

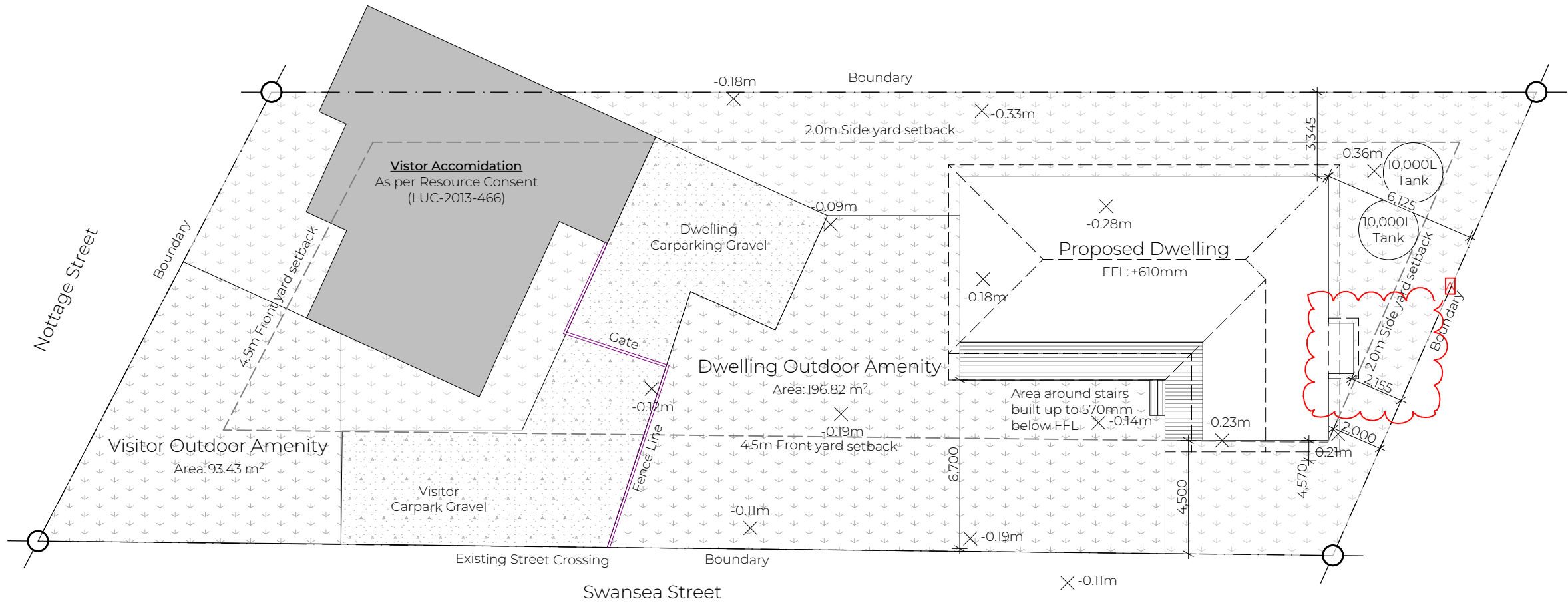
New Build for:
Mark Ford and Christine Ford
At: 6 Swansea Street, Middlemarch 9597
LOT 1 BLK IV DP 279

Job Number: 21076
Revision: -

Sheet Index			Sheet Index		
No.	Layout Name	REV	No.	Layout Name	REV
101	Site Plan	A	605	James Hardie Details	
102	Site Survey		606	James Hardie Details	
103	Site Levels		607	James Hardie Details	
104	Drainage Plan	A	608	James Hardie Details	
201	Floor Plan	A	609	James Hardie Details	
301	Elevations	A	610	James Hardie Details	
401	Foundation Plan	A	611	James Hardie Details	
402	Mitek 12kN pile fixing		612	James Hardie Details	
403	Plumbing and Drainage Plan	A	613	Details	A
404	Gas Installation		701	Door and Window Schedule	
405	Framing Plan	A	702	Door and Window Schedule	
406	Mitek StudLok Fixing		703	Door and Window Schedule	A
407	Mitek Lintel Fixing		704	Schedule of Finishes	
408	Insulation and Ventilation		801	BlazeStop	
409	Roof Framing Plan	A	802	BlazeStop	
410	Mitek Roof Bracing		803	BlazeStop	
411	Verandah Beam Connection		804	Truss Design	
412	Purlin Spacings and Fixings		805	Truss Design	
413	Roof Covering Plan	A	806	Truss Design	
414	Bracing Plan		807	Truss Design	
415	Mitek Bracing Fixings		808	Truss Design	
416	Electrical Plan		809	Mastercraft Kitchens	
501	Cross Section A		810	Mastercraft Kitchens	
502	Cross Section B		811	Mastercraft Kitchens	
601	Details		812	Mastercraft Kitchens	
602	Details		813	Mastercraft Kitchens	
603	Details		814	Mastercraft Kitchens	
604	Details				



The Copyright of these plans shall remain with Spanbild New Zealand Limited.
Spanbild New Zealand Limited accepts no responsibility for any work undertaken that is not in strictly accordance with these drawings.
Contractor shall check and verify all dimensions, setouts, and levels on site, prior to commencing contract, and shall immediately notify Spanbild New Zealand Limited of any discrepancies or errors.



Site Safety:

- The three internal boudnaries will be fenced with 1.8m timber paneling fence.
- Front road boundary to have Temporary site fence to be constructed with galvanised chainlink netting having a maximum sized grid of 50mm x 50mm. Post spacing shall be a maximum of 2.5m, and the gap between the bottom of the fence and the ground no greater than 100mm.
- Scaffolding will be erected to all roof areas and fall hazard areas as required.

F5.3.3:

- Where a contruction or demolition site contains any hazards which might be expected to attract the unauthorised access of childern, the hazard shall be enclosed to restrict access to children.

Erosion and Sediment Control:

- Pre Construction planning: Project manager to oversee commissioning of sediment control on site.
- All weather access: Stablised access and parking areas with gravel. Control water at the top of the site.
- Manage within sediment control zones: aurplus soil/gravel or stockpile to be contained behind sediment fences.
- Rubble pad to be created at point of entry and exit on site (Removed on completion of formed driveway)
- Rubble pad to be created in accordance with guidelines provided by the local Council and Maintained in good condition through out it's period of use.
- Sediment Control: Sediment Fence netting to be laid to street and/or areas where run off could occur.

Vegetation Buffer:
Protect vegetation/grass areas by management fences (sediment fence netting)

Manager Litter and Waste:

- Provide contained area for waste management.
- Roof Downpipes are to be connected to the installed storm water drainage as soon as practical once roof cladding has been installed. Until this point ensure water run-off from downpipes is directed away from the building area but not into neighbouring properties.

Service Trenching:

- Minimise trenching and amount of time that the trench is open.

Maintain and Decommission:

- Foreman to ensure the Sediment Control Fences are maintained and decommissioned.

Waste Management Guidelines:

- Put up a clear sign informing the workers about waste reduction plan.
- Allocate an area on the site for all bins, a bin for each recycle, reuse, and disposal destintion. Clearly label each bin by what it is intended to store.
- Different waste types occur at different times of the project, such as foundation, framing, cladding and fitout times. So plan your waste seperation around this.
- Arrange for materials to arrive as needed and protect them to avoid damage.
- Reuse off-cuts and other 'waste' as much as you can on the job, or make them available for others to use.
- Let the Site Manager know if you expect a large amount of a particular waste, so that a reuse or recycling option can be found.
- Handle and dispose of all hazardous materials in accordance with National and Local Regulations.
- The waste skip is only for materials that cannot be reused or recycled, and should be used as a last resort.

X RL Datum 0.0m
(Centre of Road)

Amendment A:
Additional housing for
water pump services

NOTES:

Site information:

Legal description:
LOT 1 BLK IV DP 279
Site area: 926m²
Property location:
6 Swansea Street, Middlesmarch 9597

Building:

Existing dwelling area: 73.71m²
Proposed dwelling area: 134.26m²

Total site coverage:

207.97m²
22.50%

Site specifications:

Wind zone: High
Exposure zone: B
Earthquake zone: 1
Snow load: N5
Zoning: Township and Settlement

Site Notes as per Otago Natural Hazards:

Fan Landform: River Terrace
Liquefaction Awareness Zone: A Domain
Low to None
Ground Classification: D - Deep to soft soil

The Copyright of these plans shall remain with Spanbild New Zealand Limited.
Spanbild New Zealand Limited accepts no responsibility for any work undertaken that is not in strictly accordance with these drawings.
Contractor shall check and verify all dimensions, setouts, and levels on site, prior to commencing contract, and shall immediately notify Spanbild New Zealand Limited of any discrepancies or errors.

REV	DESCRIPTION	BY	DATE
A	Amendment A	ST	17/08/2022
	Building Consent	ST	16/11/2021

STATUS:

Amendment A

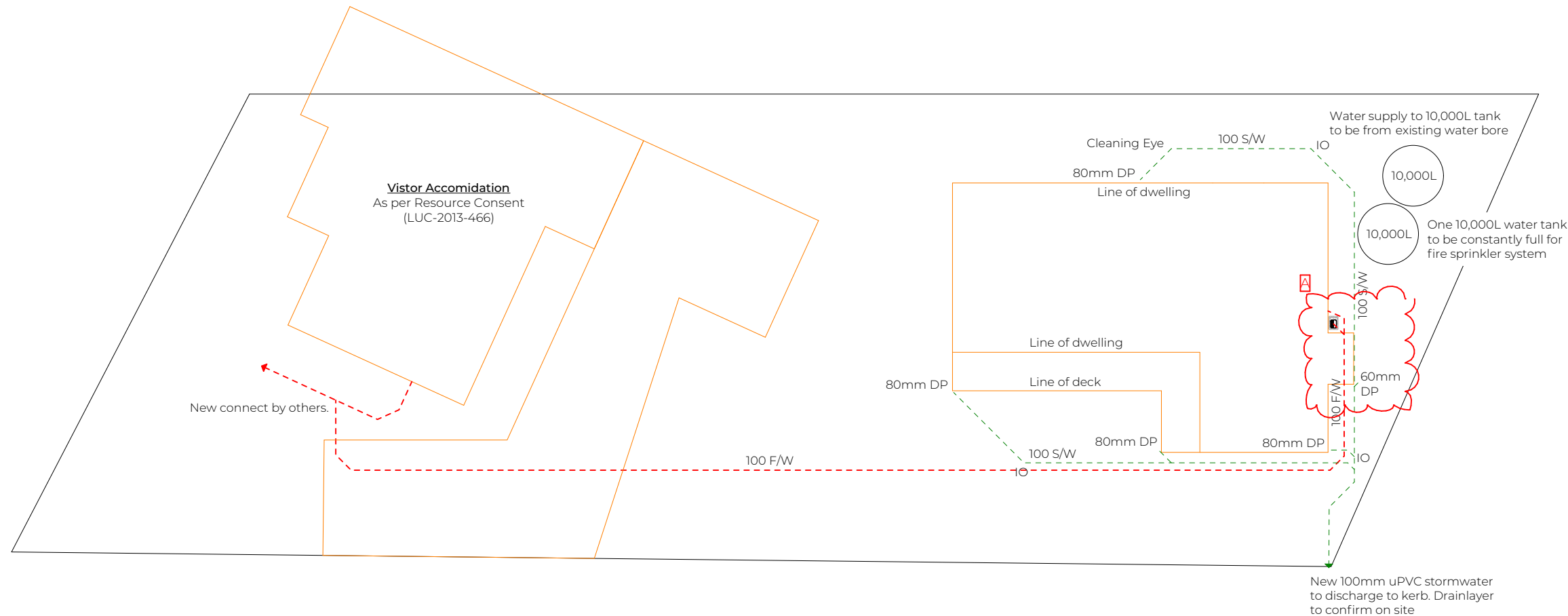
Versatile

Building Better

584 KAIKORAI VALLEY ROAD
KENMURE 9011
PH: 0800 837 728
email: vanessa@versatile.co.nz
www.versatile.co.nz

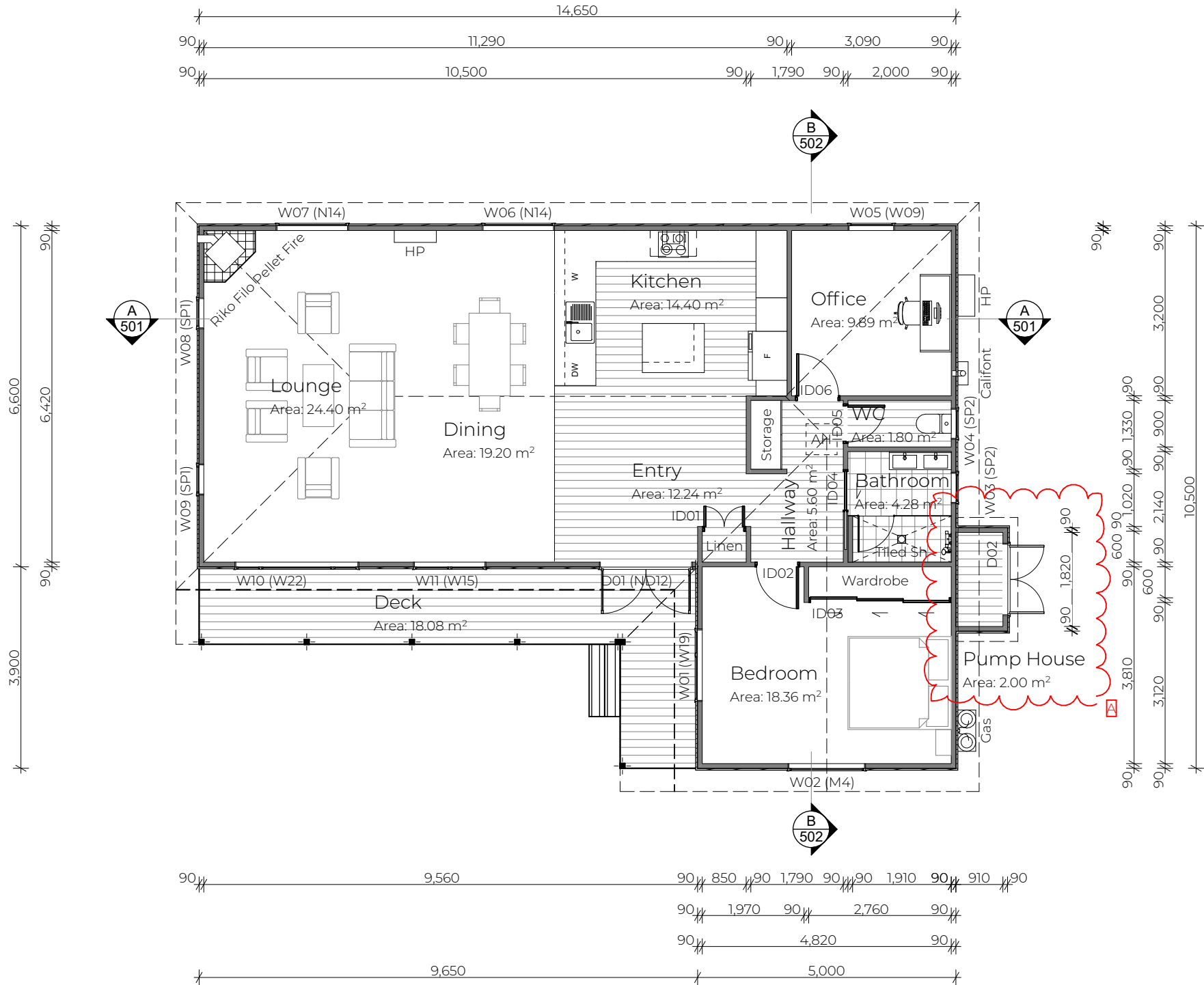
CLIENT:
Mark Ford and Christine Ford

SITE: 6 Swansea Street			
Middlemarch			
Otago		9597	
TITLE: Site Plan			
SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:200	09/09/2021	ST	BW
JOB No:	PAGE No:		REVISION:
21076	101		-

[illegible]

 **Versatile®**
Building Better
584 KAIKORAI VALLEY ROAD
KENMURE 9011
PH: 0800 837 728
email: vanessa@versatile.co.nz
www.versatile.co.nz

SITE: 6 Swansea Street Middlemarch Otago 9597			
TITLE: Drainage Plan			
SCALE AT A3: 1:200	DATE: 09/09/2021	DRAWN: ST	CHECKED: BW
JOB No: 21076	PAGE No: 104	REVISION: -	



Amendment A:
Additional housing for
water pump services

NOTES:

General Notes:
Stud Height: 2570mm over top plate (2605mm over ceiling plate)

Glazing:
- Install glazing in accordance with NZS 4223.
- All glazing within 2000mm of FFL in wet areas, & all shower screens/doors, shall be grade a safety glass in accordance with NZS 4223.3

Internal joinery:
- Door panels shall be standard 1980mm high, unless specifically noted otherwise, door sizes on door and window schedule.
- Door handles to be centred 900mm FFL unless otherwise shown.
- 60x12mm single bevel architraves.

Floor Surfaces:
All floor surfaces on accessible routes and any vinyl surface shall comply with NZBC clause D1, section 2.1, such that they shall have a coefficient of friction, of not less than 0.4 when tested in accordance with AS/NZS3661.1.

Floor Covering Legend:

Vinyl Flooring

Carpet Flooring

Tile Flooring

External Stair Notes:
Stairs to have equal risers and treads, risers to be 190mm max, treads to be 280mm min. Stairs to have Resene Uracly anti-slip coating

Door and Window Numbers:
Door and window numbers in brackets relate to E13 Windows Ltd referencing

The Copyright of these plans shall remain with Spanbild New Zealand Limited.
Spanbild New Zealand Limited accepts no responsibility for any work undertaken that is not in strictly accordance with these drawings.
Contractor shall check and verify all dimensions, setouts, and levels on site, prior to commencing contract, and shall immediately notify Spanbild New Zealand Limited of any discrepancies or errors.

REV	DESCRIPTION	BY	DATE
A	Amendment A	ST	17/08/2022
	Building Consent	ST	16/11/2021
STATUS:		Amendment A	

**Versatile**
Building Better

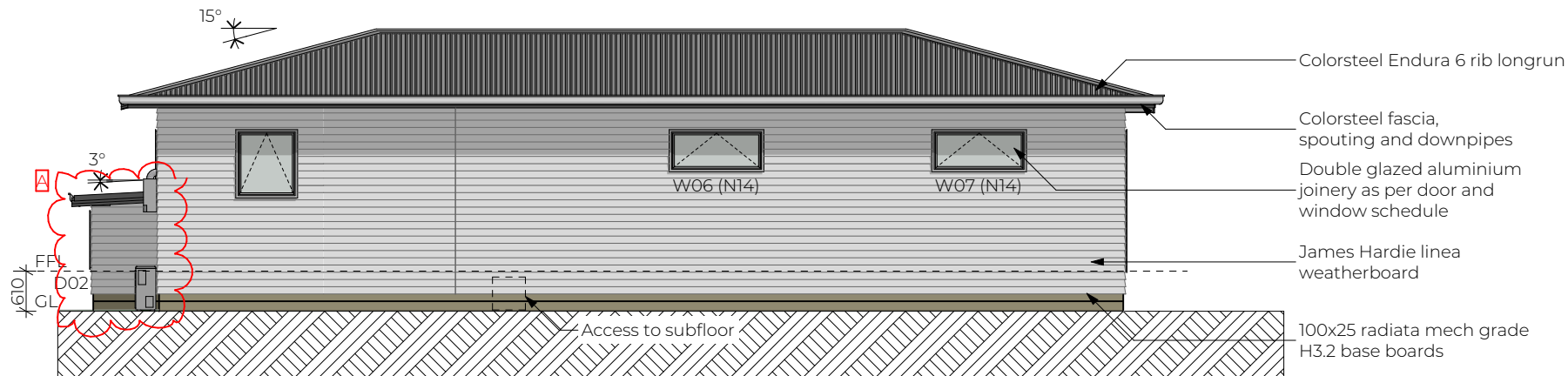
584 KAIKORAI VALLEY ROAD
KENMURE 9011
PH: 0800 837 728
email: vanessa@versatile.co.nz
www.versatile.co.nz

CLIENT:
Mark Ford and Christine Ford

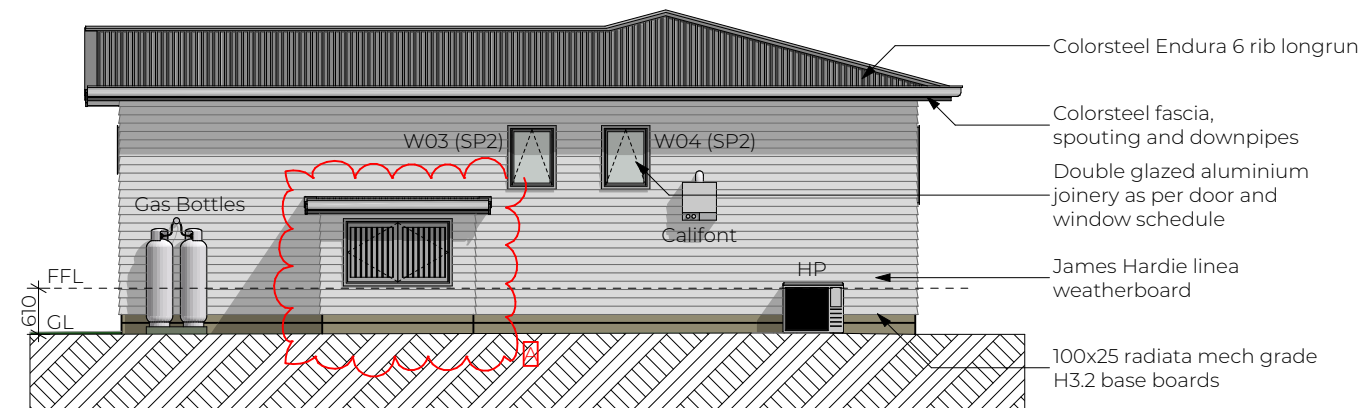
SITE: 6 Swansea Street Middlemarch Otago 9597			
TITLE: Floor Plan			
SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:100	09/09/2021	ST	BW
JOB No:	PAGE No:	REVISION:	
21076	201	-	



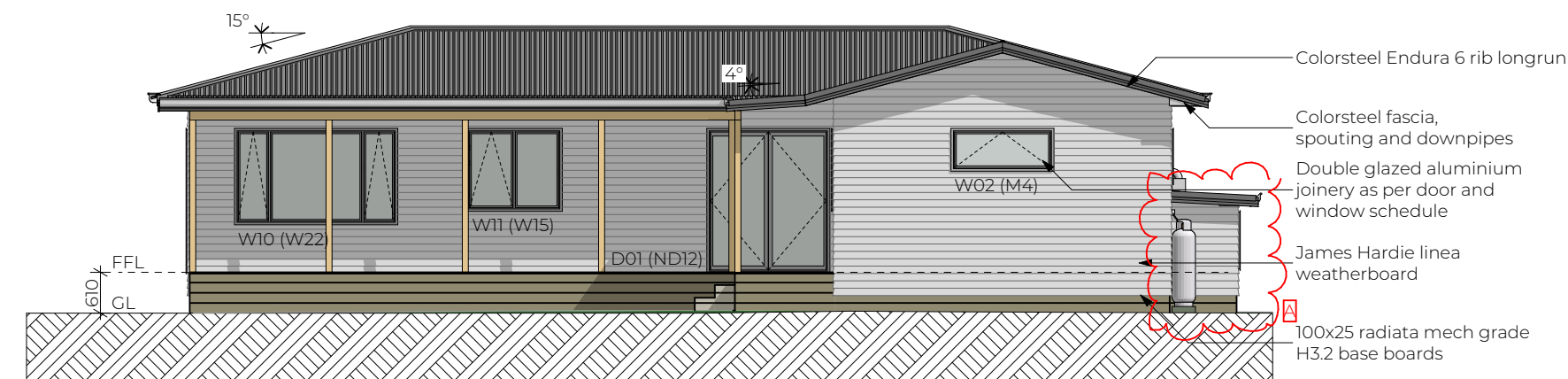
North Elevation 1:100



East Elevation 1:100



South Elevation 1:100



West Elevation 1:100

BUILDING ENVELOPE RISK MATRIX		
North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		3

BUILDING ENVELOPE RISK MATRIX		
East Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		3

BUILDING ENVELOPE RISK MATRIX		
South Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		3

BUILDING ENVELOPE RISK MATRIX		
West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		3

NOTES:

Door and Window Numbers:
Door and window numbers in brackets relate to E13 Windows Ltd referencing

The Copyright of these plans shall remain with Spanbild New Zealand Limited.
Spanbild New Zealand Limited accepts no responsibility for any work undertaken that is not in strictly accordance with these drawings.
Contractor shall check and verify all dimensions, setouts, and levels on site, prior to commencing contract, and shall immediately notify Spanbild New Zealand Limited of any discrepancies or errors.

REV	DESCRIPTION	BY	DATE
A	Amendment A	ST	17/08/2022
	Building Consent	ST	16/11/2021
STATUS:		Amendment A	

Versatile

Building Better

584 KAIKORAI VALLEY ROAD
KENMURE 9011
PH: 0800 837 728
email: vanessa@versatile.co.nz
www.versatile.co.nz

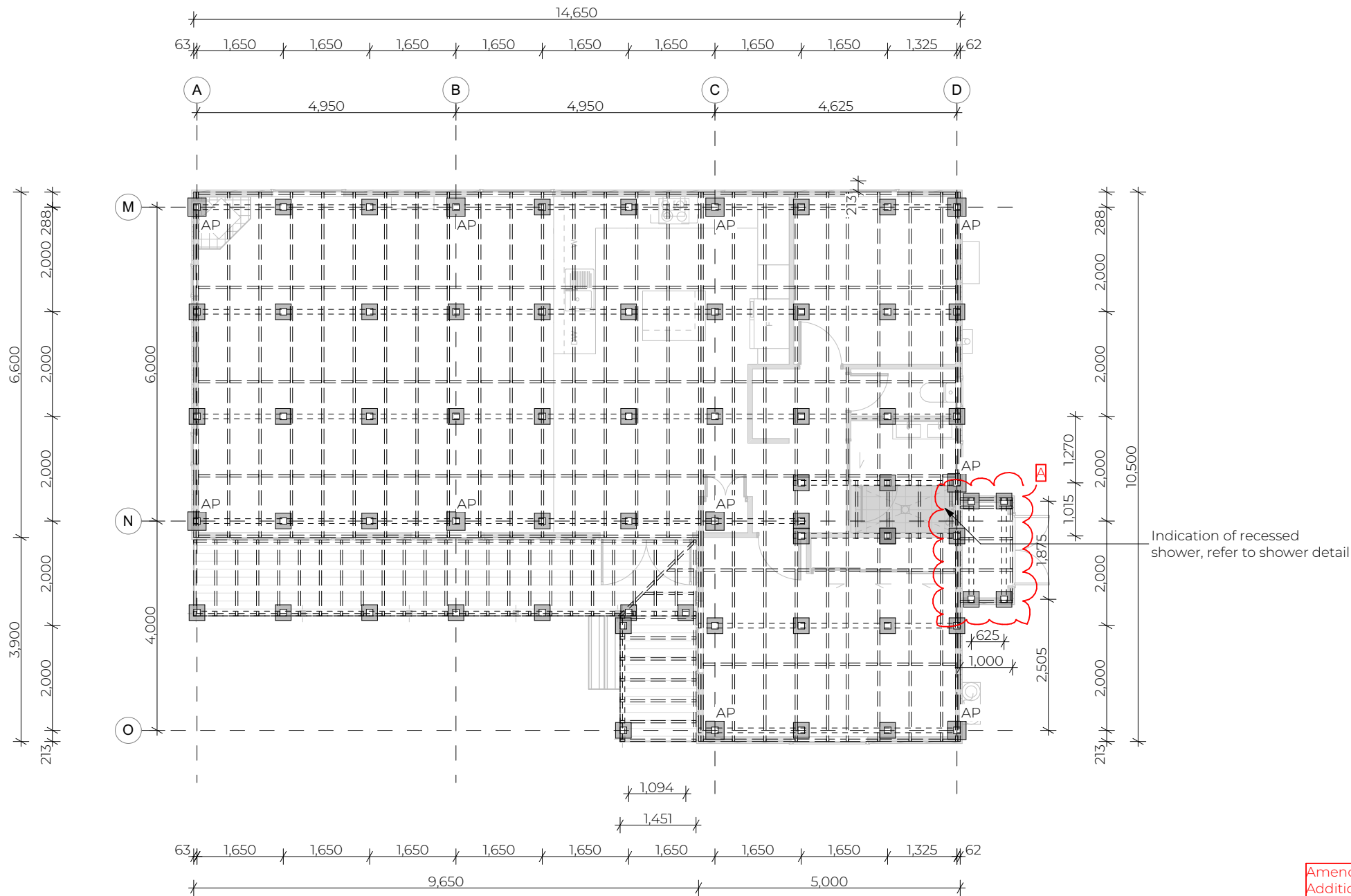
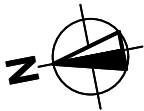
CLIENT:
Mark Ford and Christine Ford

SITE: 6 Swansea Street
Middlemarch
Otago 9597

TITLE:
Elevations

SCALE AT A3: 1:100	DATE: 09/09/2021	DRAWN: ST	CHECKED: BW
JOB No: 21076	PAGE No: 301	REVISION: -	

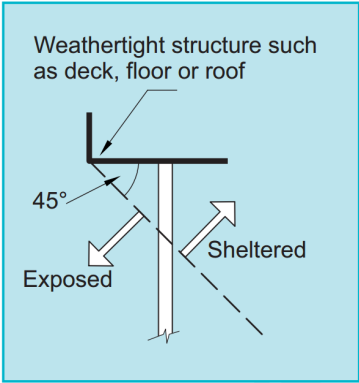
Amendment A:
Additional housing for
water pump services



New Flooring:
Internal flooring:
- 19mm Plywood flooring. to be set level with existing dwelling
Decking:
- H3.2 19mm timber decking set level with FFL.

Flooring Fixing
a) Supports at sheet edges
Hand-driven - 60x3.06 ring shanked galv. 150mm centers or 60x2.8 Power-driven - 60 x 2.8 ring shanked galv. at 150mm centers
b) Intermediate supports
Hand-driven - 60x3.06 ring shanked galv. 300mm centers or 60x2.8 at 300mm centers
Power-driven - 60 x 2.8 ring shanked galv. at 300mm centers

Subfloor Ventilation:
100x25 Radiata Merch H3.2 base boards around foundation to be set 25mm min. below bottom of cladding and have 25mm min. ventilation gap between each board.



Verandad footing to resist uplift:
Area of Roof supported: worst case: 2.4m²
Wind Zone: High
Footing Volume Required: 0.20m³
Ordinary Pile Volume: 0.9m³

Amendment A:
Additional housing for
water pump services

Structural Fixings in Zone B:
For all structural fixings in Zone B, except fabricated brackets, selection depends on location.
If exposed, or within 600mm of the ground level 304 Stainless Steel is required, but if sheltered, galvanised steel is permitted. Fabricated brackets must be a minimum of 5mm thick so they can be galvanised to the coating weights:
390g/m² for sheltered
600g/m² for exposed
Nail plates within closed enviroments and roof spaces must be continuously coated in galvanised steel.
All fixings into timber treated H3.2 or above to be stainless steel.
NZS3604:2011 Figure 4.3(a) defines sheltered vs exposed.

NOTES:

Dwelling Framing:
Piles: 125x125 H5 piles in concrete footing as noted.
Bearers: 2/140x45 H3.2 SG8 timber bearers
Joist: 140x45 H1.2 SG8 timber joist at 600 crs.

Deck Framing:
Piles: 125x125 H5 piles in concrete footing as noted.
Stringer: 140x45 H3.2 SG8 timber stringer as shown
Bearer: 2/140x45 H3.2 SG8 timber bearers
Joist: 140x45 H3.2 SG8 timber joist at 400 crs.

Verandah Post: 100x100 H3.2 post

Pile Footing:
Ordinary pile: 300x300x1000min 20MPa concrete footing with 100min thick concrete base.
Anchor pile (AP): 350x350x1000min 20MPa concrete footing with 100min thick concrete base.

Stringer Fixing:
S.S. 2/M12x200 coach screw at 300crs.

Bearer Fixing:
Bearer to ordinary pile over 300mm from ground:
1 wire dog each side and 2/100x3.75mm skewed nails.
Bearer to anchor pile:
S.S As per Mitek 12kN Pile Fixing

Joist Fixing:
Boundary Joist:
2/90x3.15 power driven nail, or,
2/100x3.75 skewed hand driven nails.
Joist to bearer:
3/90x3.15 skewed power driven nails, or,
3/100x3.75 skewed power driven nails

Verandah Post:
Verandah post to Joist/Bearer:
2/M12 bots50x50x3mm washers

Access / Crawl Space:
Access shall be provided for visual inspection of all subfloor framing members via entry from the exterior of the dwelling into a crawl space not less than 450mm deep to the underside of the floor joists.

The Copyright of these plans shall remain with Spanbild New Zealand Limited.
Spanbild New Zealand Limited accepts no responsibility for any work undertaken that is not in strictly accordance with these drawings.
Contractor shall check and verify all dimensions, setouts, and levels on site, prior to commencing contract, and shall immediately notify Spanbild New Zealand Limited of any discrepancies or errors.

REV	DESCRIPTION	BY	DATE
A	Amendment A	ST	17/08/2022
	Building Consent	ST	16/11/2021
STATUS:		Amendment A	



Building Better

584 KAIKORAI VALLEY ROAD
KENMURE 9011
PH: 0800 837 728
email: vanessa@versatile.co.nz
www.versatile.co.nz

CLIENT:
Mark Ford and Christine Ford

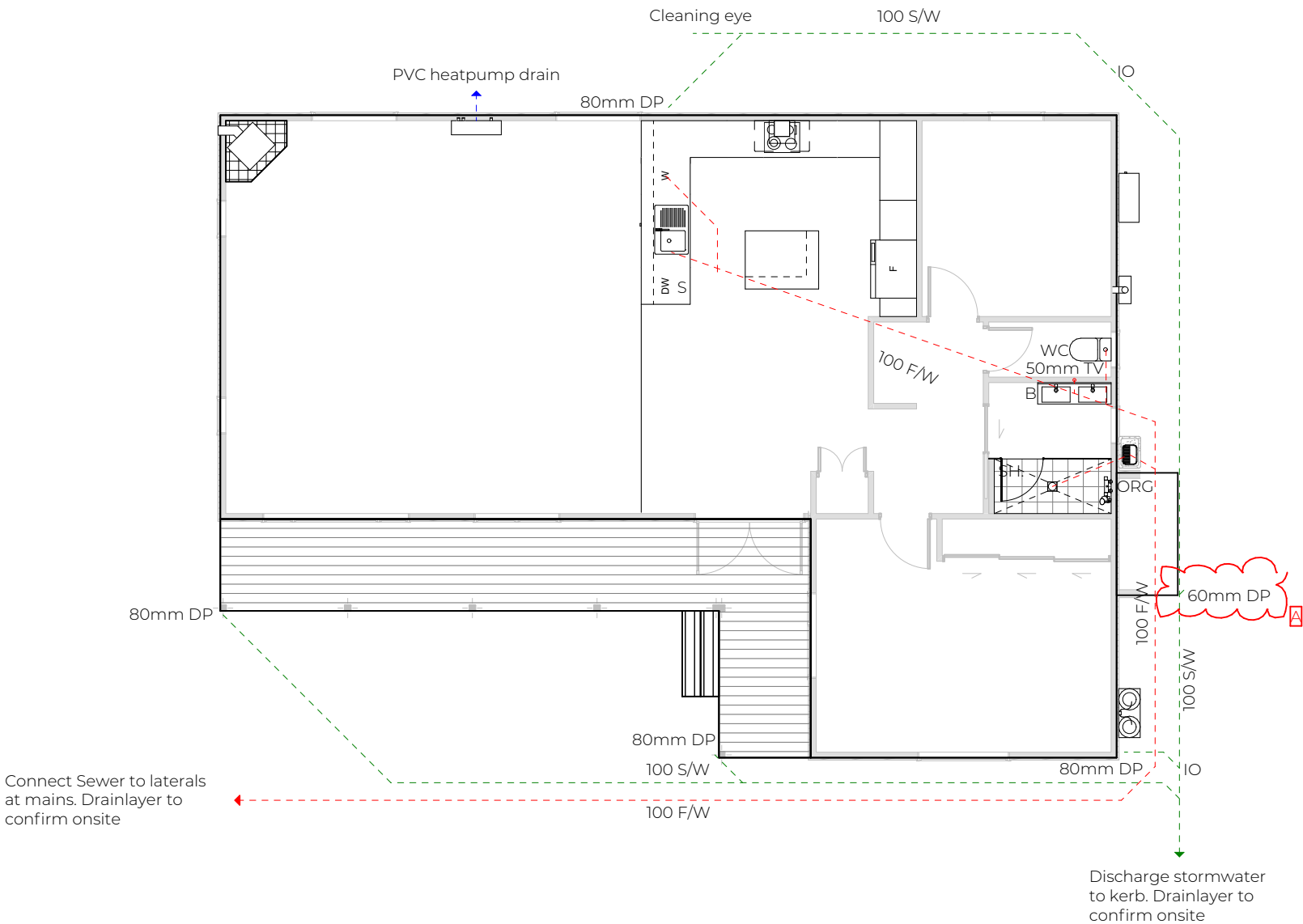
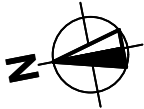
SITE:

6 Swansea Street
Middlemarch
Otago 9597

TITLE:

Foundation Plan

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:100	09/09/2021	ST	BW
JOB No:	PAGE No:	REVISION:	
21076	401	-	



Water Supply and Dishcharge:
Water supply from existing bore and discharge to be council supply. Both services will require connection during construction as shown on Sheet 102.

Joints between fixtures and wall linings:
Where baths, basins, tubs, or sinks abut impervious linings, the joint between fixture and lining shall be sealed to prevent water penetration to concealed spaces or behind linings.

Gas Bottle and Water Heater:
2/1250high x 375Ø (45kg) bottles to be mounted on concrete base and secured with seismic restraints (chains or fixed brackets). Minimum clearance requirements apply in accordance with selected model. Gas fitter to confirm location (location shown in existing and indicative only).

Gas Notes:
- Polybutylene water supply pipes.
- Hot water supply pipes shall be thermally insulated to comply with H1/AS1 5.0.
- The delivered hot water temperature at any sanitary fixture used for personal hygiene shall not exceed 55°C

Water Supply Sizing:
Mains Pressure
15mm Dia. Polybutylene pipe to fixture
15mm Dia. Polybutylene piping to tempering valve.
NOTE: All pipes are to be polybutylene and manufactured to the standard set in AS/NZS2642 parts 1, 2 and 3

Water Supply Insulation:
Closed cell foam polymer insulation or fibre glass insulation which is preformed to the shape of the pipe and not less than 13mm thick, is acceptable material for preventing pipes less than or equal to 40mm diameter from freezing. Any insulation materials that absorb moisture shall be protected in a waterproof membrane.

G3/AS1:
1.1.3. Food preparation surface shall be easily maintained in a hygienic condition. Stainless steel, decorative high pressure laminate, and tiles are examples of suitable materials for these surfaces.
1.6. Wall linings adjacent to appliances and facilities shall have surfaces that can be easily maintained in a hygienic condition. Stainless steel, decorative high pressure laminate, tiles, wallboards and painted or applied impervious coatings or films, are examples of suitable materials for these surfaces.

NOTES:

Plumbing and Drainage:
All plumbing in accordance with NZS/AS3500 Foul Water. All pipe sizes are code minimum, where suitable use minimum 65mm pipe from fixture to 100mm main pipe.

Waste Water Gradients:
Up to DN80 uPVC = 1:40
Over DN80 uPVC = 1:60
All Exterior Waste Water Pipes
DN100 uPVC = 1:60

Stormwater Gradients
DN100 uPVC = 1:100

	Fixture Unit Rating	Trap and Waste
Kitchen:		
WM	5	= DN50 trap/DN65 waste
Sink and DW	3	= DN50 trap/DN65 waste
Bathroom:		
Shower	2	= DN40 trap/DN65 waste
Basin	1	= DN40 trap/DN65 waste
Bathroom:		
WC	4	= DN100 trap/DN100 waste

Total fixture unit rating for **Entire Dwelling = 15**

Key

SH Shower
B Basin
S Sink
WC WC
W Washing Machine
DW Dishwasher

The Copyright of these plans shall remain with Spanbild New Zealand Limited.
Spanbild New Zealand Limited accepts no responsibility for any work undertaken that is not in strictly accordance with these drawings.
Contractor shall check and verify all dimensions, setouts, and levels on site, prior to commencing contract, and shall immediately notify Spanbild New Zealand Limited of any discrepancies or errors.

REV	DESCRIPTION	BY	DATE
A	Amendment A	ST	17/08/2022
	Building Consent	ST	16/11/2021
STATUS:		Amendment A	

584 KAIKORAI VALLEY ROAD
KENMURE 9011
PH: 0800 837 728
email: vanessa@versatile.co.nz
www.versatile.co.nz

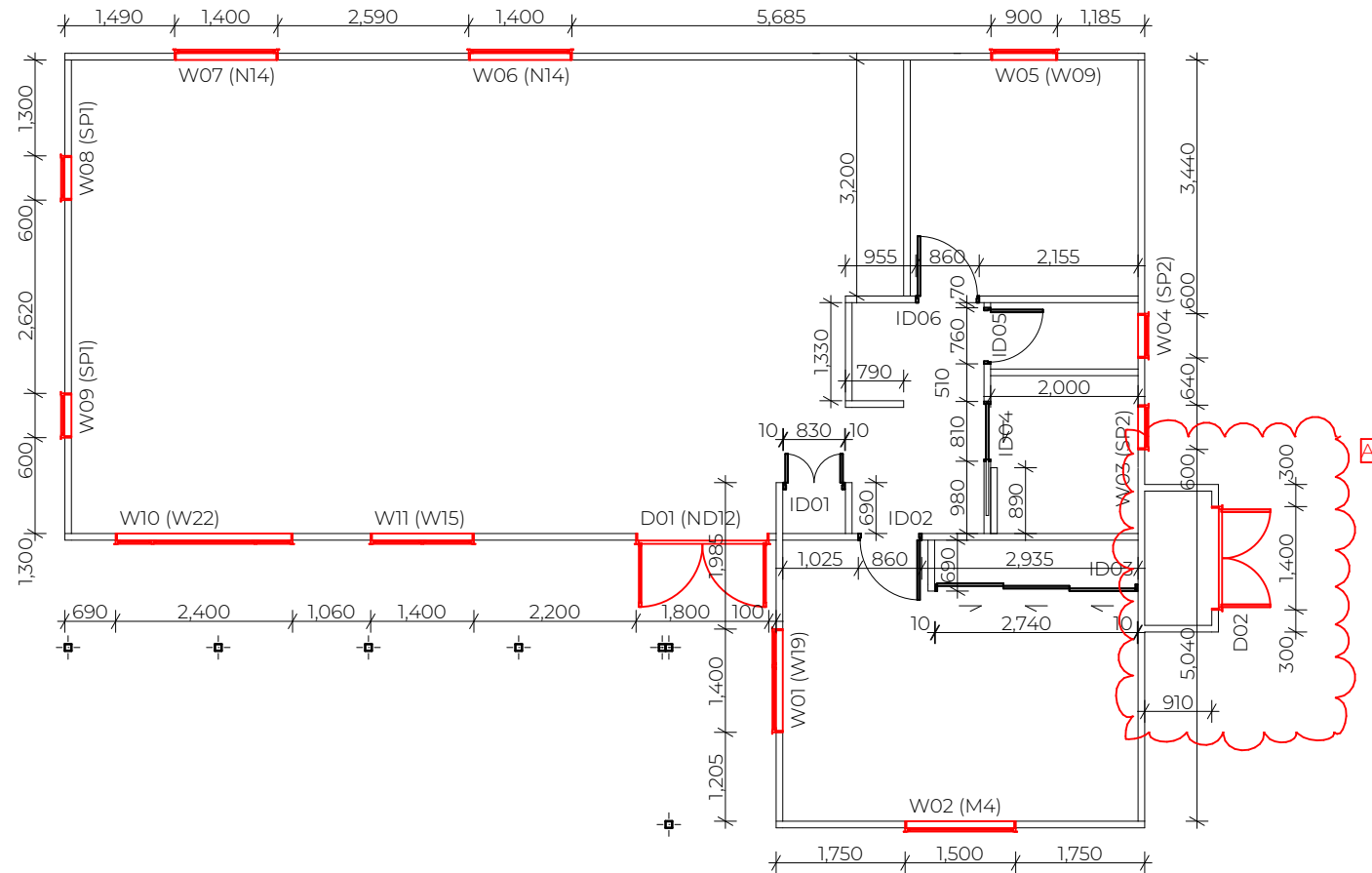
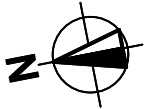
CLIENT:
Mark Ford and Christine Ford

SITE: 6 Swansea Street
Middlemarch
Otago 9597

TITLE:
Plumbing and Drainage Plan

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:100	09/09/2021	ST	BW
JOB No:	PAGE No:	REVISION:	
21076	403	-	

Amendment A:
Additional housing for
water pump services



Amendment A:
Additional housing for
water pump services

Window/Door Lintels				
ID	W x H Size	Lintel Size	Fixing Type	Sill Trimmer
D01 (ND12)	1,800x2,130	2/140x45	G	n/a
D02	1,400x850	2/90x45	F	90x45
W01 (W19)	1,400x1,200	2/140x45	F	90x45
W02 (M4)	1,500x600	2/140x45	F	90x45
W03 (SP2)	600x800	2/90x45	F	90x45
W04 (SP2)	600x800	2/90x45	F	90x45
W05 (W09)	900x1,000	2/90x45	F	90x45
W06 (N14)	1,400x600	2/140x45	F	90x45
W07 (N14)	1,400x600	2/140x45	F	90x45
W08 (SP1)	600x2,130	2/90x45	F	90x45
W09 (SP1)	600x2,130	2/90x45	F	90x45
W10 (W22)	2,400x1,400	2/190x45	G	90x45
W11 (W15)	1,400x1,200	2/140x45	F	90x45

NOTES:

Ceiling Battens:
Rondo Battens as per specification

Internal Lintels Fixing:
Unless specifically noted otherwise all internal openings lintels/head trimmers to be 2/90x45 H1.2 SG8 fixed with 3/90x3.15 power driven end nails. All external opening lintels and fixings to be as per lintel table.

External Lintel Fixing:
Lintel fixing as per Mitek Lintel Fixing sheet.

Sill or Head Trimmer Fixing:
To trimming stud not exceeding 2.4m long: 3/90x3.15 power driven end nails, or, 2/100x3.75 hand driven end nails.

Wall Framing (Internal):
Upto 2.7m Studs: 90x45 H1.2 SG8 timber studs at 400 crs.

Wall Framing (External):
Upto 2.7m studs: 90x45 H1.2 SG8 timber studs at 400 crs.

Dwangs:
Full depth dwangs at 800 crs.

Stud Fixing:
Stud to Plate:
Mitek Studlok Screw as per Mitek Studlok sheet
Stud to Top Plate (Load Bearing Wall):
Mitek Studlok Screw as per Mitek Studlok sheet
Trimming Stud at Opening:
90x3.15 power driven nails at 600 crs, or, 100x3.75 hand driven nails at 600 crs.

Dwangs to Studs:
2/75x3.05 skewed power driven nails, or, 2/75x3.15 skewed hand driven nails

Bottom plate to floor at framing:
External walls and internal wall bracing elements:
3/90x3.15 power-driven nails at 600 crs, or, 2/100x3.75 hand-driven nails at 600 crs.
Internal walls:
90x3.15 power-driven nails at 600 crs, or, 100x3.75 hand-driven nails at 600 crs.

Door and Window Numbers:
Door and window numbers in brackets relate to E13 Windows Ltd referencing

The Copyright of these plans shall remain with Spanbild New Zealand Limited.
Spanbild New Zealand Limited accepts no responsibility for any work undertaken that is not in strictly accordance with these drawings.
Contractor shall check and verify all dimensions, setouts, and levels on site, prior to commencing contract, and shall immediately notify Spanbild New Zealand Limited of any discrepancies or errors.

REV	DESCRIPTION	BY	DATE
A	Amendment A	ST	17/08/2022
	Building Consent	ST	16/11/2021
STATUS:		Amendment A	



Building Better

584 KAIKORAI VALLEY ROAD
KENMURE 9011
PH: 0800 837 728
email: vanessa@versatile.co.nz
www.versatile.co.nz

CLIENT:
Mark Ford and Christine Ford

SITE: 6 Swansea Street
Middlemarch
Otago 9597

TITLE:
Framing Plan

SCALE AT A3:
1:100

DATE:
09/09/2021

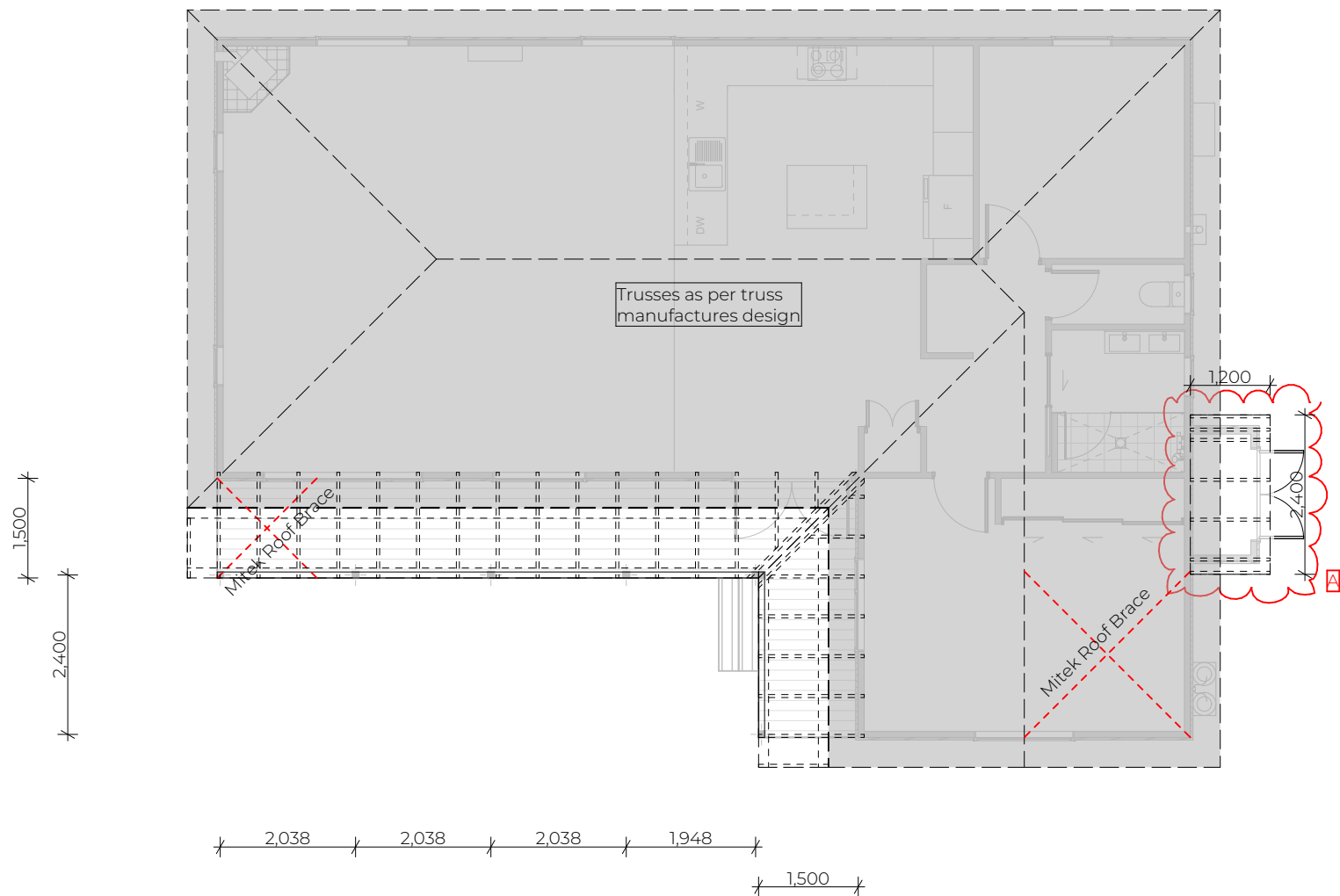
DRAWN:
ST

CHECKED:
BW

JOB No:
21076

PAGE No:
405

REVISION:
-



NOTES:

Roof Framing 4°:
Rafters: 90x45 H1.2 SG8 timber rafters at 600 crs.
Valley Rafters: 140x45 H1.2 SG8 timber rafter
Flying Rafter: 90x45 H1.2 SG8 flying rafter
Purlins: 90x45 H1.2 SG8
End Spacing: 600 max
Intermediate spacing: 900 crs. max.

Roof Framing 3°:
Rafters: 90x45 H1.2 SG8 timber rafters at 600 crs.
Ribbon Board: 90x45 H1.2 SG8 ribbon board
Flying Rafter: 90x45 H1.2 SG8 flying rafter
Purlins: 90x45 H1.2 SG8
End Spacing: 600 max
Intermediate spacing: 900 crs. max.

Ribbon Board Fixing:
2 x 90mm x 3.15 dia. nails + 1 x BOWMAC StudLok SL125

Verandah Beam:
2/140x45 H3.2 verandah Beam, fixing as per Verandah Beam fixing sheet.

Rafter Fixing:
Rafter to top plate/verandah beam:
Fixing strap to rafter with 2/30x3.15mm nails fixed to side and bottom of top plate and 4/90x3.15mm nails fixed to rafter
(Alternative Fixing 7.0kN)

Flying Rafter Fixing:
Flying Rafter to Purlin:
3/90x3.15 power driven nails, or,
2/100x3.75 hand driven nails

Purlin Fixing:
Type U: 1/14g self drilling type 17 screw, 100mm long (alternative fixing 5.5kN)

Blocking for fixing:
2/90x3.15 power driven nails at 400 crs, or,
2/75x3.15 hand driven nails at 400 crs.

The Copyright of these plans shall remain with Spanbild New Zealand Limited.
Spanbild New Zealand Limited accepts no responsibility for any work undertaken that is not in strictly accordance with these drawings.
Contractor shall check and verify all dimensions, setouts, and levels on site, prior to commencing contract, and shall immediately notify Spanbild New Zealand Limited of any discrepancies or errors.

REV	DESCRIPTION	BY	DATE
A	Amendment A	ST	17/08/2022
	Building Consent	ST	16/11/2021
STATUS:		Amendment A	



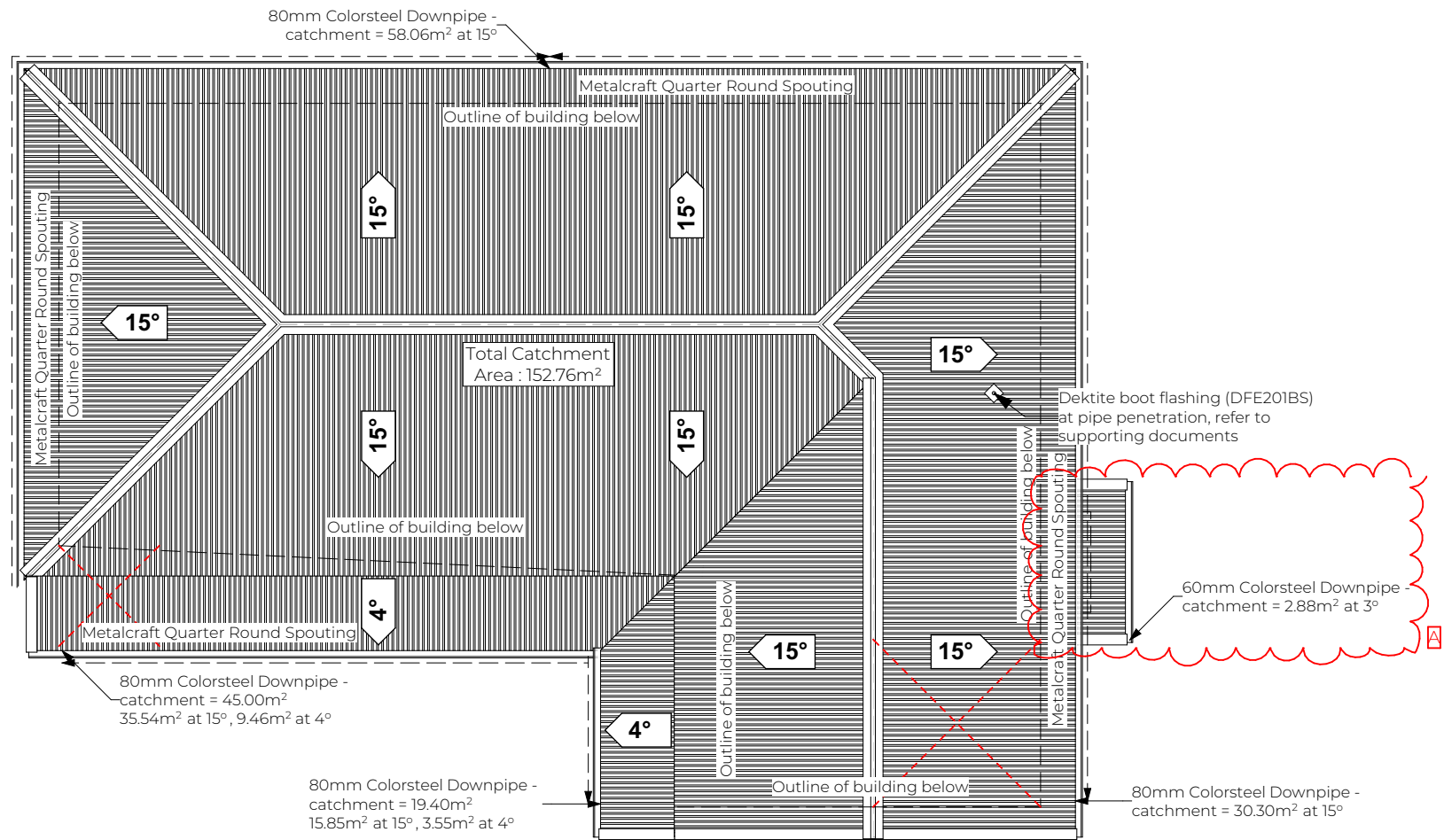
Versatile
Building Better

584 KAIKORAI VALLEY ROAD
KENMURE 9011
PH: 0800 837 728
email: vanessa@versatile.co.nz
www.versatile.co.nz

CLIENT:
Mark Ford and Christine Ford

SITE: 6 Swansea Street Middlemarch Otago 9597			
TITLE: Roof Framing Plan			
SCALE AT A3: 1:100	DATE: 09/09/2021	DRAWN: ST	CHECKED: BW
JOB No: 21076	PAGE No: 409	REVISION: -	

Amendment A:
Additional housing for
water pump services



Amendment A:
Additional housing for
water pump services

NOTES:

Roofing:
Colorsteel Endura 6 rib roofing
Roof pitch is 15° and 4° as shown

Spouting:
Spouting is Metalcraft Quarter Round Gutter
(cross sectional area of 4880mm²)
Downpipes are Colorsteel 80mm

Flashings:
All flashing to be powder coated aluminium, to match roof colour

The Copyright of these plans shall remain with Spanbild New Zealand Limited.
Spanbild New Zealand Limited accepts no responsibility for any work undertaken that is not in strictly accordance with these drawings.
Contractor shall check and verify all dimensions, setouts, and levels on site, prior to commencing contract, and shall immediately notify Spanbild New Zealand Limited of any discrepancies or errors.

REV	DESCRIPTION	BY	DATE
A	Amendment A	ST	17/08/2022
	Building Consent	ST	16/11/2021
STATUS:		Amendment A	



Versatile
Building Better

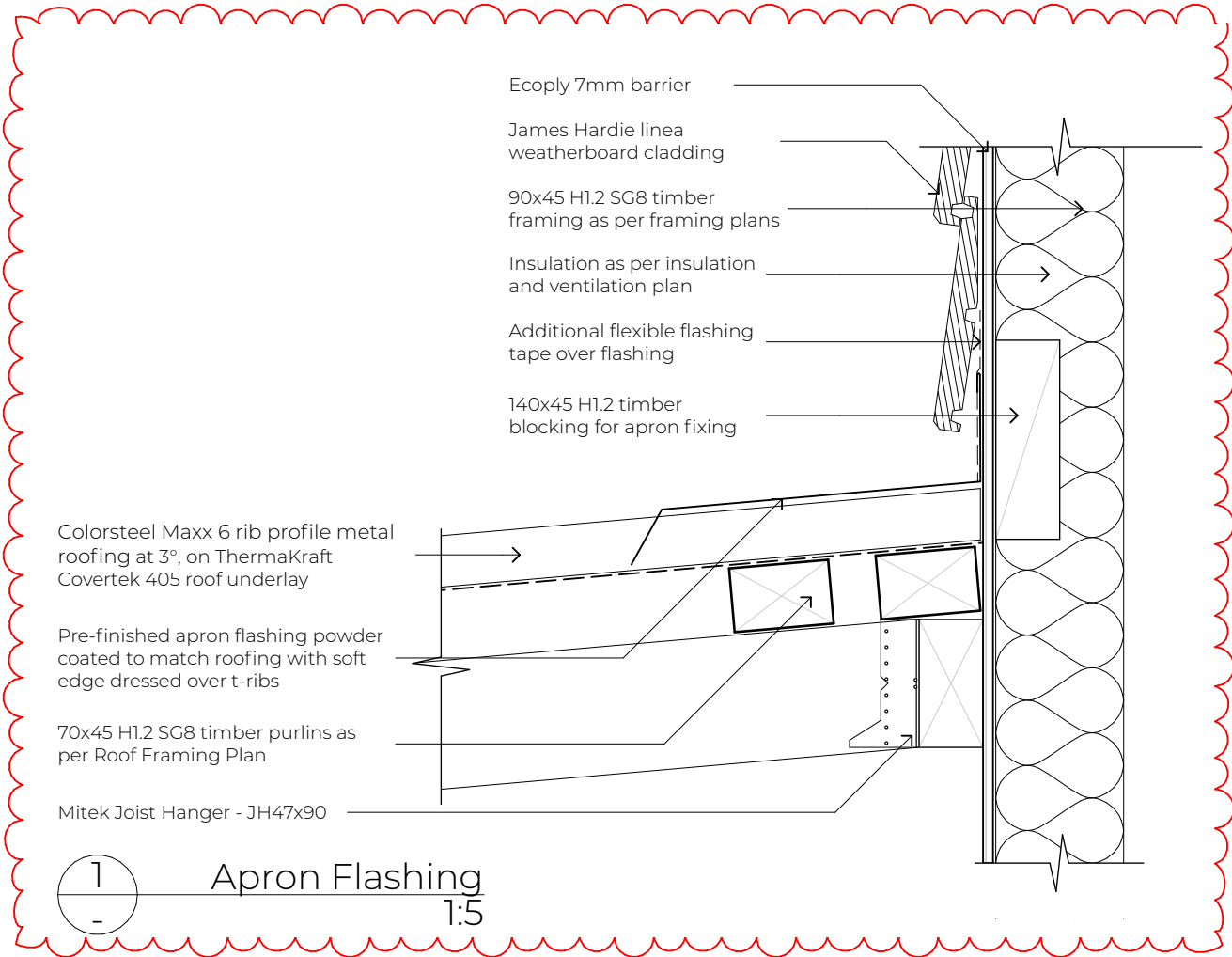
584 KAIKORAI VALLEY ROAD
KENMURE 9011
PH: 0800 837 728
email: vanessa@versatile.co.nz
www.versatile.co.nz

CLIENT:
Mark Ford and Christine Ford

SITE: 6 Swansea Street
Middlemarch
Otago 9597

TITLE:
Roof Covering Plan

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:100	09/09/2021	ST	BW
JOB No:	PAGE No:	REVISION:	
21076	413	-	



A

NOTES:

The Copyright of these plans shall remain with Spanbild New Zealand Limited.
Spanbild New Zealand Limited accepts no responsibility for any work undertaken that is not in strictly accordance with these drawings.
Contractor shall check and verify all dimensions, setouts, and levels on site, prior to commencing contract, and shall immediately notify Spanbild New Zealand Limited of any discrepancies or errors.

REV	DESCRIPTION	BY	DATE
A	Amendment A	ST	17/08/2022
	Building Consent	ST	16/11/2021
STATUS: Amendment A			

Versatile®

Building Better

584 KAIKORAI VALLEY ROAD
KENMURE 9011
PH: 0800 837 728
email: vanessa@versatile.co.nz
www.versatile.co.nz

CLIENT:

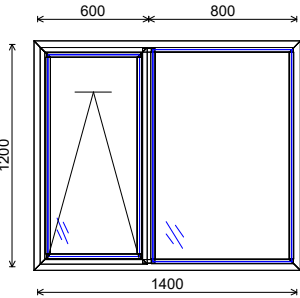
Mark Ford and Christine Ford

SITE: 6 Swansea Street Middlemarch Otago 9597			
TITLE: Details			
SCALE AT A3: 1:5	DATE: 09/09/2021	DRAWN: ST	CHECKED: BW
JOB No: 21076	PAGE No: 613	REVISION: -	

Amendment A:
Additional housing for
water pump services

Quote No : -1110- Ver 2
Quote Date : 26/08/2021
Modified Date : 27/08/2021

12

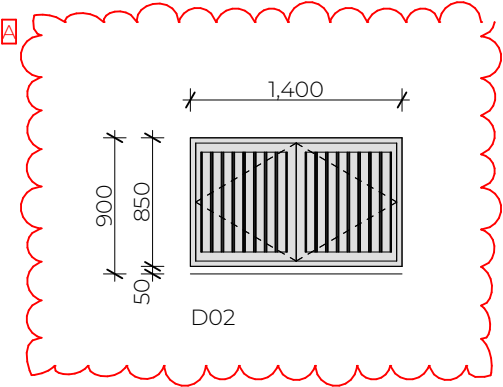


W19 Bedroom 1

SUITE : Pacific Thermal **FLASHING** : 70mm Head Flashing - 995
FRAME : Pacific Thermal 22730 **TRIM SIZE** : 1210mm x 1415mm
FRAME COLOUR : ARCTIC WHITE S 20S1358S DP (901)
WIND ZONE : Very High **WEIGHT** : 44.74 kg
LINER : H3 Paint Quality Pine 19mm Thick Architraved Mitre Cut
GLASS : 04CLXL18BK04CLFL
WANZ COMPONENTS : 55mm Support Bar
WALL THICKNESS : 160
SILL LINER : TRUE
HEIGHT FROM FLOOR : 930

1 x Arctic White S 20S1358S (901) Malta Helix Seal Fast.DT RH COLOURS

Quote Comments : Number of Units = 12



This quotation is provided under the terms of the Construction Contracts Act 2002

I hereby accept this quote for aluminium joinery as detailed above. I agree that the joinery is supplied on the Terms and Conditions of Sale which accompany this quote and that these Terms and Conditions of Sale will form the basis of the contract for supply between you and us. I also agree to settle my account in full or by prior arrangement.

Signed : _____ Dated : ____ / ____ / ____

All Units are viewed from the outside.

This quotation is valid until 27 September 2021

NOTES:

The Copyright of these plans shall remain with Spanbild New Zealand Limited.
Spanbild New Zealand Limited accepts no responsibility for any work undertaken that is not in strictly accordance with these drawings.
Contractor shall check and verify all dimensions, setouts, and levels on site, prior to commencing contract, and shall immediately notify Spanbild New Zealand Limited of any discrepancies or errors.

REV	DESCRIPTION	BY	DATE
A	Amendment A	ST	17/08/2022
	Building Consent	ST	16/11/2021

STATUS: Amendment A



584 KAIKORAI VALLEY ROAD
KENMURE 9011
PH: 0800 837 728
email: vanessa@versatile.co.nz
www.versatile.co.nz

CLIENT:
Mark Ford and Christine Ford

SITE: 6 Swansea Street Middlemarch Otago 9597			
TITLE: Door and Window Schedule			
SCALE AT A3: 1:50	DATE: 09/09/2021	DRAWN: ST	CHECKED: BW
JOB No: 21076	PAGE No: 703	REVISION: -	

Amendment A:
Additional housing for
water pump services