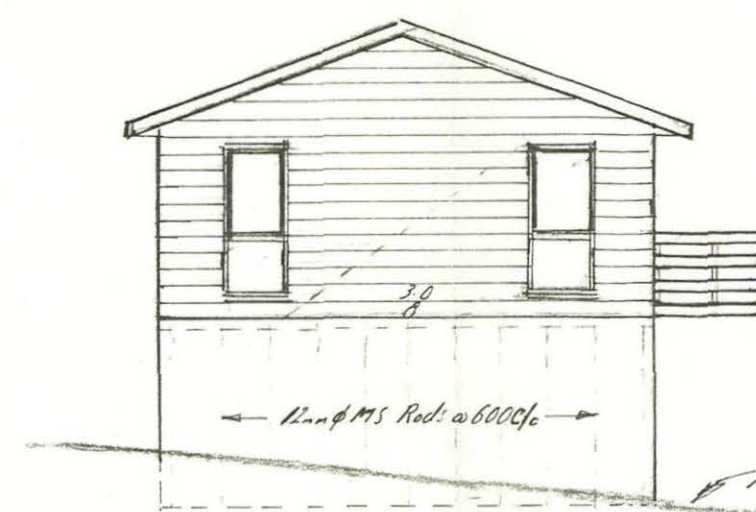


GROUND FLOOR

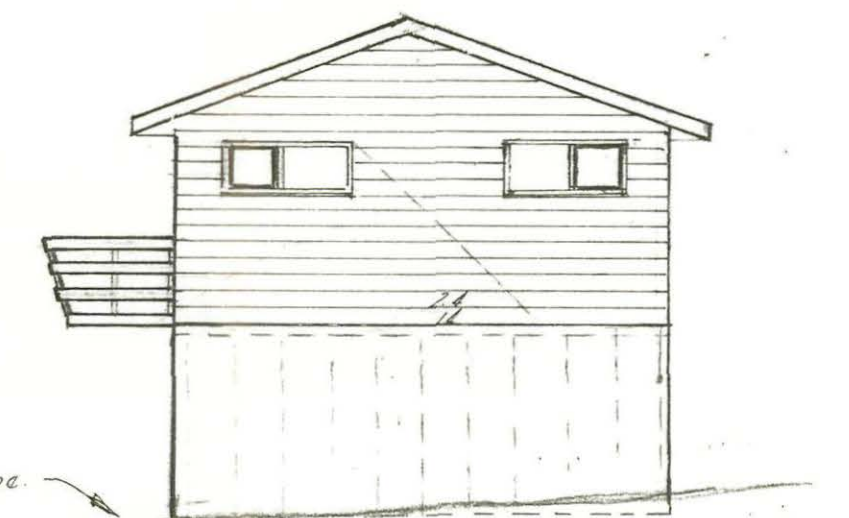
Scale 1:100

$$A_{30} = 120 \cdot 12 \text{ m}^2 \text{ O/Fr} (1293^\circ) + 120 \cdot 12 \text{ m}^2 \text{ O/BLOCK} (1293^\circ) = 24024 \text{ m}^2 \text{ O/A}$$


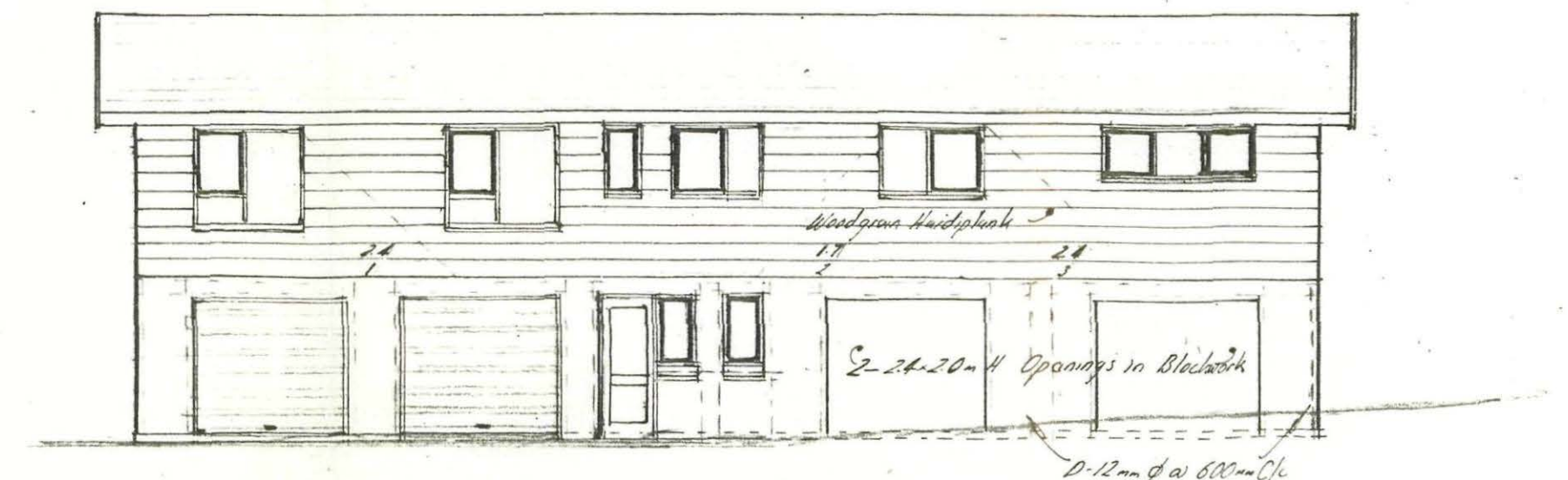
FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION

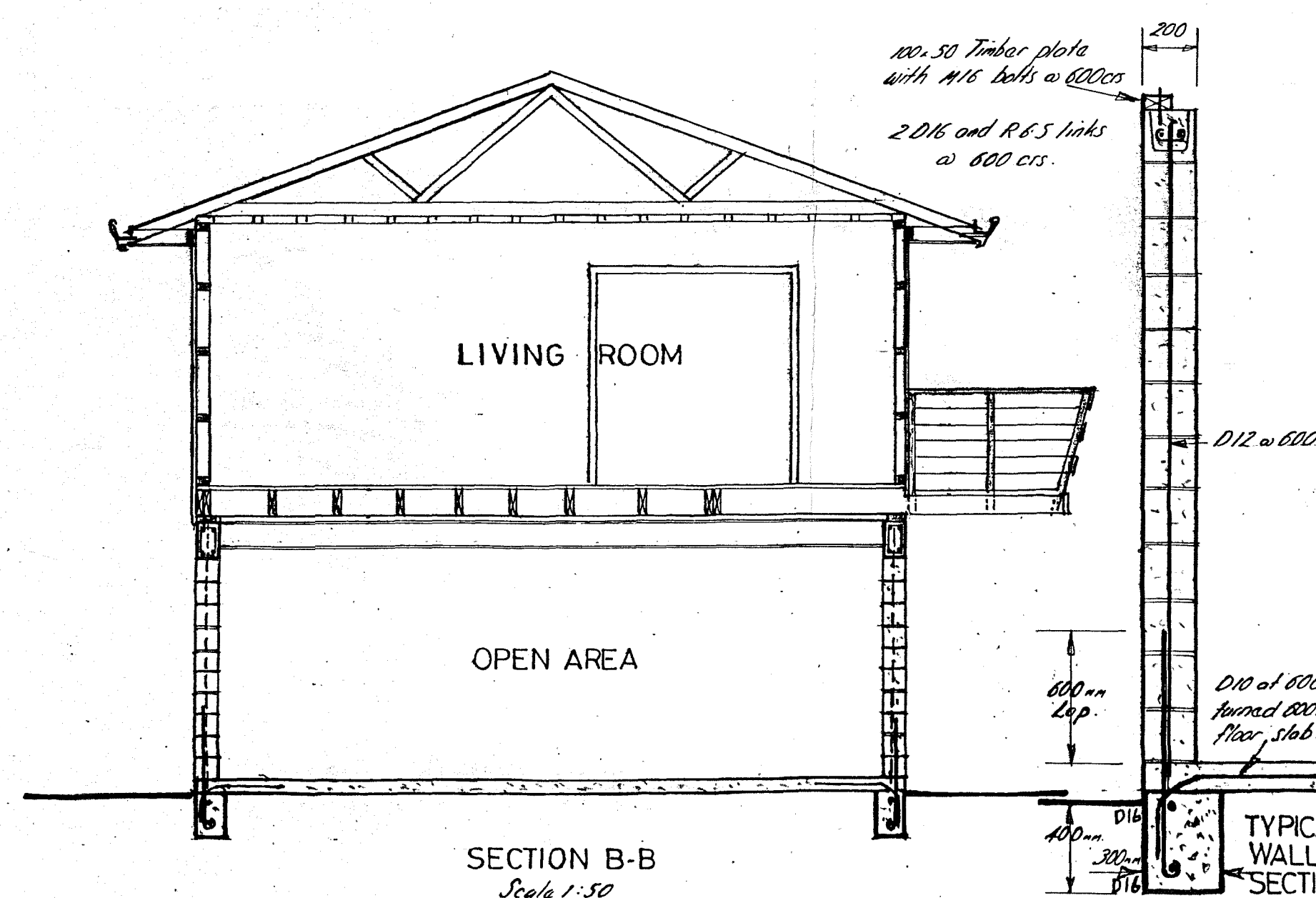
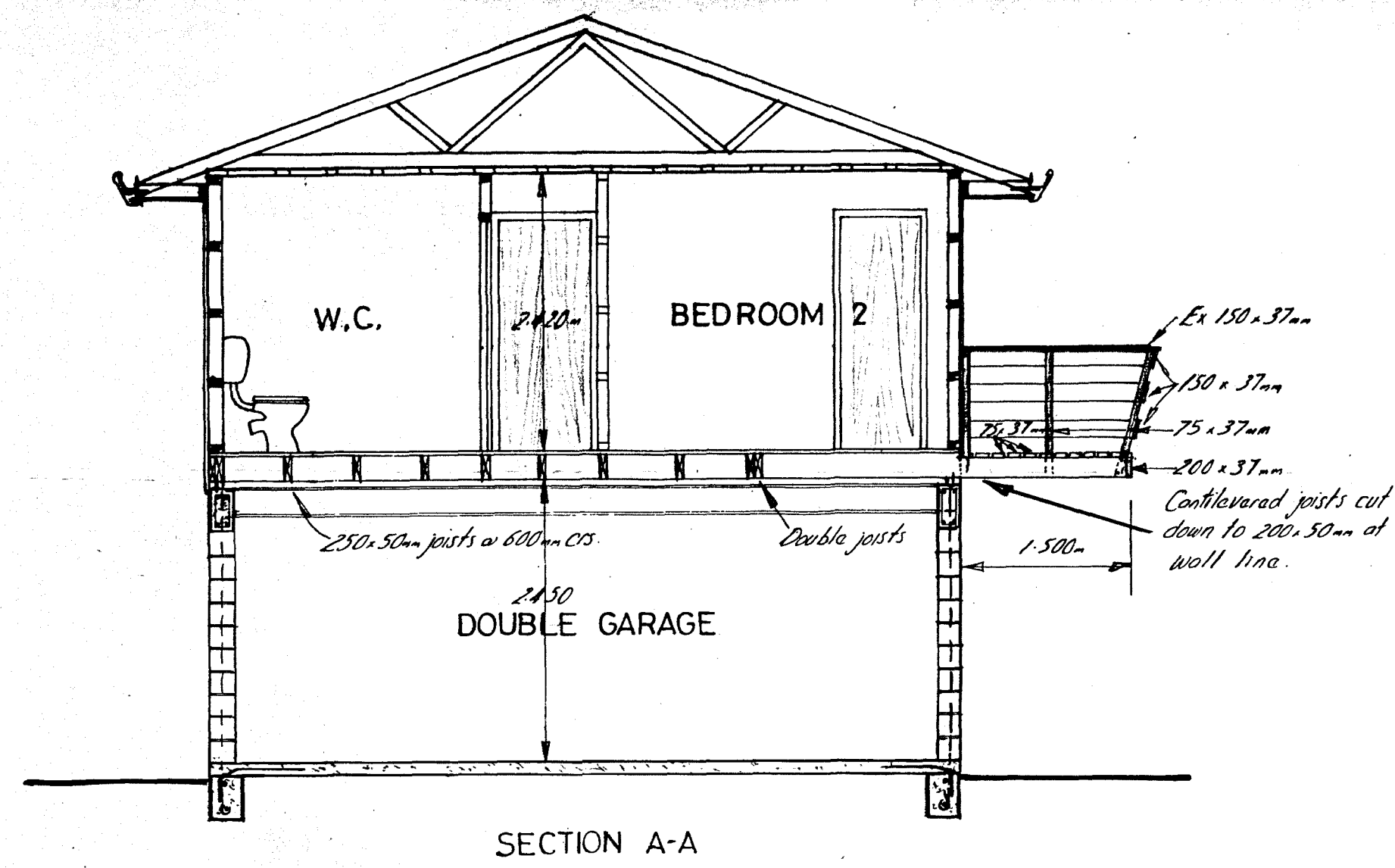


REAR ELEVATION

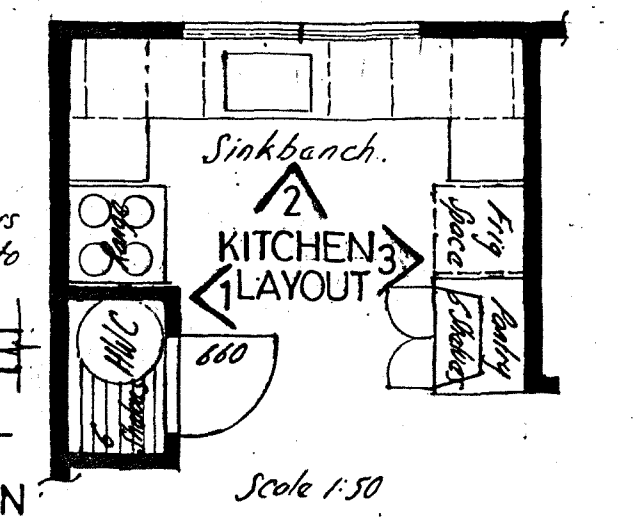
PROPOSED RESIDENCE FOR MR & MRS. L. COLLINS

WAIKAWA BAY

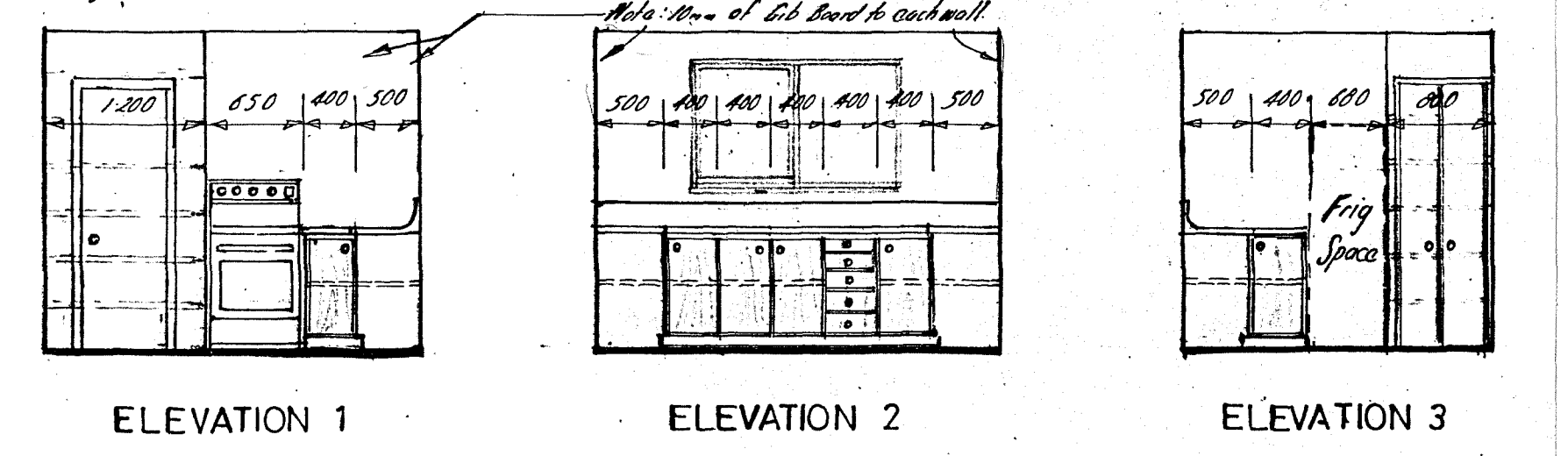
PICTON.



- SCHEDULE**
- Dacrabond Tile Roof
 - 20" Pitch
 - Tile Battens (50x50mm)
 - Plate Trusses @ 900mm C/c
 - Pryda plates or Gang Nail
 - 68x31mm Ceiling Battens @ 400mm C/c
 - 144x31mm Top plate
 - 94x47mm Top plate
 - Taylor Fascia and Spouting system
 - 4.75mm Hardiflex soffit
 - 94x47mm Top plate
 - 94x47mm Studs @ 600mm C/c
 - Woodgrain Hardiplank sheathing
 - 94x47mm Dwarfs @ 600mm C/c
 - Matol L Braces
 - 94x47mm Bottom plate
 - Pyna - Floor flooring
 - 250x50mm Floor joists @ 600mm C/c
 - 200mm Concrete Block to Ground Floor
 - 12mm Ø M.S rods @ 600mm C/c
 - 100mm Concrete Floor
 - D.P.C Mastop
 - 300mm Wide Foundation
 - 2 - D16 Ø Rods
- WINDOW LINTEL SIZES**
To N.Z. STANDARDS 3604
- ELECTRICAL SCHEDULE**
No of Lights =
No of power points =



- ENGINEERS NOTES.**
- All work shall comply with the relevant chapters of N.Z.S 1900.
 - All vertical bar starters shall extend into the foundations with a hook as shown.
 - Where laps are not shown, they shall be 40 diameters.
 - Where designated D, reinforcement shall be deformed bars, where designated R, reinforcement shall be plain bars both being grade 275, complying with N.Z.S 3402P.
 - Where designated H, reinforcement shall be deformed bars of grade 300, complying with N.Z.S 3402.
 - Where not shown, all blockwork shall be reinforced with D-12 bars @ 600mm c/s, at corners, at jombs and other openings.
 - A band beam with 1-D12 bar shall be placed under all eills and 600 beyond each side.
 - Only those cores that are reinforced shall be grouted.
 - All blockwork grout for filling cores shall have a minimum compressive strength of 17.5 Mpa @ 28 days.
 - All mortar mixes shall have a minimum compressive strength of 12 Mpa at 28 days.
 - All block work shall comply with N.Z.S. 1900, Chapter 9.2.
 - All foundation concrete shall have a minimum compressive strength of 17.5 Mpa @ 28 days.
 - All concrete shall be thoroughly vibrated when placed.
 - All reinforcing steel shall be bent to return at all wall junctions
 - Clear out pockets shall be provided at the bottom of all reinforced cores.
 - Should soft clay, peat or filled ground be encountered on the site, the Engineer shall be consulted for additional foundation details.
 - All structural steelwork shall be grade 43 complying with B.S 4360 1972.
 - All welding shall comply with B.S 5135: 1974.
 - 20mm Particle board or fibroboard shall be nailed with 60x2.8mm nails 100mm c/s at the perimeter of the floor, at 150mm c/s at other sheet edges and at 500mm elsewhere.



PROPOSED RESIDENCE FOR MR & MRS. L. COLLINS • WAIKAWA BAY • PICTON.