

101/90

S.W. & T.A. NICHOLS



BC 0101009000

HARTING
APPLIANCE
6/99

79

82

87

Resale 01

Dargaville Office
Private Bag 1001
DARGAVILLE
Phone 09 439 7059
Fax 09 439 6756

KAIPARA DISTRICT COUNCIL

APPLICATION FOR A BUILDING CONSENT

Kaiwaka Office
State Highway 1
KAIWAKA
Phone 09 431 2013
Fax 09 431 2023

6

PART A : GENERAL
(Complete Part A in all cases)

OWNER

APPLICANT

Name S. & T. NICHOLS
Postal Address WAIHUE R.D. 2
DARGAVILLE
Phone Number _____
Fax Number _____

Name JOHN HASPINES
Postal Address 70 A COLLIER RD
DARGAVILLE
Phone Number 09 439 7869
Fax Number 439 7849

PROJECT LOCATION

Address WAIHUE ROAD

LEGAL DESCRIPTION

Valuation Number 101/90
Lot(s) 1 DP(s) 152908
Section _____ Block XII
Survey District KAIHUE

Area of Site _____ hectares / square metres

Nature of soil (rock, clay, sand, loam etc) _____

Floor area (proposed work - square metres)

Basement Ground Floor Other Floors Total

Main Building 27.00 Accessory 27.00 Buildings 54

ESTIMATED VALUE OF WORK
(including GST)

Main buildings \$ _____
Accessory buildings \$ _____
Plumbing & Drainage \$ _____
Total Value of Work \$ 40,000

- ☐ Application for Building Consent only, in accordance with Project Information Memorandum No: _____
☐ Application for Building Consent and Project Information Memorandum

DESCRIPTION OF WORK & INTENDED USE

BROOM / INSULATION

NATURE OF CONSENT

- ☐ New building - exclude domestic garages & domestic outbuildings
☐ Foundations only
☒ Alterations, repairs, extensions, conversions, resiting, installation of heating appliances
☐ Domestic garages & domestic outbuildings
- Intended Life:
Indefinite, but not less than
50 yrs ☐ OR
Specified as _____ yrs
Demolition ☐
Being stage
of an intended stages

OFFICE USE ONLY

Property ID: _____

FEES PAID-ON APPLICATION
(including GST)

P I M \$ 50.00
Building Consent 495.00
BRANZ Levy 40.00
B I A Levy 26.00

TOTAL

611.00

Receipt No: 353256

Date: 21-10-00

G.S.T. 67.88

Signed for and on behalf

Signature: [Signature]

Name: JOHN HASPINES Date: 26/10/00

Please print

Note: Information and forms for vehicle crossings & services eg water connection, sewerage & stormwater connections area available from the front counter at the Dargaville and Kaiwaka offices.

PART B : PROJECT DETAILS

(Complete Part **B** only if you have not applied separately for a Project Information Memorandum)

The project involves the following matters (Tick each applicable box, if any, and attach relevant information in duplicate)

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings
(Site Plan with elevations, topography, drawn to scale)
- ☐ Details of any known or potential erosion, avulsion, falling debris, filled ground, subsidence, slippage, alluvion, inundation, hazardous contaminants on or near the site
- ☐ Provisions to be made for vehicular access, including parking (to be shown on site plan)
- ☐ Provisions to be made in building over or adjacent to any road or public place
- ☐ New provisions to be made for disposing of stormwater and wastewater (to be shown on site plan)
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains
- ☐ New connections to public utilities ie water supply, stormwater system, wastewater system (Note: Council has no agreement with network utility operations to act as their agent)
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise
- ☐ Details of any cultural heritage significance of the building site, including whether it is on a marae, or waahi tapu
- ☐ Copy or reference to, of any resource consent or planning approval for this project
- ☐ Details of volume. Proposed excavations : Include volumes for site preparation, basement and driveway

(Complete Part **C** in all cases) PART C : BUILDING DETAILS

This application is accompanied by (Tick each applicable box, attach relevant documents in duplicate)

- ☒ The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the New Zealand Building Code, with supporting documents, if any, including -
 - ☐ Building Certificates
 - ☐ Producer Statements
 - ☐ References to accreditation certificates issued by the Building Industry Authority
 - ☐ References to determinations issued by the Building Industry Authority
 - ☐ Proposed procedures, if any, for inspection during construction

Code Compliance Certificate

Section 43(3), Building Act 1991

Application

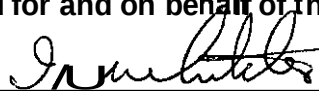
S & T NICHOLS	No.	001676
WAIHUE	Issue date	17/07/01
		17/07/01
RD2		
DARGAVILLE		

Project

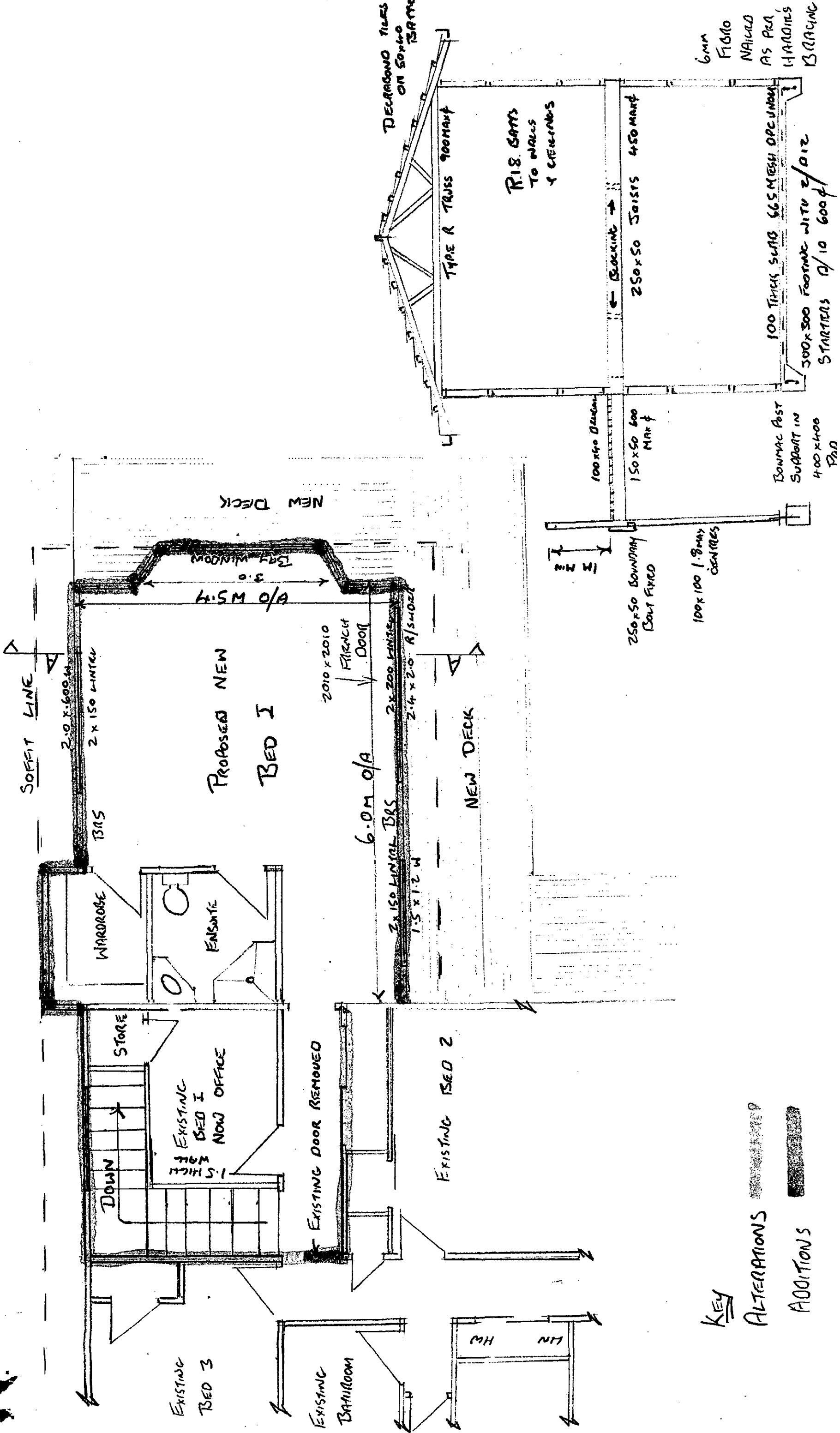
Description	Alterations, Repairs or Extensions
	Being Stage 1 of an intended 1 Stages
	BEDROOM ENSUITE
Intended Life	Indefinite. but not less than 50 years
Intended Use	OWNERS USE
Estimated Value	\$40,000
Location	WAIHUE RD, DARGAVILLE
Legal Description	LOT 1 DP 152908 BLK XII KAIHU SD
Valuation No.	0101009000

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:

Name: 

Date: 17.7.01



KEY

ALTERATIONS

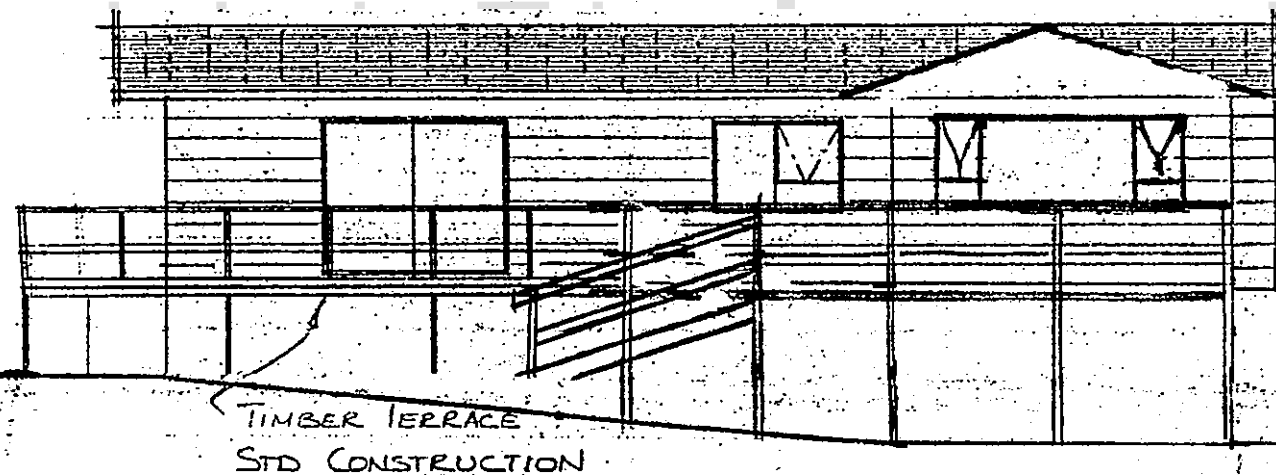
ADDITIONS

KAIPARA DISTRICT COUNCIL

BC 001676

BUILDING INSPECTOR

Proposed Extensions For Mr & Mrs S NICHOLS

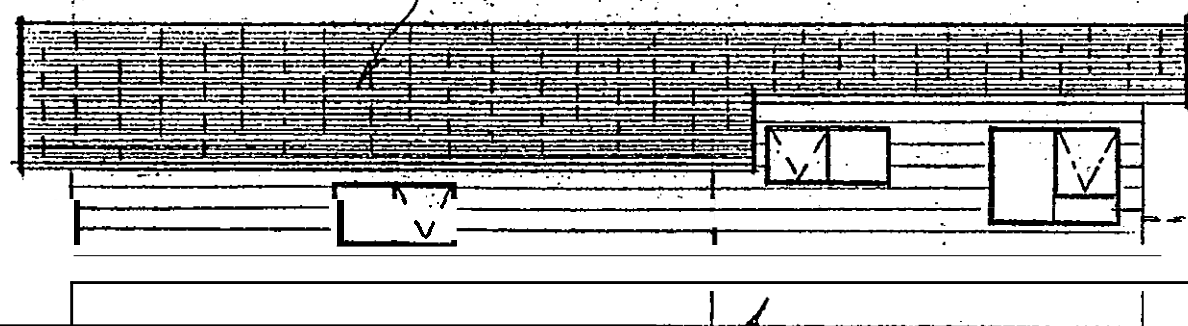


TIMBER TERRACE
STD CONSTRUCTION

SIDE ELEVATION

POLYACRYLIC DECRAMASTIC TILE ROOF 'COFFEE BR'
BUILDING PAPER & NETTING UNDER

12 1/2°

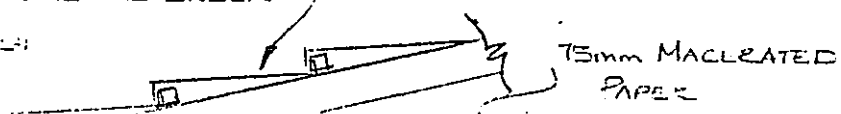


6mm FLAT FIBROLITE BASE

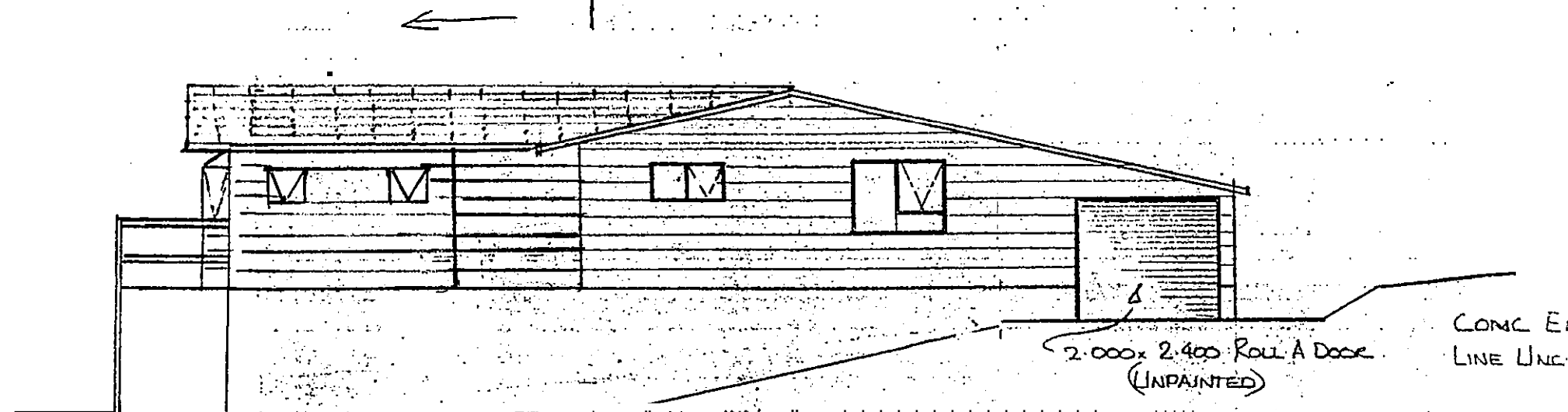
SIDE ELEVATION

POLYACRYLIC DECRAMASTIC TILE ROOF
BUILDING PAPER & NETTING UNDER

12 1/2° P-SH



75mm MACLEATED
PAPER



2.000x 2.400 ROLL A DOOR
(UNPAINTED)

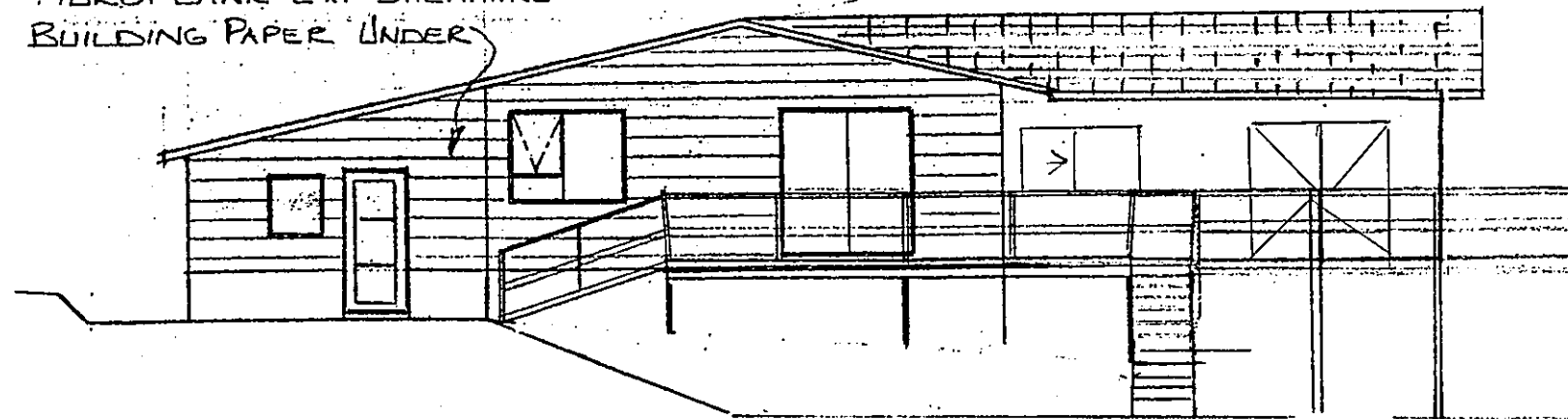
COMC E
LINE UNCL

1200x1250

REAR ELEVATION

STORMWAY
RESERVOIR
PUMP

FIBROPLANK EXT SHEATHING
BUILDING PAPER UNDER



ROAD ELEVATION

UNIFOIL 400 DRAPED MIN

JV

BUILDING INSPECTORS ADVICE OF PAYMENT

Form No. 5594

Receipt No. 353256 Date 31.10.00 Amount \$ 611.00

KAITIAKI DISTRICT COUNCIL

PROGRESS CHECK SHEET FOR A BUILDING CONSENT

Valuation Reference:	<u>101/90</u>
Name of Applicant:	<u>S. & T. NICHOLS</u>
Consent Required For:	<u>ADDITION OF BEDROOM - BASEMENT</u>
	<u>001676</u>
OBJECTION TO RELEASE OF INFORMATION:	<u>YES/NO</u>

Sent To Applicant

Building Consent ☒ PIM ☒
 Various Receipts ☒ Inspection Checklist ☒
 One Copy of Approved Plan and Specification Submitted with Application ☒

<i>no footing inspection requested: Photos taken of footings? Consider request for pre-drill statement from master builder</i>
<i>28-11-00 Prelim inspection: Moisture content a moisture 16% to plus 30%</i>
<i>bracing etc OK</i>

DGW/dgw

KAIPARA DISTRICT COUNCIL Inspection Checklist

Note: This form is to be kept on site at all times together with the approved plans and

REQUIRED INSPECTIONS		BUILDING CONSENT NO, 001676			
NOTE: One days notice is required for all inspections (A day means one Council Working day) inspections relating to this consent are those highlighted in the following list.					
CONTACT: KAIPARA DISTRICT COUNCIL TELEPHONE: Dargaville(09) 439 7059 FAX: (09) 439 6753 Paparua (09) 451 7019 FAX: (09) 431 7017		APPROVED		Re-check	Initial
		YES	NO		
✓ Foundations	Excavations level and clean, reinforcement in place starters tied, with correct clearances prior to placement of concrete.				
Subfloor	Sub floor bracing and connectors, crawl space, dpc.				
✓ Floor Slab	Damp proofing and/or reinforcement in place, correct clearances, plumbing & drainage pipes in place and protected, damp proofing continuous to the exterior face of the building.				
Masonry	Inc. bond beams, reinforcement in place, starters tied, bottom of core & ports clean, plumbing & drainage pipes in place				
✓ Prelining	At the stage where exterior cladding and joinery is in place, but prior to the erection or fixing of internal linings. includes plumbing in walls under test, framing, bracing, moisture content, insulation, fixings for subfloor.		✓	✓	J-V.
Insulation	Skillion roofs, solid construction (where insulation cannot be seen at the preline stage).				
✓ Gib Nail	Sheet bracing and insulation, double skin firewalls.				
Brick Veneer	When the veneer reaches sill height (brick ties, weep holes, clean cavities, steel lintels which support brickwork).				
✓ Sanitary Drainage	Manholes, benching, test on lines bedding SS connection, septic tank & irrigation installations prior to backfilling.				

Stormwater Drainage	All drains, manholes, connection to SW system soak holes in place but prior to covering up.				
Disconnect Sanitary Drainage	Demolition work, capping sewer.				
✓ Completion	Weathertightness, flashings, doors, deviation from plans, building, plumbing, drainage, free standing fire unit completion of all work authorised by this				

NOTE: DEPENDING ON THE **FORM** OF CONSTRUCTION SOME **OF** THESE INSPECTIONS COULD BE INCORPORATED INTO ONE INSPECTION.

Building Consent Section 35, Building Act 1991

Application

S & T NICHOLS	No.	001676
WAIHUE	Issue date	31/1/00
		31/1/00
RD2	Application date	31/10/00
DARGAVILLE		

Project

Description	Alterations, Repairs or Extensions
	Being Stage 1 of an intended 1 Stages
	BEDROOM ENSUITE
Intended Life	Indefinite, but not less than 50 years
Intended Use	OWNERS USE
Estimated Value	\$40,000
Location	WAIHUE RD, DARGAVILLE
Legal Description	LOT 1 DP 152908 BLK XII KAIHU SD
Valuation No.	0101009000

Charges

The Council's charges paid on uplifting this Building Consent, in accordance with the attached details are:

	\$	545.00
Building Research Levy	\$	40.00
Building Industry Authority Levy	\$	26.00
Total	\$	611.00

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Signed for and on behalf of the Council:**Name:****Date:** 3-11-00

Project Information Memorandum

Section 31, Building Act 1991

Application

S & T NICHOLS	No.	001676
WAIHUE	Issue date	3/11/00
		3/11/00
RD2	Application date	31/10/00
DARGAVILLE		

Project

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stages BEDROOM ENSUITE
Intended Life	Indefinite, but not less than 50 years
Intended Use	OWNERS USE
Estimated Value	\$40,000
Location	WAIHUE RD, DARGAVILLE
Legal Description	LOT 1 DP 152908 BLK XII KAIHU SD
Valuation No.	0101009000

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act **1991**, and any requirements of the building consent.

This project information memorandum includes:

___ Information identifying relevant special features of the land concerned

Signed for and on behalf of the Council:



Name:

Date: 3-11-00

KAIPARA DISTRICT COUNCIL

ATTACHMENT TO PROJECT INFORMATION MEMORANDUM NO 001676

INSPECTORATE

PLANNING

ENGINEERING

(A) Wind Zone rating for site Low Medium High ✓ Very High (3) Durability : Classification of Exposure Zones Sea Spray Zone Zone 1 ✓ Zone 2 (C) Provisions being made with regard to building over or adjacent to a road or public place are acceptable Hoardings) Gantries) N/A Temporary Support) (D) Provisions made for demolition are adequate Removal of materials from site) Dust Extraction) N/A (E) The site is known to be affected by hazardous contaminants which may impact on the proposed project Chemical Contamination) Underground Tanks) N Asbestos) = Known (F) Licences required to operate, subject to Bulwark Consent being granted Health Licences) Resource Consent) N/A	complies with District Plan Zoning (B) The bulk and location of the proposed project complies with the restrictions of the District Plan know to affect the site d project Protected Tree Restrictions) Historic Site Restrictions) None Known ceptable (E) Resource Consent Required - No Nature of required consent NOTE: The Northland Regional Council Transitional Regional Rule for small domestic sewage treatment systems, requires that there be a two metre separation between the lowest point of a septic tank effluent field and the highest ground water level. As this can only be determined by an examination of your site it is recommended that you seek professional advice on this point. If you cannot obtain the required separation it will be necessary to apply to the Northland Regional Council for a resource consent to discharge effluent.	(A) The site is known to have soil conditions which will have impact on the proposed project Fill) Erosion) Slippage) None Known Poor Bearing Capacity) (B) Site is known to be prone to flooding or lies within an overland flow path - No (C) Proposed methods for building over or near service pipes acceptable? - N/A (D) Proposed) acceptable Stormwater Disposal On Site Foulwater Disposal N/A Water Connection N/A (E) Proposed location) access acceptable Location) N/A Traffic Implications) (F) Restrictions which may be imposed owing to potential impact on traffic Signs N/A
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PART D : **KEY PERSONNEL**

(Complete Part D As far as possible in all cases. Give names, addresses and telephone numbers.
Give relevant registration numbers if known)

DESIGNER(S)

Name _____

Address _____

Phone Number _____ Fax Number _____

BUILDER

Name JOHN HASTINGS

Address 70A COLVILLE RD

Phone Number 7869 Fax Number _____

DRAINLAYER

Name DRAGON & KILLICK

Address _____

Phone Number _____ Fax Number _____

PLUMBER

Name _____

Address _____

Phone Number _____ Fax Number _____

CERTIFIERS

Name _____ Reg No _____

Address _____

Phone Number _____ Fax Number _____

Certifying _____

Name _____ Reg No _____

Address _____

Phone Number _____ Fax Number _____

Certifying _____

RELEASE OF INFORMATION

Council provides building consent information to a number of organisations. Included in this is the names of applicants and the location of the projects. Much of this information has to be supplied in terms of the Local Government Information Act, however we can withhold personal identification if you wish. Please indicate below if you object to release of identifying information.

I WISH TO OBJECT TO THE ISSUE OF IDENTIFYING INFORMATION ON MY PROJECT

☐

PART E : COMPLIANCE SCHEDULE DETAILS

E1 : SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

(Complete Part E1 for all new buildings and alterations, except single residential dwellings)

The building will contain the following (Tick ☐ each applicable box and attach proposed inspection, maintenance and reporting procedures.

- ☐ Automatic Sprinkler systems or other systems of automatic fire protection
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire
- ☐ Emergency warning systems for fire and other dangers
- ☐ Emergency lighting systems
- ☐ Escape route pressurisation systems. Riser
- ☐ Mains for *fire* service use
- ☐ Any automatic back-flow preventer connected to a potable water supply
- ☐ Lifts, escalators, or travelators or other similar systems
- ☐ Mechanical ventilation or air conditioning system serving all or a major part of the building
- ☐ Any other mechanical, electrical, hydraulic or electronic system whose proper operation is necessary for compliance with the building code
- ☐ Building maintenance units for providing access to the exterior and interior walls of buildings
- ☐ Such signs as are required by the building code in respect of the above-mentioned systems
- ☐ None of the above

E2 : OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

(Complete Part E2 only if the building contains one or more of the systems listed in Part E1)

The building will contain the following (Tick ☐ each applicable box and attach proposed inspection, maintenance and reporting procedures)

- ☐ Means of escape from fire
- ☐ Safety barriers
- ☐ Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- ☐ Hand-held hoses for fire fighting
- ☐ Such signs as are required by the building code or Section 25 of the Disabled Persons Community Welfare Act 1975

HOBSON COUNTY COUNCIL

P.O. Box 39,
Dargaville

(Office, Hokianga Road, Dargaville)

Phone 7059
Dargaville

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTOR

Sir,

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan (overleaf) detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:—

OWNER Name MR. C. PARKER
Postal Address 69 HOKIANGA RD DARGAVILLE Phone 7855

BUILDER Name
Postal Address Phone 83778

EXISTING USE OF SITE **AND** BUILDINGS

NATURE OF PROPOSED BUILDING WORK ERECT A DWELLING
e.g., additions to Dwelling, Bedroom, Lounge extensions etc.

VALUATION DEPT. ASSESSMENT No.: (from rate demand) 101/51/1

LEGAL DESCRIPTION OF SITE: (from rate demand or title deeds) P+ Lot 19,
D.P 10667, BLOCK XII, KAIHU S.D, 149 ACRES.

Road or Street: AWAKINO VALLEY ROAD

AREA OF SITE: 14.9 Acres Roods Perches
 Hectares

NATURE OF SOIL: (rack, clay, sand, loam, etc.)

FLOOR AREA: (proposed work — square measure)

	Basement	Ground Floor	Other Floors	Total
Main Building		<u>99.621m²</u>	<u>33.760m²</u>	<u>133.381m²</u>
Accessory Buildings				

ESTIMATED VALUE OF WORK.

Main Buildings (excluding plumbing and drainage) \$ 27068-00

Accessory Buildings (excluding plumbing and drainage) \$

Plumbing and drainage \$ 15500

Total Value of Work \$ 28618-00

CERTIFICATE: I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Hobson County Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant E. Stiff

Date 2.4.79

FOR OFFICE USE ONLY

FEES:

Building Permit	\$ <u>72-00</u>	Receipt No. <u>6748</u>	Date <u>11/4/79</u>	Permit No. <u>1044, 706</u>
Plumbing and Drainage Permit	\$ <u>17-00</u>	Receipt No. <u>6749</u>	Date <u>"</u>	Permit No. <u> </u>
Building Research Levy	\$ <u>29-00</u>	Receipt No. <u>6750</u>	Date <u>"</u>	<u> </u>
TOTAL	\$ <u>118-00</u>			

FOR OFFICE USE ONLY

TO ADMINISTRATIVE OFFICER:

Date Received

Check list: Forms completed () Valuation No. () Fees received ()

Remarks:

..... Signature: Date:

TO PLANNING OFFICER:

(Check with District Planning Scheme. Refer to Council if required)

Approved by County Chairman Signature: Date:

Checked and approved by Officer Signature: Date:

TO HEALTH INSPECTOR

(Check for Drainage, Health etc.)

Checked and approved Signature: Date:

TO BUILDING INSPECTOR:

(Check for by-laws etc.)

Checked and approved Signature: Date:

REMARKS:

.....

.....

.....

.....

PERMIT TO BE ISSUED SUBJECT TO:—

.....

.....

GENERAL INFORMATION

(1) The following MUST accompany this Application:

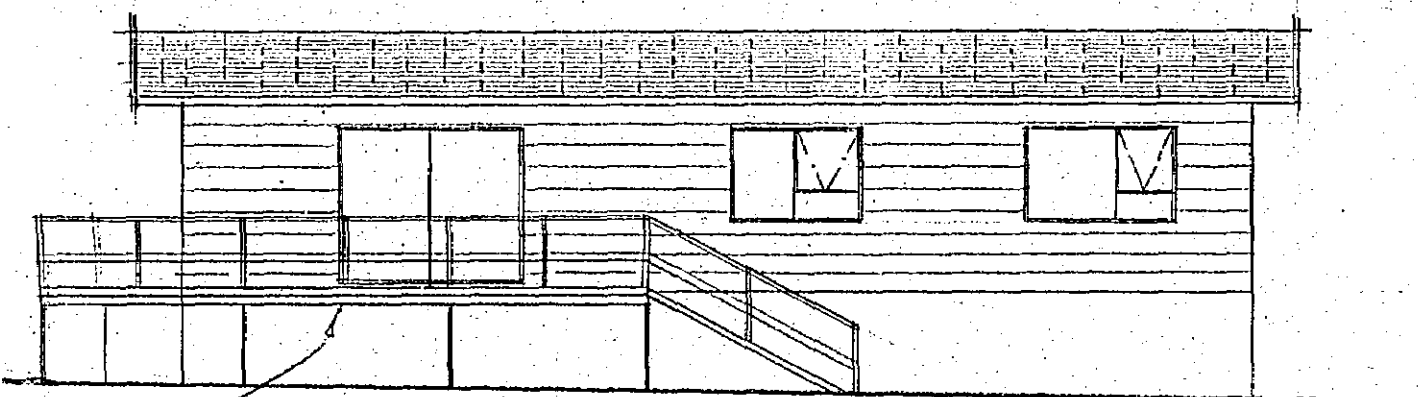
PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATION (in ink or on print paper) including—

- (a) Ground plans of proposed work showing position of all sanitary fittings and names and sizes of various rooms.
- (b) Where the building is on a sloping site the correct height of foundations must be shown.
- (c) Front and side elevations.
- (d) Cross section showing framing with bracing.
- (e) Where a building requires Plumbing and Drainage work a separate Application Form must be filled in and fee paid before a Building Permit can be issued.
- (f) Application for entrance crossing from road
- (g) Such drawings and information in detail as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the By-laws.
- (h) A report and calculations showing how the design complies with the By-laws in the case of building requiring specific design.

(2) FEES may be forwarded later on advice of availability of permit and the amount of fees required.

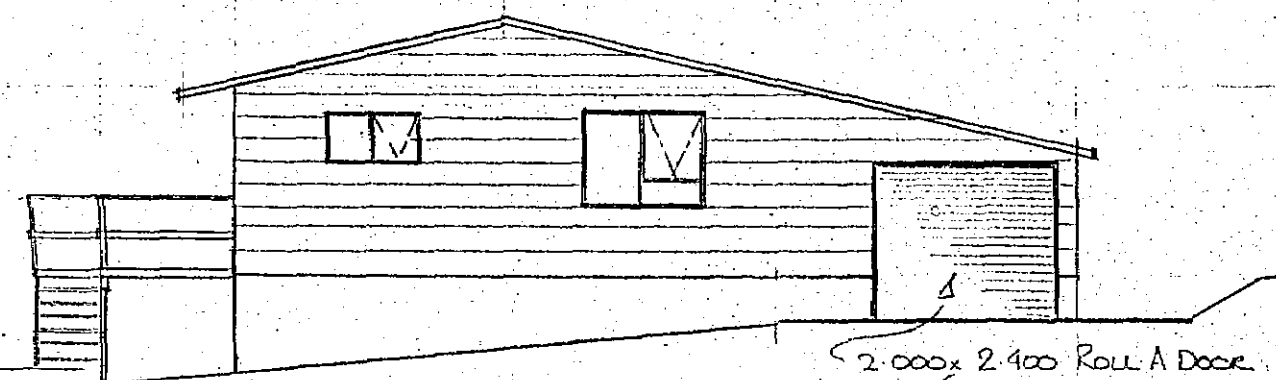
NB

SITING TO BE CONFIRMED ON SITE
BY OWNER BEFORE CONSTRUCTION
COMMENCES.



TIMBER TERRACE TO JEEVES
STD CONSTRUCTION

SIDE ELEVATION



2.000 x 2.400 ROLL-UP DOOR
(UNPAINTED)

REAR ELEVATION

CONC. ENCASE SEWER
LINE UNDER GARAGE

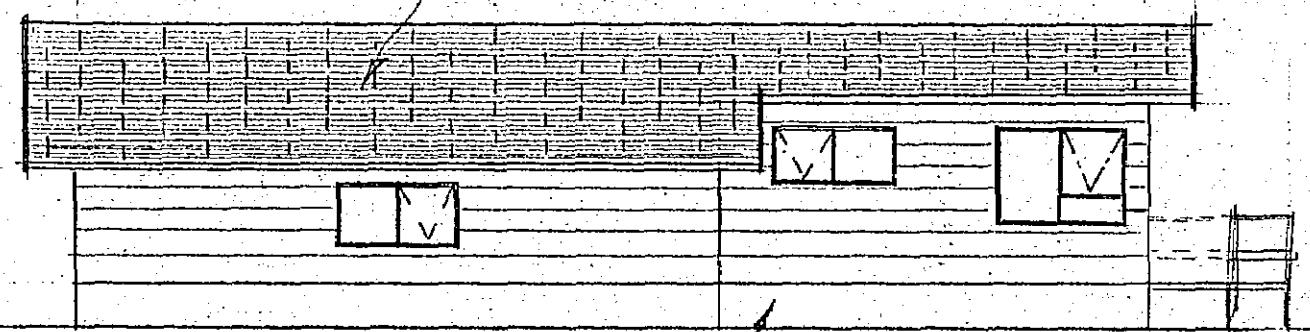
1200x1200 SOAK PIT

STORMWATER TO 5000 GAL
RESERVOIR & PRESS
PUMP

SEWERAGE TO SEPTIC TANK
& 50m EFFLUENT

45.000

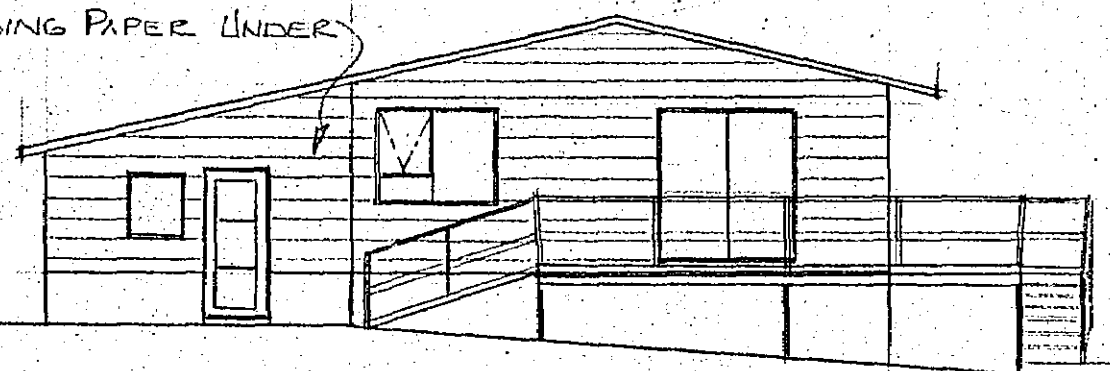
POLYACRYLIC DECRAMASTIC TILE ROOF "COFFEE BROWN"
BUILDING PAPER & NETTING UNDER
12 1/2°



6mm FLAT FIBROLITE BASE

SIDE ELEVATION

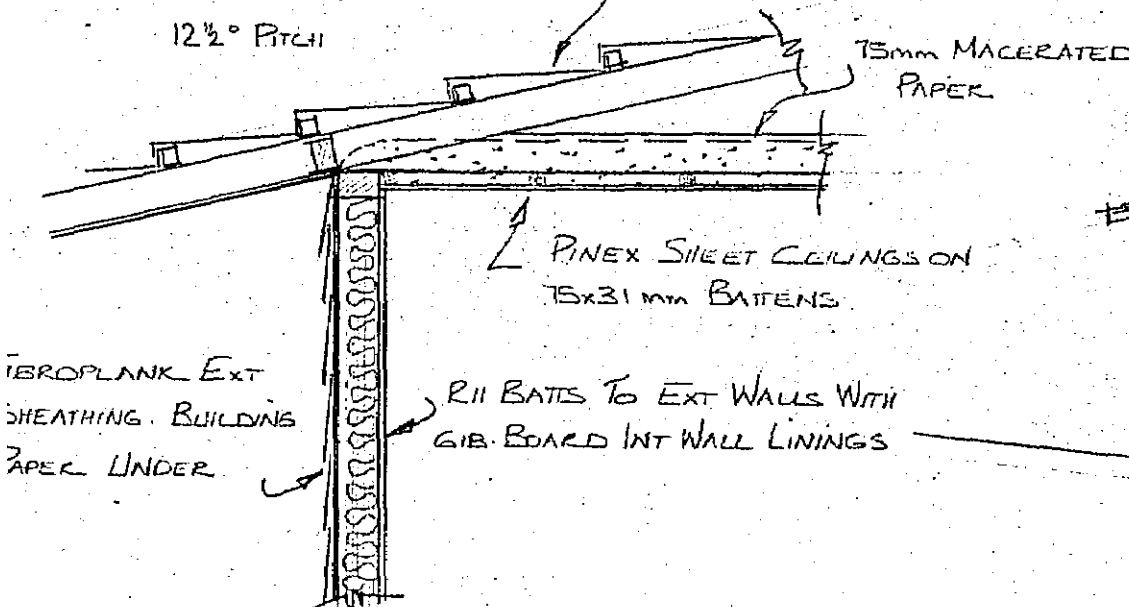
FIBROPLANK EXT SHEATHING
BUILDING PAPER UNDER



ROAD ELEVATION

P/Lot 19
DP10667
BLOCK X11
KAIHU S.D.
149 ACRES.

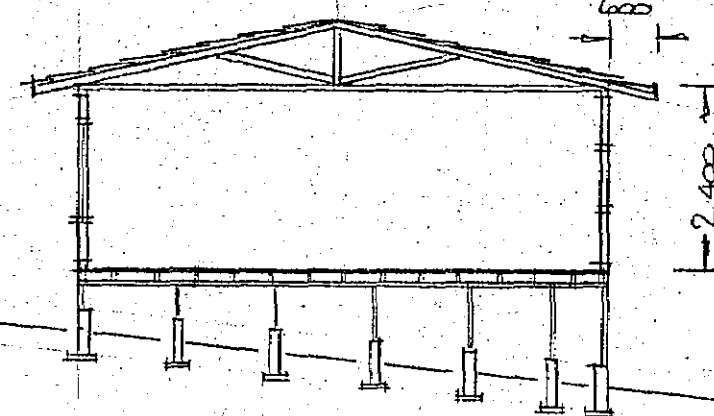
POLYACRYLIC DECRAMASTIC TILE ROOF
BUILDING PAPER & NETTING UNDER
12 1/2° PITCH



PINE SHEET CEILINGS ON
15x31mm BATTENS

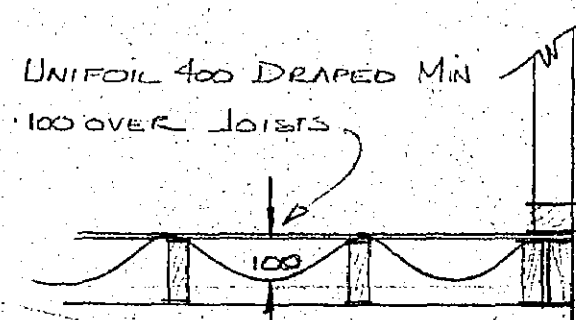
R11 BATS TO EXT WALLS WITH
GIB. BOARD INT WALL LININGS

FIBROPLANK EXT
SHEATHING. BUILDING
PAPER UNDER



SECTION A-A

UNIFOIL 400 DRAPED MIN
100 OVER JOISTS



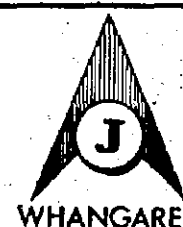
FLOOR INSULATION
R-VALUE = 1.5m²°C/W
(BRANZ SHEET F1)

AWAKINO VALLEY ROAD

WALL INSULATION
R-VALUE = 1.5m²°C/W
(BRANZ SHEET W11)

CEILING INSULATION
R-VALUE = 2.2m²°C/W
(BRANZ SHEET C10)

JEEVES
HOMES
BOX 551
KAKA ST.



PROPOSED RESIDENCE
FOR MR. G. PARKER
AT AWAKINO VALLEY ROAD
DARGAVILLE
Levels shown are approximate only

FINANCE
C.

DRAWN P.W.A. DATE 2-11-78
PLAN No. 501
REVISED 23/3/79 (SHWR/LAWD)
AREA
ROOF CONST. GANG NAIL TRUSS 452

ADDENDUM BY OWNER

1 ACCESS
2/EXCAVATION
3/POWER TO BUILDING SITE.

DOOR SIZES

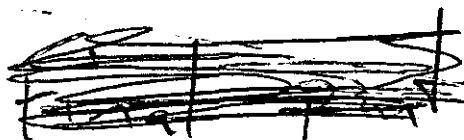
Urgent want to
in 18 Aug 79

Geoff Parker

Awaking Valley Rd

Just past flex
mill

Jeeves Sign



\$500 left to pay

Check joists
Conn. to house
on patio.
Has P&D insp
been done?

Vents to toilet & bathroom
not as per plan - only 300x300 of pegboard
into ceiling space.

JEEVES CONSTRUCTION LTD.

KAKA STREET, WHANGAREI

P.O. BOX 551

Phone : 83-779

Date 9/4/79.

MEMO TO

THE BUILDING INSPECTOR.
HOBSON COUNTY COUNCIL
DARGAVILLE.

SIR,

HEREWITH AMENDED

FOUNDATION PLAN FOR MR. G. PARKER'S

RESIDENCE AT AWAKINO VALLEY ROAD

DARGAVILLE. TRUSTING THIS IS SATISFACTORY

P. Amos

JEEVES CONSTRUCTION LTD.

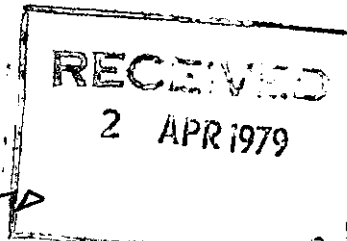
H O B S O N

C O U N T Y

C O U N C I L

Phone 1208,
DARGAVILLE.

P.O. Box 39,
DARGAVILLE.



JEEVES CONSTRUCTION LTD
Box 551
WHANGAREI

30-3-79

Dear Sir,

This is to advise that your application for a permit to ..ERECT A
DWELLING.....FOR G. PARKER.....OF.....
.....AWAKINO VALLEY.....IN THE HOBSON
COUNTY.....

has been approved and the relevant permits are available for issue upon payment of the following fees:

(a) Building Permit	\$72-00
(b) Plumbing & Drainage Permit	\$ 17-00
(c) Building Research Levy	\$ 29-00

TOTAL

\$118-00

Yours faithfully,

A handwritten signature in cursive script, appearing to read "N. Newby".

N. NEWBY,
BUILDING INSPECTOR.

H O B S O N

C O U N T Y

C O U N C I L

APPLICATION FOR PERMIT FOR DRAINAGE AND/OR PLUMBING WORK

The County Clerk;
Hobson county Council,
Private Bag,
DARGAVILLE.

I, the undersigned hereby
apply for permission to have the work described herein and set out in the
plan attached hereto, carried out in the premises situated in AWAKING VALLEY RD
DARGAVILLE and situated on land legally
described as P.T. LOT 19, DP 10667, BLOCK XII KAIHU S.D.

Asst. No.....

Name & Address of person for whom) MR. G. PARKER
work is to be carried out 169 HOKIANGA RD DARGAVILLE

Name of Plumber C & S PLUMBERS(Undertaking such work)

Name of Regd. Drainlayer C & S PLUMBERS(Undertaking such work)

Description of Work

State type of premises HOUSE.....(e.g. house, beach cottage, shop
factory etc.)

State extent of work PLUMBING AND DRAINAGE TO
MEW DWELLING AS TO LOCAL COUNTY
COUNCIL REQUIREMENTS

(e.g. Urinal, W.C., septic tank, bath, shower, washbaths, water reticulation,
(Hot water reticulation, stormwater drainage or sanitary drainage - and
(whether new, additional, renewal or repair.)

Estimated Value of Work

Drainage \$ 650.00
Plumbing \$ 900.00

\$ 1550.00 total

(These amounts should be the real value of the work as opposed to the possible
cost of work or materials.)

Dated 3.4.79

Signature S. Stiffe

SEE NOTES ON REVERSE

FOR OFFICE USE ONLY

Received \$ 17.00

Approved for permit

Receipt NO. 6749

Permit NO. 1244

Date. 11/4/79

Issued.. ..

Scale of Permit Fees payable:

Estimated Value of Work:

Fee Payalbe

Not exceeding \$50	\$1.00
Exceeding \$50 but not exceeding \$100	\$2.00
Exceeding \$100 but not exceeding \$200	\$3.00
Exceeding \$200 but not exceeding \$400	\$5.00

Plus \$2.00 for every \$200 or part thereof in excess of the first \$400

Plan

A suitable plan should be provided here indicating position, and length of the walls of the **building**, the position of sanitary fittings, the proposed position of drainage and septic tank, distances from boundaries and the position and dimensions of effluent disposal.

General

In this County sanitary plumbing work may be carried out by **any** person. However such work must comply with the Drainage and Plumbing Regulations, 1959.

Sanitary drainage work is required to be carried out by a registered drainlayer.

Septic tanks, soak pits or field tile effluent soakage systems must be situated no closer than 10 feet from a building and no closer than 5 feet from boundaries.

In general a field tile soakage system for a dwelling shall consist of a trench at least 100 feet long, 18" wide and 18" deep placed on a suitable contour. The system shall be completed by **laying** in such trench 2" clean metal to a depth of 6", then 4" field tiles surrounding same with metal to a height to at least 2" above the field tiles, then cover metal with Polythene sheet or **similar** material prior to backfilling with top soil.

THE HEALTH INSPECTOR WILL BE PLEASED TO FURTHER ADVISE RE. ANY INSTALLATION.

SPECIFICATION

for

PROPOSED RESIDENCE

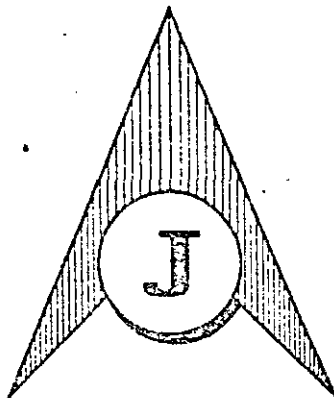
at

DARGAVILLE

for

MR. G. PARKER

Presented by



JEEVES HOMES

URANCHES THROUGHOUT NORTHLAND

HEAD OFFICE: KAKA STREET, WHANGAREI, P.O. BOX 551

CONTRACT: This contract includes the supply and delivery of all materials, labour, fittings, plant, etc., necessary for the due and proper completion of the building as shown on the drawings and herein specified in a workmanlike manner and in accordance with the local by-laws.

PERMITS: Contractor to comply with the labour and building by-laws of the district, to apply for and to obtain all the necessary permits and to pay all fees for same. Vehicle crossings charges are not included.

PROVIDE AND FIX: The words "Provide and Fix", shall be constructed to mean "Provide" and "Fix" where mentioned separately, unless otherwise specified.

INSURANCE: The employer to have all his employees covered against accident by an "Employers Liability" policy and to take out insurance against fire with an insurance office for a sum sufficient to cover 100% of the contract sum, both to remain in force until the building is taken over by the owner.

WORKMANSHIP: All workmanship must be in accordance with normal trade practice, and all materials must be suitable for their proposed use.

INTERPRETATION: Work or materials shown on the plans and not specified, or specified and not shown must be supplied as though both shown and specified. Materials shown but not specified must be of the kinds commonly used for the service they are intended to perform. Figured dimensions shall supersede those to scale. Only items shown on the appropriate plan shall apply, whether or not they are included in the specifications.

ALTERATIONS: No alterations to plan or specifications will be permitted after the job has gone to production, except where the "materials" clause is enforced, unless alterations are authorised and paid for prior to being carried out.

MATERIALS: Any materials herein specified that are not procurable at the time they are required, thus tending to retard the progress of the contract may be substituted with other suitable materials, provided that the substituted materials conform to the local by-laws and the Lending Institution. Any difference in cost will be adjusted at the completion of the contract,

MAINTENANCE: Period to be thirty days after the owner has taken possession. Any parts that require adjusting, which have been included in this contract shall be adjusted or replaced as specified in this specification at the contractors own expense. This applies to requests in writing only, received within the maintenance period.

CONTINGENCIES: Provision is to be made by the builder and owner to meet any contingencies that may arise due to fluctuations in the prices of various materials or labour. Should there be either a rise or fall in the price of labour or materials from the date the tender is submitted until the final payment, an adjustment to the Contract Price is to be made accordingly.

EXCAVATE: Excavate as required for all site levellings, foundations, footings, block walls, waterpipes, etc., to the various depths, levels and grades required for the erection of the building and its appurtenances. All subsoil from the foundations and other excavations is to be deposited on the site unless otherwise specified. All topsoil and vegetation to be removed from under concrete floors.

ADDITIONAL WORK: Any additional work to that specified herein and in the said plans and specifications which shall be required by the local authority or by the Lending Institution, shall be notified by the builder to the client and the extra cost (if any) of such additional work shall be added on to the contract price and paid to the Builder by the Owner on the completion of the job.

SITE & ACCESS: The owner will be responsible for ensuring that the section is fully pegged with survey pegs correctly numbered and flagged, and for the provision of all weather access for the vehicles of the builder and sub-trades. Owner to remove from building site all obstructions, trees, heavy growth, etc.

ROCKS: The removal of reef or large rocks from foundations or drainage excavations will be considered an extra to the contract.

DOUBTFUL BEARING: The owner shall be responsible for the cost of any additional costs to those provided for by this specification and the accompanying drawings, through encountering ground of doubtful bearing capacity or for landslides resulting from causes beyond the control of the contractor.

MATERIALS: Cement must be Portland Cement, conforming in all respects to B.S.S.

SAND: All sand shall be clean, of mixed grades, and free of organic matter.

WATER: Used for concrete must be clean and fresh.

CONCRETE: All concrete work to be carried out in accordance with the local by-laws and the Lending Institution requirements. For general purposes the mixture shall be 6 parts of cement to 1 part of Portland Cement. All to be well mixed and tamped into trenches and boxing immediately after mixing.

BOXING: If boxing is required it must be well fitted together and wetted before the concrete is placed.

FOOTINGS: To be constructed in 6:1 concrete and reinforced with approved M.S. rods and lapped not less than 40 diameters 30 diameters for DMS steel (see plan for size)

PILES: To be 600 x 200 x 200 precast concrete bedded on 100 x 300 x 300 concrete pads and brought up to 300 mm above ground level. Arrange piles at not more than 1.35 m centres in each row.

CHIMNEY: Chimney footings to be 150 mm thick concrete slab reinforced with 12 mm M.S. rods at 300 mm centres both ways and taken down to at least 275 mm and made 150 mm wider than the chimney. Chimney to be built up in pre-cast concrete blocks or brick as shown on plan. Line inside of fireplace with firebricks and form firebricks back. Provide and fix a colonial grate and fire back and hobs on each side.

VENTILATORS: Build into base walls mouse proof ventilators of an approved manufacture and max 1800 cfs and 750 cfs from corners. Recessed fibrolite bases do not require base ventilators.

PORCH FLOORS & STEPS: Steps and porches will generally be reinforced concrete fixed in accordance with good trade practice, or as indicated on plan.

DAMP PROOF COURSE: Cover all concrete and brick faces in contact with timber work with one layer of three-ply malthoid or other approved damp proof course.

BRICK LAYER

FOOTINGS: To be constructed in 6:1 concrete.

MATERIALS: Type as shown on plan.

MORTAR: Shall be composed of 1 part of ply-mortar to 3 parts of clean sharp mixed washed sand, properly mixed on a watertight platform not more than twenty minutes before using. Add 1 part of portland cement to 3 parts of the above. Lay 1 layer water proof mortar to render water proof.

WIRE TIES: To be at max 500 mm crs horizontally and 335 mm crs vertically.

VERRIN PROOF: Wit? 6 mm netting to perimeter of building.

WORKMANSHIP: The whole of the brickwork is to be built up by skilled tradesmen, all joints ~~must~~ be struck jointed mortar. Angles and intersections shall be properly bonded. Required openings and chases to be provided for as indicated on plans.

200 mm CONCRETE BLOCK BASE: To be of approved manufacture.

BRICK VENEER: Build brick work clear of the wooden framing, care being taken to keep the framing free from mortar droppings. Flush up the mortar on the back of the walls as the work proceeds. Build mouseproof galv. vermin strips secured to the bottom wall plate and taken 25 mm into brickwork. Point the face joints as the work proceeds. Build in window frames as detailed and set on either brick or precast concrete sills. Clean down the face of all brickwork on completion. Brick cavity to be minimum 37 mm.

BASEMENT GARAGE: Retaining walls if required to be 200 mm blockwork to the satisfaction of the Local Authority Building Inspector.

FIRE SURROUND: To be constructed on site with random split stone. Tiled hearth, unless otherwise specified.

TERRACE: To be constructed if shown on plan, according to details.

CARPORT: Where shown on plan construct carport to Local Authority's requirements and to plan.

CARPENTER AND JOINER

FRAMING: All timber work shall be framed, trussed, braced and assembled in a workmanlike manner and in accordance with normal trade practice. All materials are to be laid true to their various levels and constructed in a proper tradesmanlike manner to make the whole of the works a sound construction, and to comply with local by-laws and to the satisfaction of the Building Inspector.

BEAMS: To N.Z.S.S. requirements.

JACK STUDS: To be 100 x 75 mm as scheduled, wired to the blocks. Brace between jack studs with 100 x 50 diagonal bracing where required. For Jack Studs over 1800 mm see structural detail plan.

BEARER PLATES: To be 100 x 75 mm spaced as shown. All joints to be made over piles.

FIBROLITE BASE: The fibrolite shall be 6 mm thick fixed with 40 mm x 20 g galv. clouts. Support at 760 mm centres vertically and 760 mm horizontally. Framing timber to be heart native timber or treated timber. Where floor height is over 1200 mm with fibrolite and w/board there shall be a 125 mm concrete wall returned 1350 mm at corners finished at least 300 mm above ground. Reinforce with double 12 mm rods carried round corner panels within 50 mm of top 75 mm bottom and ends and in addition connected vertically at the corner by 2/12 mm rods hooked over the top and bottom rods.

FLOOR JOISTS: To be 150 x 50 at 450 mm centres, gauged to an even surface and nailed to all stringers and plates. All joints to be over a solid bearing. Allow for double joists where main bearing partitions run parallel with the joists. Increase the size of joists where Casement garage is shown as on plan. Herring bone or solid nogging required to spans of more than 2400 mm.

CONCRETE FLOORS: To have 12 mm $\emptyset$ bolts at 1350 mm crs for fastening ext plates.

PLATES: All to be straight and in long lengths.

STUDS: To be double nailed to all plates with 75 mm and 100 mm nails. Place 100 x 50 studs to openings over 900 mm and trimmers onto studs. Stud height to be average 2400 mm to living areas.

BRACES: Wherever possible brace every 4500mm of external walls to all external corners with pryde bracing checked flush into studs. Brace internal bearing partition with pryde purpose made angle bracing diagonally.

NOGGINGS: Allow for three rows of noggings to all walls.

TRUSS ROOFS: If shown on plan to be of approved manufacture as per plan.

SOFFIT: Frame for flat soffit to eaves out of 75 x 25 mm and 75 x 50 bearers and 150 x 25 fascia board. Line soffit of eaves with 4.75 mm flat fibrolite or any other approved material and underlay.

EXT SHEATHING: As detailed on plan.

PORCH WALLS: To be lined as exterior walls with building paper under, unless otherwise stated on plan.

D.P.C.: Place malthoid between all concrete or masonry and timber.

TIMBER JOINERY: All exterior door and window jambs and sills to be grooved, throated and constructed in a proper tradesmanlike manner and primed before fitting.

ALUMINIUM JOINERY: To be of approved manufacture and sizes as shown on the plan.

FLOORING: All flooring shall be 18 mm H.D. Particle Board fixed to manufactured specification. All floor surfaces must present a level face and be kept as clean as practicable during the construction of the job. All care but no responsibility regarding stains on floors.

FLOOR SANDING: On completion of the house, finish all floors with first cut machine sanding.

INSULATION: Place R" fibreglass batts insulation to exterior walls and ceilings of living accommodation only. Place unifoil 252 under flooring with 100 mm sag between floor joists or fixed under floor joists.

INTERIOR LININGS: All walls to be lined with gibraltar board sheets. Sheets to be nailed with 30 mm galv. F.H. nails. All stopping to be done with stopping plaster to an even surface. This does not include basements, garages or basement garages unless otherwise stated on the plan.

CEILING: (N.Z. Forest Products 12 mm Insulating sheets). Fixed in accordance with the manufacturer's recommendations.

<u>MATERIALS</u>	<u>SIZE</u>	<u>GRADE</u>	<u>REMARKS</u>
Jack Studs	100 x 75	Approved by Local Authority	1.380 entr
Stringers	100 x 75 & 100 x 100	" "	2.450 "
Wall Plates,	100 x 50	" "	
Sruds Ext	100 x 50 & 100 x 75	" "	400 "
Braces Ext	Pryde / 100 x 50	" "	
Approved Trusses	100 x 50	" "	900 "
or Rafters Iron Roof	100 x 50 & 150 x 50	" "	900 "
Rafters Dec Tile	100 x 50 & 150 x 50	" "	900 "
Rafters Tile Roof	100 x 50 x 150 x 50	" "	450 "
Purlins	75 x 50	" "	750 "
Valley Boards	150 x 25	" "	
Ridges Iron & Tile Roof	150 x 25	" "	
Eaves Board	75 x 25	" "	
Nogging Ext	100 x 50	" "	Dependent on spacing and loading
Studs Int.	75 x 50 & 100 x 50	" "	600
Plates Int.	75 x 50 & 100 x 50	" "	
Noggings Int.	75 x 50	" "	675 max.
Ceiling Joists	100 x 50	" "	Iron Roof
Roof Struts	100 x 50	" "	Iron Roof (1.800 entr) Tile Roof (1.380 entr)
Collar Ties	150 x 50	" "	1800 crs
Ceiling Battens	75 x 31	" "	400 crs

<u>MATERIALS</u>	<u>SIZE</u>	<u>GRADE</u>	<u>REMARKS</u>
Facings Ext	75 x 25 & 100 x 25	Approved by Local Authority	
Flooring	18 Particle Board	" "	
Window Jambs & Sills	18	" "	
Door Sills Ext.	150 x 50 - Ex 50 mm	" "	
Door Jambs Ext.	150 x 40 - Ex 40 mm	" "	
Scotia	50 x 25 bevelled	" "	
Door Jambs Int.	25	" "	
Architrave	37 x 12	" "	
Skirting	" " "	" "	
Floor Joists Spans	125 ≈ 50	Spans	1950 mm
	150 x 50	"	2350 mm
	200 x 50	"	3125 mm
	225 x 50	"	3600 mm
	250 x 50	"	4650 mm
	300 x 50	"	5100 mm

CORNICES: Cornices to all rooms shall be stock wooden scotia, except where shown otherwise on plan.

DOORS & THEIR FRAMES: External door frames and sills shall be of D.A. Heart Rimu or approved treated timber. Jambs and heads out of 100 x 50. Sills out of 150 x 62. Internal door frames shall be out of 25 dressed rimu or similar approved timber.

DOOR SCHEDULE: (or as indicated on plan)
(paint finish)

Interior (main) -
1980 x 760 mm
Fig. 2 flush 3/81 mm A.C. Butts.

W.C. & Bathroom -
1980 x 660 mm
Fig. flush 3/87 mm A.C. Butts.

Wardrobes -
1980 x 660 mm
Fig. 2 flush 2/87 mm A.C. Butts.

Kit Cupboards -
12 mm thick (minimum)
Surface mounted 2 CP rebate butts.

Front -
1980 x 860 mm
(as on plan)

Back -
1980 x 810 mm
(as on plan)

SINK TOP: Builders special ~~laminex~~ or as indicated on plan.

KITCHEN CUPBOARDS: All kitchen cupboard units shall be built of an approved manufacture and shall be to the dimensions shown on the plan. They shall be positioned as shown on the floor plan. Allow for false floors and toe spaces on units standing on the floor. Kitchen cupboard doors shall be hung on one pair of hinges and shall have fasteners fitted. Dresser and buffet tops shall be ~~laminex~~ unless otherwise shown on plan.

HOT WATER CUPBOARD: To be constructed where shown and to be fitted with two shelves.

WARDROBES: To be lined with wall board and to have 300 mm wide full length hat shelf and one coat rail.

LINEN CUPBOARD: To be constructed as shown on plan with fitted shelves.

TOWEL RAILS: Provide and fix one chrome plated towel rail in bathroom (900 mm long approx..)

BATHROOM: Provide and fix in bathroom toilet cabinet recessed into the wall, with mirrors as sliding doors. Bath to be build in.

METER RECESS: Provide recess for electrical meter board where directed. Recess to be lined with gibraltar board or similar approved material.

MANHOLE: Provide ceiling access with a removable panel.

LAUNDRY: Provide in laundry a single stainless steel tub and fix on standard cupboard unit.

P L U M B E R

MATERIALS: All materials used by the plumber must be of accepted standard and must conform to all or any governing regulations or by-laws. Any part or parts omitted from this specification which are useful or necessary to complete this work in a proper manner shall be taken as though specially mentioned.

FLASHING: Flash all openings through the roof and windows where necessary to make a water-tight job as required.

SPOUTING: Unless otherwise specified, provide and fix 24 g. galv. iron spouting supported on heavy galv. iron brackets fixed at 900 mm centres. Spouting to have graded fall to down pipes.

DOWNPIPES: Provide and fix 75 mm galv. iron downpipes in suitable positions.

WASTE PIPES: and vent pipes to be P.V.C. unless shown otherwise on plan. Carry waste pipes from all fittings with traps, cleaning eyes, etc, as required. All P.V.C. installations to comply with local body specifications.

COLD WATER SUPPLY: Lay a cold water supply from main at boundary in 12 mm dia. piping. Provide and fix water meter if required. Provide and fix stopcock in suitable accessible position. Lead 12 mm branches to sink, basin, shower, tub. All piping and fittings must be of an approved brand.

HOT WATER SUPPLY: All piping in connection with the hot water system shall be in copper. Lead from cold water supply line to hot water system in 12 mm piping. Provide and fix "Ajax" valve or similar. Provide and fix a 30 gallon hot water cylinder and take 18 mm branches to bath, 12 mm to sink, basin, shower and tub. All pipe fittings must be of an approved brand with flanges for securing to framing. Provide drain pipe from H.W.C. to outside wall, subject to Council requirements.

W.C. PAN: To be flushed by a 3 gallon capacity cistern of approved manufacture and fitted with all necessary fittings. Connect to pan with 37 mm flush pipe.

TAPS: "Methven" taps with "Crystalline" Gold Dome Tops. The bath to have 18 mm C.P. taps and kitchen sink to have 2 12 mm C.P. pillar cocks, the laundry to have 2 12 mm C.P. taps and the exterior taps to be 12 mm brass with hose connection. All C.P. taps to be marked "HOT" and "COLD" respectively.

BATH: Provide and fix one first quality 1500 mm white standard bath.

BASIN: Provide and fix one Plix wall basin on cupboard where shown on plan. If Vanity unit, please refer to plan for details.

WASTES: To be P.V.C. subject to Council requirements. Bath, sink and tub to have 37 mm traps and wastes. Basin to have 30 mm trap and waste, All wastes to discharge into Gully traps. Provide any necessary anti-syphonage. All sanitary plumbing to be installed by a registered plumber, approved by the health department and the Health Inspector.

H A R D W A R E

GENERAL: Provide and fix all ironmongery and metalwork to complete the contract in standard hardware unless otherwise specified. (Sylvan - Mahogany knobs)

DOORS: Front door (night latch). Back door (lock set). Main interior doors (latch set). W.C. and bathroom (snibset). Base door (pad bolt). Kitchen cupboards, fit cupboard catches and handles. Wardrobe linen H.W. lin. etc. one roller catch - Mahogany knob.

E L E C T R I C I A N

MATERIALS: Materials used by the electrician must be of an approved manufacture and must conform to the regulations of the Power Board and Local Authority.

WORKMANSHIP: The whole of the electricians work must be carried out in compliance with the regulations of the said Power Board and the Underwriters Association by duly licensed Tradesmen.

WIRING: Wire the electrical system with tough plastic sheathed and insulated cables. Connection boxes shall be used with the plastic cable and wiring shall be concealed where practical.

MAINS: Where tough rubber sheathed or plastic sheathed cables are installed as service mains the cable terminate in an approved mains entry box fixed to the outside of the building as close as practicable to the service line termination. Subject to the supply authoritys approval the point shall be installed with the service mains where so required by the Local Authority.

METER PANEL: Provide and fix one meter panel where directed.

POWER POINTS: Provide and fix flush switch plates to all points. (Total 8)

SCHEDULE OF LIGHTS: One to each room and front and rear porch.

WATER HEATER: Wire element and thermostat to switchboard and fix control switch.

STOVE: P.C. am \$350.00.

ELECTRIC WASHER: Not supplied in contract

HOT WATER SERVICE: Supply with 75/cw element and thermostatic control to H.W. Cylinder (plumber to install)

ELECTRIC HEATER: If shown on plan allow to supply and install an electric heater.

D R A I N L A Y E R

SCOPE: To provide and supply a system of house waste drainage in conformity with the local authority by-laws and to the inspectors approval.

DRAINAGE: All drainage work to be undertaken by a registered drainlayer and approved by a drainage inspector. Excavate for and lay all necessary drains from Gully traps and W.C. to sewer. All sanitary sewer pipes and connections to be 100 mm of approved systes. Pipes to be laid true and to a fall. All joints to be flexible type. Site drainage, owners responsibility.

STORMWATER: As directed by the Inspector, or as per site plan.

COMPLETION: Arrange for all drainage to be inspected and tested by the Inspector of the Local Authority. After inspection, testing and approval by the Inspector, refill the trenches and leave the area affected by the drainage operations reasonably tidy.. Any excess spoil is the responsibility of owner.

P A I N T E R

MATERIALS: All materials used in this trade must be of approved manufacture and used according to the specifications of the manufacturer.

WORKMANSHIP: Must be of a good standard and carried out by skilled tradesmen.

EXTERIOR WOODWORK: All exterior woodwork to receive one coat of approved priming. Fatty all nail holes and finish with two coats of approved paint as selected except where weatherproof stain is used (2 coats only).

CEMENT ASBESTOS SURFACES: Finish with two coats P.V.A. or acrylic resin emulsion paint where necessary.

SPOUTING: To be given 2 coats of approved paint as selected.

ENAMEL: Kitchen, bathroom, laundry, W.C., walls and ceilings. Woodwork and cupboards are to have a priming coat on woodwork, a sealing coat and undercoat on gibraltar board 2nd then given one coat of enamel in shades as selected. Interior of all cupboards, pantry unpainted. Wardrobe to receive 1 coat flat paint only.

BASES: Block-bases unpainted. Fibrolite bases one coat.

CEILINGS: Ceilings not enamelled are to be given two coats of approved paint.

INTERIOR FINISHING: All interior timber not enamelled or painted is to have one coat of an approved clear seal. Stop all nail holes and defects with matching putty and apply two coats of clear varnish. Inside of sashes and window frames are to be painted.

NUMBER OF COLOURS: Maximum allowance of 3 different colours per room.

ROOFING: Not included in contract.

G L A Z I E R

Sashes generally shall be glazed by an experienced glazing firm. All bathroom and W.C. sashes shall be obscured glazed. . All clear glass to be of drawn-plate quality.

P A P E R H A N G E R .

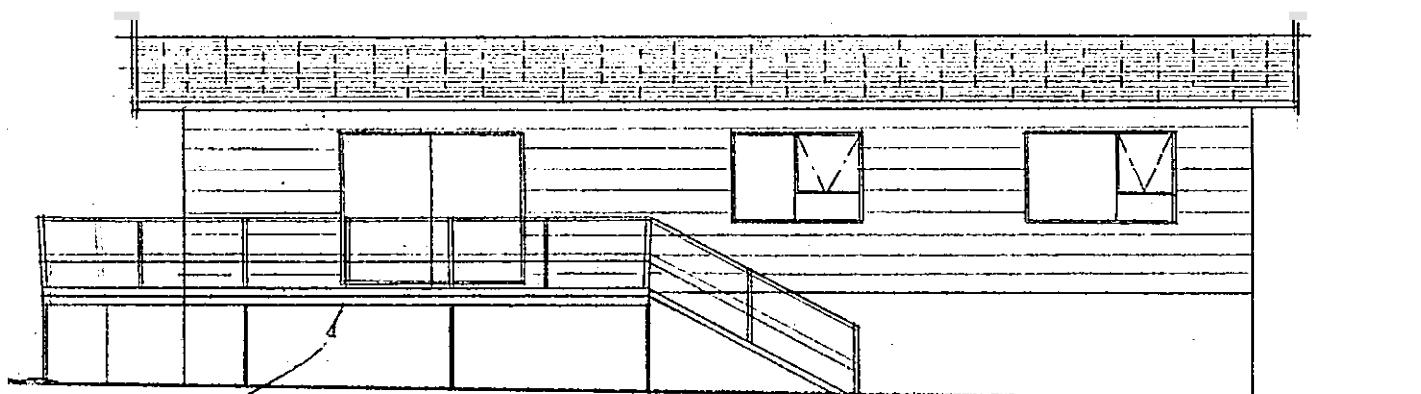
All walls except where otherwise specified shall be papered with selected papers. The paperhanger must ensure that all walls are free from blemishes of any sort that will show on the finished work. Allowance of \$5.00 average per roll for the purchase of selected wallpapers. All paper shall be hung true and plumb and neatly cut to all architraves, skirtings, fittings etc. Jeeves accept no responsibility for white or gold wallpapers. Extra will be charged for hanging vinyl or fabrene and grass weave type wallpaper.

S O L I D P L A S T E R E R

Where steps are plastered, the finish to be the equal of a fine plastered finish.

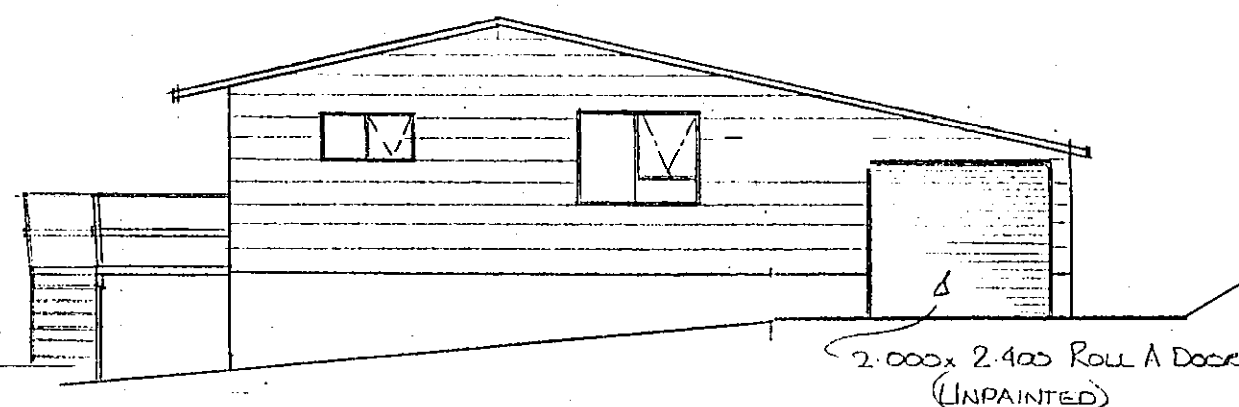
NB

SITING TO BE CONFIRMED ON SITE
BY OWNER BEFORE CONSTRUCTION
COMMENCES.



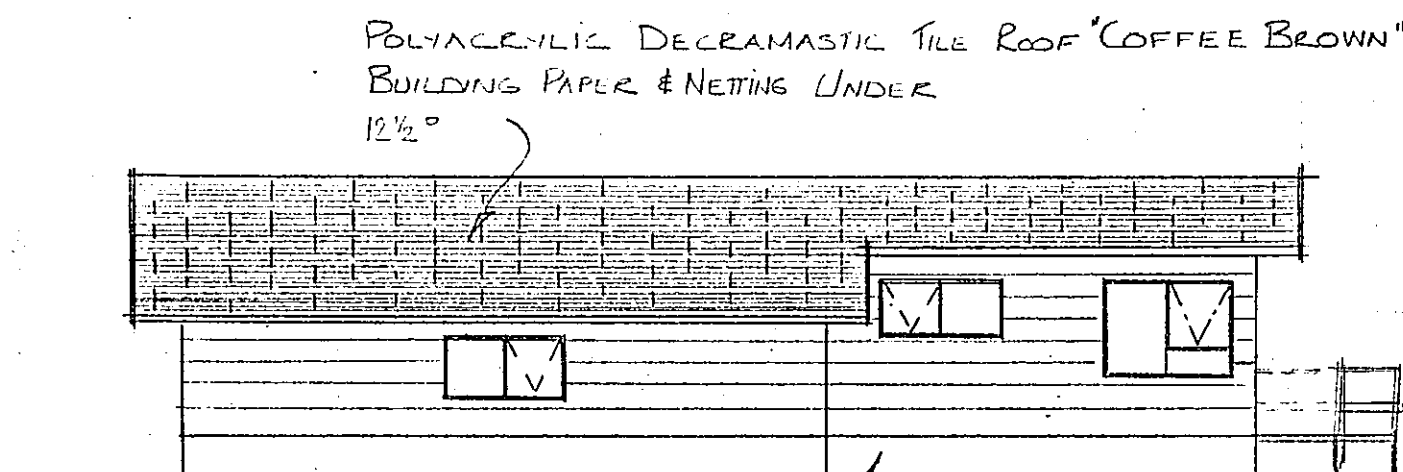
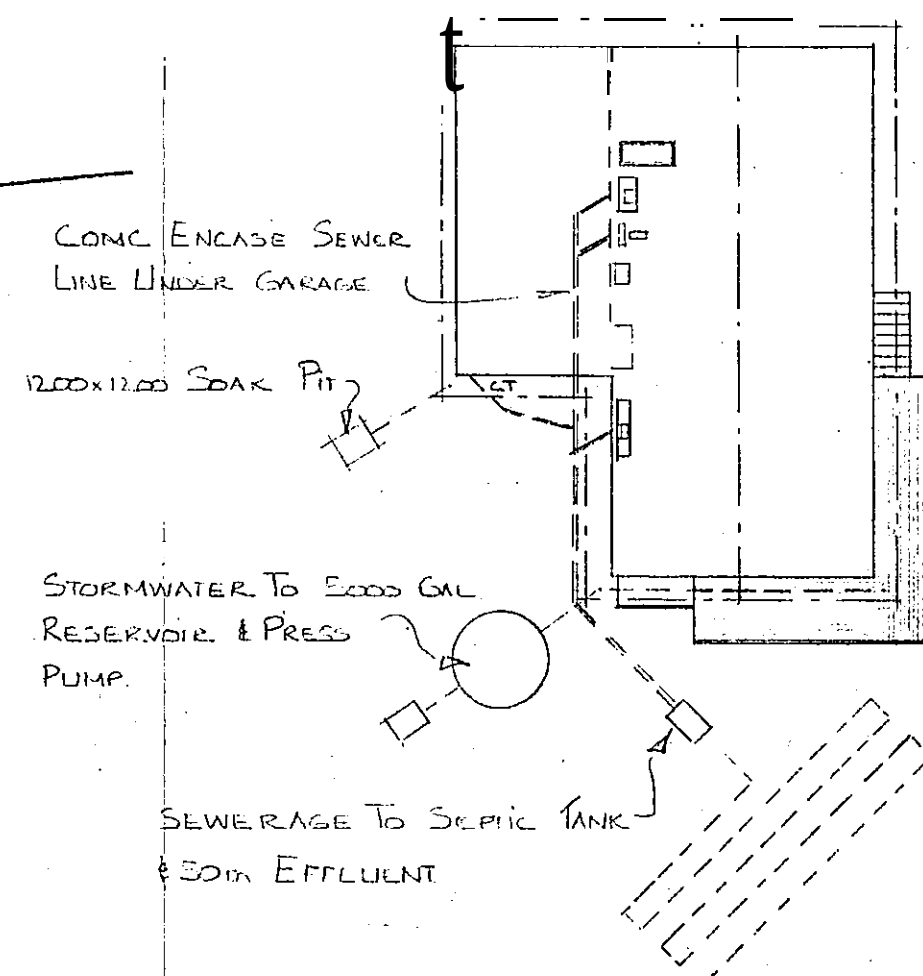
TIMBER TERRACE TO JELVES
STD CONSTRUCTION

SIDE ELEVATION



2.000 x 2.400 ROLL A DOOR
(UNPAINTED)

REAR ELEVATION

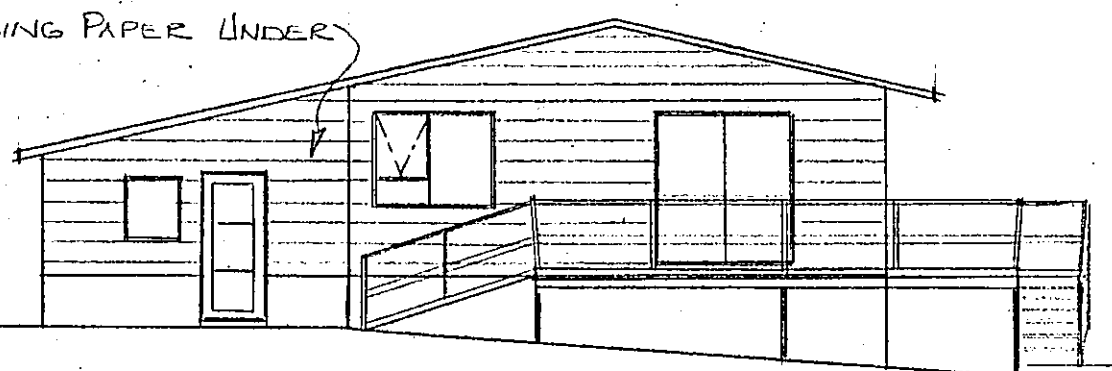


POLYACRYLIC DECKAMASTIC TILE ROOF "COFFEE BROWN"
BUILDING PAPER & NETTING UNDER
12 1/2°

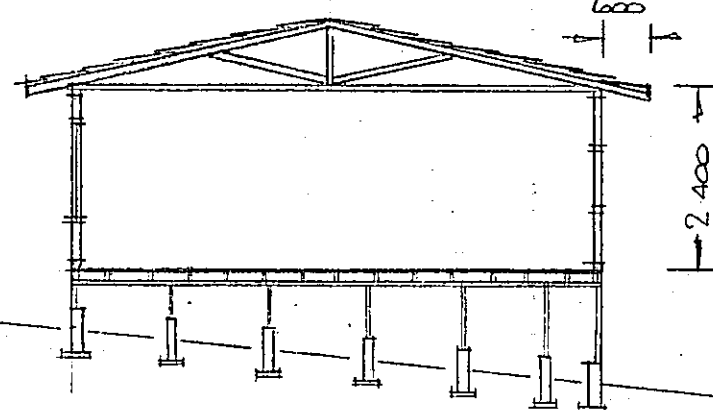
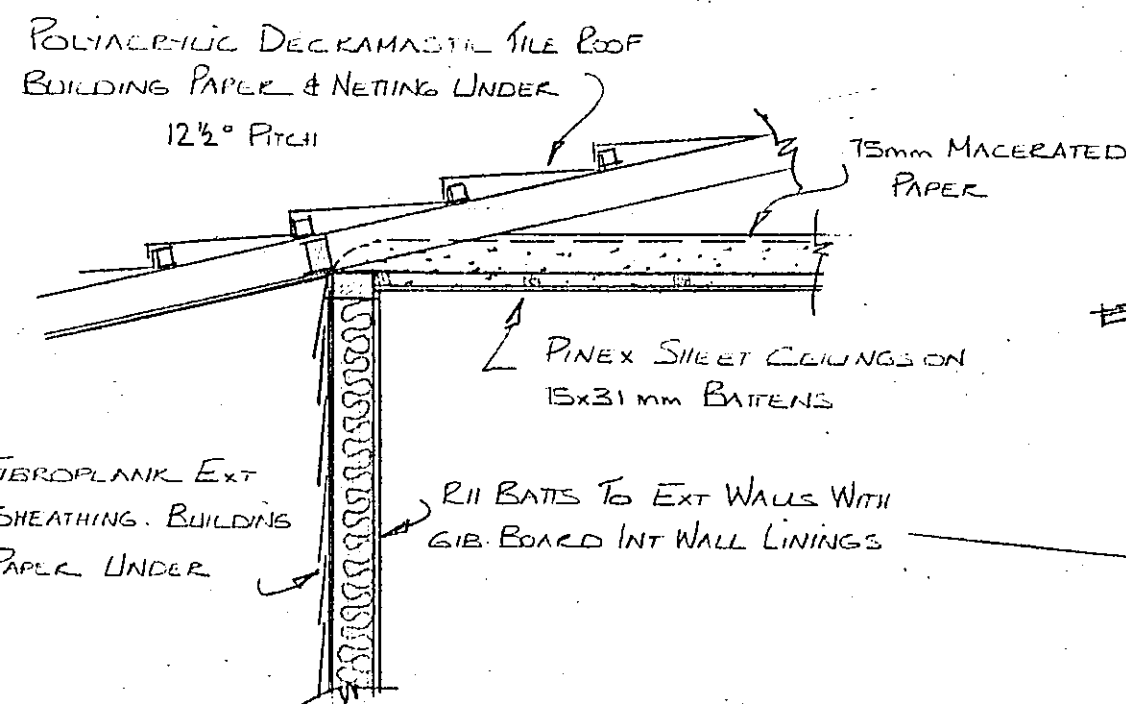
6mm FLAT FIBROLITE BASE

SIDE ELEVATION

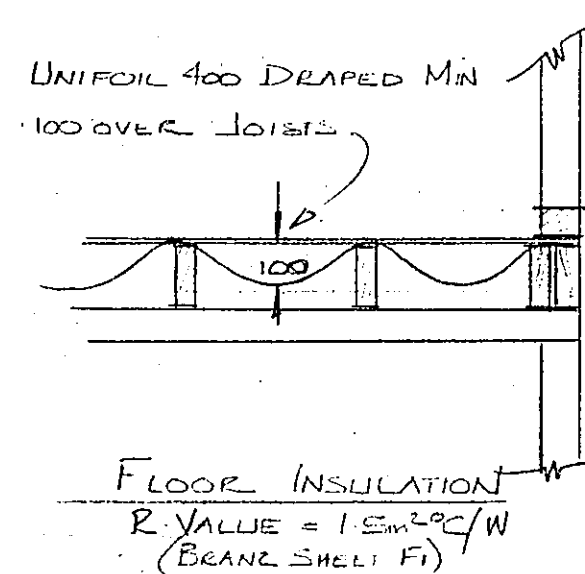
FIBROPLANK EXT SHEATHING
BUILDING PAPER UNDER



ROAD ELEVATION



SECTION A-A



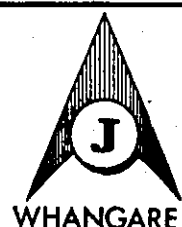
Pt Lot 13
DP10667
BLOCK X11
KAIHU S.D.
149 ACRES.

AWAKINO VALLEY ROAD

WALL INSULATION
R VALUE = 1.5m²C/W
(BRANZ SHEET W11)

CEILING INSULATION
R VALUE = 2.2m²C/W
(BRANZ SHEET C10)

JEEVES
HOMES
BOX 551
KAKA ST.



PROPOSED RESIDENCE
FOR MR. G. PARKER
AT AWAKINO VALLEY ROAD
DARGAVILLE
Levels shown are approximate only

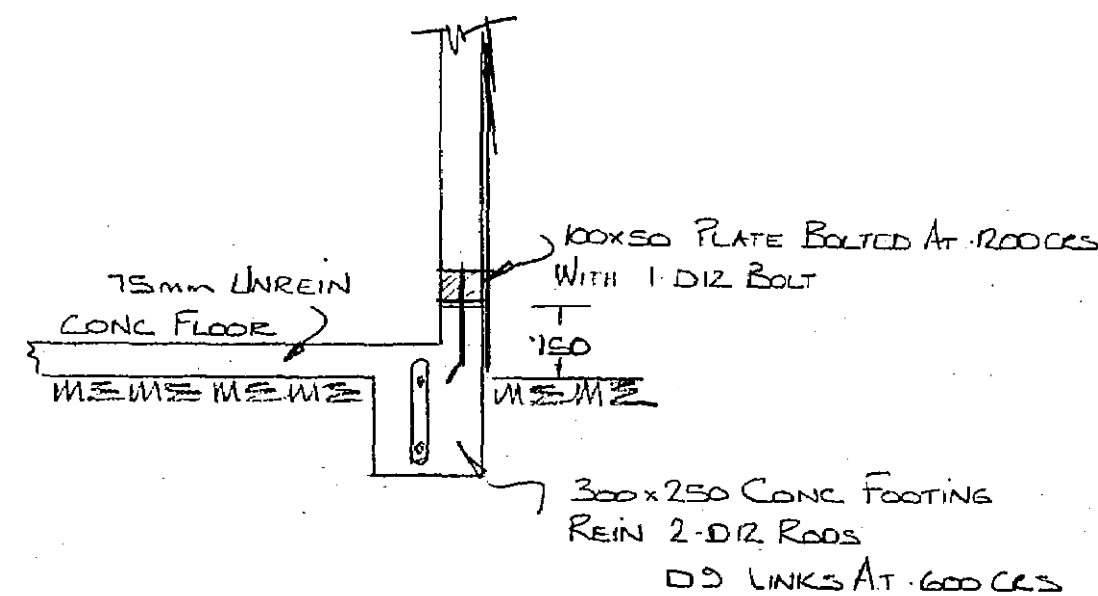
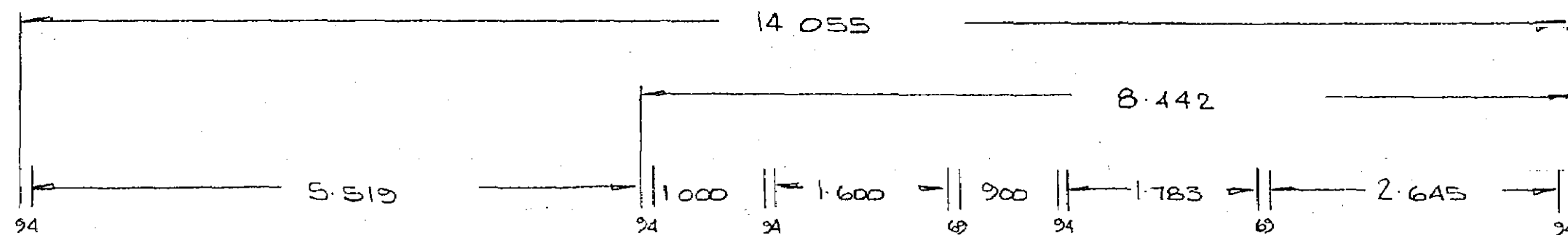
FINANCE
C.

DRAWN P.W.A. DATE 2-11-78
PLAN No. 501
REVISED 23/3/79 (SHWR LAYED)
AREA
ROOF CONST. GANG NAIL TRUSS H52

ADDENDUM BY OWNER
1 ACCESS
2 EXCAVATION
3 POWER TO BUILDING SITE

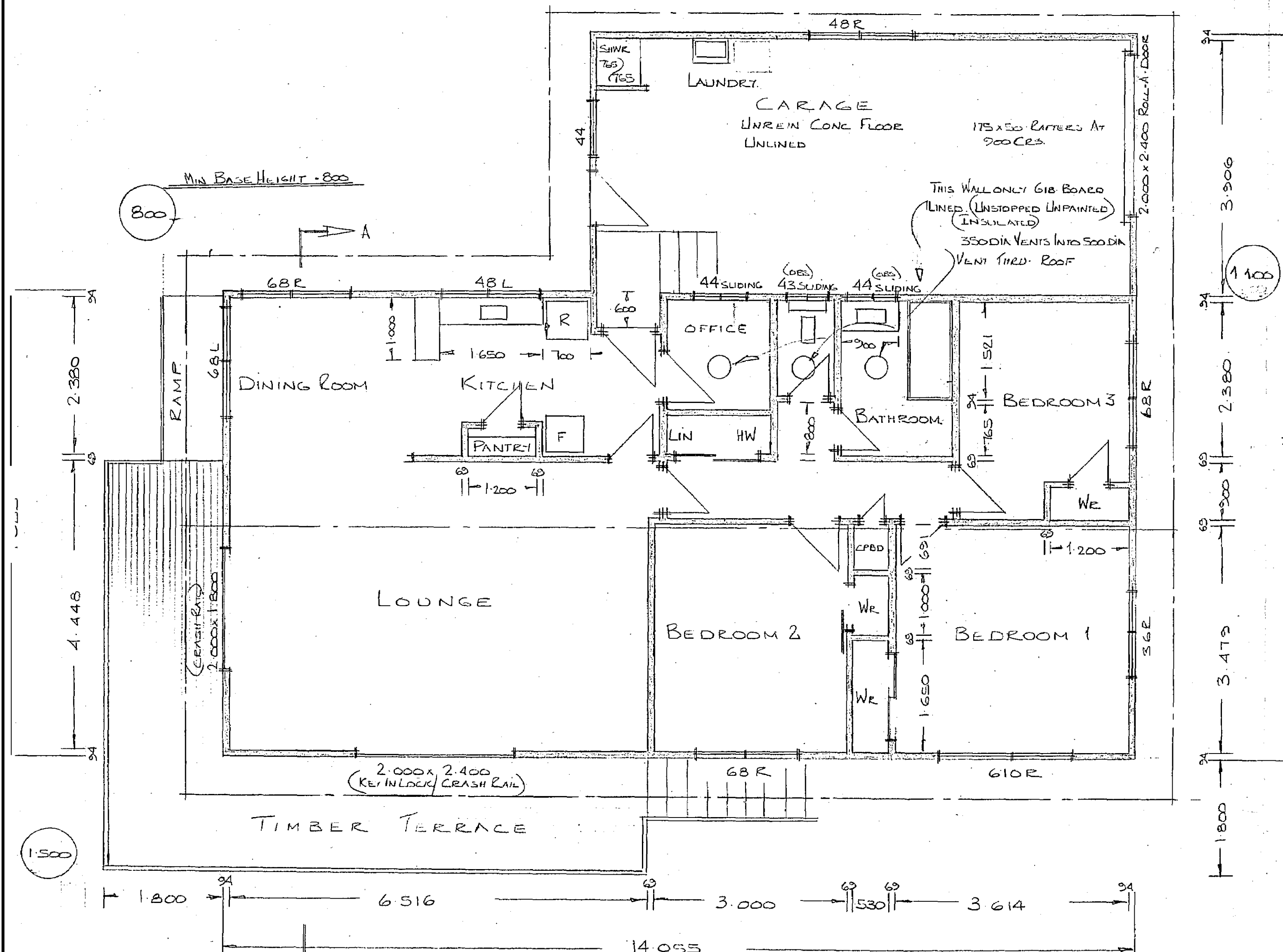
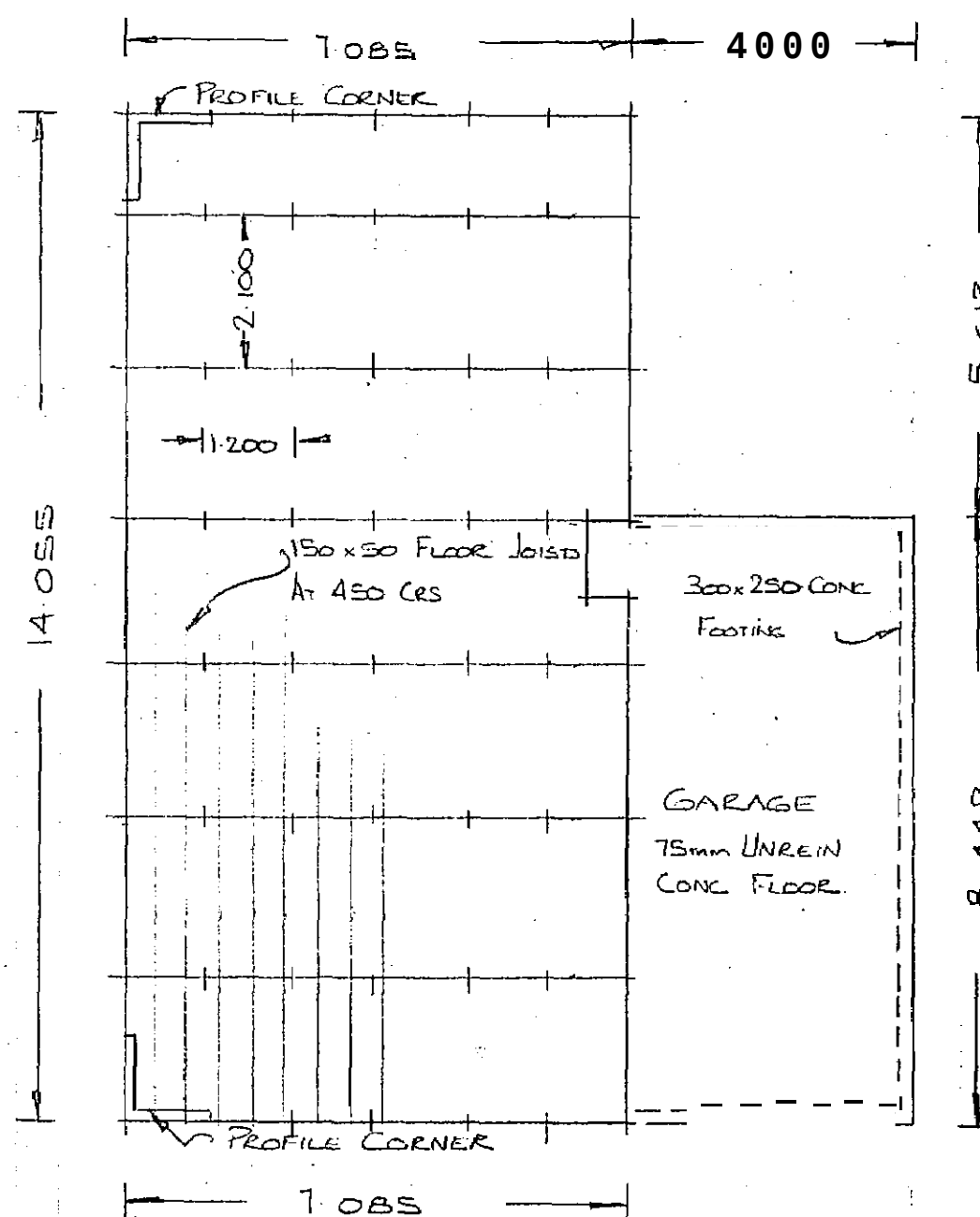
DOOR SIZES

45.000



E-1-AIL AT. - A E A FOOTING

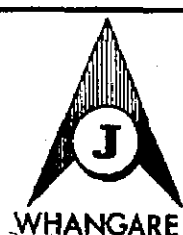
MIN BASE HEIGHT - 800



KITCHEN LAMINEX "WHITE STARFLITE"
AARONITE VANITY TOP: "MARBLTENE"

ADDENDUM		DOOR SIZES	
1	VALLBY WINDOWS	REAR	1980 x 810
2	STOVE P.C. \$400.00	MAIN INT.	1980 x 760
3	WALLPAPER P.C. \$6.00 PER ROLL	BATHRM, WC, } WRS, PANTRY }	1980 x 660.
4	"WHITE ITALIA" LAMINATE FULL HEIGHT TO SHINE WALLS ONLY	HW LIN	1980 x 610
5	TOTAL 13 LIGHTS & PPOINTS	CPBD	1980 x 460
6	PAINT FINISH INT DOORS	GARAGE (3 PANE)	1980 x 810
7	STILVAN MAHOGANY HARDWARE		
8	CRYSTALINE GOLD DOME MIRROR		
9	FELTON MIX F.H.D. SHWR MNR		
10	INSULATION AS PER DETAILS		
11	MARLEY P.V.C. SPOUTING & D.PIPES		
12	500 GAL RESERVOIR & PUMP		

JEEVES HOMES
BOX 551
KAKA ST.



PROPOSED RESIDENCE
FOR MR G PARKER
AT AWAKINO VALLEY ROAD.
DARGAVILLE
Levels shown are approximate only

FINANCE

DRAWN P.W.A. DATE 2-11-78
PLAN No. 501
REVISED 23/3/79 (FIN & LAND)
AREA HOUSE = 99.621m² GARAGE 33.760
ROOF CONST. GANG NAIL TRUSS HSE

SITE PLAN

Metres

ROAD FRONTAGE

2 4 6 8 10 12 14 16 18 20

THIS PLAN MUST SHOW (in ink):

1. Position of existing buildings (drawn in red).
2. Position of building proposed under this application (drawn in blue).
3. Position of Garage and Driveways whether required now or not.
4. Position of Septic Tank, Sanitary and Stormwater drainage.
5. Distances of each building from boundary lines.
6. Boundary lines shown thus:

7. Any Building Line Restrictions imposed on land.
- a. Site plan must be drawn accurately to scale. Indicate if not in metric.
9. Deviation from site plan is not permitted without previous approval of the Council.

Conversion:

2 Metres=6.562 feet

2
4
6
8
10
12
14
16
18
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38
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54
55

REAR BOUNDARY

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK: (Value to exclude value of Plumbing and Drainage work)..

ESTIMATED VALUE OF WORK

Not exceeding \$20				50
Over	\$20	and not exceeding	\$200	\$1.00
"	\$200	"	\$400	\$2.00
"	\$400	"	\$600	\$3.00
"	\$600	"	\$800	\$4.00
"	\$800	"	\$1000	\$5.00
"	\$1000	"	\$1200	\$6.00
"	\$1200	"	\$1400	\$7.00
"	\$1400	"	\$1600	\$8.00
"	\$1600	"	\$1800	\$9.00
"	\$1800	"	\$2000	\$10.00
"	\$2000	"	\$2500	\$12.00
"	\$2500	"	\$3000	\$14.00
"	\$3000	"	\$3500	\$16.00
"	\$3500	"	\$4000	\$18.00
"	\$4000	"	\$5000	\$21.00
"	\$5000	"	\$6000	\$24.00
"	\$6000	"	\$7000	\$27.00
"	\$7000	"	\$8000	\$30.00
"	\$8000	"	\$9000	\$33.00
"	\$9000	"	\$10,000	\$36.00
"	\$10,000	"	\$12,000	\$40.00
"	\$12,000	"	\$14,000	\$44.00
"	\$14,000	"	\$16,000	\$48.00
"	\$16,000	"	\$18,000	\$52.00
"	\$18,000	"	\$20,000	\$56.00
"	\$20,000	"	\$25,000	\$64.00
"	\$25,000	"	\$30,000	\$72.00
"	\$30,000	"	\$35,000	\$80.00
"	\$35,000	"	\$40,000	\$88.00
"	\$40,000	"	\$50,000	\$98.00
"	\$50,000	"	\$60,000	\$108.00
"	\$60,000	"	\$70,000	\$118.00
"	\$70,000	"	\$80,000	\$128.00
"	\$80,000	"	\$90,000	\$138.00
"	\$90,000	"	\$100,000	\$148.00
"	\$100,000	"	\$120,000	\$158.00
"	\$120,000	"	\$160,000	\$178.00
"	\$140,000	"	\$140,000	\$168.00
"	\$160,000	"	\$180,000	\$188.00

BUILDING RESEARCH LEVY FEE

In addition to the above fees there will also be payable a Building Research Levy in accordance with the Building Research Levy Act, 1969, which is set at 50c in each \$1000 or part thereof of the value of each Building Permit issued. Permits for work of a value less than \$3000 are exempted.

PLUMBING AND DRAINAGE PERMIT FEES

Fee
\$1.00
\$2.00
\$3.00
\$5.00

Plus \$2.00 for every \$200 or part thereof in excess

HOBSON COUNTY COUNCIL

Private Bag,
Dargaville.

Local Government Centre,
(Office, Hokianga Road,)
Dargaville

Phone 7059
Dargaville

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTOR

Sir,

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan (overleaf) detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:—

OWNER

Name

Postal Address

Phone

BUILDER

Name

Postal Address

Phone

EXISTING USE OF SITE AND BUILDINGS

NATURE OF PROPOSED BUILDING WORK

e.g., additions to Dwelling, Bedroom, Lounge extensions etc.

VALUATION DEPT. ASSESSMENT No.: (from rate demand)

LEGAL DESCRIPTION OF SITE: (from rate demand or title deeds)

Road or Street:

AREA OF SITE:

Acres

Roods

Perches

Hectares

NATURE OF SOIL: (rock, clay, sand, loam, etc).

FLOOR AREA: (proposed work — square measure)

Basement

Ground Floor

Other Floors

Total

Main Building

Accessory Buildings

ESTIMATED VALUE OF WORK:

Main Buildings (excluding plumbing and drainage)

Accessory Buildings (excluding plumbing and drainage)

Plumbing and Drainage

Total Value of Work

CERTIFICATE I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Hobson County Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant:

Date:

FOR OFFICE USE ONLY

FEES:

Building Permit

Plumbing and Drainage Permit

Building Research Levy

TOTAL

\$

\$

\$

\$

Receipt No.

Receipt No.

Receipt No.

Receipt No.

Date

Date

Date

Date

Permit No.

Permit No.

Permit No.

Permit No.

FOR OFFICE USE ONLY

TO ADMINISTRATIVE OFFICER:

Date Received

Check List: Forms completed () Valuation NO. () Fees received ()

Remarks:

Signature: Date:

TO PLANNING OFFICER:

(Check with District Planning Scheme. Refer to Council if required).

Approved by County Chairman Signature: Date:

Checked and approved by Officer Signature: Date:

TO HEALTH INSPECTOR:

(Check for drainage, health, etc)

Checked and approved Signature: Date:

TO BUILDING INSPECTOR:

(Check for by-laws, etc.)

Checked and approved Signature: Date:

REMARKS:

PERMIT TO BE ISSUED SUBJECT TO:

GENERAL INFORMATION

(1) The following MUST accompany this Application:

PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATION (in ink or on print paper) including—

- (a) Ground plans of proposed work showing position of all sanitary fittings and names and sizes of various rooms.
- (b) Where the building is on a sloping site the correct height of foundations must be shown.
- (c) Front and side elevations.
- (d) Cross section showing framing with bracing.
- (e) Where a building requires Plumbing and Drainage work a separate Application Form must be filled in and fee paid before a Building Permit can be issued.
- (f) Application for entrance crossing from road.
- (g) Such drawings and information in detail as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the By-laws.
- (h) A report and calculations showing how the design complies with the By-laws in the case of building requiring specific design.

(2) FEES may be forwarded later on advice of availability of permit and the amount of fees required.

BUILDING PERMIT

(Office Copy)

AUTHORITY

Stats. No. A

14730

HICKSON COUNTY COUNCIL No.

Receipt No. 4385

OWNER

Name G.D. PARKER
Address R.D. 2
DARGAVILLE

BUILDER

Name DELUSS + WINDUST
Mailing Address 19 TIKHAKO ST
DARGAVILLE

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMO**SITE**

Street No. _____
Street Name CWAKING VALLEY RD.
Town/District DARGAVILLE
Riding CWAKING

LEGAL DESCRIPTION

Valuation Roll No. 101 511
Pt. Lot 19 D.P. 10667
Section _____ Block _____
Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

ADDITION TO FARM DWELLING - NEW "SKYLINE" TRACTOR SHED
FOR OWNER'S USE

FLOOR AREAWhole
Sq. Metres64.8 m²**DWELLING UNITS**Number
Erected

ESTIMATED
VALUES
\$Building
Drainage
Plumbing
TOTAL

5711 00

5711 00

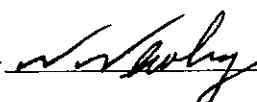
NATURE OF PERMIT (TICK BOX)

- ☐ NEW BUILDING
- include dwelling added, exclude domestic garages
- ☐ FOUNDATIONS ONLY
- ☒ ALTERED, REPAIRED, EXTENDED
- include conversions and domestic garages
- ☐ NEW CONSTRUCTION
OTHER THAN
BUILDINGS
- include demolitions

FEES APPLICABLE

Building Permit (etc) \$ 53.00
Building Research Levy \$ 6.00
Sewer Connection \$ _____
Water Connection \$ _____
Street Damage Deposit \$ _____
TOTAL \$ 59.00

Authorised Officer



Date

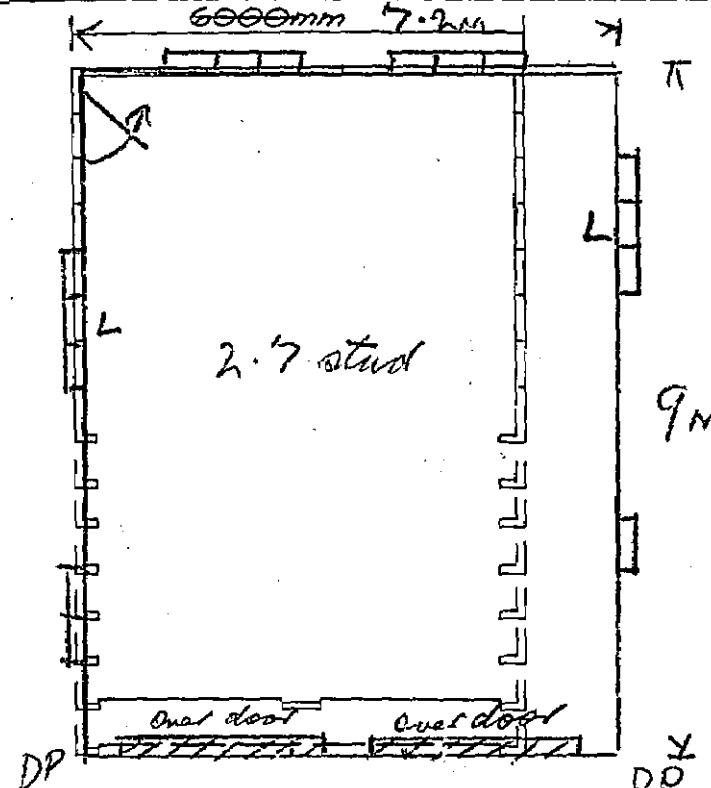
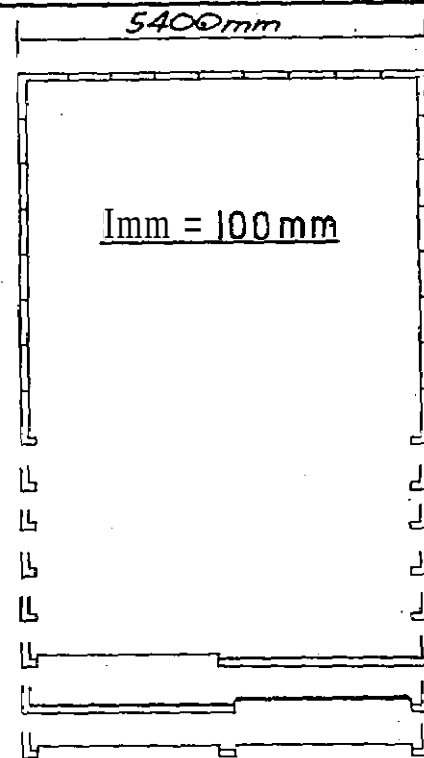
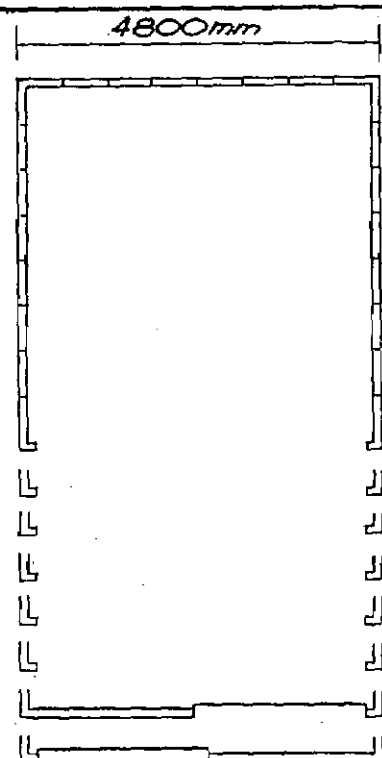
27.7.82

Special Conditions: (In addition to those noted on reverse): _____

NOTICE TO APPLICANT

PERMISSION IS HEREBY GRANTED YOU to carry out the works as proposed in accordance with the drawings and other documents submitted, and with any conditions defined; such work to be subject to inspection at any time during progress and to be carried out in strict accordance with the requirements of the Council By-Laws.

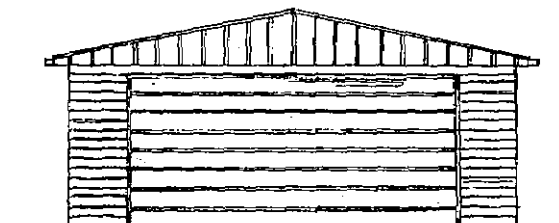
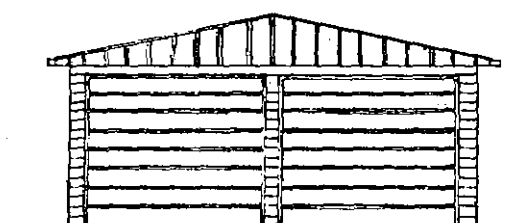
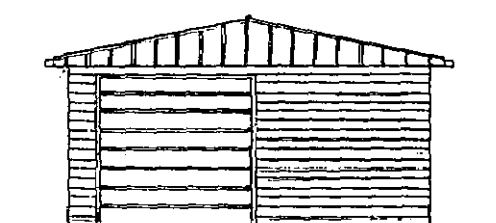
Attention is drawn to the fact that the Council is not responsible for any damage done to services such as telephone cables, water mains, gas mains,



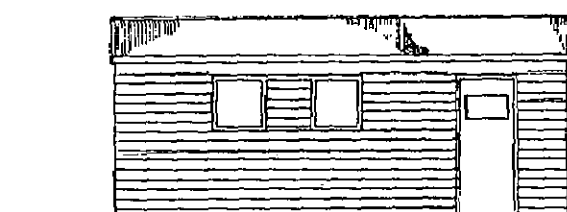
SKYLINE GARAGES

manufactured by Skyline Buildings Ltd.

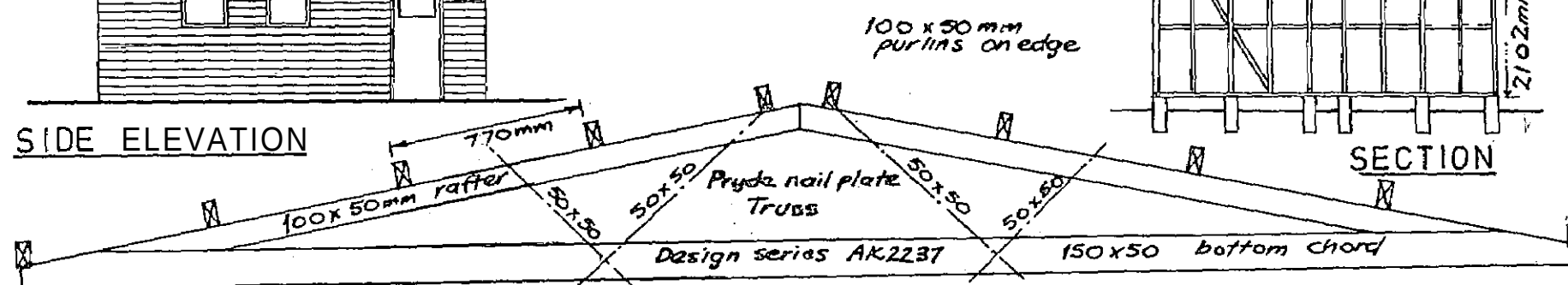
POSS & WINDUST
TRADE STREET.
WAIKATO
PHONE 7953 OR 7673



ELEVATION



SIDE ELEVATION



SECTION

SCALE 1m = 25m

Detail of 6000mm span truss

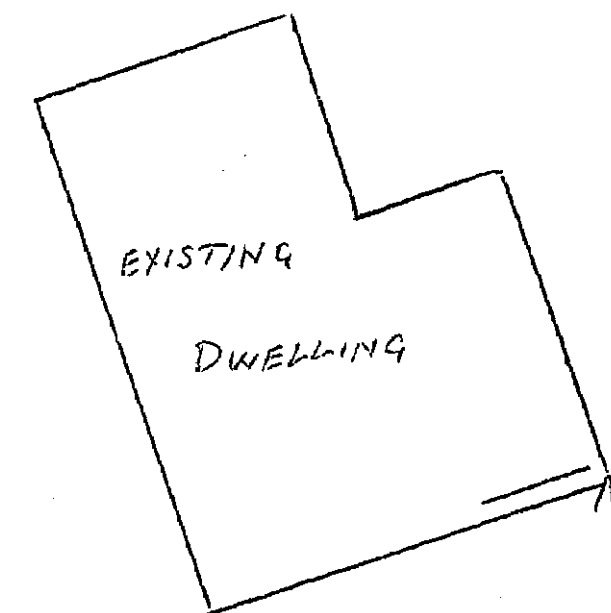
Trusses for 5400mm 4800mm are similar, but reduced. 6000mm + 5400mm have stiffeners of 100x50mm. 4800mm has 50x50mm. When 4500mm doors are fitted in double garages, the gable end is formed with a similar truss and completely metal lined.

- SPECIFICATIONS:**
- Foundations:** 200 x 150mm concrete piles at 1200mm & 600mm centres under studs or continuous concrete dwarf walls or complete floors.
 - Dampcourse:** 2 ply d.p.c. under all plates.
 - Framing:** All timber is boron treated machine gauged radiata. All framing is housed i.e. studs checked into plates & nogs checked into studs. Studs at 600mm centres top and bottom plates and nogs - 100 x 50mm.
 - Wall Braces:** 75 x 50mm cut on edge
 - Door Beams:** Minimum 150 x 50mm with minimum of 13mm check in at each end
 - Roof trusses and purlins:** as per detail drawing placed over studs at 1800mm and 2400mm centres to suit.
 - Dragon ties:** 75 x 50mm at 45° over top plate to each corner.

Roofing: 26g. galv. corr. iron single sheets. **Ridging:** 26g. galv. lead edged. **Walls:** 26g. galv. metal weatherboards. **Spouting:** 24g. galv. iron gutters fixed ea. side. **Downpipes:** 75 x 50mm galv. iron. **Doors:** 24g. or 26g. metal doors on overhead gear or galv. roller doors.

GARAGE, SHED at WAIKATO

for G.T. PARKER

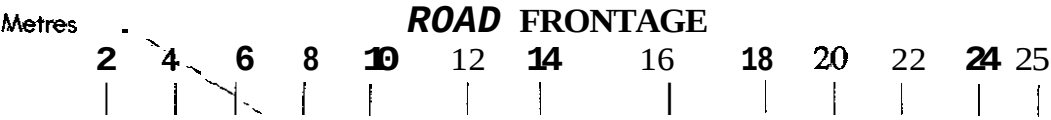


PT LOT 19
DP 10667

PROPOSED
GARAGE -
TRACTOR
SHED

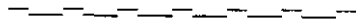
WINDS DOWN TO AWAHI VALLEY RD

SITE PLAN 1mm = 200mm.



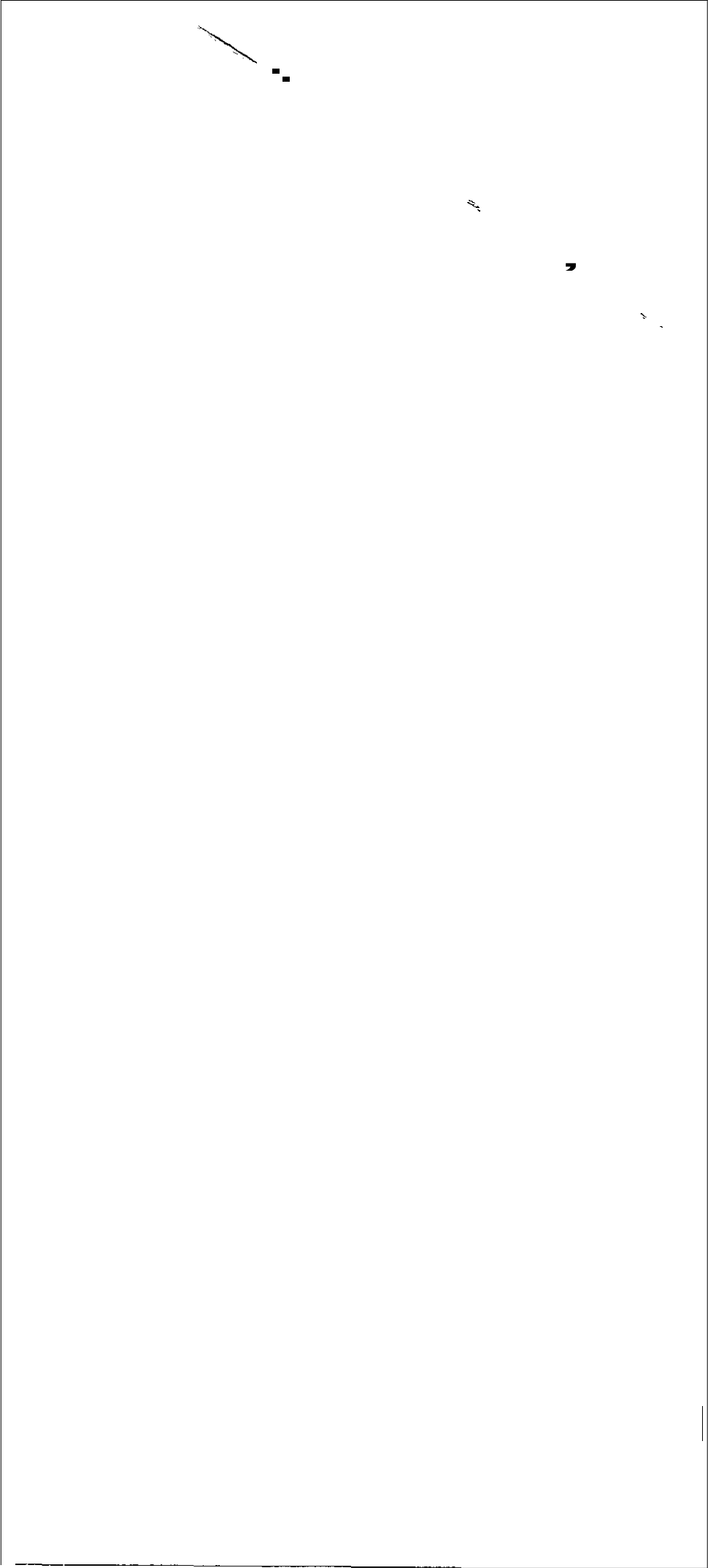
SITE PLAN

THIS PLAN MUST SHOW (in ink):

1. Position of existing buildings (drawn in red).
2. Position of building proposed under this application (drawn in blue).
3. Position of Garage and Driveways whether required now or not.
4. Position of Septic Tank, Sanitary and Stormwater drainage.
5. Distances of each building from boundary lines.
6. Boundary lines shown thus:

7. Any building Line Restrictions imposed on land.
8. Site plan must be drawn accurately to scale. Indicate if not in metric.
9. Deviation from site plan is not permitted without previous approval of the Council.

Conversion:

2 Metres 6.562 feet



SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK: (Value to exclude value of Plumbing and Drainage work).

ESTIMATED VALUE OF WORK

Not exceeding \$20				50
Over	\$20	and not exceeding	\$200	\$1.00
	\$200	"	\$400	\$2.00
	\$400	"	\$600	\$3.00
	\$600	"	\$800	\$4.00
	\$800	"	\$1000	\$5.00
"	\$1000	"	\$1200	\$6.00
"	\$1200	"	\$1400	\$7.00
"	\$1400	"	\$1600	\$8.00
"	\$1600	"	\$1800	\$9.00
"	\$1800	"	\$2000	\$10.00
"	\$2000	"	\$2500	\$12.00
"	\$2500	"	\$3000	\$14.00
"	\$3000	"	\$3500	\$16.00
"	\$3500	"	\$4000	\$18.00
"	\$4000	"	\$5000	\$21.00
"	\$5000	"	\$6000	\$24.00
"	\$6000	"	\$7000	\$27.00
"	\$7000	"	\$8000	\$30.00
"	\$8000	"	\$9000	\$33.00
"	\$9000	"	\$10,000	\$36.00
"	\$10,000	"	\$12,000	\$40.00
"	\$12,000	"	\$14,000	\$44.00
"	\$14,000	"	\$16,000	\$48.00
"	\$16,000	"	\$18,000	\$52.00
"	\$18,000	"	\$20,000	\$56.00
"	\$20,000	"	\$25,000	\$64.00
"	\$25,000	"	\$30,000	\$72.00
"	\$30,000	"	\$35,000	\$80.00
"	\$35,000	"	\$40,000	\$88.00
"	\$40,000	"	\$50,000	\$98.00
"	\$50,000	"	\$60,000	\$109.00
"	\$60,000	"	\$70,000	\$118.00
"	\$70,000	"	\$80,000	\$128.00
"	\$80,000	"	\$90,000	\$138.00
"	\$90,000	"	\$100,000	\$148.00
"	\$100,000	"	\$120,000	\$158.00
"	\$120,000	"	\$140,000	\$168.00
"	\$140,000	"	\$160,000	\$178.00
"	\$160,000	"	\$180,000	\$188.00

BUILDING RESEARCH LEVY FEE

In addition to the above fees there will also be payable a Building Research Levy in accordance with the Building Research Levy Act, 1969, which is set at \$1.00 for each \$1000 or part thereof of the value of each Building Permit issued. Permits for work of a value less than \$3000 are exempted.

PLUMBING AND DRAINAGE PERMIT FEES

	Fee
Up to \$50	\$1.00
\$51-\$100	\$2.00
\$101-\$200	\$3.00
\$201-\$400	\$5.00

Private Beg
Dargaville

Local Government Centre,
(Office, Hokianga Road,)
Dargaville

Phone 7059
Dargaville

APPLICATION FOR PERMIT

TO THE BUILDING INSPECTOR

Sir,

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan (overleaf) detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:-

OWNER Name G. R. PARKER
Postal Address AWAKINO VALLEY RD. Phone.....

BUILDER Name DREADON & KELLIHER
Postal Address 10 TUI CREES Phone.....

PLUMBER J. KELLIHER **DRAINLAYER** H. DREADON

EXISTING USE OF SITE AND BUILDINGS FARM

NATURE OF PROPOSED BUILDING WORK INSTALL CHAMPION WOOD RANGE
e.g. additions to Dwelling, Bedroom, Lounge extensions etc. WITH WETBACK

VALUATION DEPT. ASSESSMENT No.: (from rate demand) 101/51/1

LEGAL DESCRIPTION OF SITE: (from rate demand or title deed)

PT LOT 19 D.P. 10667 BLK XII KAIHU S.D.

Road or Street: AWAKINO VALLEY District: WAIHUE Riding: AWAKINO

AREA OF SITE: Hectares

NATURE OF SOIL: (rock, clay, sand, loam, etc)..

FLOOR AREA: (proposed work — square measure)

	Basement	Ground Floor	Other Floors	Total
Main Building				
Accessory Buildings				

ESTIMATED VALUE OF WORK:

Main Buildings (excluding plumbing and drainage)	\$ 900-00
Accessory Buildings (excluding plumbing and drainage)	\$
Plumbing and Drainage	\$ 500-00

Total Value of Work \$ 1400

CERTIFICATE: I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Hobson County Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant: J. H. Macdonald Date: 9-4-87

FOR OFFICE USE ONLY

FEES:

Building Permit	\$ 17-00	Receipt No. <u>1424</u>	Date <u>9-4-87</u>	Permit No.
Plumbing and Drainage Permit	\$ 10-00	Receipt No. <u>1425</u>	Date	Permit No.
Building Research Levy	\$	Receipt No.	Date	TOTAL \$ 27-00

FOR OFFICE USE ONLY

TO ADMINISTRATIVE OFFICER:

Date Received

Check List:

Forms Completed ()

Valuation No. ()

Fees received ()

Remarks:

..... Signature: Date:

TO PLANNING OFFICER:

(Check with District Planning Scheme. Refer to Council if required).

Approved by County Chairman

Signature:

Date:

Checked and approved by Officer

Signature:

Date:

TO HEALTH INSPECTOR:

(Check for drainage, health, etc)

Checked and approved

Signature:

Date:

TO BUILDING INSPECTOR:

(Check for by-laws, etc.)

Checked and approved

Signature

Date:

REMARKS:

.....

.....

.....

PERMIT TO BE ISSUED SUBJECT TO:

.....

.....

.....

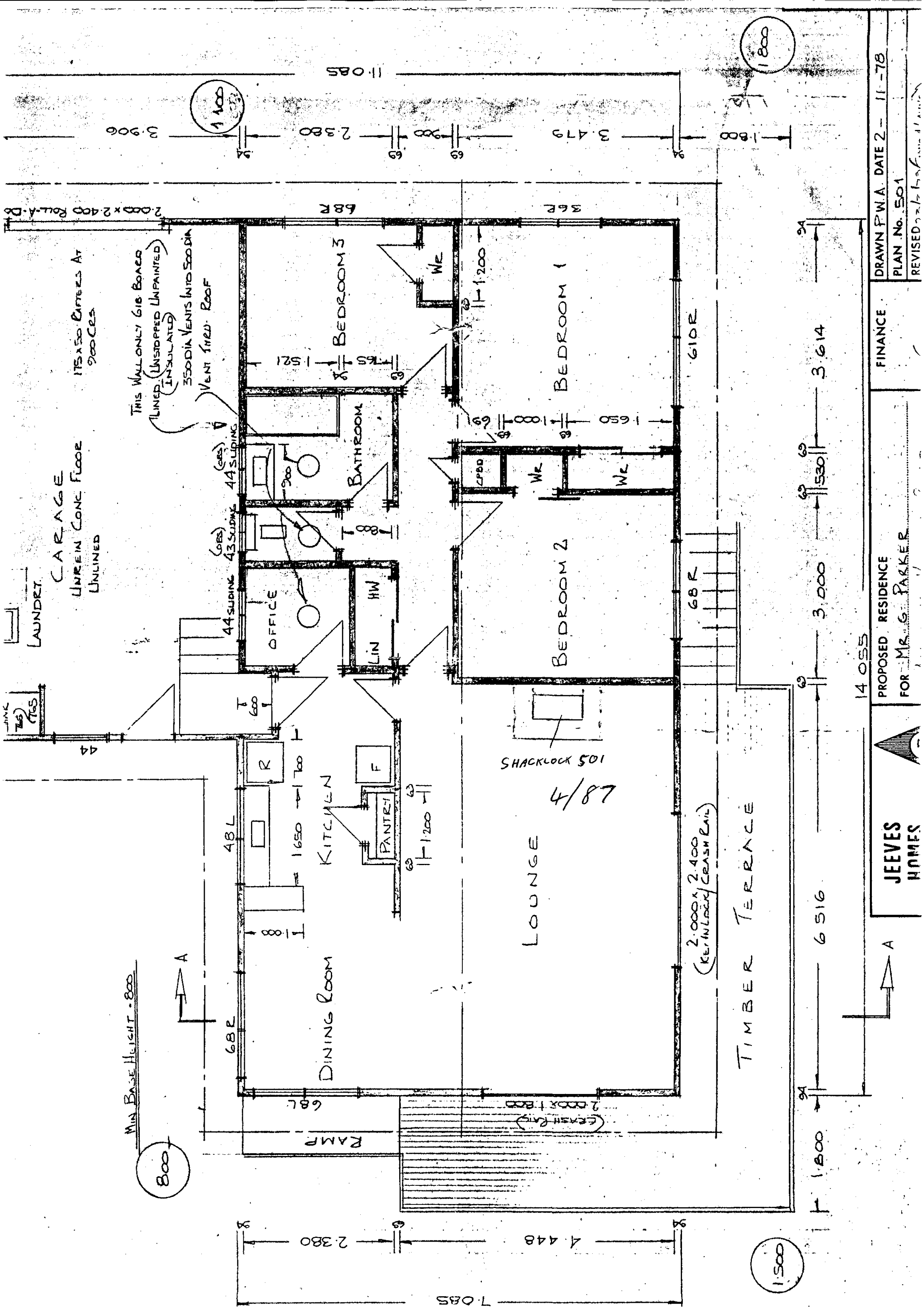
GENERAL INFORMATION

(1) The following **MUST** accompany this Application:

PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATE (in ink or on print paper) including—

- (a) Ground plans of proposed work showing position of all sanitary fittings and names and sizes of various rooms.
- (h) Where the building is on a sloping site the correct height of foundations must be shown.
- (c) Front and side elevations.
- (d) Cross section showing framing with bracing.
- (e) Where a building requires Plumbing and Drainage work a separate Application Form must be filled in and fee paid before a Building Permit can be Issued.
- (f) Application for entrance crossing from road.
- (g) Such drawings and information in detail as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the By-laws.
- (h) A report and calculations showing how the design complies with the By-laws in the case of building requiring specific design.

(2) FEES may be forwarded later on advice of availability of permit and the amount of fees required.



Receipt No. 1424

Date Permit Issued 7/14/87

OWNER

Name

G. T. PARKER

Mailing Address

AWARIND VALLEY RD.
DARGAVILLE

BUILDER

Name

DREYER & MILLER

Mailing Address

16 TUI CRES
DARGAVILLE

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No.

Street Name

AWARIND VALLEY

Town/District

DARGAVILLE

Riding

AWARIND

LEGAL DESCRIPTION

Valuation Roll No.

101/51*1

Lot L

19

D.P.

10/67

Section

Block

Survey District

Kaitiaki

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

TO INSTALL A CHAMPION WOODRIDGE WITH WESTBACH

FLOOR AREA

DWELLING UNITS

Whole
Sq. MetresNumber
ErectedESTIMATED
VALUES
\$

Building

900 00

Plumbing

500 00

Drainage

TOTAL INCL GST

1400 00

NATURE OF PERMIT (TICK BOX)

☐

NEW BUILDING

- exclude domestic garages and domestic outbuildings

☐

FOUNDATIONS ONLY

☒

ALTERED, REPAIRED, EXTENDED, CONVERTED, RESTORED

- include installation of heating appliances

☐

NEW CONSTRUCTION

OTHER THAN BUILDINGS - include demolitions

☐

DOMESTIC GARAGES

AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit \$ 17 00
 Street Damage Deposit \$
 Building Research Levy .. \$ 15 00
 Plumbing \$
 Drainage \$
 Sower Connection \$

Water Connection \$
 Vehicle Crossing Levy ... \$
 M.S. Plumbing \$
 TOTAL: \$ 27 00

Receipt No. 1424

Date of Payment 9/14/87

Authorised Officer E

Special Conditions: (In addition to those noted on reverse):

NOTICE TO APPLICANT

PERMISSION IS HEREBY GRANTED YOU to carry out the works as proposed in accordance with the drawings and other documents submitted, and with any conditions defined: such work to be subject to inspection at any time during progress and to be carried out in strict conformity with the requirements of the Council By-Laws.

IMPORTANT - YOU ARE FULLY RESPONSIBLE for any damage done to any works such as telephone cables, power cables, water mains, gas mains, sewers, pipes, footpaths, roads or other services.

APPLICATION FOR PERMIT FOR DRAINAGE AND/OR PLUMBING WORK

The County Clerk.
Hobson County Council,
Private Bag,
DARGAVILLE

I, the undersigned J H Draper hereby apply for permission to have the work described herein and set out in the plan attached hereto carried out in the premises situated at AWAKINO VALLEY RD. and situated on land legally described as LOT 19 D.P. 10667 BLK II KAHU S.D. Assessment No. 101/51/1

Name and address of person for whom work is to be carried out _____

G PARKER

Name of Plumber J. KELLHER (undertaking such work)

Name of Reg. Drainlayer _____ (undertaking such work)

Description of work

State type of premises DWELLING (eg house, beach cottage, shop, factory etc.)

State extent of work EXT WET BACK TO WOODRANGE

Estimated Value of Work

	<u>Materials</u>	<u>Labour</u>	<u>Subtotal</u>
<u>Drainage</u>			
<u>Plumbing</u>	<u>300</u>	<u>200</u>	<u>500</u>

(These amounts should be the real value of the work as opposed to the possible cost of the work or materials)

Total \$ 500-00

SEE NOTES ON THE REVERSE

OFFICE USE ONLY

Received \$ 10-00

Receipt No. _____

Date _____

Approved for permit _____

Permit No. _____

Issued _____

SCALE OF PERMIT FEES PAYABLE - (effective from 1 December, 1985)

<u>Labour Value</u>	up to	\$200		\$10.00
	\$201 to	\$300		\$15.00
	\$301 to	\$400		\$20.00
	\$401 to	\$500		\$25.00

Plus \$5.00 for every \$100 or part thereof in excess of \$500

NOTE:

Fees are calculated on the total value of the work less the cost of materials. Such items as digger hire should not be included in the value of materials. Where the value of materials is not stated these will be calculated at 60% of the total value of plumbing work and 40% of the total value of drainage work. The Council reserve the right to alter the estimated value of all work for permit fee purposes at the discretion of the Plumbing and Drainage Inspector.

PLAN

A suitable plan should be provided here indicating position, and length of the walls of the building, the position of sanitary fittings, the proposed position of drainage and septic tank, distances from boundaries and the position and dimensions of effluent disposal.

NOTES

In this County sanitary plumbing work may be carried out by any person. However such work must comply with the Drainage and Plumbing Regulations, 1978.

Sanitary drainage work is required to be carried out by a registered drainlayer.

Septic tanks, soak pits or field tile effluent soakage systems must be situated no closer than 3m from a building and no closer than 1.5m from boundaries.

THE DRAINAGE AND PLUMBING INSPECTOR WILL BE PLEASED TO FURTHER ADVISE RE ANY INSTALLATION

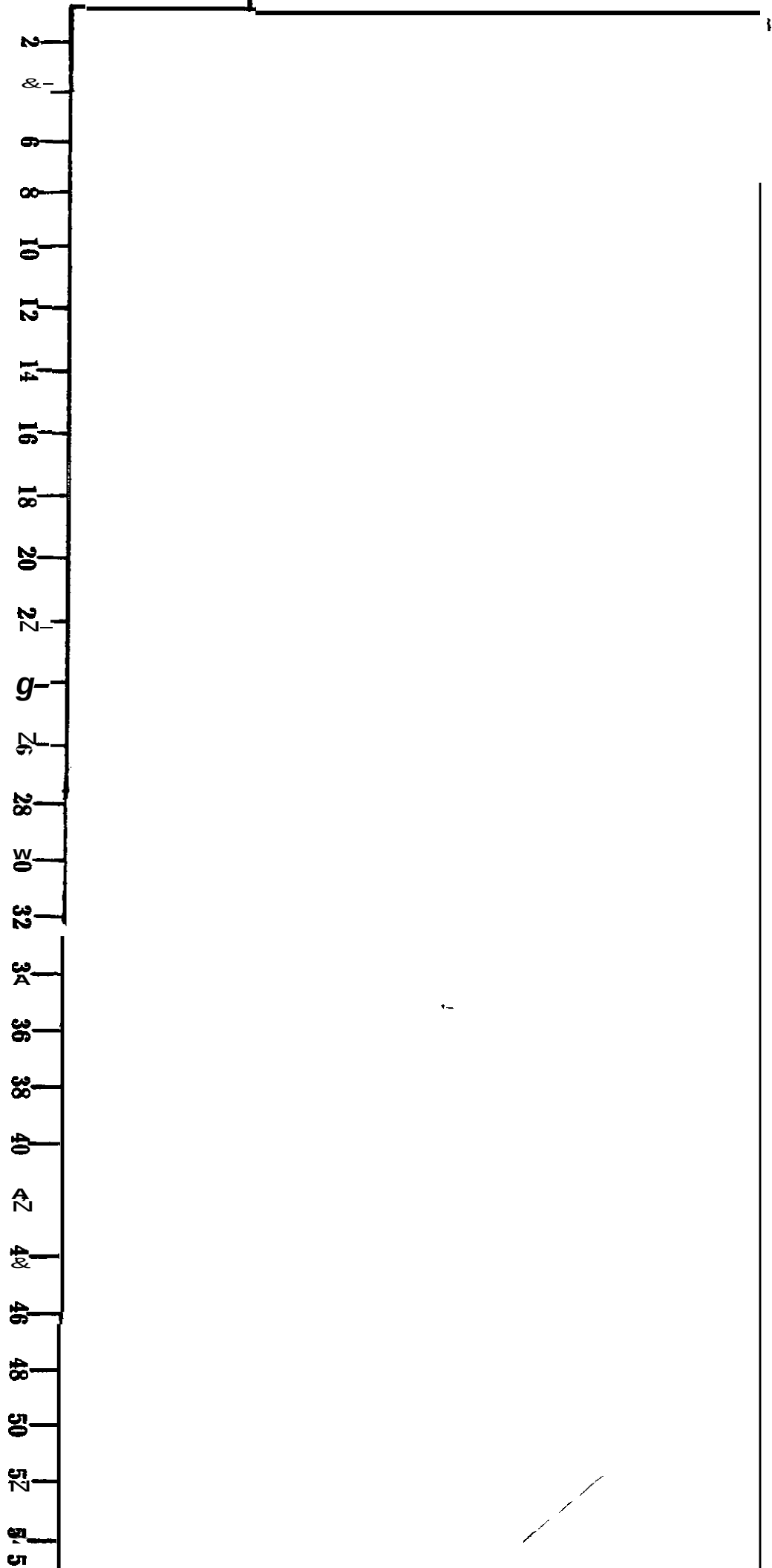
SITE PLAN

**THIS PLAN MUST SHOW
(in ink):**

1. Position of existing buildings
(drawn in red).
2. Position of building proposed
under this application (drawn in
blue).
3. Position of Garage and
Driveways whether required
now or not.
4. Position of Septic Tank, Sanitary
and Stormwater drainage.
5. Distances of each building from
boundary lines.
6. Boundary lines shown thus:

7. Any building Line Restrictions
imposed on land.
8. Site plan **must** be drawn ac-
curately to scale. Indicate if not
in metric.
9. Deviation from site plan is not
permitted without previous ap-
proval of the Council.

Conversion:



SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK: (Value to exclude value of Plumbing and Drainage work).

ESTIMATED VALUE OF WORK

<u>Value of Work</u>	<u>Fees</u>
0 - 1000	15.00
1001 - 2000	25.00
2001 - 2500	30.00
2501 - 3000	35.00
3001 - 3500	40.00
3501 - 4000	45.00
4001 - 5000	55.00
5001 - 6000	65.00
6001 - 7000	75.00
7001 - 8000	85.00
8001 - 9000	95.00
9001 - 10000	105.00
10001 - 12000	120.00
12001 - 14000	135.00
14001 - 16000	150.00
16001 - 18000	165.00
18001 - 20000	180.00
20001 - 25000	205.00
25001 - 30000	230.00
30001 - 35000	255.00
35001 - 40000	280.00
40001 - 50000	310.00
50001 - 60000	340.00
60001 - 70000	370.00
70001 - 80000	400.00
80001 - 90000	430.00
90001 - 100000	460.00
100001 - 120000	510.00
120001 - 140000	560.00
140001 - 160000	610.00
160001 - 180000	660.00
180001 - 200000	710.00
200001 - 240000	760.00
240001 - 280000	810.00

BUILDING RESEARCH LEVY FEE

In addition to the above fees there will also be payable a Building Research Levy in accordance with the Building Research Levy Act, 1969, which is set at \$1.00 in each \$1,000 or part thereof of the total value of each **Building** Permit issued. Permits for work to a value less than \$10,000 are exempted.

PLUMBING AND DRAINAGE PERMIT FEES

See Drainage and Plumbing Application Form.

Dargaville Office
Private Bag 1001
DARGAVILLE
Phone 09 439 7059
Fax 09 439 6756

KAIPARA DISTRICT COUNCIL
APPLICATION FOR A BUILDING CONSENT

Paparoa Office
PO Box 1
PAPAROA
Phone 09 431 7019
Fax 09 431 7017

(Attach all relevant documents in duplicate)

PART A : GENERAL
(Complete Part A in all cases)

OWNER	APPLICANT
Name <u>S.W. & T.A. NICHOLS</u>	Name <u>GUY FINLAYSON</u>
Postal Address <u>R.D.2. Dargaville.</u>	Postal Address _____
Phone Number <u>09 439 6380</u>	Phone Number _____
Fax Number _____	Fax Number _____
PROJECT LOCATION	DESCRIPTION OF WORK & INTENDED USE
Address <u>Wahue Rd Dargaville.</u>	<u>INSTALL MASPORT FRANK STANDING</u>
LEGAL DESCRIPTION	<u>HEATING APPLIANCE</u>
Valuation Number <u>1010-09000</u>	NATURE OF CONSENT
Lot(s) <u>1</u> DP(s) <u>152908</u>	☐ New building - exclude domestic garages & domestic outbuildings
Section _____ Block <u>BLK AT Kahu SD</u>	Intended Life Indefinite, but not less than
Survey District _____	☐ Foundations only
Area of Site <u>0.5420</u> hectares / square metres	50 yrs ☐ OR
Nature of soil (rock, clay, sand, loam etc) <u>Sandstone</u>	Specified as _____ yrs
Floor area [proposed work - square metres]	☒ Alterations, repairs, extensions, conversions, resiting, installation of heating appliances
Basement _____ Ground Floor _____ Other Floors _____ Total _____	Demolition ☐
Main Building <u>239m</u>	Being stage _____
Accessory Buildings _____	or an intended _____ stages
ESTIMATED VALUE OF WORK (including GST)	OFFICE USE ONLY
Main buildings \$ _____	Property ID: _____
Accessory buildings \$ _____	FEES PAID ON APPLICATION (including GST)
Plumbing & Drainage \$ _____	P I M \$ <u>70-00</u>
Total Value of Work \$ <u>2,000</u>	Building Consent _____
☐ Application for Building Consent only, in accordance with Project Information Memorandum No _____	BRANZ Levy _____
☐ Application for Building Consent and Project Information Memorandum	E I A Levy _____
	TOTAL <u>70-00</u>
	Receipt No <u>318576</u>
	Date: <u>24-6-99</u>

Signed for and on behalf,

Signature: _____

Name: GUY FINLAYSON Date 23/6/99

Please print

Note: Information regarding vehicle crossings & services eg water connection, sewerage & stormwater connections are handled by the Assets Department. Forms for these items are available from the Dargaville & Paparoa offices.

PART B : PROJECT DETAILS

(Complete Part B only if you have not applied separately for a Project Information Memorandum)

The project involves the following matters (Tick each applicable box, if any, and attach relevant information in duplicate)

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings
(Site Plan with elevations, topography, drawn to scale)
- ☐ Details of any known or potential erosion, avulsion, falling debris, filled ground, subsidence, slippage, alluvion, inundation, hazardous contaminants on or near the site
- ☐ Provisions to be made for vehicular access, including parking (to be shown on site plan)
- ☐ Provisions to be made in building over or adjacent to any road or public place
- ☐ New provisions to be made for disposing of stormwater and wastewater (to be shown on site plan)
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains
- ☐ New connections to public utilities ie water supply, stormwater system, wastewater system (Note: Council has no agreement with network utility operations to act as their agent)
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise
- ☐ Details of any cultural heritage significance of the building site, including whether it is on a marae, or waahi tapu
- ☐ Copy or reference to, of any resource consent or planning approval for this project
- ☐ Details of volume. Proposed excavations : Include volumes for site preparation, basement and driveway.

(Complete Part C in all cases) **PART C : BUILDING DETAILS**

This application is accompanied by (Tick each applicable box, attach relevant documents in duplicate)

- ☐ The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the New Zealand Building Code, with supporting documents, if any, including -
 - ☐ Building Certificates
 - ☐ Producer Statements
 - ☐ References to accreditation certificates issued by the Building Industry Authority
 - ☐ References to determinations issued by the Building Industry Authority
 - ☐ Proposed procedures, if any, for inspection during construction

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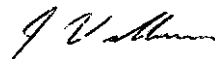
SW & TA NICHOLS RD 2 DARGAVILLE	No. Issue date	990365 10/08/99
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Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES INSTALL MASPORT HEATING APPLIANCE
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	HOME HEATING
Estimated Value	\$2,000
Location	WAIHUE RD, DARGAVILLE
Legal Description	LOT 1 DP 152908 BLK XII KAIHU SD
Valuation No.	0101009000

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:



Name: _____

Date: 10-8-99

1

CONSENT NO: 990365 HEATING APPLIANCE

6-8-99 Completed: OK

Dargaville Office: Private bag 1001 DARGAVILLE Phone 0-9-439-7059 Fax 0-9-439-6756	KAIPARA DISTRICT COUNCIL TAX INVOICE GST No. 52-237-122	Paparoa Office: P.O.Box 1 PAPAROA Phone 0-9-431-7019 Fax 0-9-431-7017
--	--	---

Date: 23-6-99 No: 5169

GUY FINLAYSON
WAIHUK ROAD
RD.2 DARGAVILLE

This is to advise that your application for a Building Consent to INSTALL A MASPORT FREE
STANDING HEATING APPLIANCE FOR S.W. & T.A. NICHOLS

Will be processed and the relevant consents, subject to compliance, will be available for issue upon payment of the following fees:

D114641	Project Information Memorandum	\$	
D114042	Building consent	\$	<u>70-00</u>
OL63017	Building Research Levy	\$	
OL63021	Building Institute Levy	\$	
		\$	

Total includes \$ 7.77 GST \$ 70-00

Signed: *J V Munn*
BUILDING INSPECTOR

Building Consent

Section 35, Building Act 1991

Application

SW & TA NICHOLS	No.	990365
RD 2	Issue date	25/06/99
DARGAVILLE	Application date	24/06/99

Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES INSTALL MASPORT HEATING APPLIANCE
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	HOME HEATING
Estimated Value	\$2,000
Location	WAIHUE RD, DARGAVILLE
Legal Description	LOT 1 DP 152908 BLK XII KAIHU SD
Valuation No.	0101009000

Charges

The Council's charges paid on uplifting this Building Consent, in accordance with the attached details are:

	\$	70.00
Building Research Levy	\$	0.00
Building Industry Authority Levy	\$	0.00
Total	\$	70.00

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications **so** as to comply with the provisions **of** the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach **of** any other Act.

Signed for and on behalf of the Council:



Name: _____

Date: 25-6-99

1500

4.448 2.380

800

Min Base Light - 800

1500 6516

TIMBER TERRACE

2.000x2.400
(KEVIN LOCK CRASH RAIL)

CRASH RAIL
2.000x1.800

LOUNGE

RAMP

DINING ROOM

KITCHEN

PANTRY

OFFICE

BATHROOM

BEDROOM 2

BEDROOM 1

BEDROOM 3

LAUNDRY

CARAGE

UNREIN CONC FLOOR
UNLINED

115x50 CEMENT AT
900 CES

THIS WALL ONLY 618 BOARDS
(UNSTIPPED UNPAINTED)
(LINED INSULATED)
350 DIA VENTS INTO SODIA
VENT FREQ. ROOF

2.000x2.400 Roll-A-De

14.035 3.000 1.530 3.614

1.800 3.479

2.380

1.400

3.906

11.085

1.800



JEEVES
HARRIS

PROPOSED RESIDENCE
FOR MR. G. PARKER

FINANCE

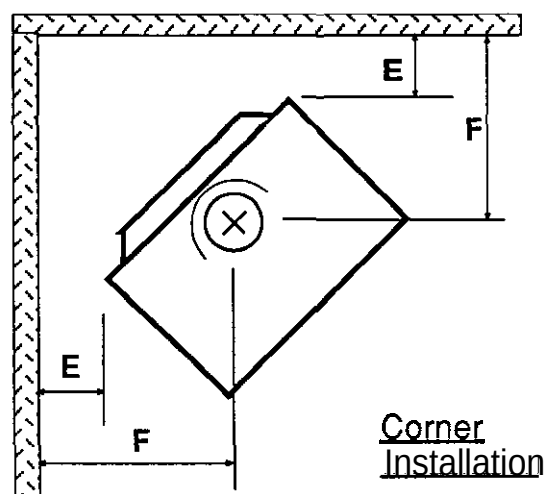
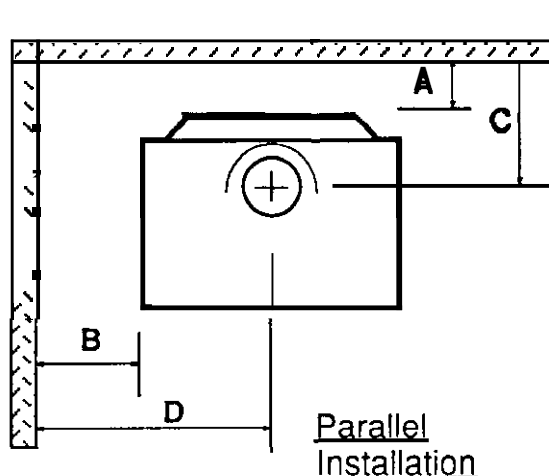
DRAWN PWA DATE 2-11-78
PLAN No. 501
REVISED 7-1-78

POSITIONING YOUR FREE-STANDING WOODFIRE (Contd.)

Detailed dimensional requirements for the flue installation are included with every MASPORT approved flue system.

If a water heating accessory is to be fitted, a further positioning resnaint is the need to be close to your hot water storage cylinder (See page 10).

Flue installations other than strictly vertical ones are possible. See AS 2918 or NZS 7421 for information on flues passing through walls and eaves.



NEW ZEALAND — MINIMUM WOODFIRE TO WALL DIST. NCES - mm.

		A	B	C	D	E	F
Masport LE 2000	With flue heat deflector *	50	300	220	578	50	355
	Without flue heat deflector	300	300	470	578	150	455
Masport LE 3000 Series 2	With flue heat deflector *	50	245	275	575	25	380
	Without flue heat deflector	300	270	525	600	225	580
Masport LE 5000 Series 2	With flue heat deflector *	50	245	275	575	25	380
	Without flue heat deflector	300	270	525	600	225	580
Masport LE 7000	With flue heat deflector *	100	325	295	655	50	425
	Without flue heat deflector	505	420	700	750	325	700
Masport Panorama	With flue heat deflector *	50	345	275	675	50	380
	Without flue heat deflector	300	345	525	675	250	580

* Polished stainless steel Flue Heat Deflector 1200mm long with 180° wrap-around

Project Information Memorandum

Section 31, Building Act 1991

Application

SW & TA NICHOLS	No.	990365
RD 2	Issue date	25/06/99
DARGAVILLE	Application date	24/06/99

Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES INSTALL MASPORT HEATING APPLIANCE
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	HOME HEATING
Estimated Value	\$2,000
Location	WAIHUE RD, DARGAVILLE
Legal Description	LOT 1 DP 152908 BLK XII KAIHU SD
Valuation No.	0101009000

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

No relevant information has been located for this property.

Signed for and on behalf of the Council:



Name:

Date: 25-6-99

PART D : KEY PERSONNEL

(Complete Part D As far as possible in all cases. Give names, addresses and telephone numbers.
Give relevant registration numbers if known)

DESIGNER(S)

Name _____

Address _____

Phone Number _____

Fax Number _____

BUILDER

Name _____

Address _____

Phone Number _____

Fax Number _____

DRAINLAYER

Name _____

Address _____

Phone Number _____

Fax Number _____

PLUMBER

Name _____

GUY FINLAYSON

Address _____

WAIHUE ROAD RD.2. DARGAVILLE

Phone Number _____

439 6636

Fax Number _____

CERTIFIERS

Name _____

Reg No _____

Address _____

Phone Number _____

Fax Number _____

Certifying _____

Name _____

Reg No _____

Address _____

Phone Number _____

Fax Number _____

Certifying _____

RELEASE OF INFORMATION

Council provides building consent information to a number of organisations. Included in this is the names of applicants and the location of the projects. Much of this information has to be supplied in terms of the Local Government Information Act, however we can withhold personal identification if you wish. Please indicate below if you object to release of identifying information.

I WISH TO OBJECT TO THE ISSUE OF IDENTIFYING INFORMATION ON MY PROJECT

☐

PART E : COMPLIANCE SCHEDULE DETAILS

E1 : SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

(Complete Part E1 for all new buildings and alterations, except single residential dwellings)

The building will contain the following (Tick ☐ each applicable box and attach proposed inspection, maintenance and reporting procedures.

- ☐ Automatic Sprinkler systems or other systems of automatic fire protection
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire
- ☐ Emergency warning systems for fire and other dangers
- ☐ Emergency lighting systems
- ☐ Escape route pressurisation systems. **Riser**
- ☐ Mains for fire service use
- ☐ Any automatic back-flow preventer connected to a potable water supply
- ☐ Lifts, escalators, or travelators or other similar systems
- ☐ Mechanical Ventilation or air conditioning system serving all or a major part of the building
- ☐ Any other mechanical, electrical, hydraulic or electronic system whose proper operation is necessary for compliance with the building code
- ☐ Building maintenance units for providing access to the ~~exterior~~ and interior walls of buildings
- ☐ Such **signs** as are required by the building code in respect of the above-mentioned systems
- ☐ None of the above

E2 : OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

(Complete Part E2 only if the building contains one or more of the systems listed in Part E1)

The building will contain the following (Tick ☐ each applicable box and attach proposed inspection, maintenance and reporting procedures)

- ☐ Means of escape from fire
- ☐ Safety barriers
- ☐ Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- ☐ Hand-held hoses for fire fighting
- ☐ Such **signs** as are required by the building code or Section 25 of the Disabled Persons Community Welfare Act 1975