

Land Information Memorandum



LIM Summary

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Applicant Details

Prepared for	Email
P Corrieri	patrick@drycactus.com

LIM Details

LIM number	Valuation Number	Certificate of Title	Requested on	Issued on
L240800	1956012000	3C/1206	11/11/2024	20/11/2024

Contents

This Land Information Memorandum contains the following information:

1. **Property Information**
 - Property and owner information, rates, services, and classifications
 - Consents for building and resource management
 - Environmental information.
2. **Maps**
 - Aerial
 - Areas and Zones in the Tasman Resource Management Plan
 - Pipes
 - Bores
 - Fire Ban areas
3. **Additional Information**
 - Brochures and other relevant information
4. **Glossary**
5. **Site Plans**
 - Floor plan
 - Site plan
 - Drainage plan

Notes

- This Land Information Memorandum has prepared for the purposes of Section 44A of the Local Government Act 1987 and contains all the information known to the Tasman District Council to be relevant to the land as described in Subsection (2).
- Information provided is based on a search of council records only, and there may be other information relating to the land, which is not currently recorded in the Councils record system. Every care will be taken to ensure that the information is correct, however, Council cannot guarantee that the information is accurate and does not accept any liability for these records.
- A valuation assessment can consist of multiple land parcels. The information in this LIM covers the entire valuation assessment. If you are only interested in part of the land, you must wait until the subdivision of the land is complete before we can provide information that applies only to the newly subdivided valuation assessment.
- The Council has not undertaken any inspection of the land or any building on it for the purpose of preparing this LIM.
- Council records may not show illegal or unauthorised building works on the property.
- Conditions of any authorised uses of the land are contained in the Council's District and Regional Plans.
- A Development Contribution may be payable in accordance with the DC Policy set out in the Council's Long Term Plan and created under the Local Government Act 2002 in relation to subdivision and new development. You will need to refer to the DC Policy to see what DC's are payable for any particular building development and whether any limitations apply. The DC is required to fund District roads and infrastructural services other than reserves and community facilities.
- A Financial Contribution for Reserves and Community Services may be payable in accordance with the Tasman Resource Management Plan on all building other than first dwelling on a title. You will need to refer to the Tasman Resource Management Plan for full details of the FC's that are payable and whether any limitations or exceptions apply.
- The applicant is solely responsible for ensuring that the land is suitable for a particular use.
- This LIM has been produced at the issued date and is valid only as a statement of Council's information at that date.

1. Property Information

This section of the LIM provides information about the rates and services on the property, including:

- Property and owner information, rates, services, and classifications
- Consents for building and resource management
- Environmental information.

Property Information

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Property Location

Valuation	Legal Description	Address	Suburb	Area (ha)
1956012000	31-1288 LOT 1 DP 6461	48 Atkins Street	Motueka	0.1174

Rates Information

Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year. Please note that if this property is a contiguous property, its rates will change if sold separately. Also note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Annual Rates	Current Instalment	Balance Owing	Arrears
\$4342.88	\$1085.72	\$0.00	\$0.00

Rates Breakdown

The Annual Rates above are broken down as follows:

Description	Rate	Units	Amount
General Rate	0.2043c/\$CV	850,000	\$1,736.55
Uniform Annual General Charge	\$394.00/propert	1	\$394.00
Wastewater - 1st Pan	\$766.93/pan	1	\$766.93
WaimeaComDam-Env&ComBen-Distri	\$107.09/propert	1	\$107.09
Motueka Firefighting WaterSupp	\$95.74/property	1	\$95.74
Refuse/Recycling Rate	\$152.54/propert	1	\$152.54
Shared Facilities Rate	\$65.86/property	1	\$65.86
Mapua Rehabilitation Rate	\$4.53/property	1	\$4.53
Museums Facilities Rate	\$79.35/property	1	\$79.35
District Facilities Rate	\$139.34/propert	1	\$139.34
Motueka Community Board	\$15.36/property	1	\$15.36
Motueka Wat. Supply- Serv Chge	\$100.49/meter	1	\$100.49
Regional River Works-Area X	0.0338c/\$CV	850,000	\$287.30
Stormwater UDA	0.0468c/\$CV	850,000	\$397.80

Warm Tasman Rate

Warm Tasman Home Insulation Rate does not apply for this property.

Rating Valuation

Tasman District Council uses a capital value rating system. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Capital Value	Land Value	Improvements	Valuation Date
\$850,000.00	\$385,000.00	\$465,000.00	01/09/2023

New Rating Valuation

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Rating values are reviewed triennially. If the valuation of this property is going to change in the next rating year, it will show below as the New Capital Value. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

New Capital Value	New Land Value	New Improvements Value	New Valuation Date
\$850,000.00	\$385,000.00	\$465,000.00	01/09/2023

Water Meter Information

Reticulated water: Water usage is charged in addition to rates payable. You should check that the vendor has the water meter read at possession time by requesting a special meter reading.

Water ID	Meter Reader Note	Meter Id	Read Date	Year to date	Last year units
W11057		16MC206751	09/09/2024	0	0

Services

This property is serviced under the following water, sewerage, and stormwater schemes.

Scheme or Supply	Service Provided
Motueka Water Supply	Water Supply
Stormwater UDA	Stormwater
Tasman Waste Water	Wastewater

Wheelie Bins

This property has had the following wheelie bin(s) delivered.

Bin Size	Serial Number	Delivered on	Delivered to
Single 240	2414179	08/06/2015	48 Atkins Street, Motueka

Services Notes

This property has the following Services notes on file. The Health Drinking Water Amendment Act (Section 69ZH of the Health Act 1956) requires councils to provide information relating to whether the land is supplied with drinking water and, if so, if the supplier is the owner of the land or a networked drinking water supplier. Note: Tasman District Council may not be aware of other drinking water systems connected to properties. There may also be private drinking water supply systems such as rainwater tanks or private bore/wells. Prospective purchasers are advised to clarify the drinking water supply and water quality with the landowner.

Notes
The property is connected to sewer and water. Council have no other reticulated services available and no public drains cross the property. Additional stormwater discharge to TDC reticulation where available, will be required to be detained as per the Nelson Tasman Land Development Manual (LDM) 2020, Chapter 5.

Protected Trees

No protected trees have been found for this property.

Heritage Buildings

There are no heritage buildings on this property.

Property Information

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Planning Zones

The following Planning Zones pertain to this property. Please refer to the [Tasman Resource Management Plan](#) or contact a Duty Planner for detailed information about what activities can take place in a zone.

Zone	Zone Description
Residential	The Residential Zone primarily provides for residential dwellings. Small-scale home businesses, community activities and facilities may also be appropriate where they are compatible with the residential environment

Consents

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Building Consents

Please note that if a Code Compliance Certificate has not been issued, then the work has not been certified by the Council as complying with the Building Code.

Application Date	BC Number	Proposal	Status	CCC Issue Date
25/08/2004	041557	Workshop	Code Compliance Certificate Issued	09/06/2006
12/03/2003	030408	Decking on dwelling & new pagola	Code Compliance Certificate Issued	14/06/2006
23/06/1998	980921	To alter dwelling	Code Compliance Certificate Issued	19/11/2001
21/05/1997	970800	VERANDAH & DECK	Code Compliance Certificate Issued	29/10/1997
22/04/1996	960655	TO INSTALL FIRE	Code Compliance Certificate Issued	20/06/1997
22/06/1994	941016	TO BUILD NEW GARAGE WORKSHOP	Code Compliance Certificate Issued	13/02/1995

Compliance Schedule

No Compliance Schedule records are available for this property.

Building Permits

The NZ Building Act came in to force on 1 July 1992. From that date, the issue of building permits ceased and they were replaced with building consents. Under the old permit system there was no requirement for Council to keep or provide records of building work. Not all records under the old permit system have survived and where records have survived they may be incomplete. Council does not accept responsibility for any omission in the records. You may wish to engage an independent qualified person to evaluate the building.

Date	Permit Number	Notes
31/10/1991	K043904	Erect a carport
29/06/1984	B080801	Renovate kitchen & lounge
30/05/1983	A075933	Erect laundry
20/04/1971	C015674	Rebuild garage
20/08/1954		Drainage C to S common drain

Building Notes

No additional building notes have been found for this property.

Swimming Pools

This property is noted as having a Swimming Pool. The Building Act 2004 requires mandatory inspections of Swimming pools every three years, which includes any part of the building and any gates or doors that form part of the barrier. Inspections are required every 3 years to confirm continued compliance. A purchaser should be aware that there is a requirement for the pool to comply and the responsibility for this transfers to the purchaser with the sale of the property.

Date	SW Number	Notes
31/05/2021	SW1148	Pool Removed

Consents

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Resource Consents

The following Resource Consents are noted against the property. Consents for water, discharges or coastal permits must be transferred to the person undertaking the activity. A fee will apply.

Application Date	RC Number	Proposal	Status	Decision	Decision Date
20/08/2004	040998	Construct a workshop 1m from rear boundary	Withdrawn		

Planning Permits

Prior to the Resource Consent system, these Planning Permits and notes were registered against the property.

Date	Planning Number	Subject	Notes
23/03/1963	MO212	PROPOSED SUBDIVISION	HOVENDEN & QUAYLE

Planning Notes

TASMAN RESOURCE MANAGEMENT PLAN (TRMP) CHANGES: From time to time, changes are proposed to the planning provisions in the TRMP. Any such changes are publicly notified so that people can make submissions. Plan Changes may propose to alter zonings, policies or rules, and may affect this property or sites in the surrounding area.

Council-initiated Plan Changes can have some effect from the first day of notification as 'proposed changes'. From time to time Council receives a request for a Private Plan Change. These are processed by Council and have no effect until operative.

A list of all the current Plan Changes can be viewed on the Tasman District Council policy pages at www.tasman.govt.nz/link/trmp.

Notes

Tasman Resource Management Plan planning maps identify the property is within the Residential Zone and Land Disturbance Area 1. Further information on this Zone and Area can be found in the Section 2 Maps; Section 4 Glossary and/or on the Tasman Resource Management Plan pages on the Tasman District Council website at www.tasman.govt.nz/link/trmp.

Compliance Notes

No notes regarding compliance with permits or consent conditions have been recorded against this property.

Environmental Health and Licences

No Environmental Health or Licence information has been found for this property.

Licencing Notes

No notes regarding licences have been recorded against this property.

Air Shed

This property does not sit within a controlled Air Shed.

Hazardous Activities and Industries List (HAIL)

No verified HAIL site has been found for this property. However, if the site or any adjacent site has been used for industrial, horticultural or agricultural purposes, we suggest you make further enquiries.

Potential Lead Paint Contamination of Dwellings, Buildings & Land

Any specific information in relation to contamination will be contained in the HAIL part of the LIM, otherwise the Council has no specific information in relation to this property.

Lead is a highly toxic substance that was a key ingredient in household paint. Any building or dwelling built before or during the 1960's is likely to have used lead-based paint at some time. Soil surrounding these buildings has potential to be contaminated by heavy metals contained in the paint. Landowners are responsible for ensuring the safe management of lead paint removal for protecting human health and the environment.

Wetlands

Council holds no records of a wetland being on this property. However please note that the Resource Management (National Environmental Standards for Freshwater) Regulations 2020 creates conditions relating to works carried out around natural inland wetlands regardless of whether they have been mapped by Council or not.

Pest Inspection History

The Tasman-Nelson region has a Regional Pest Management Strategy for the control of declared pest plants, animals and organisms. The responsibility for the control of pests lies with the land occupier or owner. No pests have been recorded on this property.

Significant Native Habitats

Council has been compiling biodiversity reports (also called Ecological Property Reports or reports on Significant Native Habitats) for the past eight years and where these exist they are available. However, no report has been lodged on this property.

Hazard Notes

These notes include hazard information relevant to this LIM.

SEA LEVEL RISE AND COASTAL HAZARDS MAPPING

We have developed a coastal hazards map viewer which maps the extent of low-lying coastal land in Tasman and Golden Bays that may be affected by sea level rise. The viewer shows a range of sea level rise scenarios, including the effects of higher tides caused by storms. Areas of historical coastal erosion (sediment loss) and accretion (sediment gain), as well as the presence of coastal structures such as stopbanks, walls and rock revetments, have also been mapped.

You can view the coastal hazards map viewer on our website at tasman.govt.nz/link/coastal-management. On our website you will also find more information about the project.

Notes

Council have no record of this property being affected by flooding. However, as with much of Motueka, flat or low lying sections of the property and its vicinity may be affected by surface water ponding during periods of prolonged or high intensity rainfall. The property is located on the Motueka floodplain, which is protected by a stopbank system, that was designed and constructed to provide protection from a 2% annual exceedance probability flood, (i.e. a flood with a return period of 50 years on average). In the unlikely event of stopbank failure during an extreme flood event, the roading network and lower lying topography may act as floodways contributing to overland flows and/or surface water ponding. Regional mapping of seismic liquefaction susceptibility was undertaken across the district in 2021. Detail of this mapping and MBIE's requirements pertaining to the construction of buildings on land where liquefaction is possible can be found on the Council's website <https://www.tasman.govt.nz/liquefaction-map>.

2. Maps

Several maps are included in your LIM:

- An aerial overview
- A map of the water and sewer pipes around the property
- A map showing any bores on the property
- A map of the fire ban areas that may apply
- Maps of the Zones and Areas defined in the Tasman Resource Management Plan (TRMP) and their associated legends.

Please note that other rules defined in the TRMP may also apply to this property. The TRMP is available online at www.tasman.govt.nz.



— State Highway Roads
— Road Boundaries

Valuation Boundaries
 Parcel



Aerial Photo Map

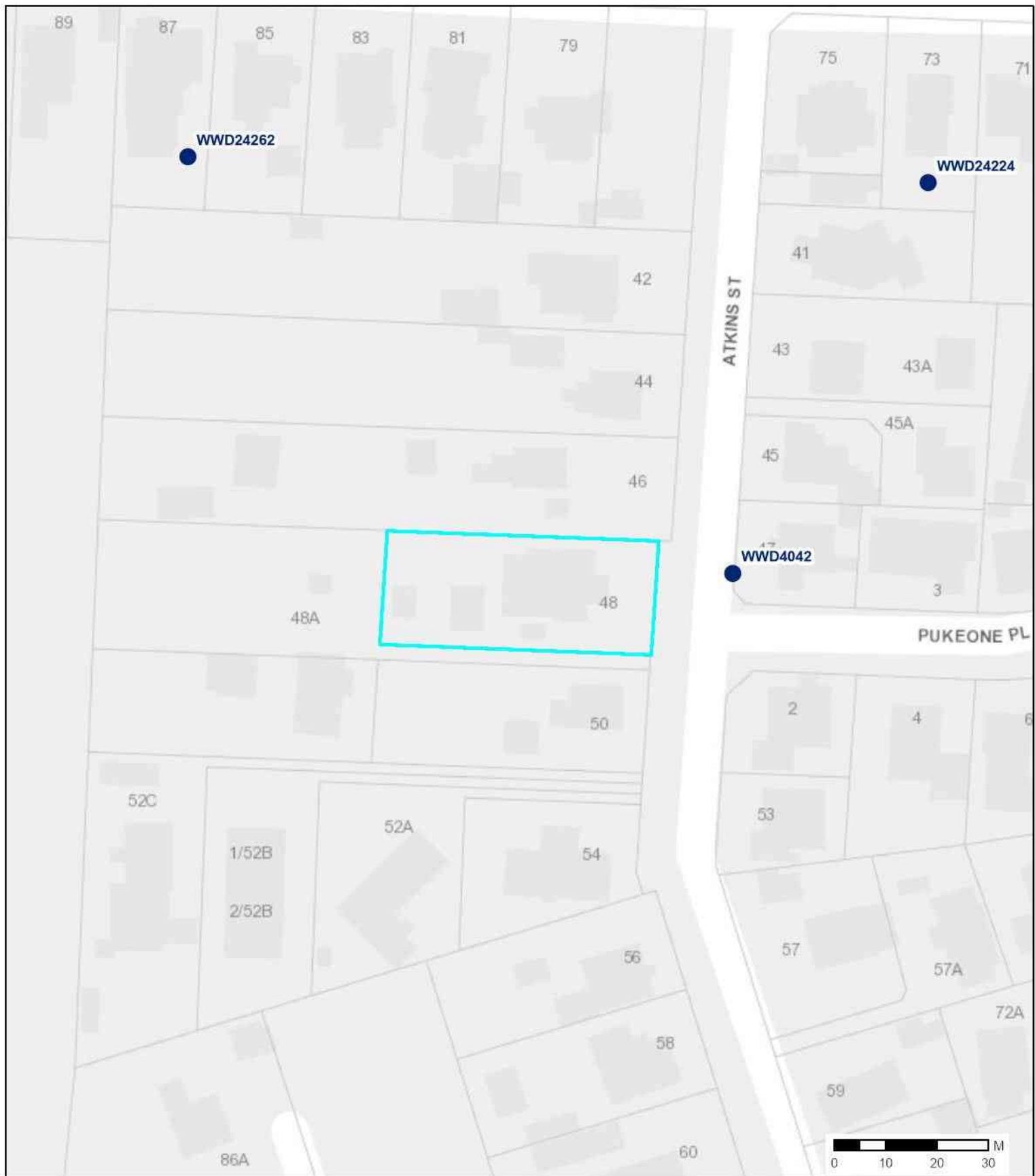
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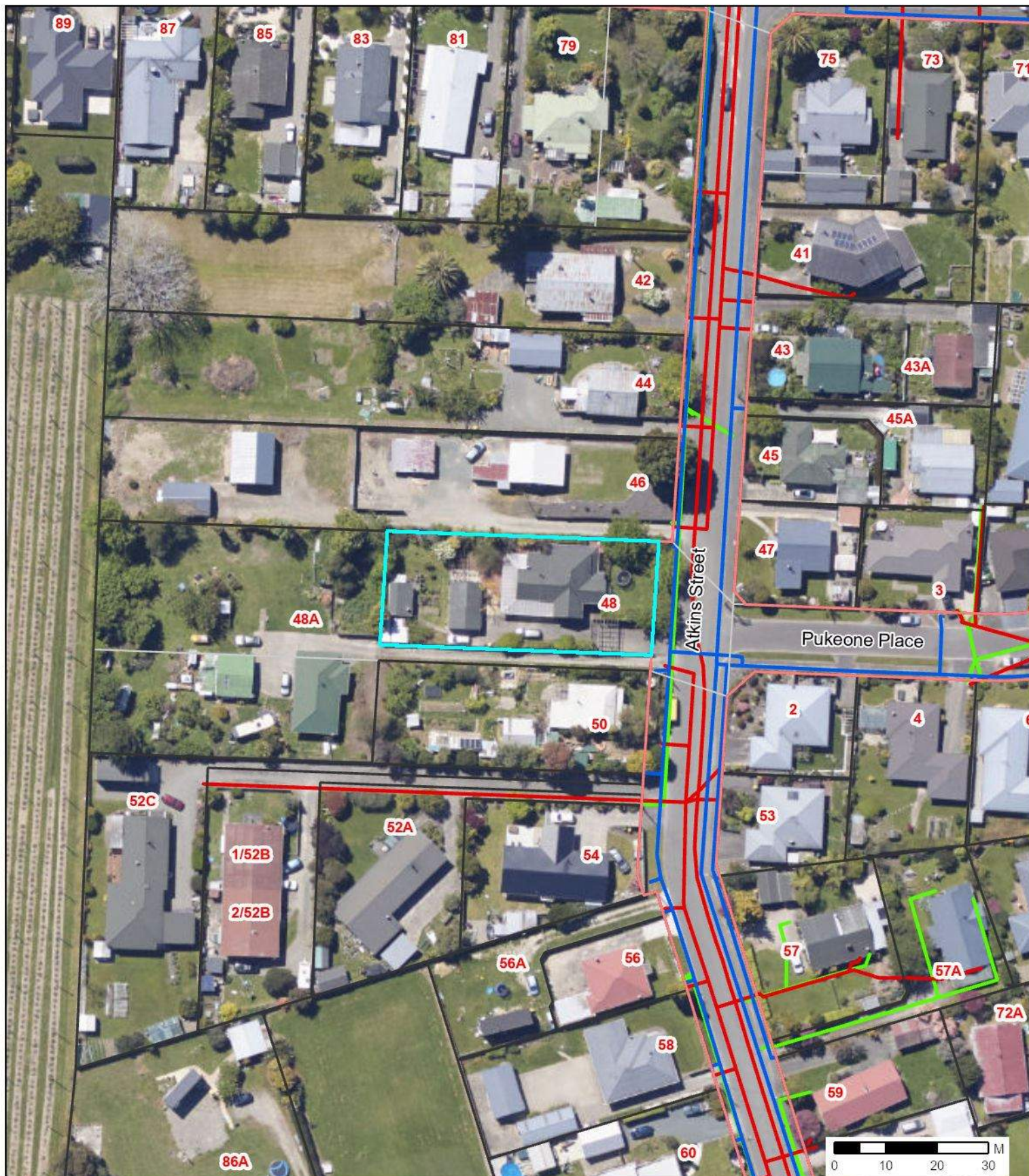


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Wednesday, 20 November

Original Sheet Size 210x297mm



- Bores
- Road Boundaries
- Parcel
- State Highway Roads
- Valuation Boundaries



- | | | |
|---|---|---|
| — Water Pipes | - - - Stormwater Drains | Valuation Boundaries |
| — Wastewater Pipes | — State Highway Roads | Parcel |
| — Stormwater Pipes | — Road Boundaries | |

Pipe Network Map

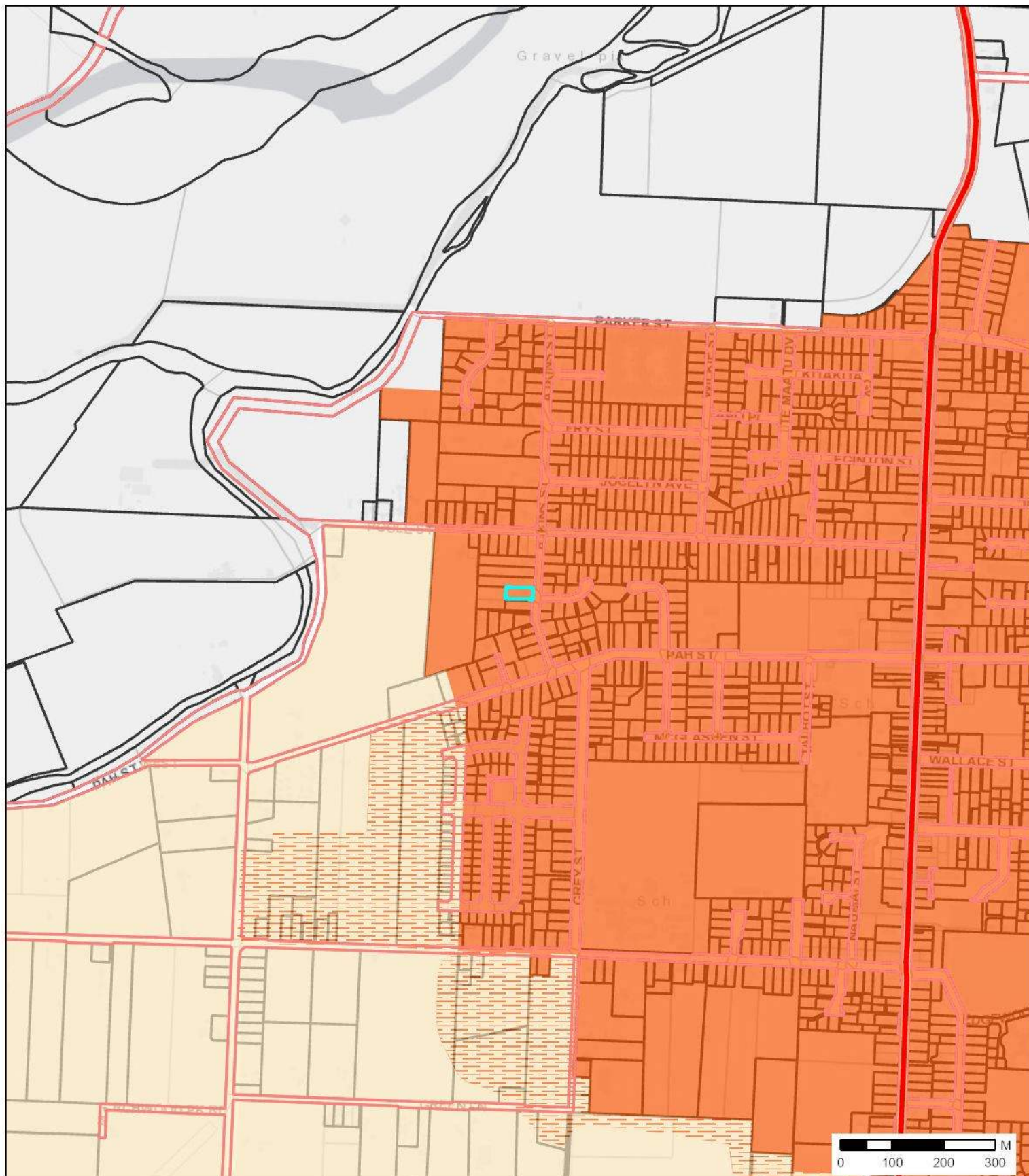
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Wednesday, 20 November

Original Sheet Size 210x297mm



- | | | | |
|-----------------------------|------------------------------|----------------------|--------|
| Obstacle Limitation Surface | Deferred Fire Sensitive Area | Fire Sensitive Areas | Parcel |
| Deferred Fire Ban Area | Fire Ban Areas | Valuation Boundaries | |

Fire Ban Areas Map

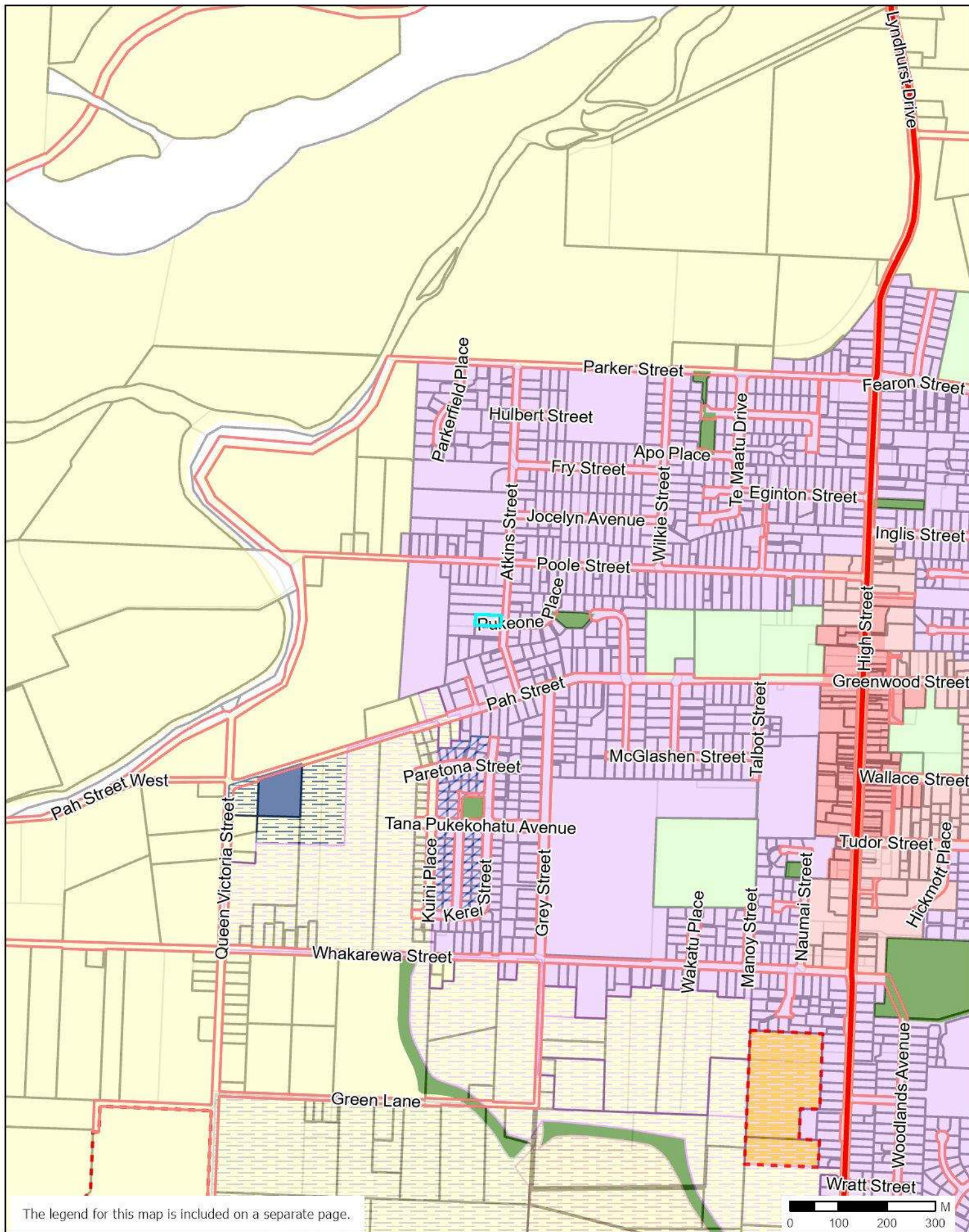
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Wednesday, 20 November

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The legend for this map is included on a separate page.

TRMP Zones Map

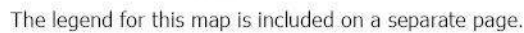
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ZONE MAPS

	Rural 1		Compact Density Residential Area		Rural 2 deferred Residential
	Rural 1 Closed		Rural Residential		Rural 2 deferred Rural Residential
	Rural 1 Coastal		Rural Residential Serviced		Rural 2 deferred Rural Residential Serviced
	Rural 2		Rural Residential Closed		Rural 2 deferred Mixed Business
	Rural 3		Open Space		Rural 2 deferred Light Industrial
	Central Business		Recreation		Rural Residential deferred Residential
	Commercial		Conservation		Rural Residential Serviced deferred Residential
	Mixed Business		Tourist Services		Recreation deferred Mixed Business
	Light Industrial		Papakainga		Recreation deferred Residential
	Heavy Industrial		Rural 1 deferred Residential		Tourist Services deferred Residential
	Rural Industrial		Rural 1 deferred Tourist Services		Rural 1 deferred Papakainga
	Residential		Rural 1 deferred Mixed Business		Residential deferred Light Industrial
	Residential Closed		Rural 1 deferred Light Industrial		Development Area
	Residential Coastal		Rural 1 deferred Heavy Industrial		Notation
			Rural 1 deferred Rural Residential Serviced		Direction of development

AREA MAPS

	T1 Protected Tree		Indicative Vehicle Access/Crossing Point		Wastewater Management Area
	Heritage Building : NZ Historic Places Trust Register		Fault Rupture Risk Area		Services Contribution Area
	Heritage Building : Tasman District Council Register		Slope Instability Risk Area		Coastal Environment Area
	View Point		Ridgeline		Coastal Risk Area
	D1 Designation Site		Working Quarry Site		Mooring Area
	D1 Designation Area		Quarry Area		Chemical Hazard Area
	Indicative Development Area		Aquifer Protection Area		Landscape Priority Area
	Indicative Reserve		Significant Natural Area		Electricity Transmission Line
	Indicative Stormwater Retention Area		Recharge Protection Area		Shopping Frontage
	Indicative Road		Land Disturbance Area 2		Retail Frontage
	Indicative Walkway		Residential Activity Restriction Area		Service Lane
	Indicative Waterway		Special Domestic Wastewater Disposal Area		Road Area
					Car Park

3. Additional Information

This section of the LIM includes general information of interest to potential buyers in the area.

- **Civil Defence/Emergency Management**

The Council jointly provides civil defence arrangements with Nelson City Council. Details of alerts and other information can be found on the website at

www.nelsontasmancivildefence.co.nz.

4. Glossary

Term	Explanation/Note
Coastal Environment Area	The Coastal Environment Area is a Tasman Resource Management Plan overlay. Its purpose is to guide the management of Tasman District's coastline. The seaward boundary of the Coastal Environment Area is mean high water springs and the overlay extends approximately 200 metres inland from this boundary. Any building work within the Coastal Environment Area may require resource consent. Rules relating to this area can be found in Section 18.11 of the Tasman Resource Management Plan.
Coastal Risk Area	The Coastal Risk Area is a Tasman Resource Management Plan overlay that extends over parts of Ruby Bay and recognises the extent of coastal erosion and inundation in this area. Any building work within the Coastal Risk Area will need to comply with Tasman Resource Management Plan Rule 18.9.2.1 or a resource consent will be required.
Consent Notice	A consent notice is a form of covenant between the Council and a landowner. A consent notice will be registered on the title alerting current and future property owners of certain obligations that must be complied with on a continuing basis by the property owner. The process to change or cancel a consent notice requires a resource consent application to Council.
Deferred Fire Ban Area	The land is subject to deferred Fire Ban Area provisions which will take effect once the deferrals applying to the land use zones are uplifted. The fire ban provisions mean that outdoor burning will be prohibited except in particular circumstances relating to lot size. Until then the land is subject to Fire Sensitive provisions which limit outdoor burning during winter months.
Electricity Transmission Lines and Towers	Any property identified as having high-voltage electricity lines over or adjacent to the property or there are transmission towers/pylons on or adjacent to the property, the applicant/landowner must ensure that the proposed building or structure complies with the clearances prescribed in the New Zealand Electrical Code of Practice for Electrical Safety Distances (NZECP34:2001).
Fault Rupture Risk Area	This area encompasses active fault systems in the Tasman District. Rules in Section 18.13 apply to activities in this area.
Fire Ban Area	Rules 36.3.2.3, 36.3.3.3 and 36.3.7.3 apply to this property. The Rules are located in the Discharge Section of the Tasman Resource Management Plan. The rules mean outdoor fires (to burn waste paper and vegetation) are prohibited on properties less than 5,000m ² . Where properties are larger than 5,000m ² , resource consent is required to have an outdoor fire (the rules do not apply to barbecues or braziers).

Term	Explanation/Note
Fire Sensitive Area	Rules 36.3.2.3, 36.3.3.3 and 36.3.5.3 apply to this property. The Rules are located in the Discharge Section of the Tasman Resource Management Plan. The rules mean that outdoor fires (to burn waste paper and vegetation) are not permitted during the months of June – August (inclusive) unless where there is disease on a horticultural crop (the rules do not apply to barbecues or braziers). Resource consent to burn other horticultural vegetation can also be sought for fires during June – August.
Land Disturbance Area 1	This covers most of the District and is characterised by generally stable landscapes. Many land disturbance activities are permitted in this area subject to performance standards to maintain appropriate soil and surface water quality values. Consents may be required for some activities on the naturally higher risk terrains within the area such as steep hill country and the karst terrain. The full set of regulatory requirements are found in Section 18.5 “Land Disturbance Areas” of the Tasman Resource Management Plan (TRMP).
Land Disturbance Area 2	This covers the terrain known as Separation Point Granite, where land disturbance activities are known to pose special risks from erosion which may have detrimental effect both on site and off site. Few land disturbance activities are permitted in this area and generally consent is required for activities where mechanical land clearance is carried out on land exceeding 15 degrees and where track and road formation produce cuts greater than 0.5 metres. The full set of regulatory requirements are found in Section 18.5 “Land Disturbance Areas” of the Tasman Resource Management Plan (TRMP).
Landscape Priority Area	The Landscape Priority Area is a Tasman Resource Management Plan overlay that covers parts of St Arnaud and the Takaka Hill. Its purpose is to guide development in a way that protects the unique landscape and natural values of these areas. Any building work within the Landscape Priority Area may require resource consent. Rules relating to this area can be found in Section 18.2 of the Tasman Resource Management Plan.
Obstacle Limitation Surface	The Rule 36.3.3.1(g) relates to the safety of aircraft approaching Nelson Airport. Within the limitation surface area the efflux velocity of any discharge to air does not exceed 4.3 metres per second at a height greater than 60 metres.
Recharge Protection Area	This is an area where establishment of new plantation forest is regulated. Up to 20% new forest can be planted as a permitted activity in these areas - provided council is notified first. Otherwise resource consent is required. The objective for these provisions is to protect surface water yields and groundwater recharge from being reduced because of the rainwater interception effects of tall forest vegetation.

Term	Explanation/Note
Services Contribution Area	Council has made an interim decision for properties in the Services Contribution Area that Council will not provide a reticulated wastewater system. All discharge of domestic wastewater will require a Resource Consent.
Slope Instability Risk Area	This area has particular rules relating to information requirements in relation to ground stability. Rules in Section 18.12 apply to activities in this Area.
Special Domestic Wastewater Disposal Area	Any new discharge of wastewater to land must meet the conditions of Rule 36.1.2.5 of the Tasman Resource Management Plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule). Any developments that increase the potential number of inhabitants, such as additional bedrooms, additional rooms that could be used as bedrooms, second dwellings or sleep-outs will require an upgrade of the wastewater treatment and disposal system so that it meets the conditions of Rule 36.1.2.5 of the Tasman Resource Management Plan (this may include the installation of a system that will treat the wastewater to the standards specified in the Rule), or alternatively a resource consent must be obtained.
Wastewater Management Area	Any new discharge of wastewater to land will require resource consent. The wastewater treatment and disposal system should also meet the conditions of Rule 36.1.3.2 or Rule 36.1.4.2 of the Tasman Resource Management Plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule). Any developments that increase the potential number of inhabitants such as additional bedrooms, additional rooms that could be used as bedrooms, second dwellings or sleep-outs will require resource consent and will require an upgrade of the wastewater treatment and disposal system so that it meets the conditions of Rule 36.1.3.2 or Rule 36.1.4.2 of the Tasman Resource Management plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule).

5. Site Plans & Consent Information

This section of the document contains plans that are on file regarding the site. This may include:

- Resource Consent information
- Floor plans for any buildings on the site
- Drainage plans
- Overall site plans.

Council may hold additional plan information, such as technical specifications for items used in the construction of any buildings. If you would like a full copy of all the documents on file, please contact Customer Services. Note that this can be quite extensive in some cases, and a fee applies.

Code Compliance Certificate

Section 95, Building Act 2004

Application

John Kelly	No.	041557
48 Atkins Street	Issue date	9/06/06
Motueka	Overseer	David Stebbings

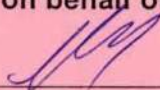
Project

Description	Other outbuildings eg shed, workshop, sleepout Being Stage 1 of an intended 1 Stages Workshop
Intended Life	Indefinite, but not less than 50 years
Intended Use	Workshop
Estimated Value	\$9,980
Location	48 Atkins Street, Motueka
Legal Description	31-1288 Lot 1 DP 6461
Valuation No.	1956012000

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:

Name:




Date:

9. 6. 06

Main Office

189 Queen Street
Private Bag 4
Richmond 7031
New Zealand
Tel (03) 543-8400
Fax (03) 543-9924

Murchison

Service Centre

92 Fairfax Street
Murchison 7191
Tel (03) 523-1013
Fax (03) 523-1012

Motueka

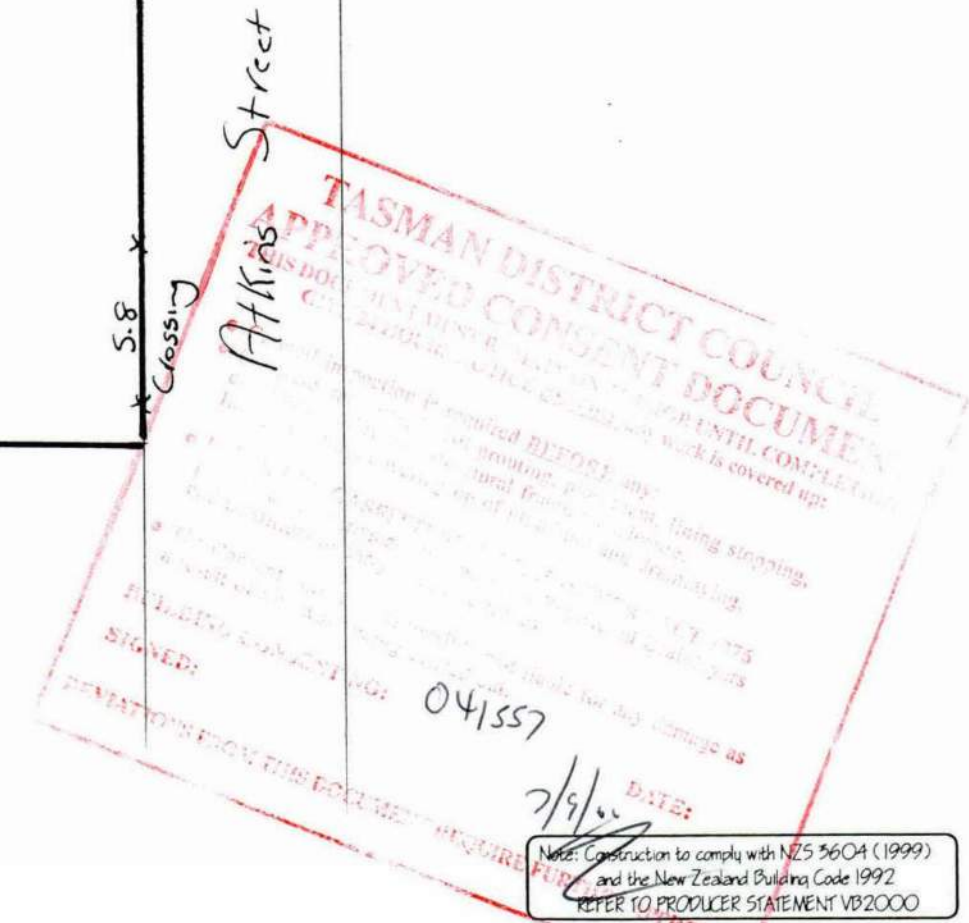
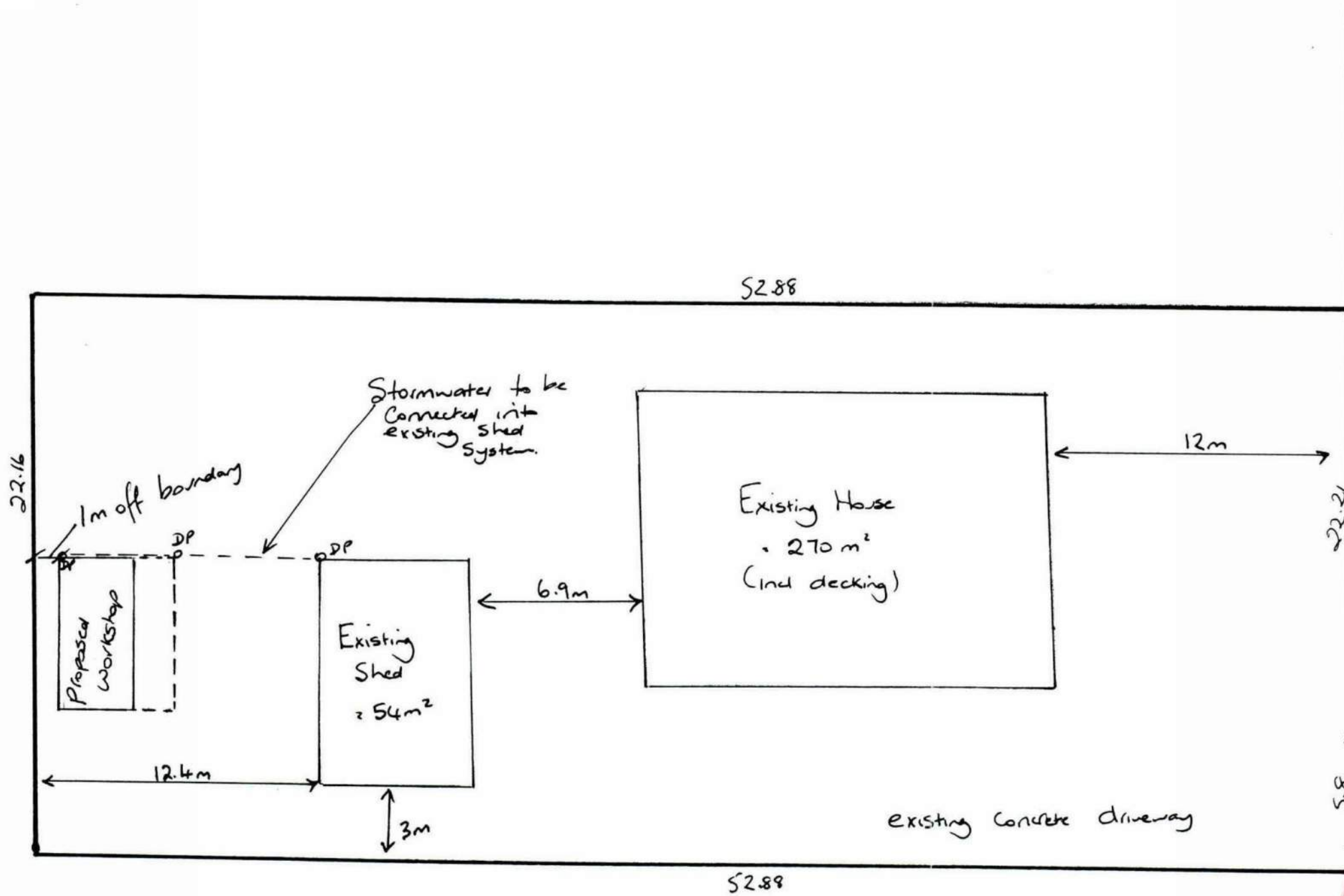
Service Centre

7 Hickmott Place
P.O. Box 123
Motueka 7161
Tel (03) 528-2022
Fax (03) 528-9751

Golden Bay

Service Centre

78 Commercial Street
P.O. Box 74
Takaka 7172
Tel (03) 525-0020
Fax (03) 525-9972



1174 m²
SITE DETAILS
LOT: 1
DP: 6461
CT: 13A | 750



PROJECT TITLE
John Kelly
48 Aitkens Street Motueka

Proposed Building for:

DRAWING TITLE

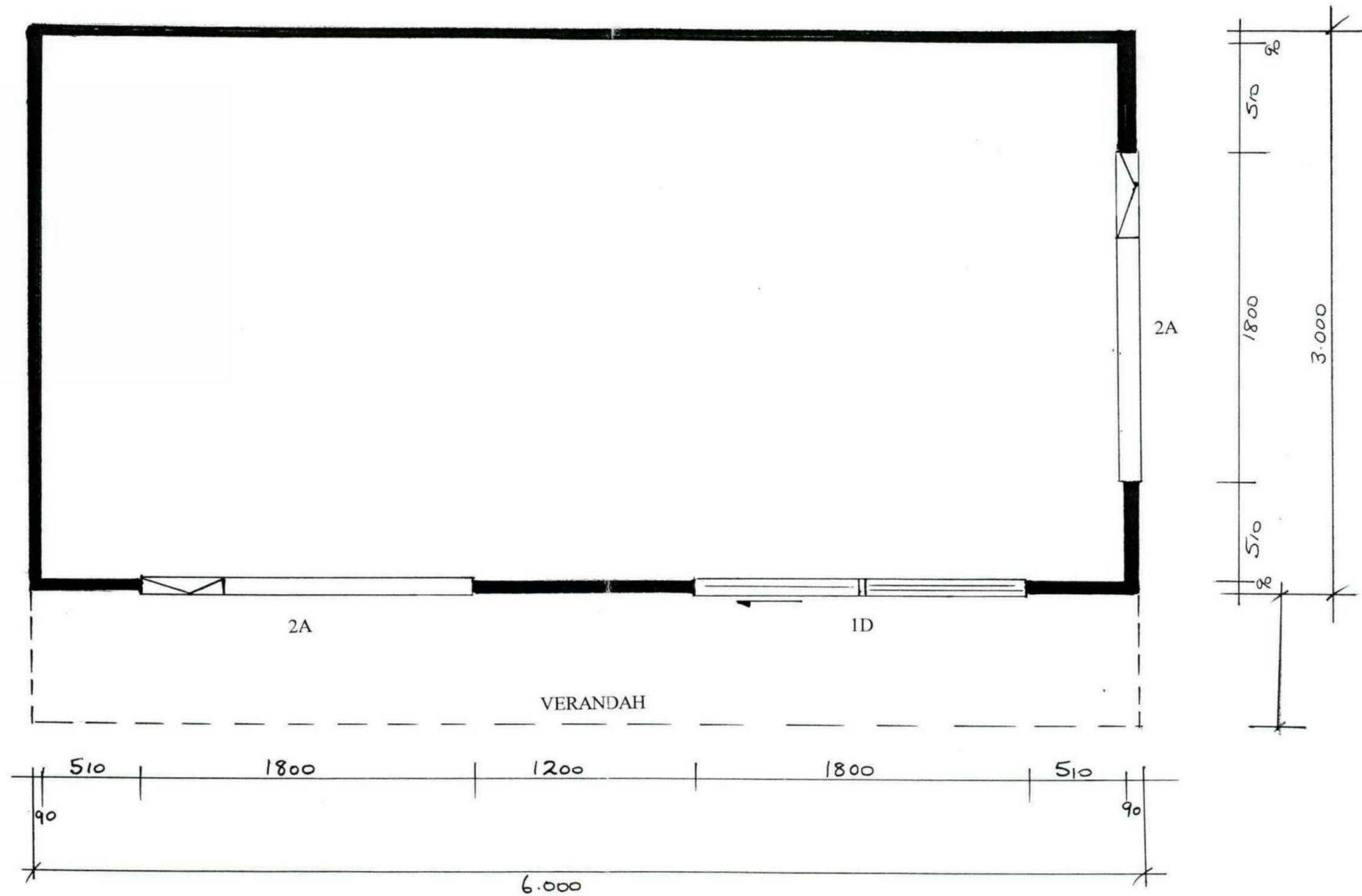
SITE PLAN

SCALE:
1:200
DRAWN:

DATE: Aug '04
FILE:

SHEET: 1
OF

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED



Land Information Memorandum Issued on 20/11/2024

PROJECT TITLE
Proposed Building for:
John Kelly
48 Atkins Street Motueka

DRAWING TITLE

FLOOR PLAN

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 1992. REFER TO PRODUCER STATEMENT VB2000

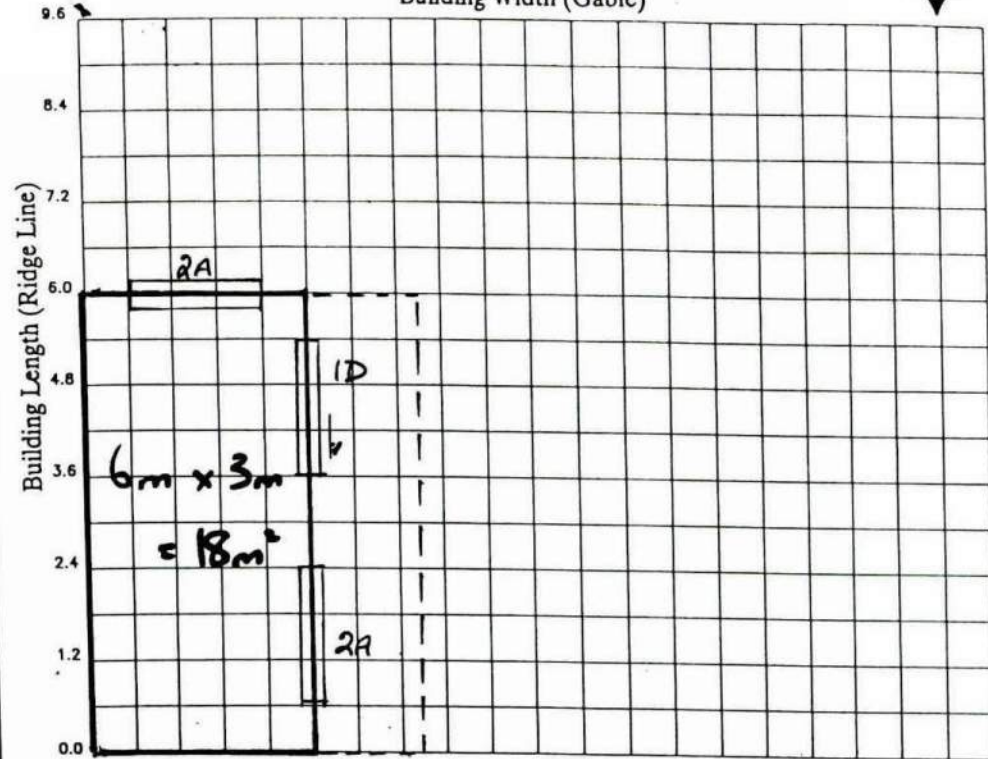
SCALE 1:250
DATE Aug '04

SHEET 1

27 of 51

FLOOR PLAN

Building Width (Gable)



BUILDING DATA

Length	6.0m	Width	3.0m	Area	18m²
STUD HEIGHT	2.1m	2.4m	☒ 2.7m	3.0m	
CLADDING	Versatclad	Superclad	☒ Other		
WIND ZONE	Low	Med	☒ High	V.High	
FLOOR	Concrete	☒ Timber			
ROOF PITCH	15°	20°	25°	other	

NOTES:

Construction to comply with NZS3604:1999 and the New Zealand Building Code. Refer to Producer Statement VB2000. Copyright: These drawings must not be reproduced without express permission of Versatile Buildings Ltd.

GENERAL

All work to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Versatile Buildings Ltd/Mitek Producer Statement for Design, dated July, 2002. VB2000 Series

FOUNDATIONS

Concrete floor shall be 17.5mpa/100mm thick. Footing as detailed.

WALL FRAMING

All timber shall be machine gauged and treated to T.P.A. specification H1.2 or C.F. MGP 10 framing. Studs shall be 90x35 frames at 600 ctrs and housed into plates. Lay 'Supercoarse' D.P.C. under all plates. Refer to Producer Statement VB2000 Sheet 4 for timber grade options and specification. Fix hardware in accordance with Producer Statement VB2000 Sheets 4 & 5.

ROOF FRAMING

Purlins shall be 90mm x 45mm on edge at 1500 max cts fixed to Gangnail 15 degree trusses. Fix purlins, trusses and ridge braces as detailed in Producer Statement VB2000, Sheets 14 & 15. For raking ceiling (skillion roof) refer VB2000 page 13.

SIDE ENTRY OPENING LINTELS

LVL Beams size/span as per Producer statement VB2000 Sheet 4, Fixing details VB2000 Sheet 9

ROOFING

Shall be steel longrun rib roofing, fixed with 65/75mm weatherseal spiral shank nails, over building paper on Ultra-Violet fast lashing.

WALL CLADDING

Fix in accordance with NZ 3604 & as wall bracing fixing specification

ROOF BRACING

For all buildings fix Lumberlok roof plane strap bracing in accordance VB2000 Producer Statement, Sheet 17. For 2.7 & 3.0m stud, refer VB2000 Sheet 8

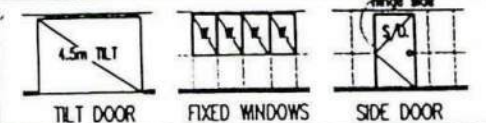
WALL BRACING

Fix Bracing per VB2000 Sheet 7, Bracing Panel locations and fixing refer: 'Wall Bracing: 600 Series, Feb '04 Ver 1.4

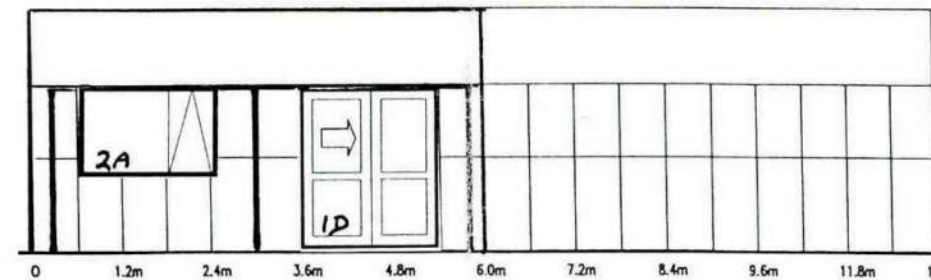
LEGEND Plan



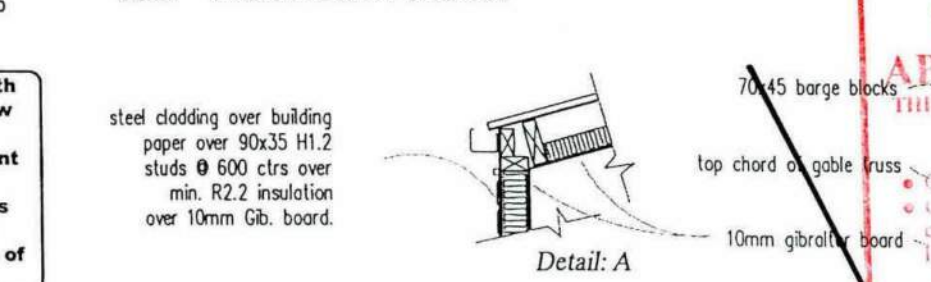
LEGEND Elevation



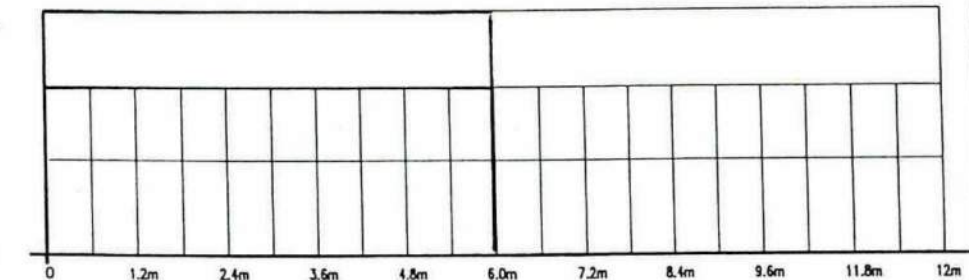
Front Elevation



Left Elevation



Rear Elevation



Right Elevation



Detail: A

steel cladding over building paper over 90x35 H1.2 studs @ 600 ctrs over min. R2.2 insulation over 10mm Gib. board.

Detail: B

70x45 barge blocks
top chord of gable truss
10mm gibraltar board

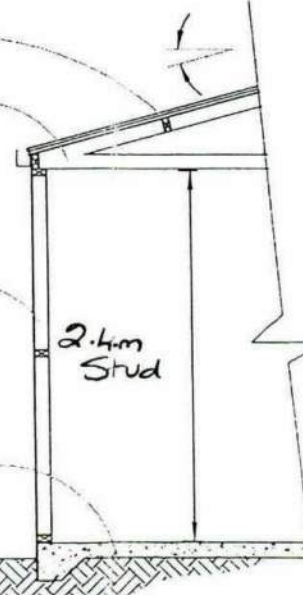
Detail: C

longrun rib roofing on breather type building paper over R2.6 batts
90x35 dry frame trusses at 1800mm effective centres
3.6m & 4.2m spans use 200x50 purlins @ 1100mm cts max up to a span of 3.0m. Use 150x50 purlins @ 1100mm cts max.

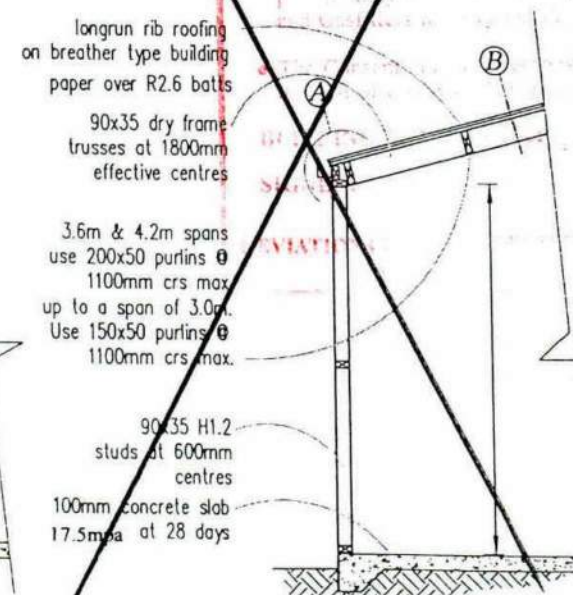
Detail: D

longrun rib roofing on 90x45 dry frame purlins cut between trusses
90x35 dry frame trusses at 1200mm effective centres
10mm Gib board over Rondo 301 Steel ceiling battens @ 450mm max. cts over min. R2.6 ceiling insulation

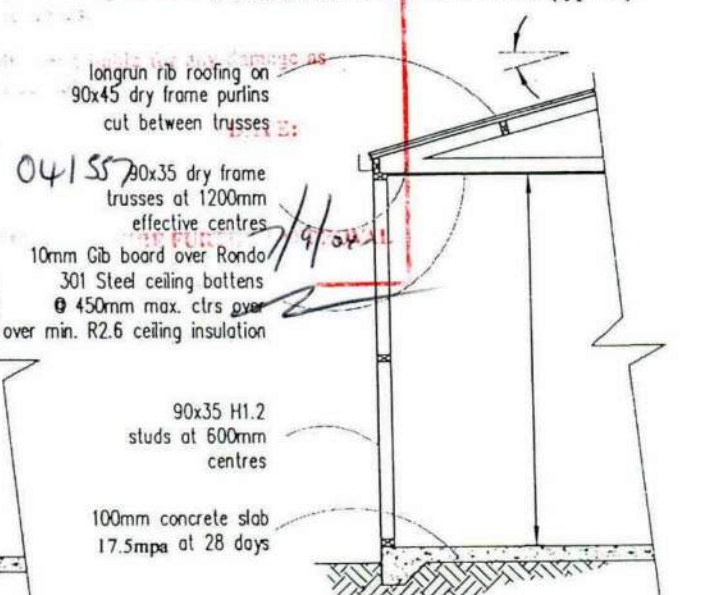
FOUNDATION DETAIL n.t.s. (typical)



GARAGE SECTION



LINED ROOM SKILLION CEILING OPTION



LINED ROOM FLAT CEILING

SPECIFICATIONS

VERSATILE BUILDINGS

COPYRIGHT: THESE DRAWINGS MUST NOT BE REPRODUCED WITHOUT EXPRESS PERMISSION OF VERSATILE BUILDINGS LTD.

Proposed Garage For:
John Kelly
48 Aitken's Street
Motueka.

Construction Details, 600 Series
VERSATILE BUILDING

SCALE: 1:100
DATE: Aug '04
DRAWN: V.B. Ltd
FILE: VG-136A
SHEET: 1 OF 1

Code Compliance Certificate

Section 95, Building Act 2004

Application

J T Kelly	No.	030408
48 Atkins Street	Issue date	14/06/06
Motueka	Overseer	David Stebbings

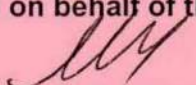
Project

Description	Dwellings - Alterations & additions
	Being Stage 1 of an intended 1 Stages
	Decking on dwelling & new pagola
Intended Life	Indefinite, but not less than 50 years
Intended Use	Decking / car cover
Estimated Value	\$10,000
Location	48 Atkins Street, Motueka
Legal Description	31-1288 Lot 1 DP 6461
Valuation No.	1956012000

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:

Name:




Date:

14/6/06

Main Office

189 Queen Street
Private Bag 4
Richmond 7031
New Zealand
Tel (03) 543-8400
Fax (03) 543-8400

Murchison

Service Centre

92 Fairfax Street
Murchison 7191
Tel (03) 523-1013
Fax (03) 523-1012

Motueka

Service Centre

7 Hickmott Place
P.O. Box 123
Motueka 7161
Tel (03) 528-2022
Fax (03) 528-9751

Golden Bay

Service Centre

78 Commercial Street
P.O. Box 74
Takaka 7172
Tel (03) 525-0020
Fax (03) 525-0072

PROPOSED HOUSE ALTERATIONS
48 ATKINS ST.
MOTUEKA.
 FOR
J. T. KELLY.
 CONTACT PHONE: (03) 528 9956.

ADDITIONS.
FLOOR AREA.
 MASTER BEDROOM. 8.4 m²
 BEDROOM. (2) 2.4 m²
 TOTAL 10.8 m²

LEGEND
 ——— EXISTING WALL.
 - - - - - WALL TO BE REMOVED
 ——— NEW WALL.
 [] "SUNTUFF" TRANSPARENT SHEET ROOFING.

NEW DECK AREA. 46.75 m²
 PILES 125x125 H5 IN CONCRETE.
 BEARERS. 100x75 H4
 JOISTS 150x50 H4.
 DECKING 100x40

FRENCH DOORS AT (A)(B)(C)
 1600 X 2000
 LINTELS: 150 X 100
BAY WINDOWS AT (D)(E)
 2600 X 1500
 LINTELS: 200 X 100

DECK PARTLY COVERED BY
 CLEAR ROOFING. 18 m²
 POSTS 125x125 AT 2300 MAX
 150 X 50 BOLTED TO WALL 6004
 150 X 75 BEAM AND RAFTERS.
 75 X 50 PURLINS.

PERGOLA.
 CLEAR ROOF AREA 30 m²
 POSTS 200 X 200 H5 SET 1200 H
 BEAMS 300 X 100 ATTACHED BY.
 3 GALV. BOLTS TO EACH POST.
 RAFTERS. 150 X 75 PURLINS 75 X 50

BRACING DETAIL ON WALLS (D)(E)

STUDS C 450 MAX.
 LINING: 7.5m CONST. PLY.
 HOLD DOWN: 4 @ 6 kN
 4 GALV. STRAP 25x1m
 NAILS: PLY - 30 X 2.5 GALV F/H
 @ 75mm STRAP - 30 X 3.15 GALV F/H
 BEDROOM. (2)

BAY WINDOW
 R/O 2600 X
 2050

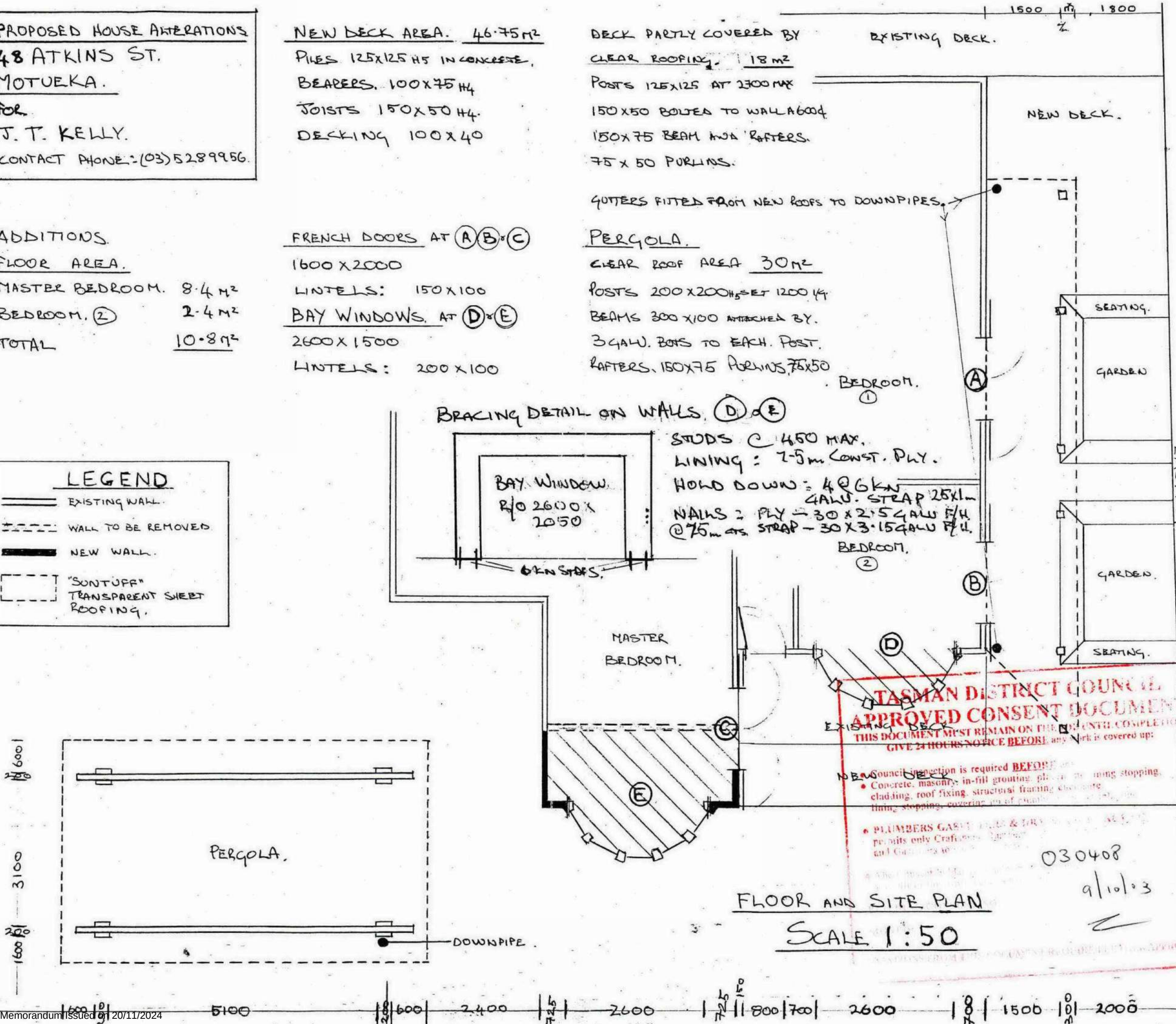
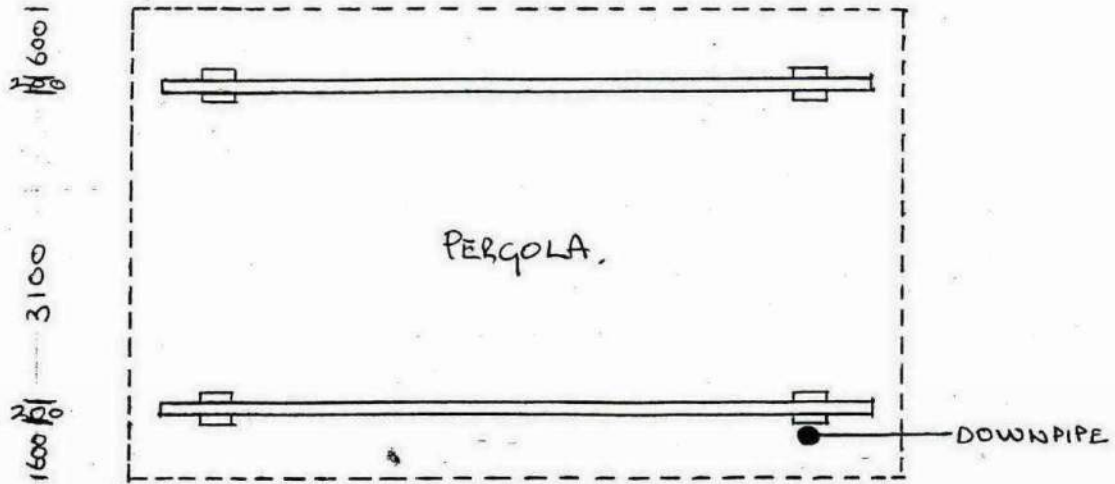
6 kN STRAPS

MASTER
 BEDROOM.

TASMAN DISTRICT COUNCIL
APPROVED CONSENT DOCUMENT
 THIS DOCUMENT MUST REMAIN ON THE SITE UNTIL COMPLETION
 GIVE 24 HOURS NOTICE BEFORE any work is covered up!

- NEW Council inspection is required BEFORE:
- Concrete, masonry, in-fill grouting, plaster, lining stopping, cladding, roof fixing, structural framing, cladding, lining stopping, covering in of cavity.
 - PLUMBERS GASIT & TRY to test all gas fittings. permits only Craftsmen, Plumbers and Gasfitters to test.

FLOOR AND SITE PLAN
SCALE 1:50



ACCESS WAY.

BOUNDARY

CODE COMPLIANCE CERTIFICATE
Section 43(3), Building Act 1991

Applicant

MR J KELLY
48 ATKINS ST
MOTUEKA

Consent Details

Consent/PIM No.: 980921
Date issued: 19/11/01
Valn No: 1956012000

Project Descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
TO ALTER DWELLING

Intended Life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended Uses: DINNING ROOM ADDITION

Project Location: 48 ATKINS ST, MOTUEKA

Legal Description: 31-1288 LOT 1 DP6461

Estimated Value: \$ 4,900

This is a final Code Compliance Certificate issued in respect of
all the building work under the above building consent.



SIGNED FOR AND ON BEHALF OF THE COUNCIL:

Position:

Date:

19.11.01

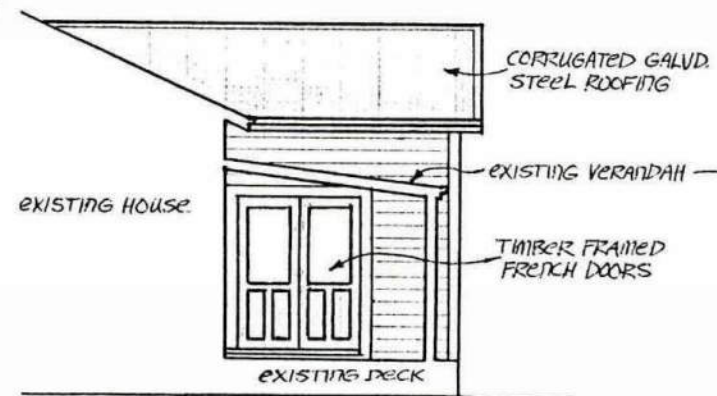
- | | | | |
|---|--|---|--|
| ☐ Main Office
189 Queen Street
Private Bag 4,
Richmond 7031 N.Z.
Tel (03) 544-8176
Fax (03) 543-9524 | ☐ Murchison Service Centre
92 Fairfax Street
Murchison
Tel (03) 523-1012
Fax (03) 523-1015 | ☐ Motueka Service Centre
7 Hickmott Place
P.O. Box 123, Motueka
Tel (03) 528-7700
Fax (03) 528-9751 | ☐ Golden Bay Service Centre
78 Commercial Street
P.O. Box 74, Takaka
Tel (03) 525-9516
Fax (03) 525-9972 |
|---|--|---|--|

West

SCALE - 1:100

SOUTH

EAST



TASMAN DISTRICT COUNCIL
APPROVED CONSENT DOCUMENT
THESE ARE THE PLANS / SPECIFICATIONS REFERRED TO IN BUILDING CONSENT No. 980921

THIS DOCUMENT MUST STAY ON JOB UNTIL COMPLETION

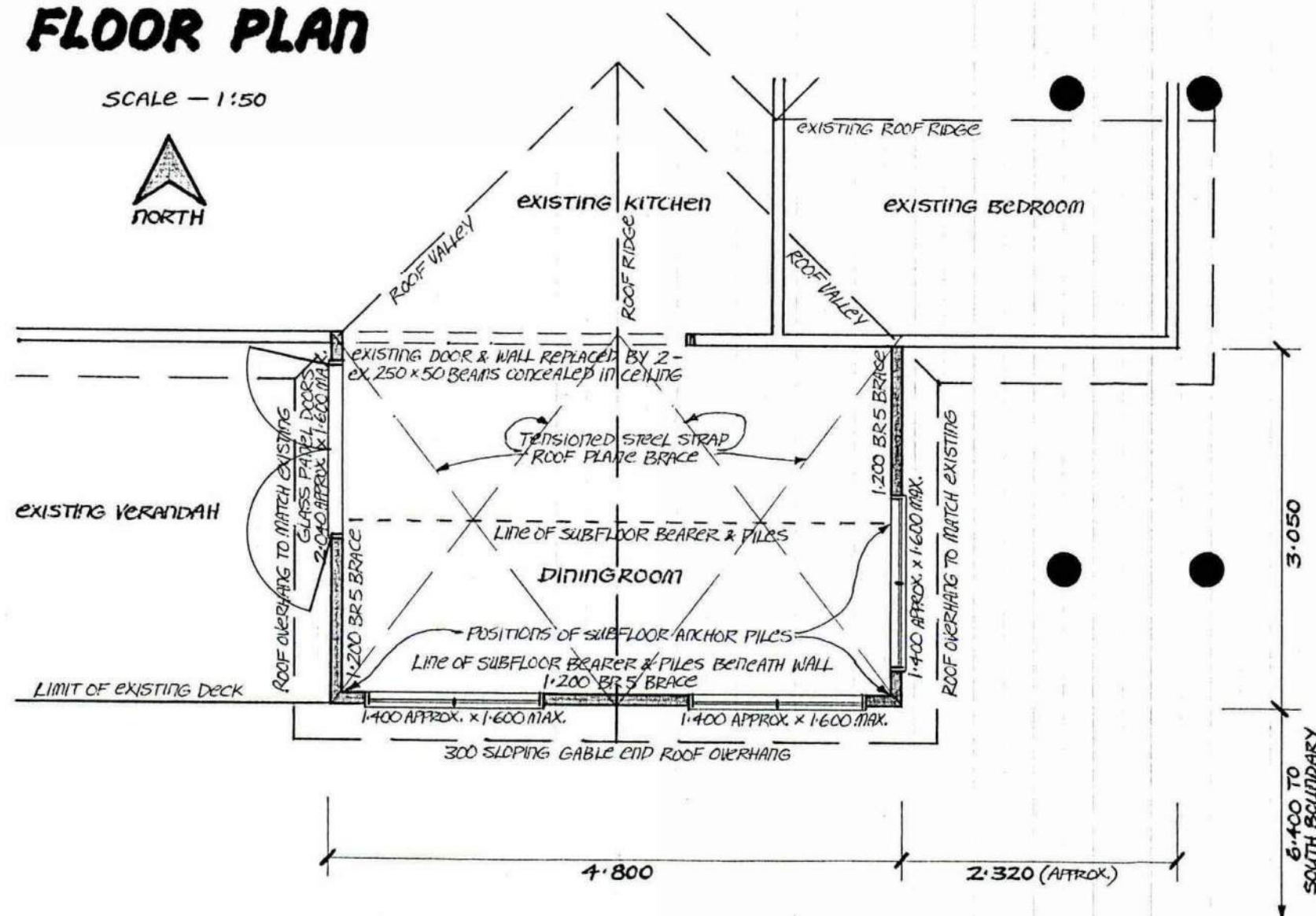
- GIVE 24 HOURS NOTICE before any work is covered up
- Carry out inspections as required BEFORE any concrete, masonry, and grouting, placement, lining, cladding, plastering, structural frame enclosure, trim fixing, lining stopping, plumbing, draining, covering
- Deviations from this Document require further approval
- Consent holder is responsible and liable for any damage as a result of this work being carried out.

Date 30-6-98 Building Consent No. 980921

SIGNED [Signature]

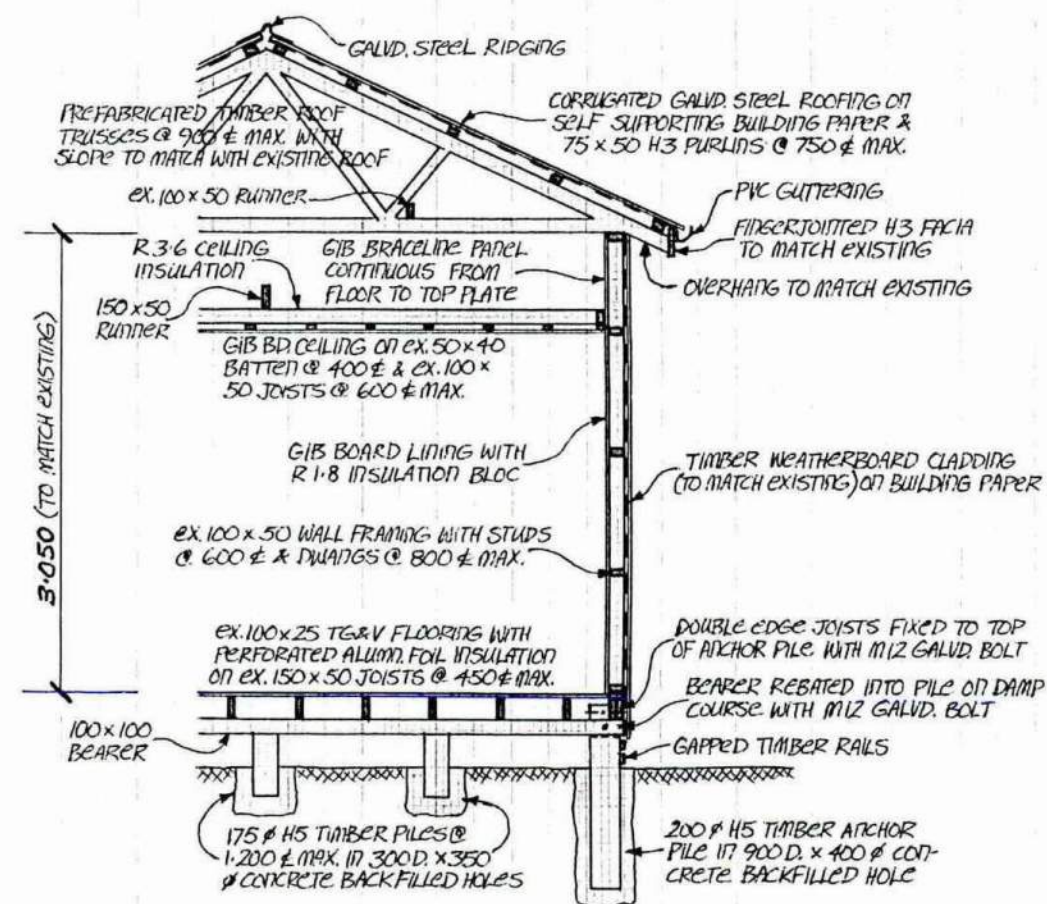
FLOOR PLAN

SCALE - 1:50



TYPICAL WALL SECTION

SCALE - 1:50



DININGROOM ADDITION TO KELLY HOUSE AT ATKINS STREET

Code Compliance Certificate

Section 43, Building Act 1991

Application

J T KELLY 48 ATKINS STREET MOTUEKA	No. Issue date	970800 29/10/97
	Overseer	NLR Dave Stebbins

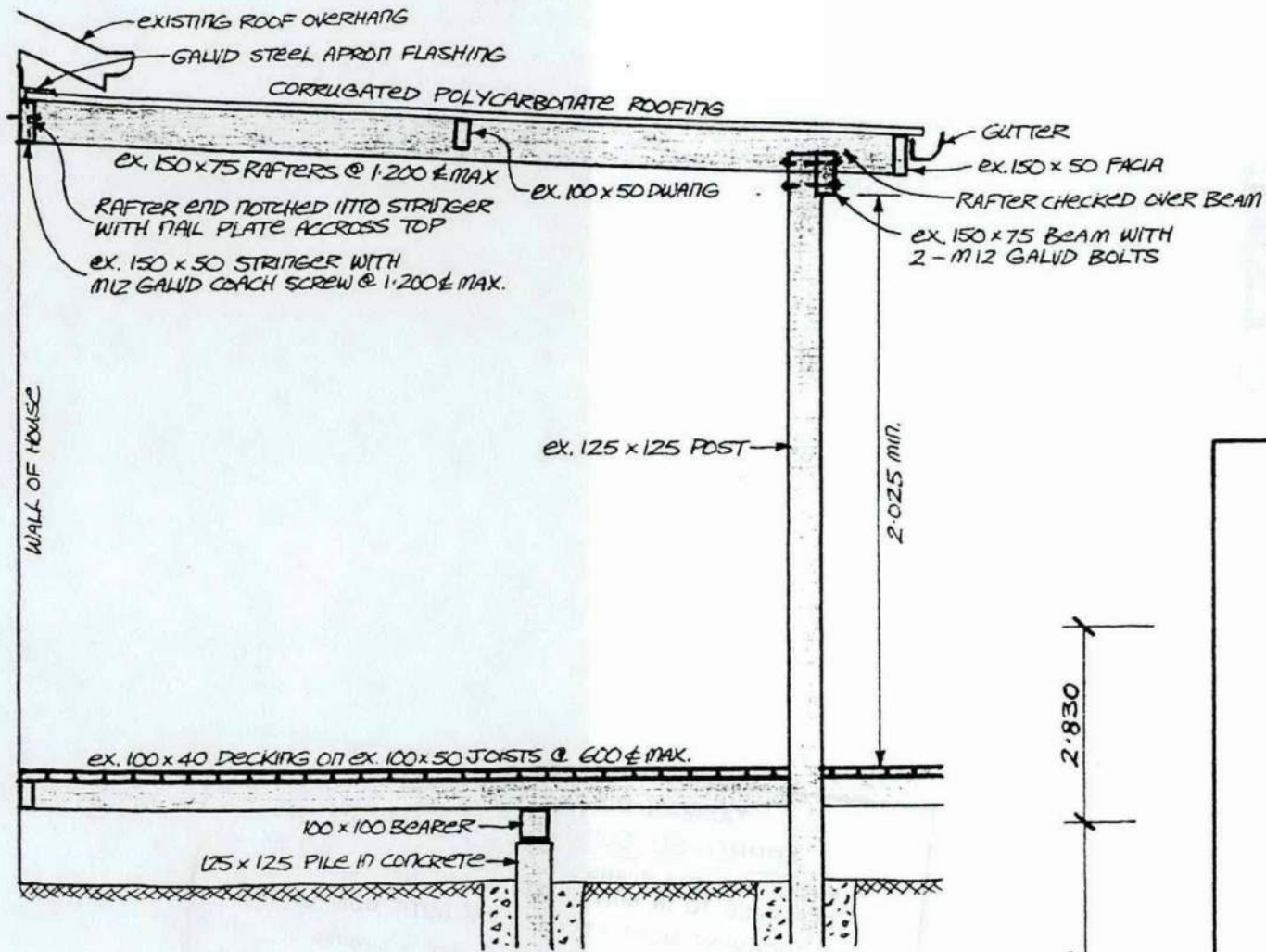
Project

Description	Dwellings - Alterations & additions Being Stage 1 of an intended 1 Stages VERANDAH & DECK
Intended Life	Indefinite, but not less than 50 years
Intended Use	DECKING
Estimated Value	\$4,950
Location	48 ATKINS ST, MOTUEKA
Legal Description	31-1288 LOT 1 DP6461
Valuation No.	1956012000

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

CROSS SECTION

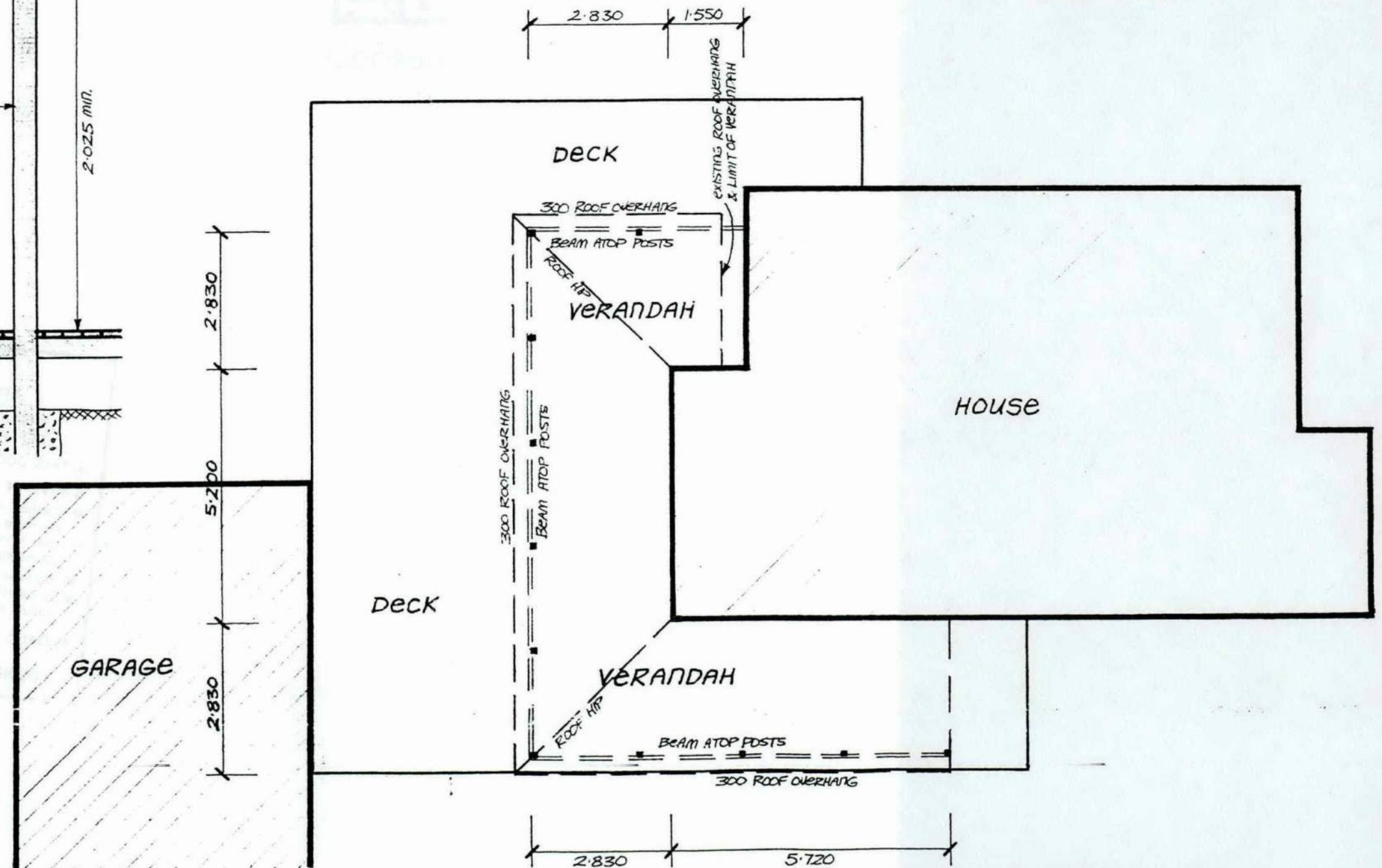
SCALE - 1:25



PLAN



SCALE - 1:100



VERANDAH ADDITION TO KELLY HOUSE AT ATKINS STREET

Approved
SPT

Code Compliance Certificate

Section 43, Building Act 1991

Application

MR J KELLY 48 ATKINS STREET MOTUEKA	No. Issue date	960655 20/06/97
	Overseer	NLR Dave Stebbing

Project

Description	Domestic Fireplaces Being Stage 1 of an intended 1 Stages TO INSTALL FIRE
Intended Life	Indefinite, but not less than 50 years
Intended Use	HEATING
Estimated Value	\$1,500
Location	48 ATKINS ST, MOTUEKA
Legal Description	31-1288 LOT 1 DP6461
Valuation No.	1956012000

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Code Compliance Certificate

Section 43, Building Act 1991

Application

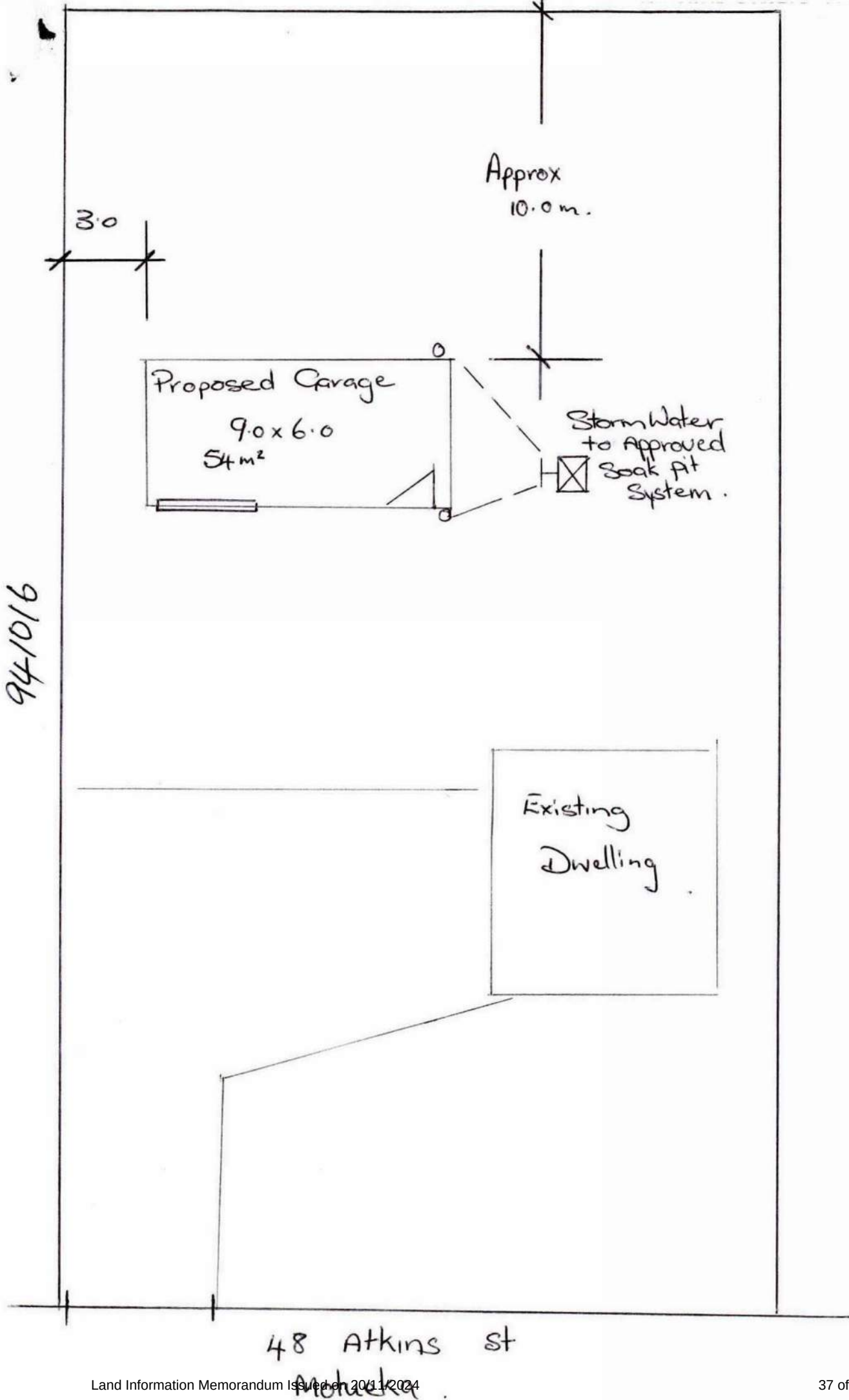
MR KEVIN BRETT C/- P O BOX 3251 RICHMOND	No. Issue date Overseer	941016 13/02/95 NLR Dave Stebbins
--	-----------------------------------	--

Project

Description	Domestic only - garages Being Stage 1 of an intended 1 Stages TO BUILD NEW GARAGE WORKSHOP
Intended Life	Indefinite, but not less than 50 years
Intended Use	GARAGE/WORKSHOP
Estimated Value	\$10,800
Location	48 Atkins Street, Motueka
Legal Description	31-1288 Lot 1 DP 6461
Valuation No.	1956012000

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

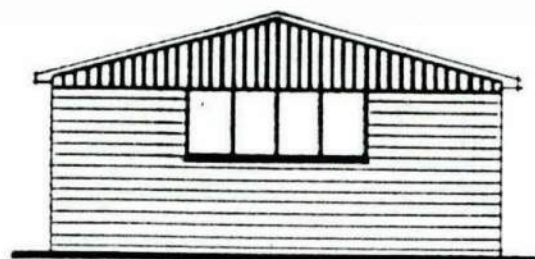
94/10/16



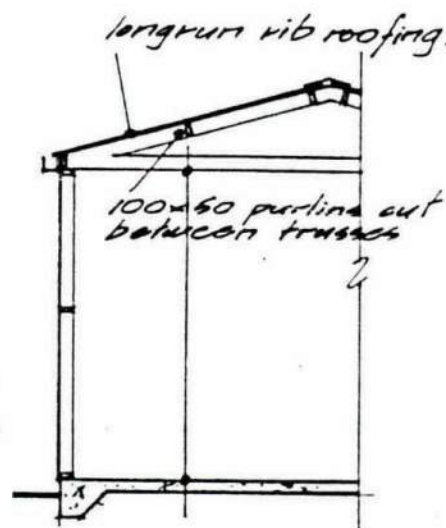
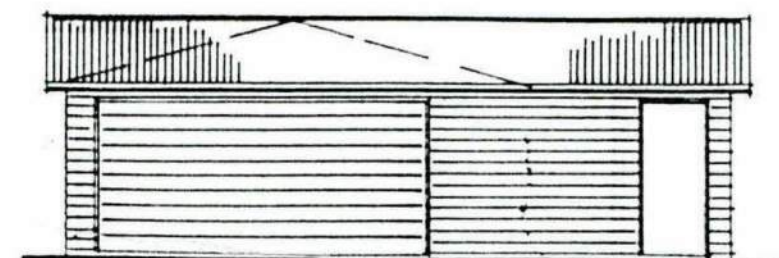
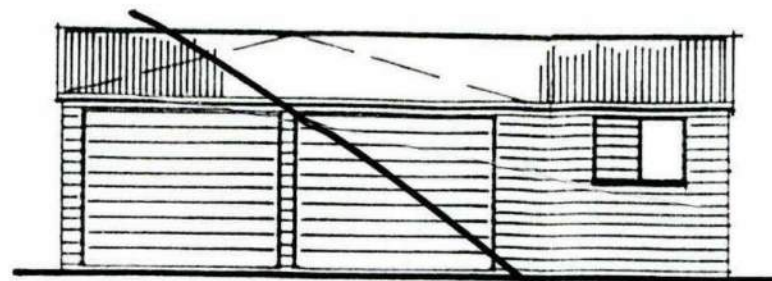
Site Plan
NOT TO
SCALE.

Proposed Garage Workshop.
Mr & Mrs K. BRETT
48 Atkins
Motueka

VERSATILE GARAGES
ALUMINUM SPECIALISTS
Telephone 54 45 142
5 Gildstone Road, Richmond.



ELEVATIONS - SIDE ENTRY 1:100



TYPICAL SECTION

GENERAL

This specification and drawing shall be read in conjunction with Gangnail Technical Booklet "CH3900" dated 30 August 1990 and approved by Glen City Council. A copy of this booklet is available from Versatile Garages Ltd.

FOUNDATIONS

Concrete floor shall be 17.5 MPA, 100mm thick. Footing as detailed.

WALL FRAMING

All timber shall be machine gauged and treated to T.P.A. specification H1. Studs shall be at 600 cns and housed into plates with dwangs housed into studs. Lay two ply malthoid d.p.c. under all plates.

ROOF FRAMINGS

Purlins shall be 100mm x 50mm on edge at 900 max. cns fixed to Gangnail 15 degree trusses at centres shown below. Fix purlins and trusses as detailed in Gangnail Technical Booklet "CH3900".

SIDE ENTRY OPENING LINTELS

Max. span	2.2	150 x 100 Lintel
Max. span	3.0	200 x 100 Lintel
Max. span	4.5	300 x 100 Lintel
Max. span	4.8	300 x 100 Lintel

Timber butted lintel with 94 x 47 Lumberlok joist hanger.

ROOFING

Shall be 0.44mm B.M.T. steel longrun rib roofing, fixed with 75mm weatherseal spiral shank nails, over building paper on superfilm lashing.

WALL CLADDING

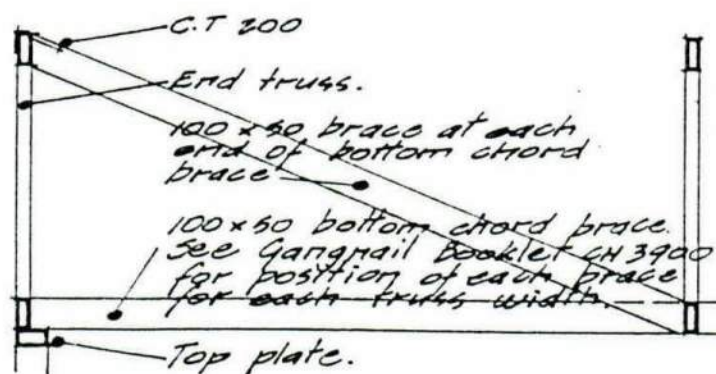
Shall be 100mm Galvanised Weatherboard. Fix in accordance with Gangnail Technical Booklet "CH3900".

ROOF BRACING

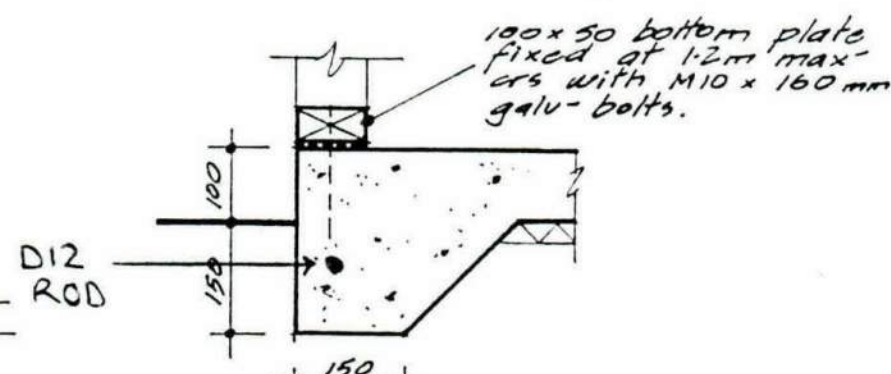
Fix 100 x 50 dragon ties on flat to each corner of buildings up to 5.4m x 5.4m. For buildings 5.4m x 5.4m or larger fix Lumberlok roof plane strap bracing in accordance with Gangnail Technical Booklet, "CH3900".

WALL BRACING

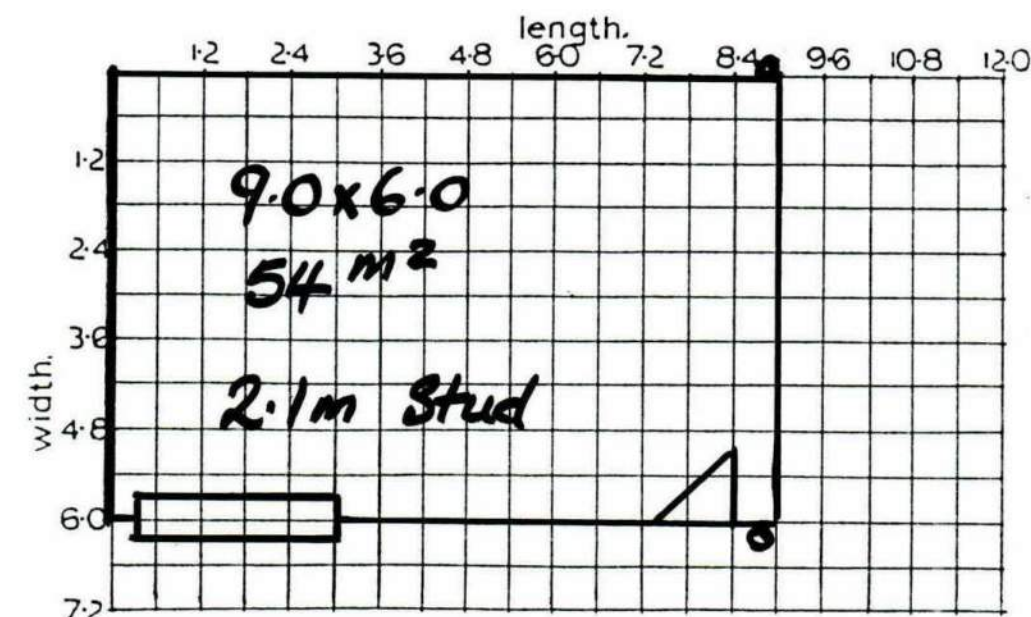
For "Superclad 300" horizontal weatherboard fix 22 x 22 x 1.2 metal angle bracing in accordance with NZS 3604. For steel sheet weatherboard cladding no metal angle bracing is required - See Gangnail Technical Booklet "CH3900".



BOTTOM CHORD BRACE DETAIL 1:20



FOUNDATION DETAIL 1:10



PLAN 1:100



VERSATILE GARAGES LTD.

G. HAMMAR BUILDERS
PO BOX 3251
RICHMOND
Land Information Memorandum Issued on 20/11/2024
PHONE: 544-5142

Proposed Garage Workshop.
Mr & Mrs K. BRETT
48 ATKINS ST
MOTUEKA

Scale : As shown

Drawn : J. Geayley. NZCD.Arch Sheet

Date JUNE 1994

of
sheets 28 of 51



Inspector: M _____ File No. _____

Receipt No. 9420Date Permit Issued 31/10/91

OWNER

Name D. AnnaniaMailing Address 48 Atkin StMotueka

BUILDER

Name Doug ClarkMailing Address 43 Green StMotueka

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. 48Street Name Atkin StTown/District Motueka

Ward _____

LEGAL DESCRIPTION

Valuation Roll No. 19560-120-00Lot 1 D.P. 646

Section _____ Block _____

Survey District Motueka

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Erect a carport

FLOOR AREA

DWELLING UNITS

Whole
Sq. Metres22Number
Erected

ESTIMATED
VALUES
\$Building
Plumbing
Drainage
G.S.T.

TOTAL

2000 -

2000 -

NATURE OF PERMIT (TICK BOX)



NEW BUILDING

- exclude domestic garages and domestic outbuildings



FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
- include installation of heating appliances

NEW CONSTRUCTION

OTHER THAN BUILDINGS - include demolitions

DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit \$ 40
Street Damage Deposit .. \$ _____
Building Research Levy .. \$ _____
Plumbing \$ _____
Drainage \$ _____
Sewer Connection \$ _____
Vehicle Crossing Levy .. \$ _____
M.S. Plumbing \$ _____Water Connection --- \$ _____
\$ _____
\$ _____
\$ _____
\$ _____
\$ _____
G.S.T. \$ _____
TOTAL: \$ 40Receipt No. 9420Date of Payment 22/10/91 DAuthorised Officer ShirleyPP AEW.

Special Conditions: _____

Notify inspector prior to pouring concrete

Date Inspected _____

REMARKS (e.g. stage reached with work)

No found notification on founds

TASMAN DISTRICT COUNCIL

Receipt No. 9420

Date Permit Issued 31 / 10 / 91

OWNER

Name D. Annania

Mailing Address 48 ATKIN ST

BUILDER

Name Doua Clark

Mailing Address 43 Green St

SITE

Street No. 48

Street Name Atkins St

Town/District Motueka.

Ward _____

LEGAL DESCRIPTION

Valuation Roll No. 19360-120-00.

Lot 1 DP 646

Section _____ Block _____

Survey District Motueka

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Erect a carport

FLOOR AREA

Whole Sq. Metres 22 Number Erected

DWELLING UNITS

Number Erected

NATURE OF PERMIT (TICK BOX)

☐ NEW BUILDING
– exclude domestic garages and domestic outbuildings

FOUNDATIONS ONLY

☐ ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
— include installation of heating appliances

☐ NEW CONSTRUCTION
OTHER THAN BUILDINGS — include demolitions

✓ DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ 40 -	Water Connection	\$
Street Damage Deposit	\$		\$
Building Research Levy	\$		\$
Plumbing	\$		\$
Drainage	\$		\$
Sewer Connection	\$		\$
Vehicle Crossing Levy	\$	G.S.T.	\$
M.S. Plumbing	\$	TOTAL:	\$ 40 -

Receipt No. 9420

Date of Payment 22 / 10 / 91 1

Authorised Officer Shruti

Special Conditions: (In addition to those noted on reverse): _____

Notify inspector prior to pouring concrete

RECEIVED

22 APR 2010

~~T.B.C. MOTUEKA~~

NOTICE TO APPLICANT

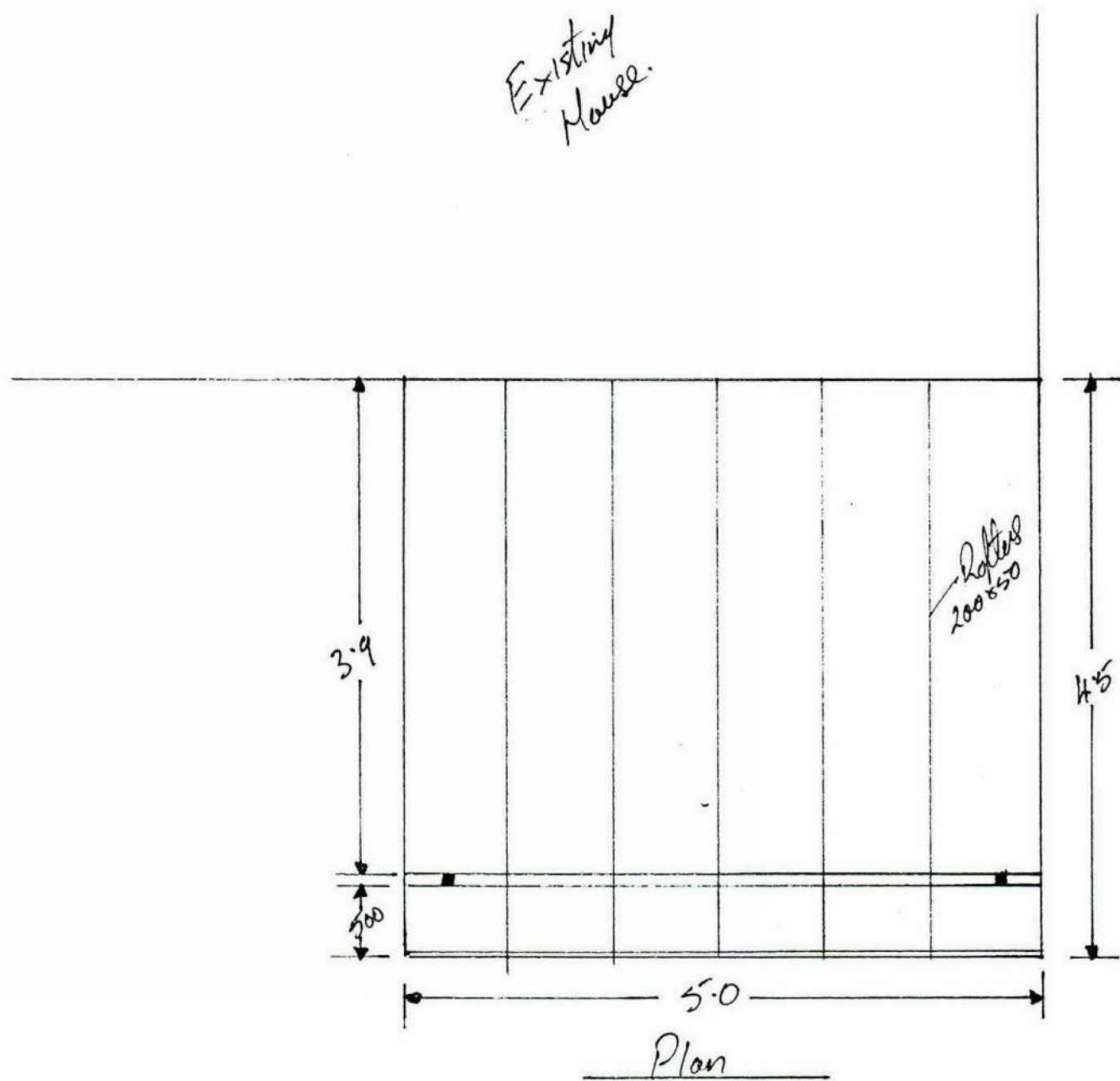
PERMISSION IS HEREBY GRANTED YOU to carry out the works as proposed in accordance with the drawings and other documents submitted, and with any conditions defined; such work to be subject to inspection at any time during progress and to be carried out in strict conformity with the requirements of the Council By-Laws.

Land Information Memorandum Issued on 20/11/2024

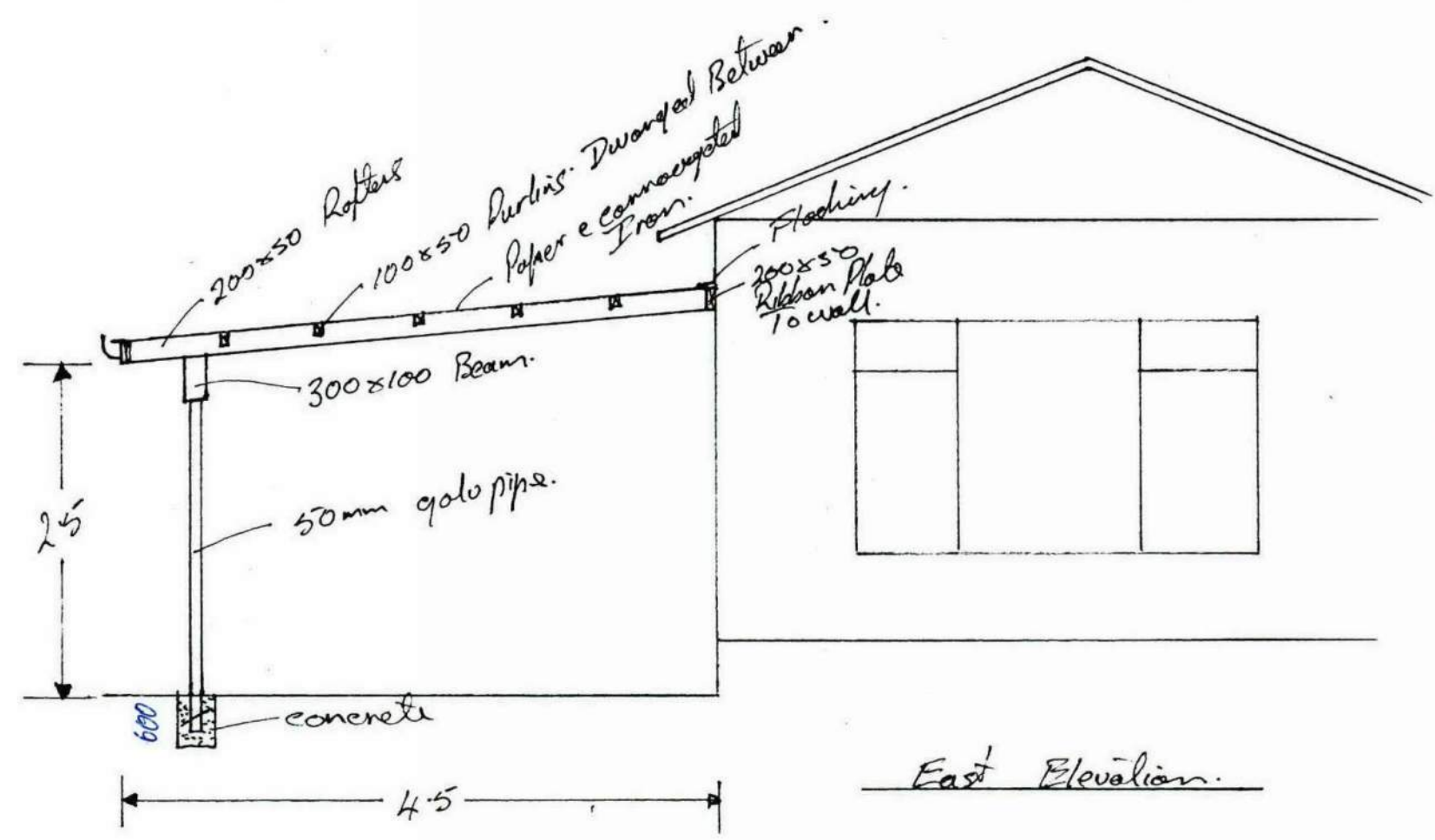
IMPORTANT – YOU ARE FULLY RESPONSIBLE for any damage done to any works such as telephone cables, power cables, water mains, gas mains, sewers, pipes, footpaths, roads or other services.

K043904

Existing
House.



Scale 1:50



Proposed Car Port for D Annanica 48 Aitkens Street Motueka
19560 120 00

BUILDING APPLICATION FORM

1956/1201

MOTUEKA

Date 5 / 6 / 19 84

To The Town Clerk,
MOTUEKA.

Sir,

I hereby apply for permission to Renovate Kitchen + Lounge.
at 48 Atkins St Motueka or D G MacDougall
House No. and Street Owner
of 48 Atkins St Motueka according to Plans
Address

and Specifications deposited herewith.

Particulars of Land—Lot No. Town Sec. or D.P.

Frontage by depth of area

Particulars of Building—Foundations Concrete piers Walls Timber

Roof Corrugated Iron Area of Ground Floor 22.88 square metres

Estimated Value \$ 7.300

Area of Outbuildings square metres

Building \$ 6.950 Plumbing and Drainage \$ 350 Total \$ 7.300
7.300

FEES PAYABLE

Building Permit Fee \$ 60.00

Plumbing Permit Fee \$ —

Stormwater Connection Charge \$ —

Footpath Bond (Deposit) \$ —

TOTAL \$ 60.00

Yours faithfully,

REC S33 \$60-00
616184

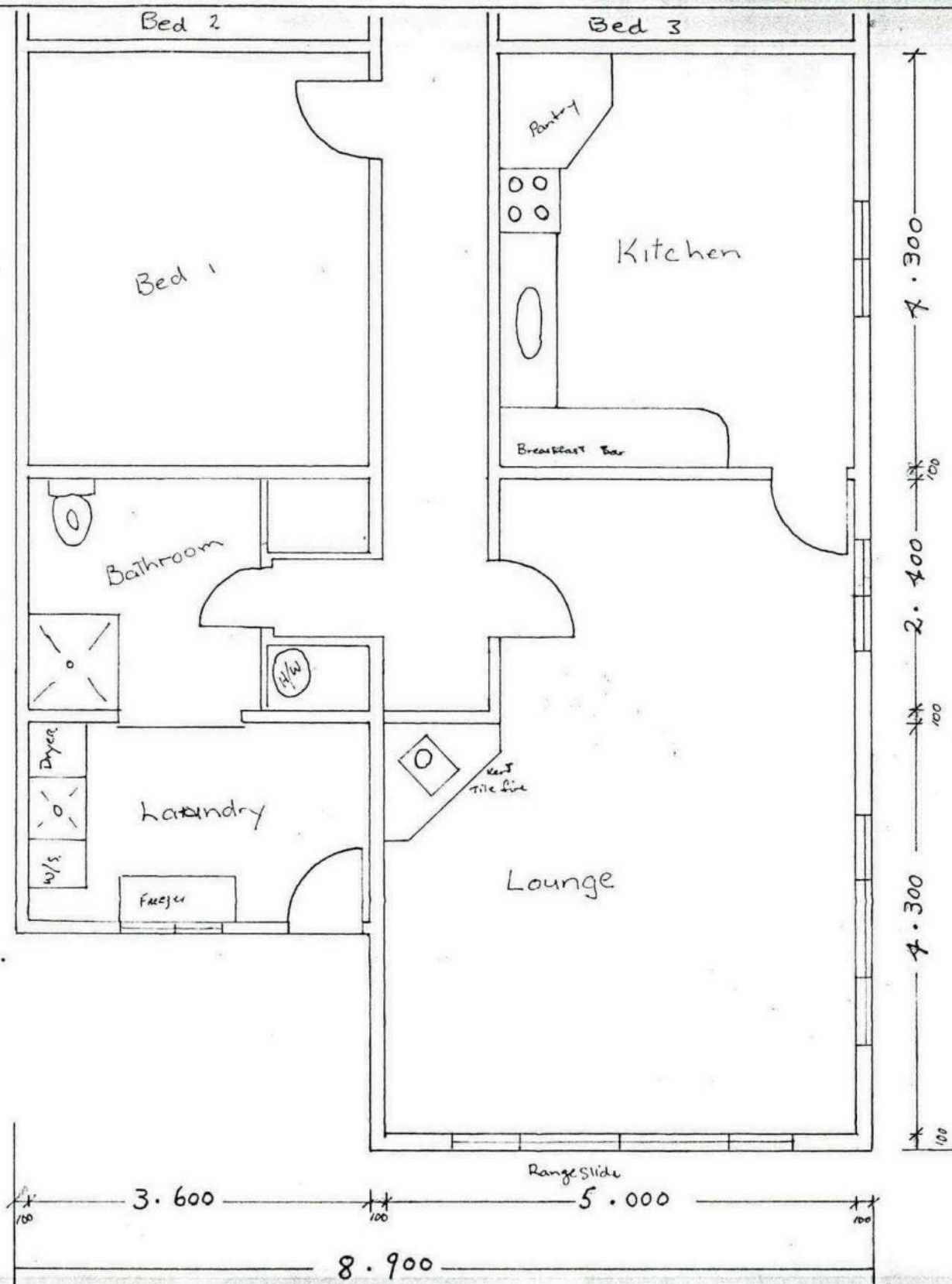
A G Hamilton Builder
Postal Address: 69 Banks St

8080801
29/6/84

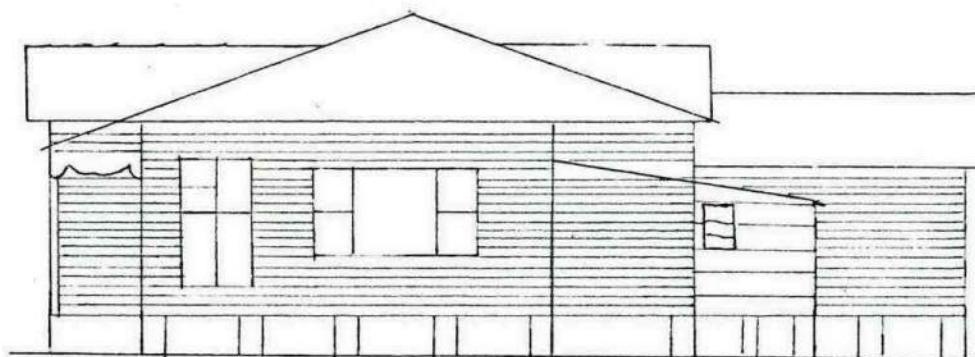


D G MacDougall 48 Atkins St

B080801



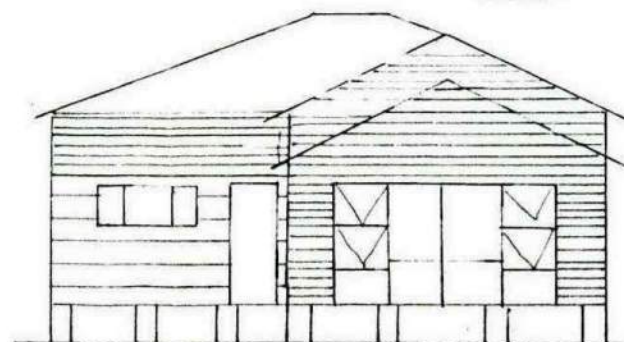
South



North



East



West

Specifications

- Foundation
 - Concrete piles
- Sleepers 100 x 75
- Joist 125 x 50 Tan pine
- Flooring 20mm chip - Custom Board
- Framing 100 x 50 D.F.G.
- Exterior Sheathing
 - 150 x 25 rebated weather Board
 - + Hardy plank
- Roof Corrugated Iron
- Interior Lining
 - Wall Grib foil
 - ceiling Pine tiles
- Doors
 - Interior Rimu Glass Doors
 - Exterior Timber + Aluminium

Proposed Renovations for Mr & Mrs D G MacDougall 48 Atkins St

BUILDING APPLICATION FORM

MOTUEKA

Date 4 / 5 / 1983

To The Town Clerk,
MOTUEKA.

Sir,

I hereby apply for permission to Erect a laundry.
at 48 ATKINS STREET or D G MacDougall.
House No. and Street Owner
of D G MacDougall according to Plans
Address

and Specifications deposited herewith.

Particulars of Land—Lot No. Town Sec. or D.P.

Frontage by depth of area

Particulars of Building—Foundations Concrete Piles Walls Timber

Roof Iron Area of Ground Floor 9.59 metres square metres

Estimated Value \$ 464.00

Area of Outbuildings square metres

Building \$ 464.00 Plumbing and Drainage \$ Total \$ 464.00

FEES PAYABLE

Building Permit Fee \$ 12.00 Rec 388

Plumbing Permit Fee \$ - 1915183

Stormwater Connection Charge \$ -

Footpath Bond (Deposit) \$ -

TOTAL \$ 12.00

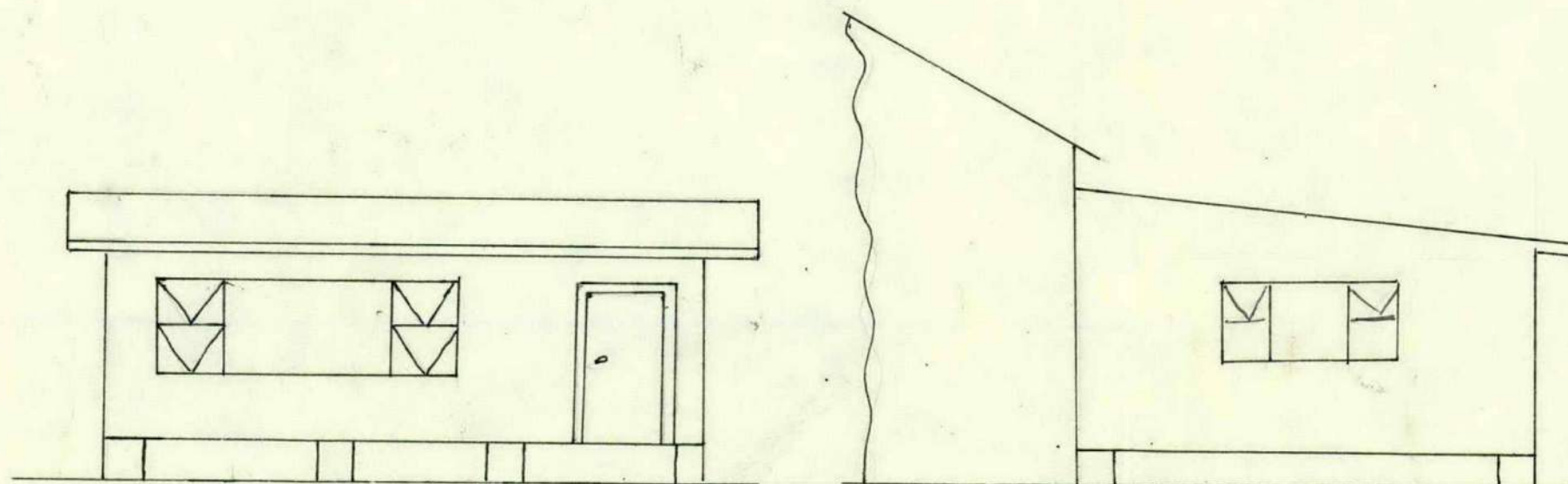
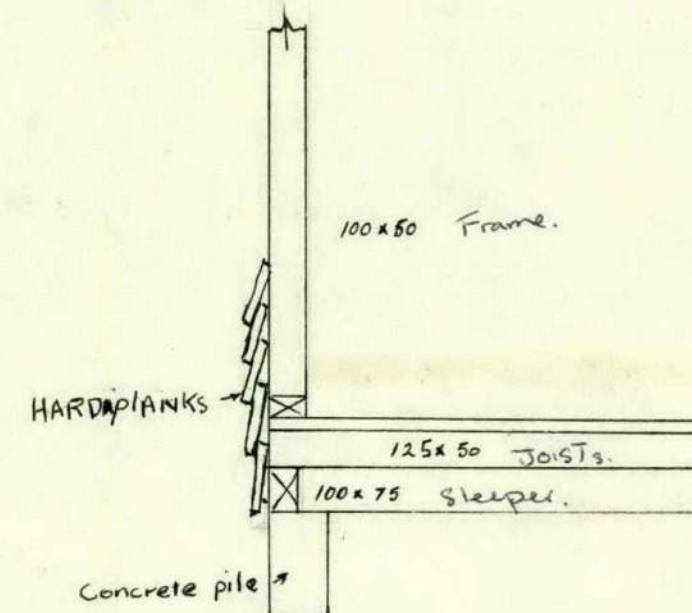
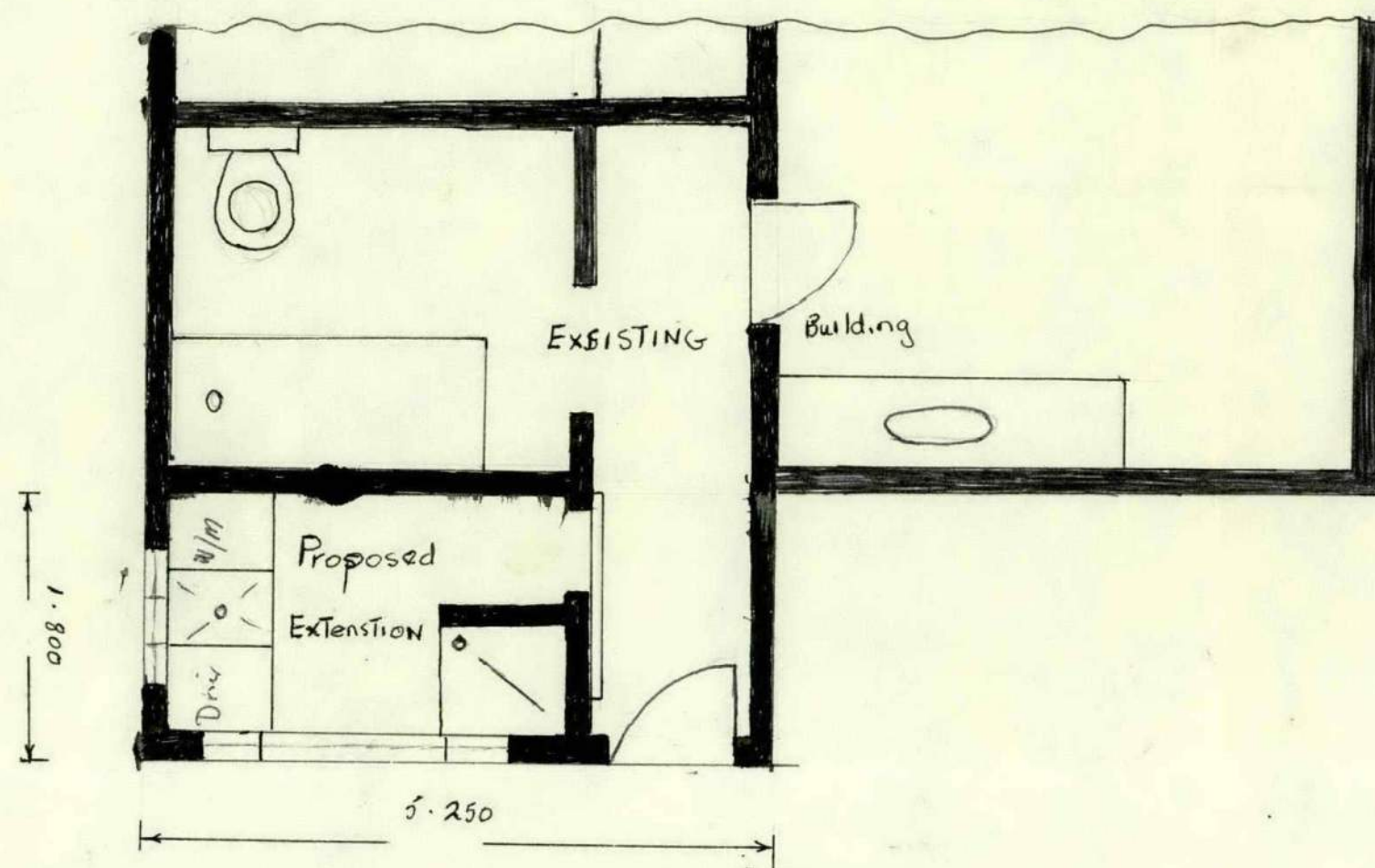
Yours faithfully,

Owner

Builder

Postal Address:

A075933



Proposed. Extension
for.

Mr DG MacDargall.

ATKINS STREET
Motueka.

3 MAY 1983

BUILDING APPLICATION FORM

1956/120

MOTUEKA,

To the Town Clerk,
Motueka.

Date, 31 3 1971

Sir,

I hereby apply for permission to Rebuild Garage
at 48 Atkins St. for K. Hurinaka
House No. and Street Owner
of 48 Atkins St., Motueka according to Plans
Address

and Specifications deposited herewith.

Particulars of Land—Lot No. 1 Town Sec. or D.P. 6461 Pt Sec. 184

Frontage by Depth of Area 1.000 6.3 perches

Particulars of Building—Foundations Walls

Roof Area of Ground Floor 199 square feet.

Estimated Cost \$ 384

Area of Outbuildings square feet.

Building \$ 384 Plumbing & Drainage \$ Total \$ 384

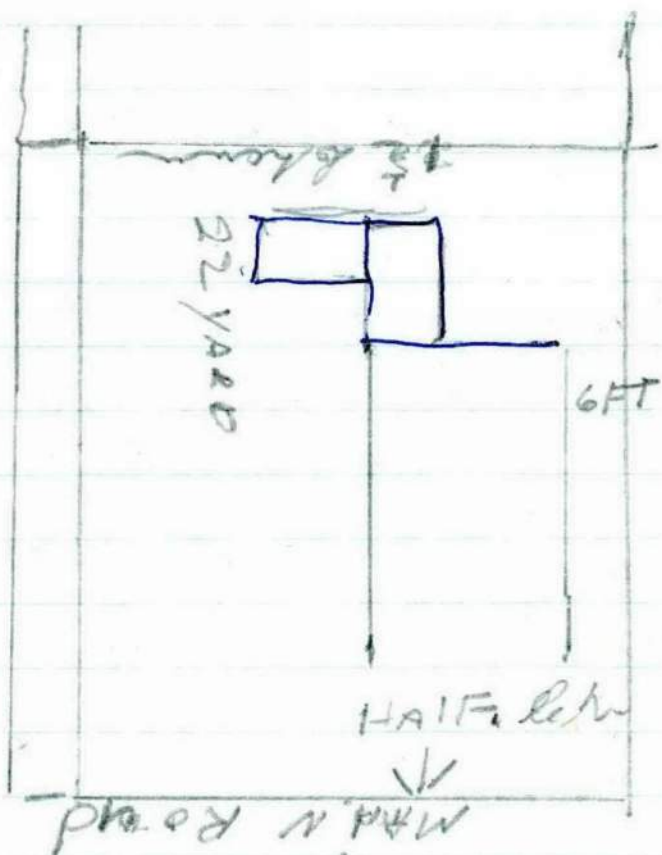
Yours faithfully,

K Hurinaka Builder

Postal Address: 48 Atkins

Wt
Rec No. 6
1/4/71
\$3

C01567H
20/4/00 of 51



CO15674

BOROUGH OF MOTUEKA

Application for Plumbing/Drainage Permit

Assessment No. 1956/120
Receipt No. 1487
Permit No.
Date Issued

TO THE INSPECTOR, MOTUEKA BOROUGH COUNCIL:

I, the undersigned, hereby give notice that I intend to carry out the following work subject to the provisions of the By-laws of the Borough of Motueka, the Municipal Corporations Act, 1933, amendments therof or any other provisions whatsoever applicable thereto, and request that a permit be issued for the execution of same.

Section on which work is to be placed : Lot D.P.

Section Street

Owner W. QUAYLE Address ATKINS ST

Occupier

Plumber/Drainlayer J Lusty Reg. No. 2590

Class of Work

Plumbing

Drainage

*Installing
Repairing

No. of W.C.'s
No. of Baths
No. of Showers
No. of Basins
No. of Sinks
No. of Tubs
Sundries

Installing feet of drain
Repairing Drain
Clearing Drain
Other Drainage

*Delete the term which
does not apply.

The Fee payable as per schedule hereunder must accompany this application.

SCHEDULE OF FEES.

	£	s.	d.
If the value is under £	1	6	
If the value exceeds £5 but does not exceed £10	2	6	
If the value exceeds £10 but does not exceed £25	5	0	
If the value exceeds £25 but does not exceed £50	10	0	
If the value exceeds £50 but does not exceed £100	1	0	0

With 5/- for every £100 or part thereof for all work exceeding £100.

Proposed commencement date

Estimated cost, £ 52-0-0 Fee payable £ 1 : - : -

(The decision of the Inspector shall be final as to estimated cost).

Plans and drawing on back hereof.

Owner or Plumber Drainlayer J. LUSTY LTD.

Address Motueka

Date 20. AUG. 1954

(If the Graph Sheet is not large enough for the Drainage a full scale drawing to be supplied.)

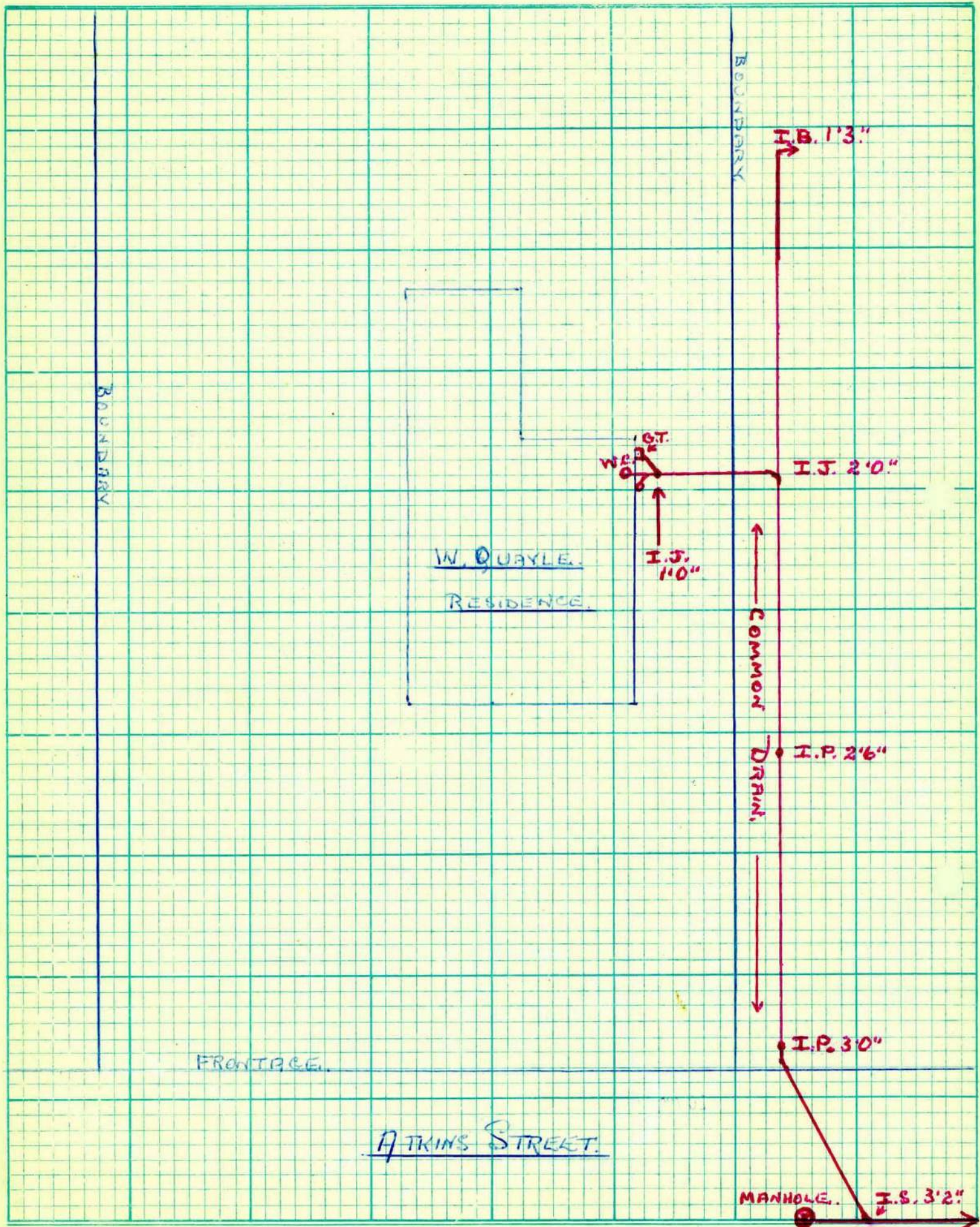
(For Office Record Only)

APPLICATION APPROVED Inspector

WORK INSPECTED AND PASSED Inspector

Lucas Print.

NOTE.—For drainage work a scale plan in ink showing street line, section, boundaries, buildings in outline, lines of drains, inspection pipes, etc., MUST be supplied.



Scale : 1-8th inch equals = ~~1 foot~~ 2 foot.

P Corrieri
351 Harvey Road
RD 2
Motueka 7197

Tax Invoice/ Credit Note

GST Reg No: 51076806
Invoice Date: 20/11/2024
ACCOUNT NUMBER: 36789
Tax Invoice Number: 203463

Qty	Description	Rate	GST	Amount
	L240800 20/11/24 : P Corrieri : Motueka 1956012000 : 48 Atkins Street, Motueka Land Information Memorandum Residential		45.65	350.00

Subtotal	304.35
GST	45.65
Total Amount	\$350.00
Less Credit	350.00CR
Net Due	\$0.00

Invoices are due 20th of month following invoice date

PAID

Please help the environment.

Send your email address to debtors@tasman.govt.nz to receive your invoices by email.

Tasman District Council

Email debtors@tasman.govt.nz

Website www.tasman.govt.nz

Richmond 189 Queen Street, Private Bag 4, Richmond, Nelson 7050 New Zealand
Murchison 92 Fairfax Street, Murchison 7007, New Zealand
Motueka 7 Hickmott Place, PO Box 123, Motueka 7143, New Zealand
Takaka 78 Commercial Street, PO Box 74, Takaka 7142, New Zealand

Phone 03 543 8400 **Fax** 03 543 9524
Phone 03 523 1013 **Fax** 03 523 1012
Phone 03 528 2022 **Fax** 03 528 9751
Phone 03 525 0020 **Fax** 03 525 9972

Account Name:	P Corrieri	Account Number:	36789
Tax Invoice:	203463	Total Due (Inc GST):	\$0.00
Invoice Date:	20/11/2024	Amount Paid:	\$ _____

Telephone/Internet Banking payments can be made to bank account 12-3193-0002048-03.

Please quote 36789 as reference.