

Sheet Index

Layout ID	Layout Name
SK-01	Cover Index
SK-02	Sediment Control & Site Levels Plan
SK-03	Plumbing & Drainage Plan
SK-04	Site Plan
SK-05	Floor Plan
SK-06	Dimension Plan
SK-07	Roof Plan
SK-08	Exterior Elevations
SK-09	Sections A & B
SK-10	Sections C

Proposed New Dwelling
for
24 Greig Crescent



Preliminary - Not For Construction

General Notes:

Main contractor to provide 2m min. high chain link fence (min. size 50x50mm) to prevent unauthorised entry to the site. All fencing to comply with F5 including relevant hazard signage.

Main Contractor to provide site specific Health & Safety policy which is to be viewed & signed by all persons entering the site.

Main Contractor to ensure Sediment control measures are put in place and maintained throughout construction of building works as per the Sediment Control Plan.

Sediment Control Notes:

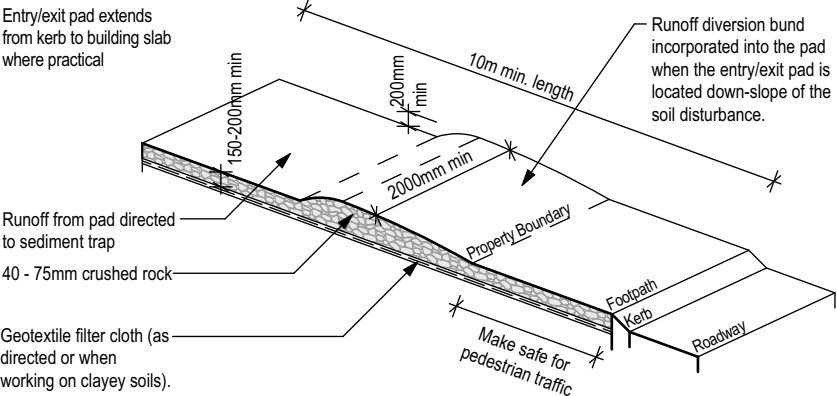
- Rumble pad to be created at point of entry & exit on site (Removed on completion of formed driveway)
- Rumble pad to be created in accordance to guidelines provided by the local Council & maintained in good condition throughout it's period of use.
- All ground cover/vegetation outside of immediate build area to be maintained throughout period of house build. This includes grass verges on the street frontage.
- Any stockpiles of soil or excavated material are to be kept to the rear of the site & covered with impervious sheets.
- Roof downpipes are to be connected to the installed stormwater drainage as soon as practical once roof cladding has been installed. Until this point ensure water run-off from downpipes is directed away from build area but not on to neighbouring properties.

No building work will be started on this project until the construction of an approved stormwater outfall has been completed for this proposed lot.

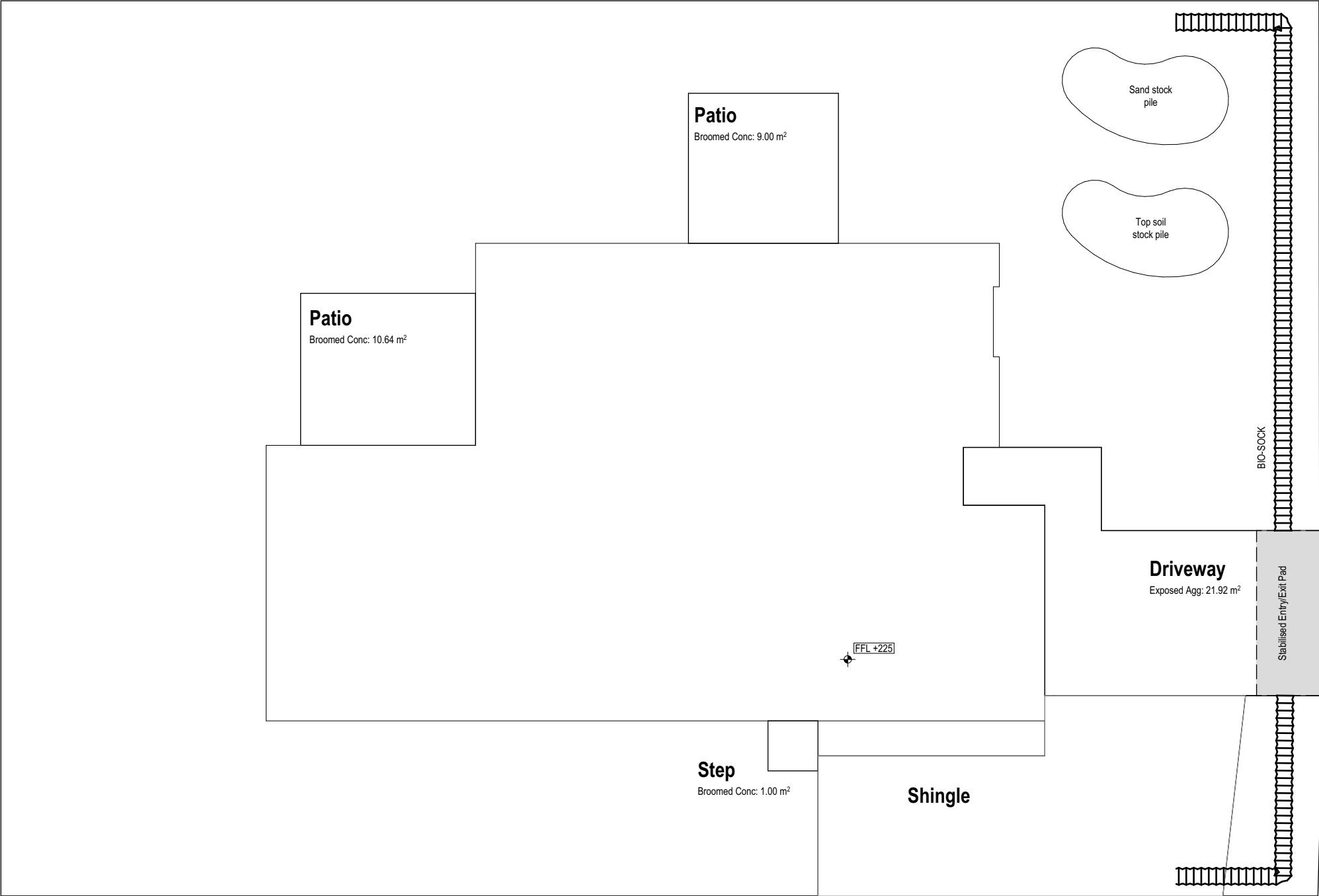
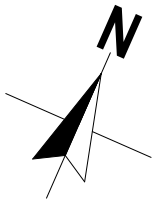
Please Note: An on-site inspection will be completed prior to construction stage with appropriate control measures to protect stormwater drains installed where relevant.

Biosock Installation & Operation: 250Ø Bark Filled Medium Mulch

- Always install silt socks on the contour.
- If you are using more than one length of silt sock, overlap them by at least 1m
- Install silt sock 'wings' at either end of the silt sock, projecting a sufficient length upslope to prevent outflanking.
- Silt socks are to be pegged @ 1.5m centres on alternating sides
- For additional security, bale twine may be used. The bale twine is secured (four turns with a half hitch) to the pine stakes and tensioned when the stakes are driven into place.



Sediment Management Figure : Stabilised Entry Pad



Preliminary - Not For Construction

Whilst Choice Architecture has used reasonable means to ascertain dimensions on site, Choice Architecture does not warrant or guarantee the accuracy of dimensions supplied or implied on the drawings. For all intents and purposes, all dimensions are to be confirmed onsite. Do not scale off drawings.



1/137 Williams Street
Kaiapoi 7630
E: hello@choicearchitecture.co.nz
M: 021 224 6423



Project:
24 Greig Crescent

Project Address:
24 Greig Crescent
Amberley, 7410

Drawing Title:
Sediment Control & Site Levels Plan

Job No: 26008 Designer: SM
Client: Murchison Homes Drawn: SM
Stage: Developed Design Checked: RV

Rev	Date	Description
-	29/01/2026	- PIM / Pricing set
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

Scale @ A3:
1:100
Sheet No:
SK-02

Print Date:
29/01/2026
Rev:
-

Legend

Ref	Fixture	Waste Size	Gradient
WC	Water Closet	100mm	1:60
B	Bath	40mm	1:40
SH	Shower	40mm	1:40
S	Kitchen Sink + DW	50mm	1:40
Van.U	Vanity Unit	40mm	1:40
TUB	Laundry Tub + WM	50mm	1:40
HWC	Hot Water Cylinder	25 & 40mm	1:40
WM	Washing Machine	Discharge to TUB	
GT	Gully Trap		
RGT	Relief Gully Trap		
TV	Terminal Vent	80mm	
BV	Branch Vent	40mm	
DP	Downpipe	80mm Ø Colorsteel	
IP	Inspection Point		
AAV	Air Admittance Valve		
HT	Hose Tap		
HP	Heat Pump		

- 100mm uPVC surface water drain at 1:100 gradient to existing lateral at Soak Pit. (SW)
- 100mm uPVC foul water drain at 1:60 gradient to existing lateral at boundary. (FW)
- All internal waste pipes - Size & gradient shown in above table
- Inspection/Rodding Point

Note:

- Relief Gully Trap is to be positioned so that the top of the gully dish is no less than 150mm below the overflow level of the lowest sanitary fixture served by the drainage system.
- Position of drain connections at street laterals to be confirmed on site.
- Allow to thermally insulate all exterior pipework & valves exposed to external weather conditions.

Drain pipes discharging to GT:

- 25mm min air gap between all pipes & GT.

General Notes:

All plumbing and drainage to comply with Acceptable Solutions G13/AS1/AS2 by qualified trades person. Allow to check all dimensions and falls of drains onsite prior to installation.

Contractor to locate all service connections on site prior to earthworks, confirm all boundary setbacks & restrictions comply with current regulations prior to commencement of foundations.

All waste pipes PVC. Sizes, fall, venting & discharge to be confirmed by NZ qualified plumber.

Confirm positions of available services cabling etc. on site prior to any excavation.

Internal water pipes to be Polybutylene. All pipework & pipes exposed to freezing to be lagged with closed cell foam.

Soak Pits:

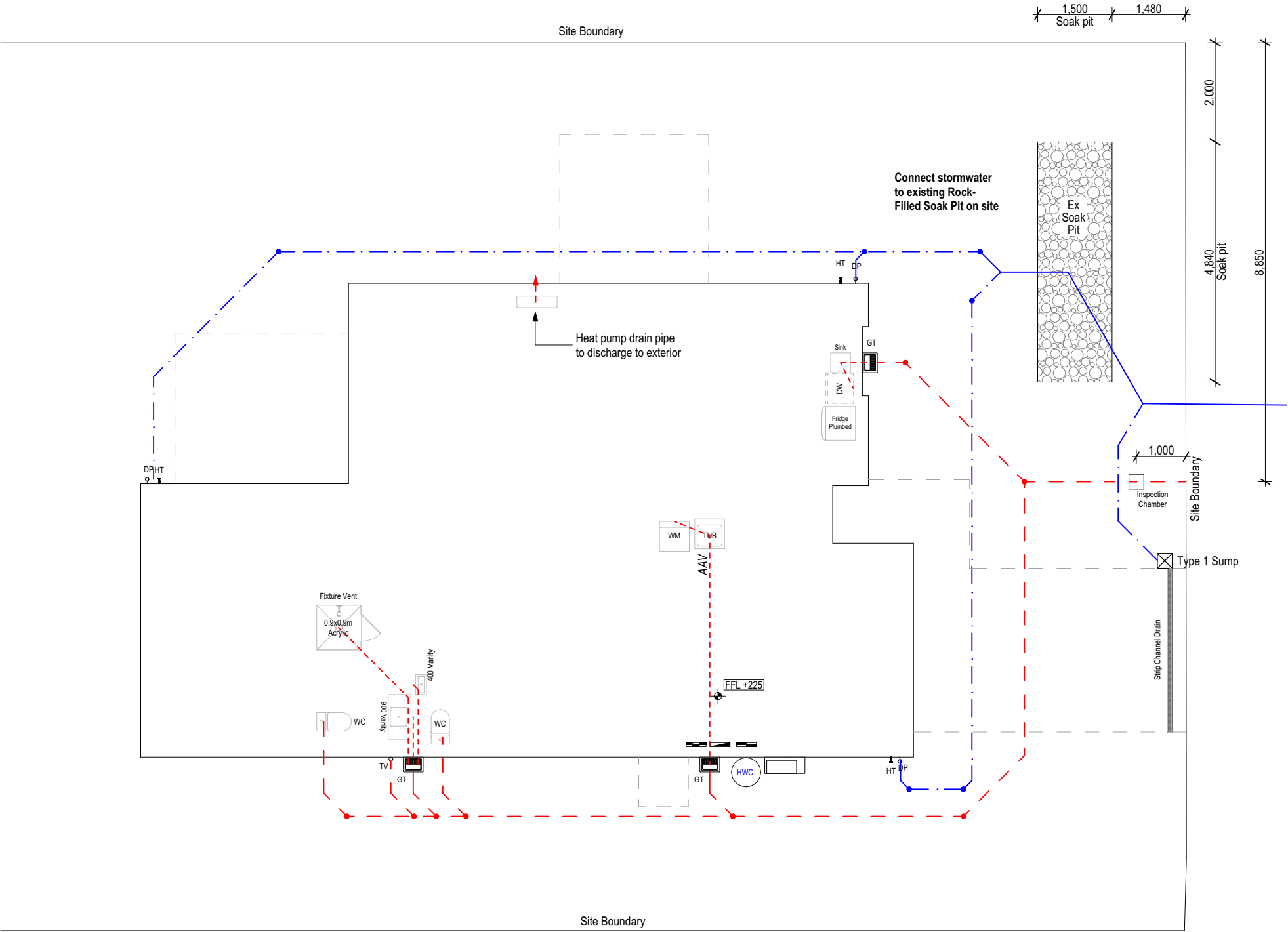
Existing soak pit as per Davis Ogilvie - Stage 1&2 Soakpit As-builts document.

Key

- Meter Board
- Distribution Board
- Comms Panel
- Gully Trap
- Hose Tap

HT
- Downpipe

DP
- Internal Heat Pump
- External Heat Pump



Preliminary - Not For Construction

Whilst Choice Architecture has used reasonable means to ascertain dimensions on site, Choice Architecture does not warrant or guarantee the accuracy of dimensions supplied or implied on the drawings. For all intents and purposes, all dimensions are to be confirmed onsite. Do not scale off drawings.

CHOICE
ARCHITECTURE

1/137 Williams Street
Kaiapoi 7630

E: hello@choicearchitecture.co.nz
M: 021 224 6423

AR
NZ

Architectural
Designers
New Zealand

Professional
Member

LICENSED BUILDING PRACTITIONER

REGISTERED BUILDING CONFERENCE

Project:
24 Greig Crescent

Project Address:
24 Greig Crescent
Amberley, 7410

Drawing Title:
Plumbing & Drainage Plan

Job No: 26008 Designer: SM

Client: Murchison Homes Drawn: SM

Stage: Developed Design Checked: RV

Rev	Date	Description
-	29/01/2026	PIM / Pricing set
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

Scale @ A3:
1:100

Sheet No:
SK-03

Print Date:
29/01/2026

Rev:
-

General Notes

Lot 57
D.P 587128
Site Area 472m²
Site Coverage Area 127.74 m²
(over Cladding incl. eaves over 750mm)

Site Coverage 27.06% (35% Allowable)
Impervious Surface Area 42.56 m² (10.49% Excluding Dwelling & Garage)

Exposure Zone B (Designed to Zone C)
Wind Zone High
Earthquake Zone 3
Snow Zone N4, 1kPa
Climate Zone 5

Territorial Authority Hurunui District Council
Planning Zone Residential 1A
Maximum Building Height 8

General:
Concept subject to TA rules and regulations.
All dimensions to be confirmed on site
Concept may be subject to subdivision developer's approval

Foundation Type:
Allied TC1

Site Information:
Position of road crossing, services locations, street trees, lamp posts, parking bays, pedestrian islands etc. is unknown - to be confirmed when information becomes available.

Boundary Information:
To be confirmed with Certificate of Title

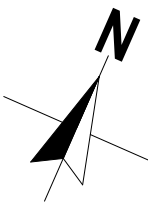
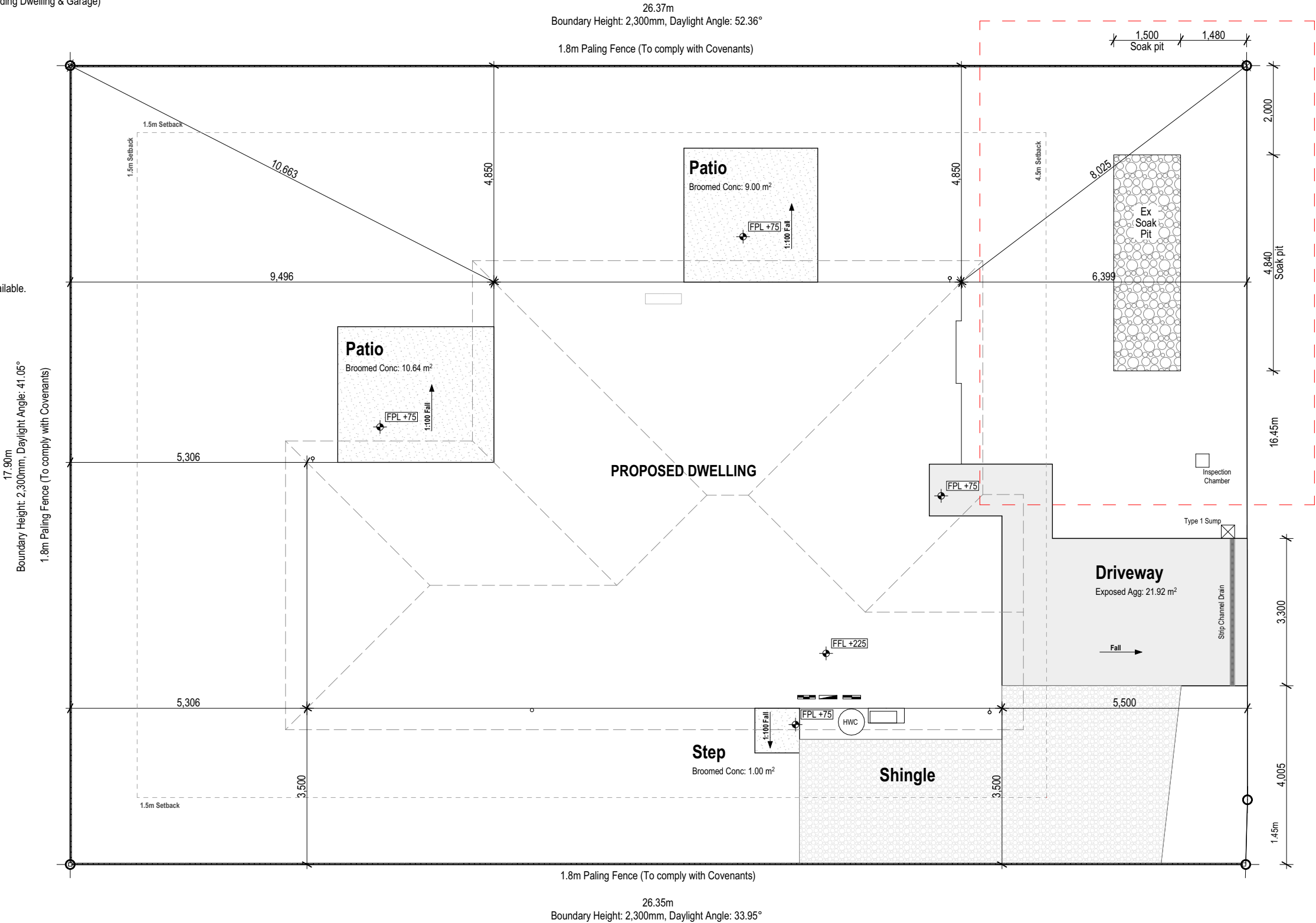
Site Levels:
Site levels to be confirmed with survey plan

Landscaping:
This plan is indicative only. Landscaping to be confirmed by the client.
All Fencing to comply with the relevant Covenants.

Earthworks:
No Earthworks proposed

Site Services:
Stormwater: Existing Soakpit
Sewer Connection: Council Connection at Boundary

Non Compliances Requiring RC:
NA



24 GREIG CRESCENT

Preliminary - Not For Construction

While Choice Architecture has used reasonable means to ascertain dimensions on site, Choice Architecture does not warrant or guarantee the accuracy of dimensions supplied or implied on the drawings. For all intents and purposes, all dimensions are to be confirmed onsite. Do not scale off drawings.



1/137 Williams Street
Kaiapoi 7630
E: hello@choicearchitecture.co.nz
M: 021 224 6423



Project:
24 Greig Crescent

Project Address:
24 Greig Crescent
Amberley, 7410

Drawing Title:
Site Plan

Job No: 26008
Client: Murchison Homes
Stage: Developed Design
Designer: SM
Drawn: SM
Checked: RV

Rev	Date	Description
-	29/01/2026	- PIM / Pricing set
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

Scale @ A3:
1:100
Sheet No:
SK-04

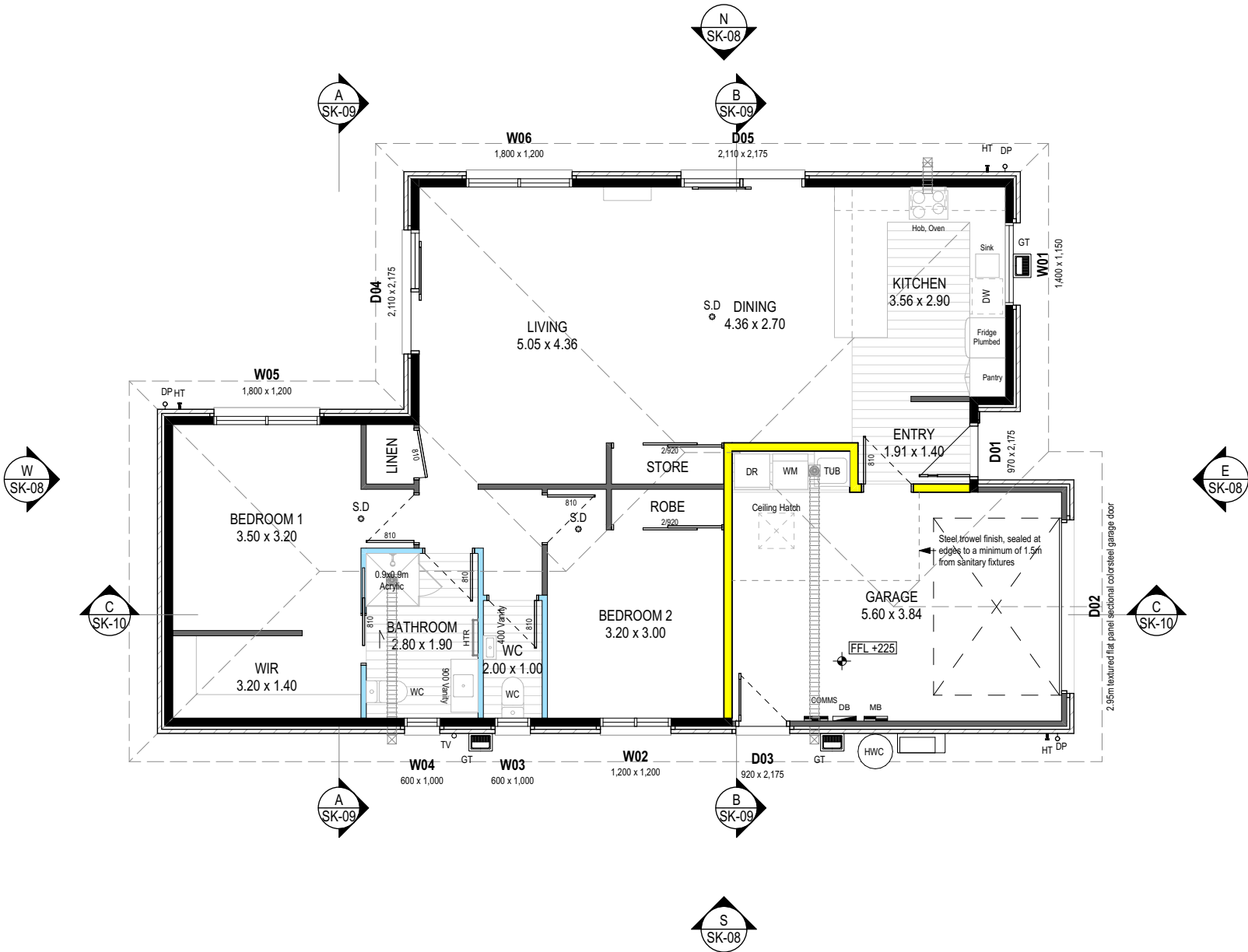
Print Date:
29/01/2026
Rev:
-

General Notes

Floor Area over Framing	120.28 m²
Floor Area over Foundation	126.09 m²
Roof Pitch	20°
Eaves Width	600mm
Gable Width	600mm
Height To Underside of Truss	2455mm
Lintel Height	2175mm
Soffit Height	2190mm

Key

Meter Board	
Distribution Board	
Comms Panel	
Smoke Detector	
Heated Towel Rail	
Outlet Grille	
Extract Grille	
Ducting	
Gully Trap	
Hose Tap	
Downpipe	
Internal Heat Pump	
External Heat Pump	



Preliminary - Not For Construction

Whilst Choice Architecture has used reasonable means to ascertain dimensions on site, Choice Architecture does not warrant or guarantee the accuracy of dimensions supplied or implied on the drawings. For all intents and purposes, all dimensions are to be confirmed onsite. Do not scale off drawings.



CHOICE
ARCHITECTURE

1/137 Williams Street
Kaiapoi 7630
E: hello@choicearchitecture.co.nz
M: 021 224 6423



ARNZ
Architectural
Designers
New Zealand
Professional
Member



LICENSED BUILDING PRACTITIONER
BUILDING CONFERENCE

Project:
24 Greig Crescent

Project Address:
24 Greig Crescent
Amberley, 7410

Drawing Title:
Floor Plan

Job No: 26008 Designer: SM

Client: Murchison Homes Drawn: SM

Stage: Developed Design Checked: RV

Rev	Date	Description
-	29/01/2026	PIM / Pricing set
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

Scale @ A3: 1:100	Print Date: 29/01/2026
Sheet No: SK-05	Rev: -

KEY

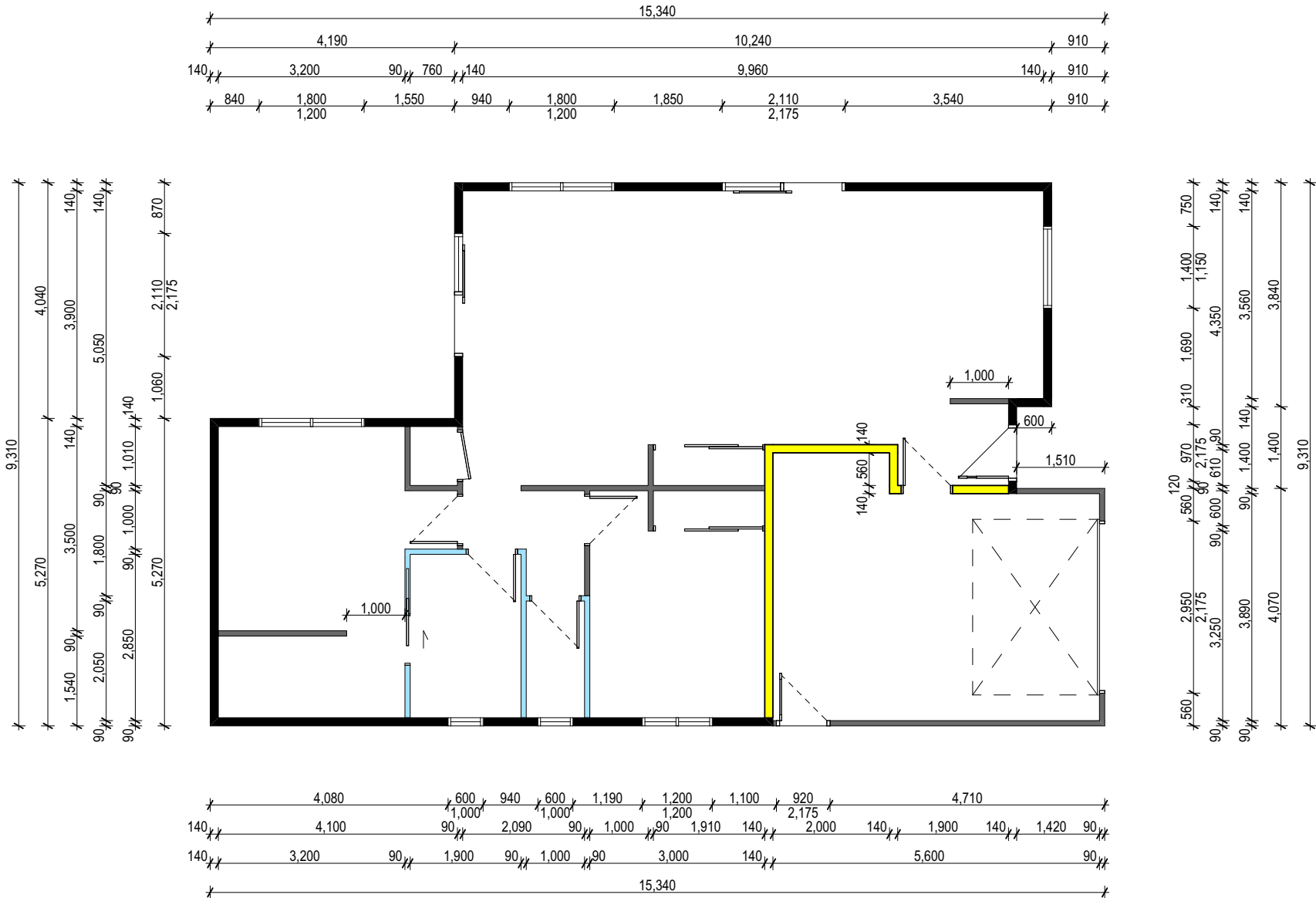
Indicates insulated wall (R2.6 Batts)

Indicates non-insulated wall

Indicates insulated wall (R2.6 Batts)

Indicates Aqualine lined wall
(Villaboard to tiled shower)

Indicates insulated wall (R2.6 Batts)
& Aqualine lined



Preliminary - Not For Construction

While Choice Architecture has used reasonable means to ascertain dimensions on site, Choice Architecture does not warrant or guarantee the accuracy of dimensions supplied or implied on the drawings. For all intents and purposes, all dimensions are to be confirmed onsite. Do not scale off drawings.

CHOICE
ARCHITECTURE

1/137 Williams Street
Kaiapoi 7630
E: hello@choicearchitecture.co.nz
M: 021 224 6423

ARNZ

Architectural
Designers
New Zealand
Professional
Member

REGISTERED BUILDING PRACTITIONER

REGISTERED BUILDING CONFERENCE

Project:
24 Greig Crescent

Project Address:
24 Greig Crescent
Amberley, 7410

Drawing Title:
Dimension Plan

Job No: 26008 Designer: SM

Client: Murchison Homes Drawn: SM

Stage: Developed Design Checked: RV

Rev	Date	Description
-	29/01/2026	PIM / Pricing set
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

Scale @ A3:
1:100

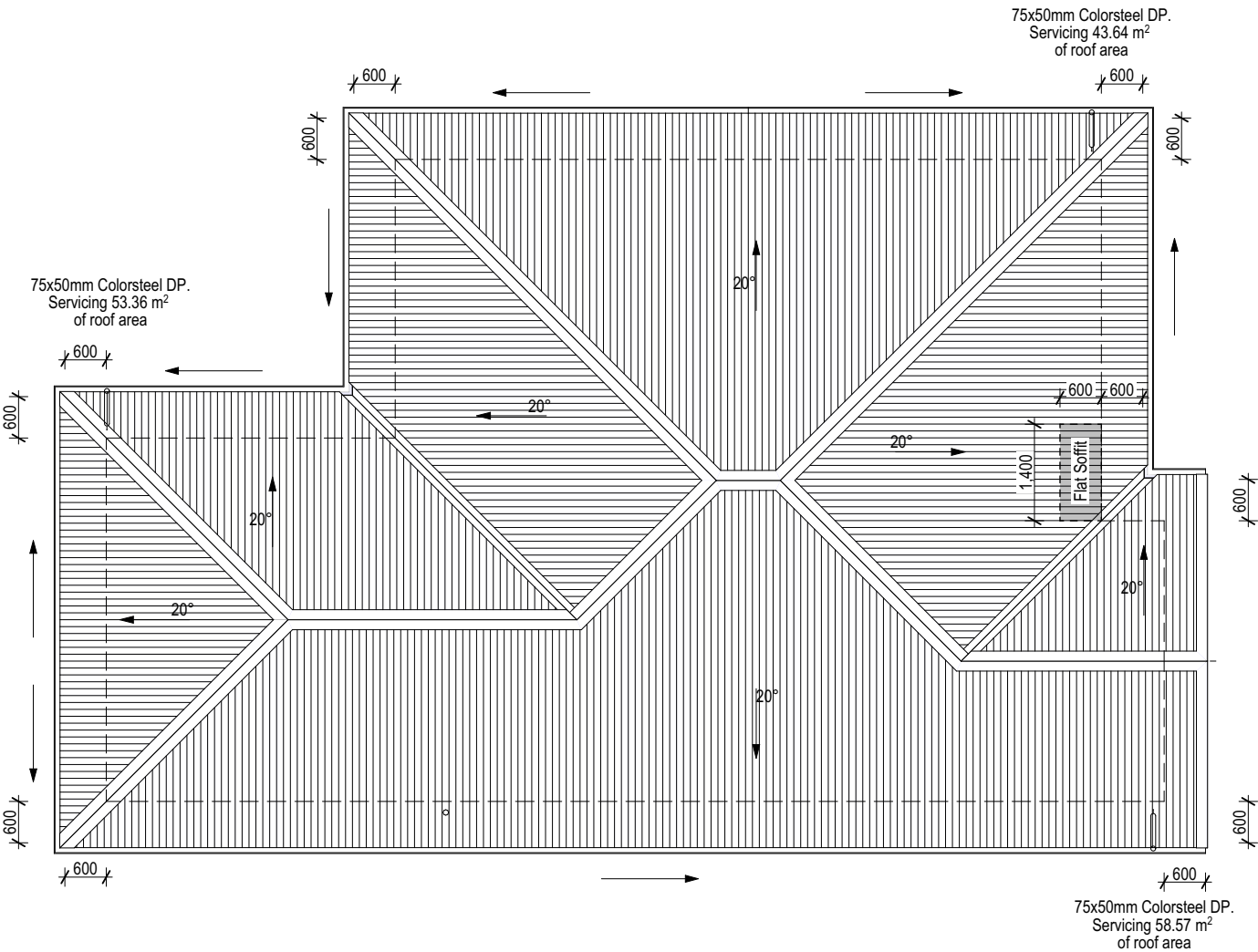
Sheet No:
SK-06

Print Date:
29/01/2026

Rev:
-

General Notes

Roof Pitch	20°
Eaves Width	600mm
Gable Width	600mm
Height To Underside of Truss	2455mm



Preliminary - Not For Construction

While Choice Architecture has used reasonable means to ascertain dimensions on site, Choice Architecture does not warrant or guarantee the accuracy of dimensions supplied or implied on the drawings. For all intents and purposes, all dimensions are to be confirmed onsite. Do not scale off drawings.



1/137 Williams Street
Kaiapoi 7630
E: hello@choicearchitecture.co.nz
M: 021 224 6423



Project:
24 Greig Crescent

Project Address:
24 Greig Crescent
Amberley, 7410

Drawing Title:
Roof Plan

Job No: 26008 Designer: SM
Client: Murchison Homes Drawn: SM
Stage: Developed Design Checked: RV

Rev	Date	Description
1	29/01/2026	PIM / Pricing set
2		
3		
4		
5		
6		
7		
8		
9		
10		

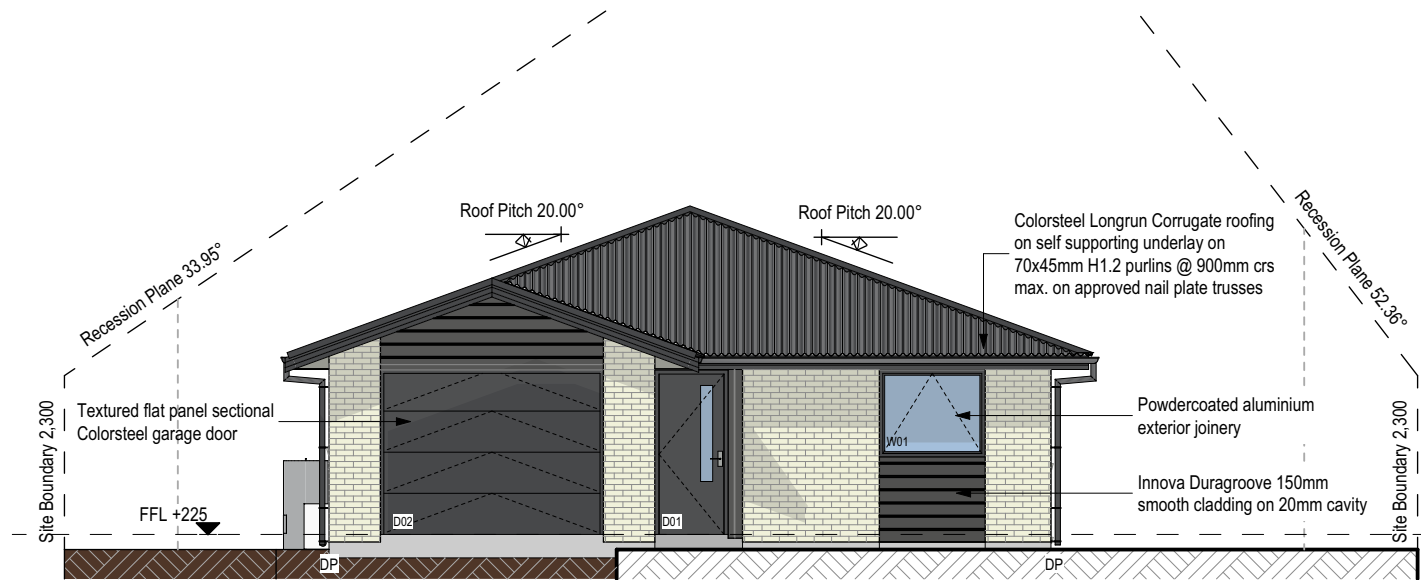
Scale @ A3:
1:100

Sheet No:
SK-07

Print Date:
29/01/2026

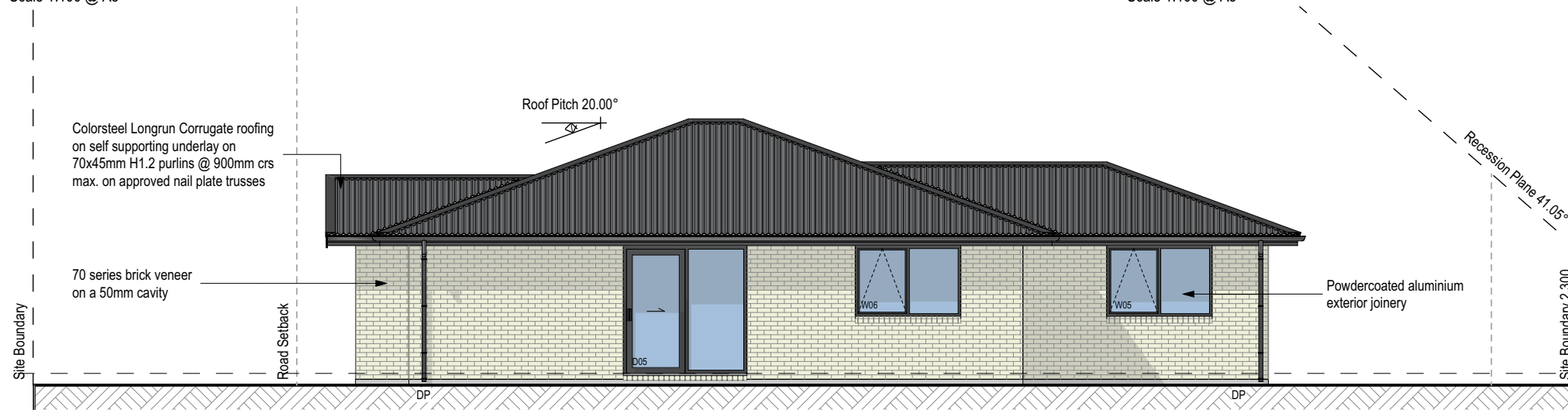
Rev:

-



East Elevation

Scale 1:100 @ A3



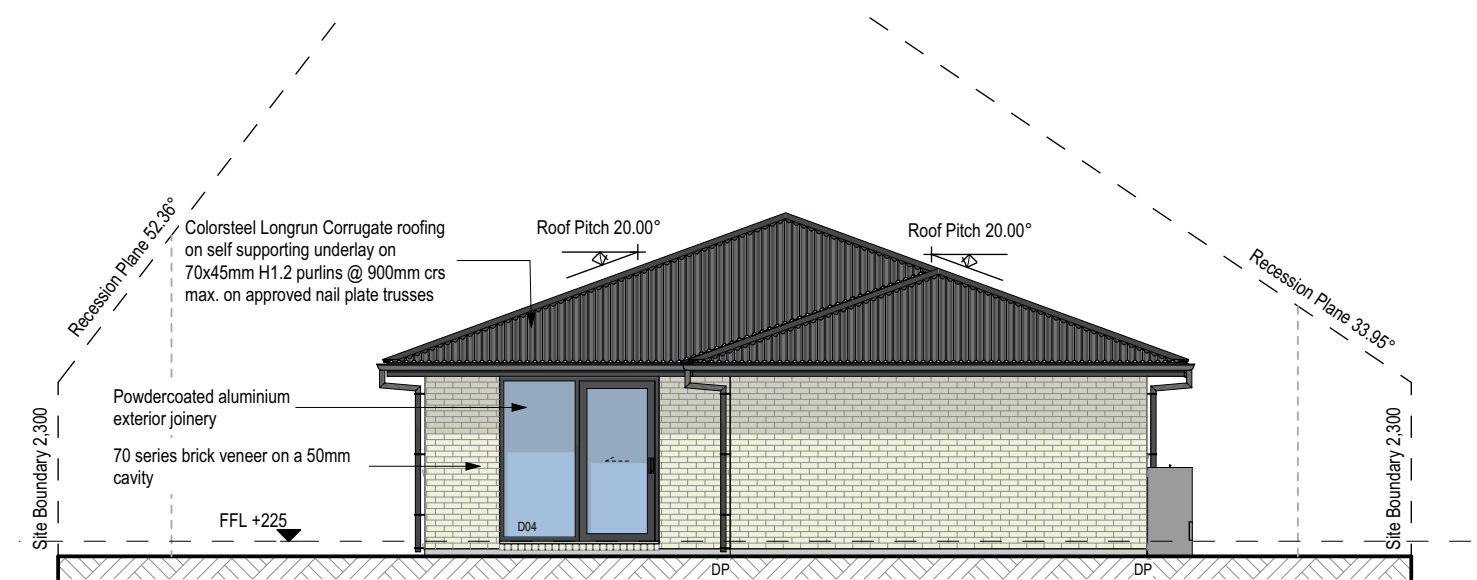
North Elevation

Scale 1:100 @ A3



South Elevation

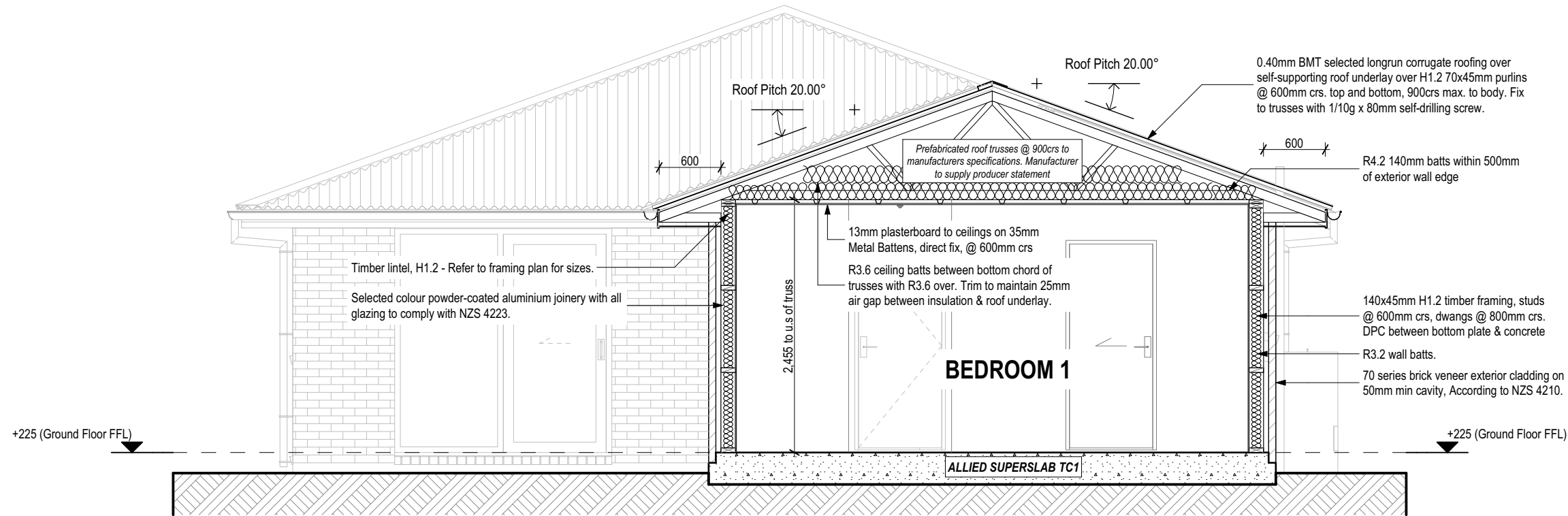
Scale 1:100 @ A3



West Elevation

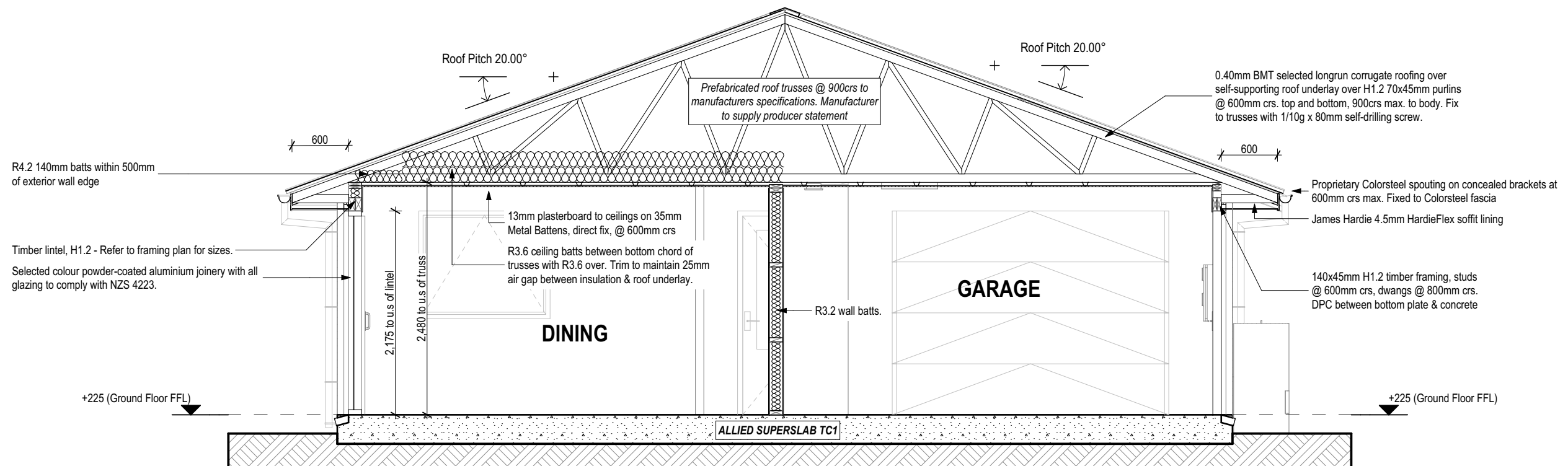
Scale 1:100 @ A3

Preliminary - Not For Construction



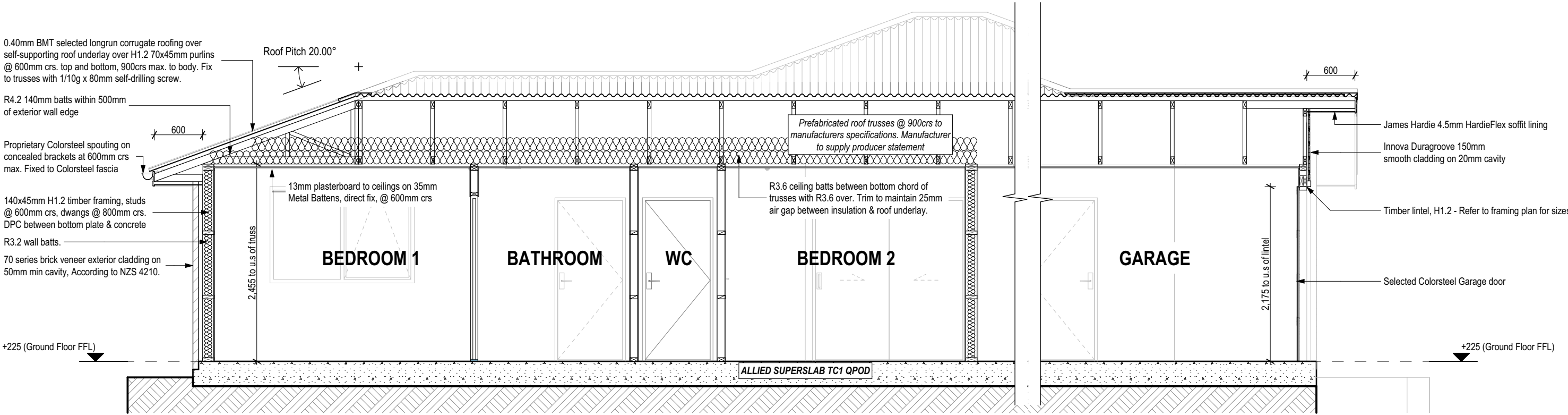
Section A

Scale 1:50 @ A3



Section B

Scale 1:50 @ A3



Section C
Scale 1:50 @ A3

Preliminary - Not For Construction

While Choice Architecture has used reasonable means to ascertain dimensions on site, Choice Architecture does not warrant or guarantee the accuracy of dimensions supplied or implied on the drawings. For all intents and purposes, all dimensions are to be confirmed onsite. Do not scale off drawings.