



WAIMAKARIRI
DISTRICT COUNCIL

Consent Issued BC160644

BC No: 160644

SITE DETAILS:

112 Rangiora Woodend Road

WOODEND

LEGAL:

LOT 4 DP 70132

**APPROVED BUILDING CONSENT DOCUMENTS AND PLANS
(FULL SET SUPPLIED)**

- ON SITE COPY -

- These plans and specifications must be kept on site during construction, and made available to the building officer on request. Failure to do so will mean an automatic failure of the building inspection and will necessitate re-booking the inspection at the applicant's expense.
- All boundary survey pegs must be located and flagged by the owner before work is commenced.

INSPECTIONS

for bookings or building enquiries

please phone the BUILDING UNIT on:

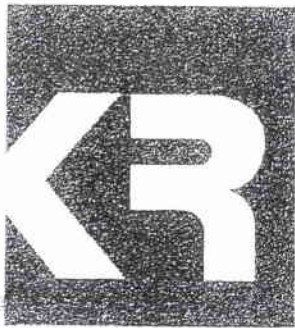
03 311 8906

or

Email inspection bookings to: bcbooking@wmk.govt.nz

- Please refer to your inspection schedule for details of inspections to be carried out.
- 2-3 working day's notice should be given and provision made to allow access.
- The Code Compliance Certificate will be issued once the:
 - Final inspection has been carried out and passed
 - Audit of WDC building consent file has been completed
 - Payment of any outstanding invoices is received

STRUCTURAL
GEOTECHNICAL
CIVIL
FIRE



STRUCTURAL DRAWINGS

Foundation Design at
112 & 116 Rangiora-Woodend Road

Steven & Gayleen Clegg

Job No: 157027

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC160644 24/06/2016 brendan

SPECIFICATION:

SITE PREPARATION: ALL VEGETATION, TOPSOIL AND OTHER ORGANIC MATERIAL OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE AREA TO BE COVERED BY THE BUILDING/FORMATION AREA.

EARTHWORKS: THE FORMATION AREA SHALL BE CUT OR FILLED TO A LEVEL APPROXIMATELY 350mm BELOW FINISHED FLOOR LEVEL IN ACCORDANCE WITH KIRK ROBERTS GEOTECHNICAL REPORT 112 & 116 RANGIORA WOODEND ROAD. CLEARED GROUND IS TO BE "GOOD GROUND" IN ACCORDANCE WITH NZS3604:2011 "TIMBER FRAMED BUILDINGS". WHERE FILL IS REQUIRED TO ACHIEVE THIS LEVEL IT SHALL BE IN ACCORDANCE WITH CLAUSE 7.5.3 OF NZS3604:2011 "TIMBER FRAMED BUILDINGS" OR CERTIFIED BY A GEOTECHNICAL ENGINEER. THE FORMATION AREA SHALL EXTEND A MINIMUM OF 1000mm BEYOND THE SLAB PERIMETER. ADDITIONAL TESTING MAY BE REQUIRED BY THE BUILDING CERTIFIER OR THE TERRITORIAL AUTHORITY TO CONFIRM THE GROUND BEARING CAPACITY. THE BUILDING CERTIFIER MAY MAKE ADJUSTMENTS TO FOUNDATION DEPTHS AND FOOTING WIDTHS AT THE TIME OF FOUNDATION PRE-POURING INSPECTIONS TO ACCOUNT FOR VARIABILITY IN SOILS EXPOSED IN FOUNDATION TRENCHES. WHERE THE TOPSOIL LAYER IS FOUND TO EXCEED 0.3m IN DEPTH, FOUNDATIONS ARE TO BE DEEPENED BELOW THE MINIMUM DEPTHS, TO FOUND BENEATH THE TOPSOIL LAYER.

PLUMBING AND SERVICES: PLUMBING AND SERVICES SHALL BE CONVEYED UNDERGROUND TO THEIR PLAN LOCATION AND THEN BOUGHT UP THROUGH THE SYSTEM. AT NO STAGE SHALL ANY OF THE REINFORCEMENT BARS BE RELOCATED OR CUT TO ALLOW FOR SERVICES. SERVICES ARE TO BE PLACED CENTRALLY WITHIN AN OPENING 50mm GREATER IN DIAMETER THAN THE PIPE TO ALLOW FOR SEISMIC TOLERANCES AND PREVENT SHEARING OF THE PIPE DURING AN EARTHQUAKE.

CONCRETE SHALL BE 25MPa ACCORDING TO NZS3604:2011.

CONCRETE PLACING, FINISHING AND CURING SHALL BE IN ACCORDANCE WITH NZS3109:1997.

CURING OF THE CONCRETE MUST TAKE PLACE IMMEDIATELY AFTER FINISHING THE CONCRETE BY PONDING OR CONTINUOUS SPRINKLING OF WATER. CURING OF THE CONCRETE SHALL CONTINUE FOR A MINIMUM 7 DAY PERIOD.

SHRINKAGE CONTROL JOINTS: REFER TO DRAWINGS SIGNED BY ENGINEER FOR LOCATIONS OF SHRINKAGE CONTROL JOINTS, SAWCUTS OR CONSTRUCTION JOINTS (OR KR DRAWINGS IF APPLICABLE). GENERALLY SAWCUTS ARE TO COINCIDE WITH MAJOR CHANGES OF PLAN, SPACED AT 6m CENTRES MAXIMUM TO CREATE BAYS WITH LENGTH: WIDTH RATIO OF NO GREATER THAN 2:1. SAWCUTS ARE TO BE MADE NO LATER THAN THE DAY FOLLOWING SLAB POUR. SUPPLEMENTARY REINFORCING 2-H12 (1.2 LONG) ARE TO BE PLACED AT EACH INTERNAL CORNER.

ONGOING MAINTENANCE: THE BUILDING OWNER IS TO ENSURE THAT THE GROUND IMMEDIATELY ADJACENT TO THE SYSTEM NOT BE ALLOWED TO SETTLE AWAY TO EXPOSE THE UNDERSIDE OF THE SLAB.

H12 BARS ARE REQUIRED TO LAP A MINIMUM OF 600mm.

NOTES:

- Kirk Roberts drawings are NOT to be used as Shop Drawings.
- Shop Drawings are to be provided for all Precast panels and Structural steelwork for review prior to fabrication.
- Kirk Roberts takes no responsibility for the setout and dimensions when Shop drawings have not been provided.
- All Structural Drawings are to be read in conjunction with Architectural and all other Project Documentation, any discrepancies shall be notified prior to any construction or fabrication

Contractor to verify:

- All structural drawings are the latest construction issue
- All dimensions on site prior to commencing any work

1	04/12/2015	PRELIM	MLF
No.	Date	Revision	By
 KIRK ROBERTS CONSULTING ENGINEERS LTD			
Level 1, 337 St Asaph Street P.O. Box 35320 - Christchurch 8640 New Zealand P - (03) 379 8600 F - (03) 379 8605 E - info@kirkroberts.co.nz			
Christchurch - Tauranga - Auckland www.kirkroberts.co.nz			
Project			
FOUNDATION DESIGN AT 112 AND 116 RANGIORA-WOODEND ROAD			
Client STEVEN & GAYLEEN CLEGG			
Title SPECIFICATION			
Reviewed by 		04/12/2015	
Designed by		Scale	
Drawn by		Job No. 157027	
This drawing is the property and copyright of KIRK ROBERTS CONSULTING ENGINEERS LTD and shall not be copied, reproduced or communicated to a third party without written consent (c) 2015		Drawing No. Rev. S0 1	
			

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC160644 24/06/2016 brendam

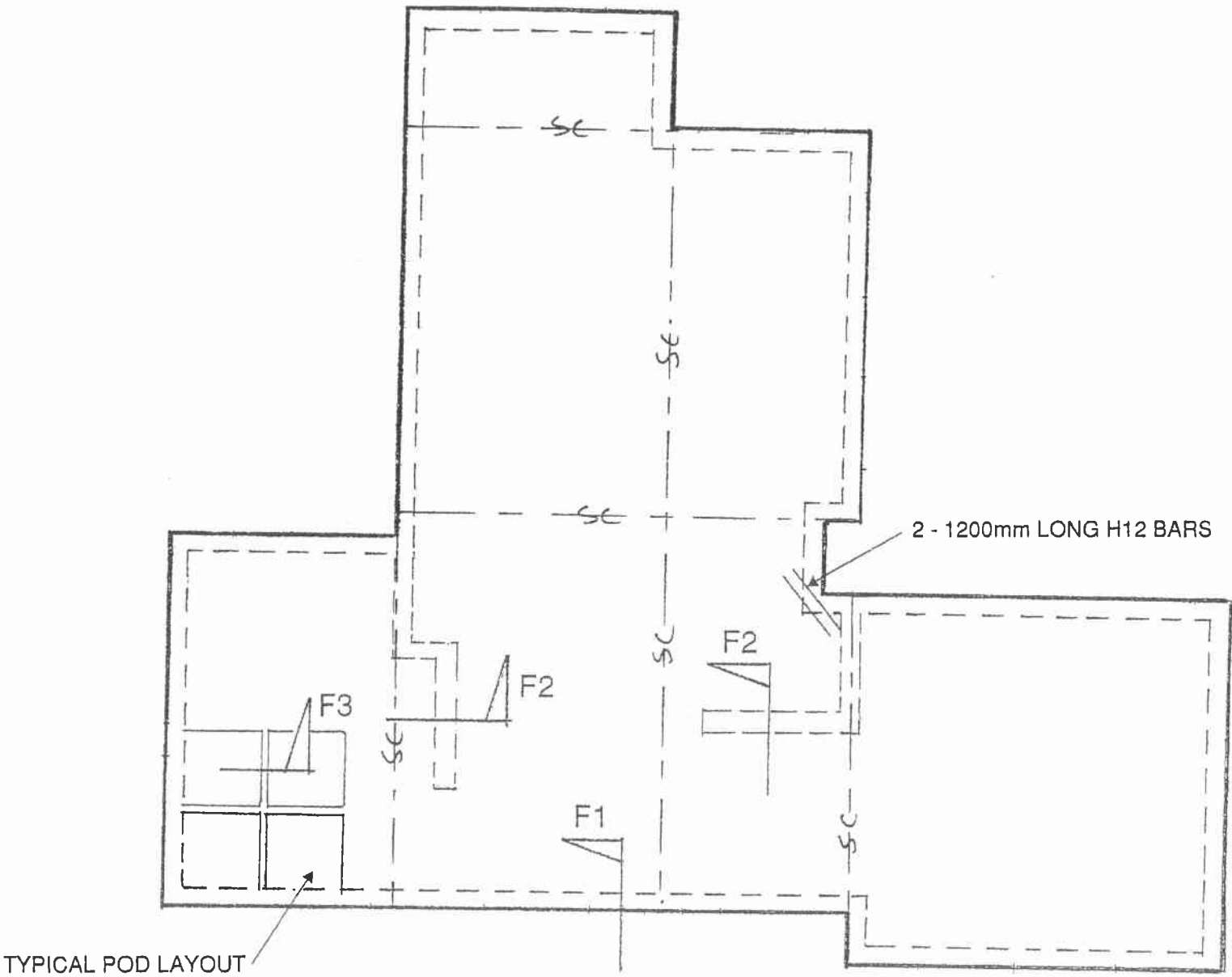
checked
Brendam
15/4/2016

NOTES:

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— — SC — SAW CUT

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No.	Date	Revision	By
1	04/12/2015	PRELIM	MLF

KIRK ROBERTS
CONSULTING ENGINEERS LTD

Level 1, 337 St Asaph Street
P.O. Box 35320 - Christchurch 8640
New Zealand
P - (03) 379 8600
F - (03) 379 8605
E - info@kirkroberts.co.nz

Christchurch - Tauranga - Auckland
www.kirkroberts.co.nz

Project

FOUNDATION DESIGN

AT 112 AND 116 RANGIORA-WOODEND ROAD

Client

STEVEN & GAYLEEN CLEGG

Title

**FOUNDATION PLAN
- LOT 4**

Reviewed by  04/12/2015

Designed by	NDM	Scale	1:100
Drawn by	MLF	Job No.	157027

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	S1d	1

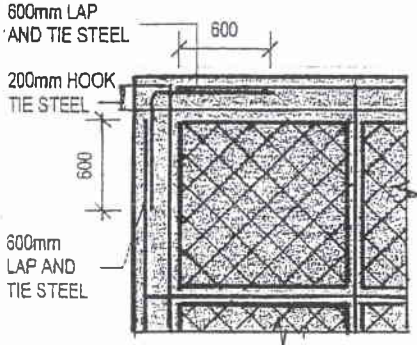


NOTES: BC160644

- Kirk Roberts drawings are NOT to be used as Shop Drawings.
- Shop Drawings are to be provided for all Precast panels and Structural steelwork for review prior to fabrication.
- Kirk Roberts takes no responsibility for the setout and dimensions when Shop drawings have not been provided.
- All Structural Drawings are to be read in conjunction with Architectural and all other Project Documentation, any discrepancies shall be notified prior to any construction or fabrication

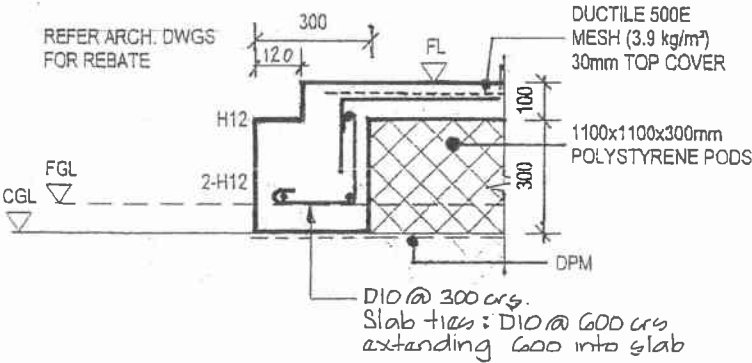
Contractor to verify:

- All structural drawings are the latest construction issue
- All dimensions on site prior to commencing any work

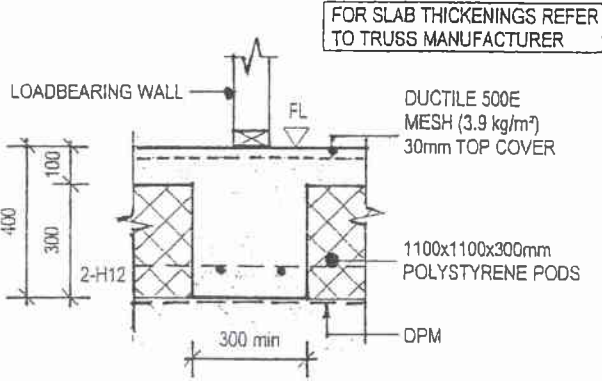


TYPICAL CORNER STEEL

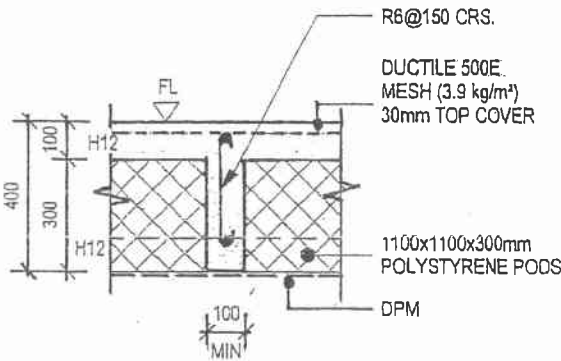
SCALE 1 : 50



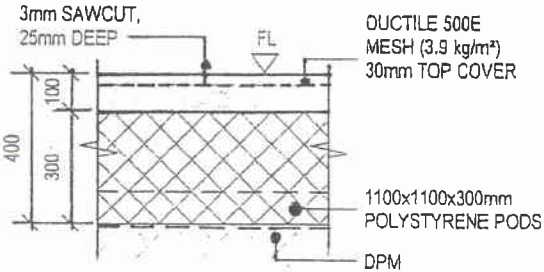
F1 TYPICAL EDGE BEAM
1 : 20



F2 TYPICAL SLAB THICKENING
1 : 20 (FOR LOADS BETWEEN 10kN - 20kN)



F3 TYPICAL RIB DETAIL
1 : 20



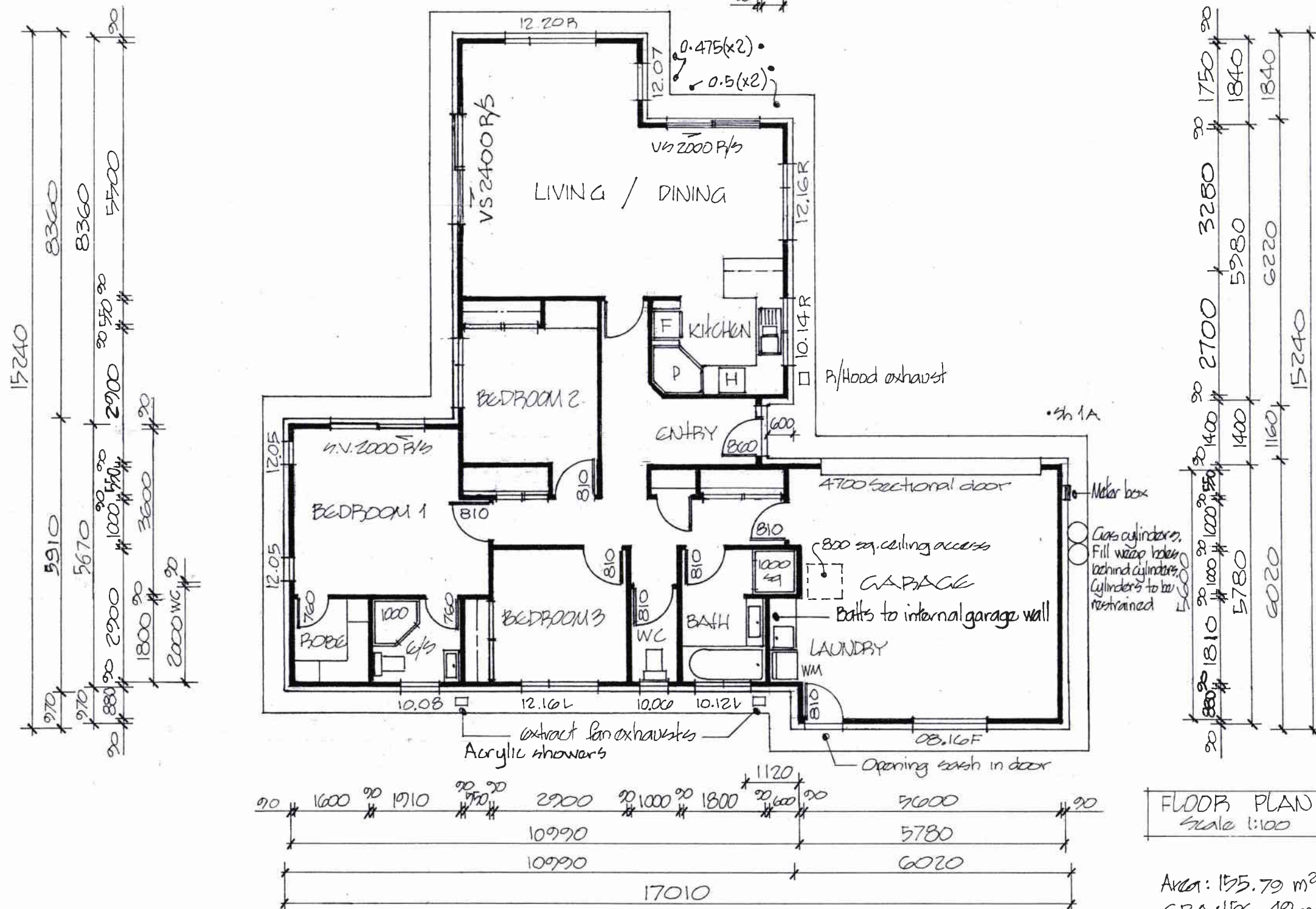
F4 TYPICAL SAWCUT DETAIL
1 : 20

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Refer to Kirk Roberts Ltd's
ground improvement report
dated 17.11.2015 for 200mm
thick gravel raft over
stone columns

Steven Trehub
@ 18.4.2016

1	04/12/2015	PRELIM	MLF
No.	Date	Revision	By
 Level 1, 337 St Asaph Street P.O. Box 35320 - Christchurch 8640 New Zealand P - (03) 379 8600 F - (03) 379 8805 E - info@kirkroberts.co.nz Christchurch - Tauranga - Auckland www.kirkroberts.co.nz			
Project			
FOUNDATION DESIGN			
AT 112 AND 116 RANGIORA-WOODEND ROAD			
Client			
STEVEN & GAYLEEN CLEGG			
Title			
FOUNDATION DETAILS			
Reviewed by	Approver	04/12/2015	
Designed by	Designer	Scale	AS SHOWN
Drawn by	Author	Job No.	157027
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		S2	1
			



FLOOR PLAN
Scale 1:100

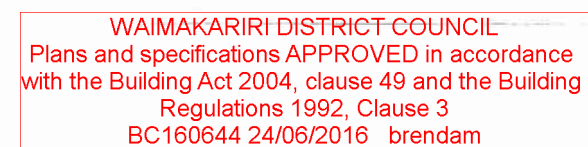
Area: 155.79 m² over foundation
GPA: 156.49 m²

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BC160644 24/06/2016 brendan

CLUGA RESIDENCE: BANGIORA WOODEND RD. LOT 4

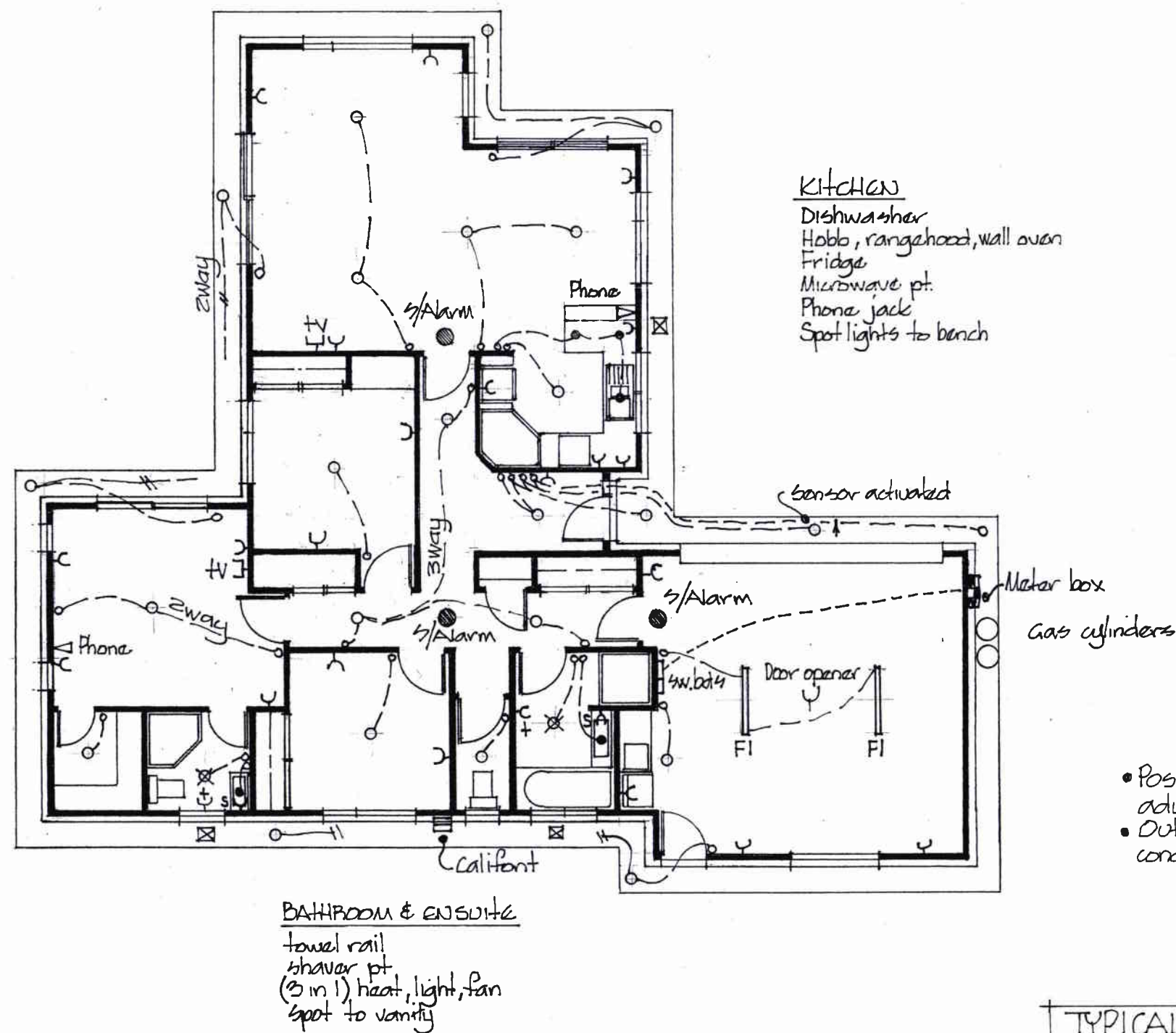
L.B.P.: 116177

Drn: W. Worrall



Drn: W. Worrell (1A)

- Wire for security system
 " " sky tv & data
 All wall sockets are double
 Heating: Heat pump system
 Hot water: Gas califont (Rinnai 26 or similar)
- Any downlights to be CA rated
 - Smoke alarms to have both test & hush facility



- Position of heat pump units to be advised.
- Out door unit to be bolted down to concrete pad.

TYPICAL WIRING PLAN
 Scale 1:100

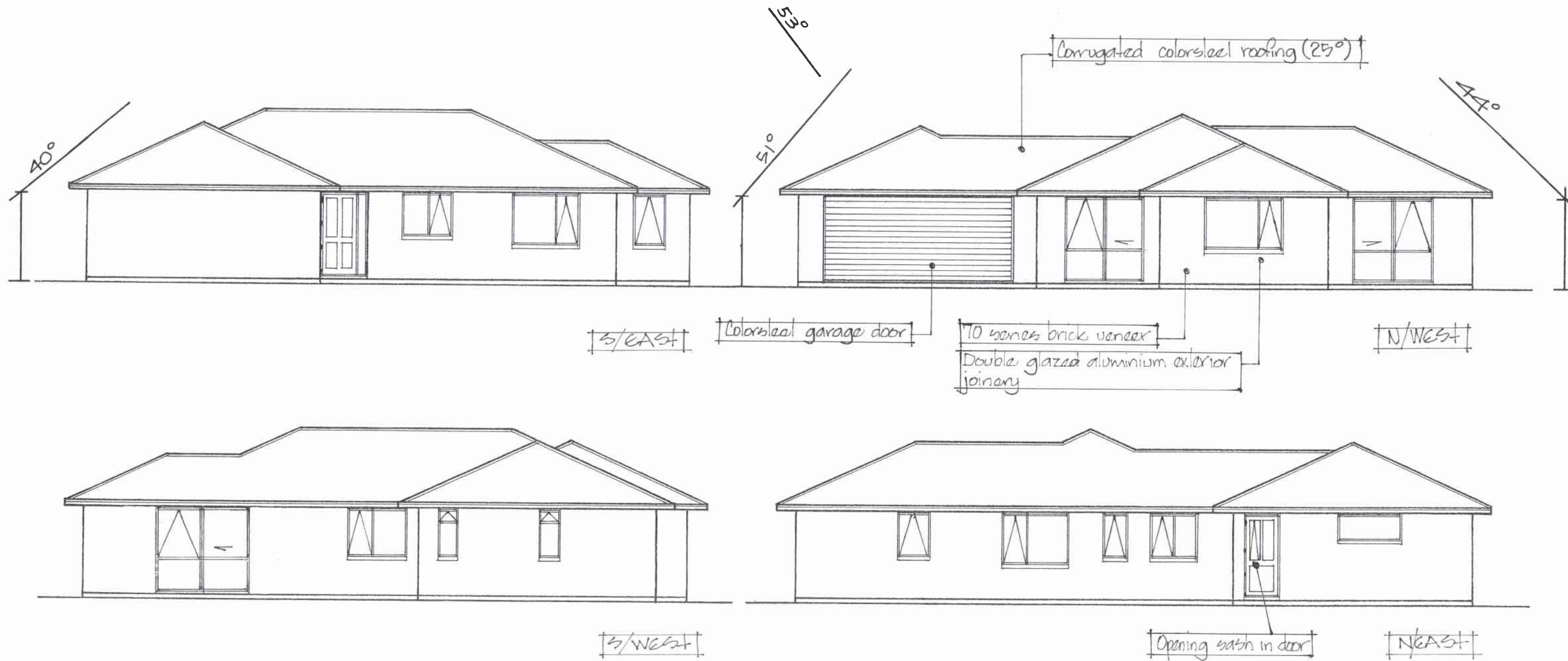
Ascertain final layout on site

WAIMAKARIRI DISTRICT COUNCIL
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 BC160644 24/06/2016 brendan

CLEGG RESIDENCE: BANGIOPA/WOODEND RD (Lot 4)

Drn: W. Worrall





ELEVATIONS
scale 1:100

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BC160644 24/06/2016 brendan

CLARA RESIDENCE:

BANGIORA/WOODEND RD.

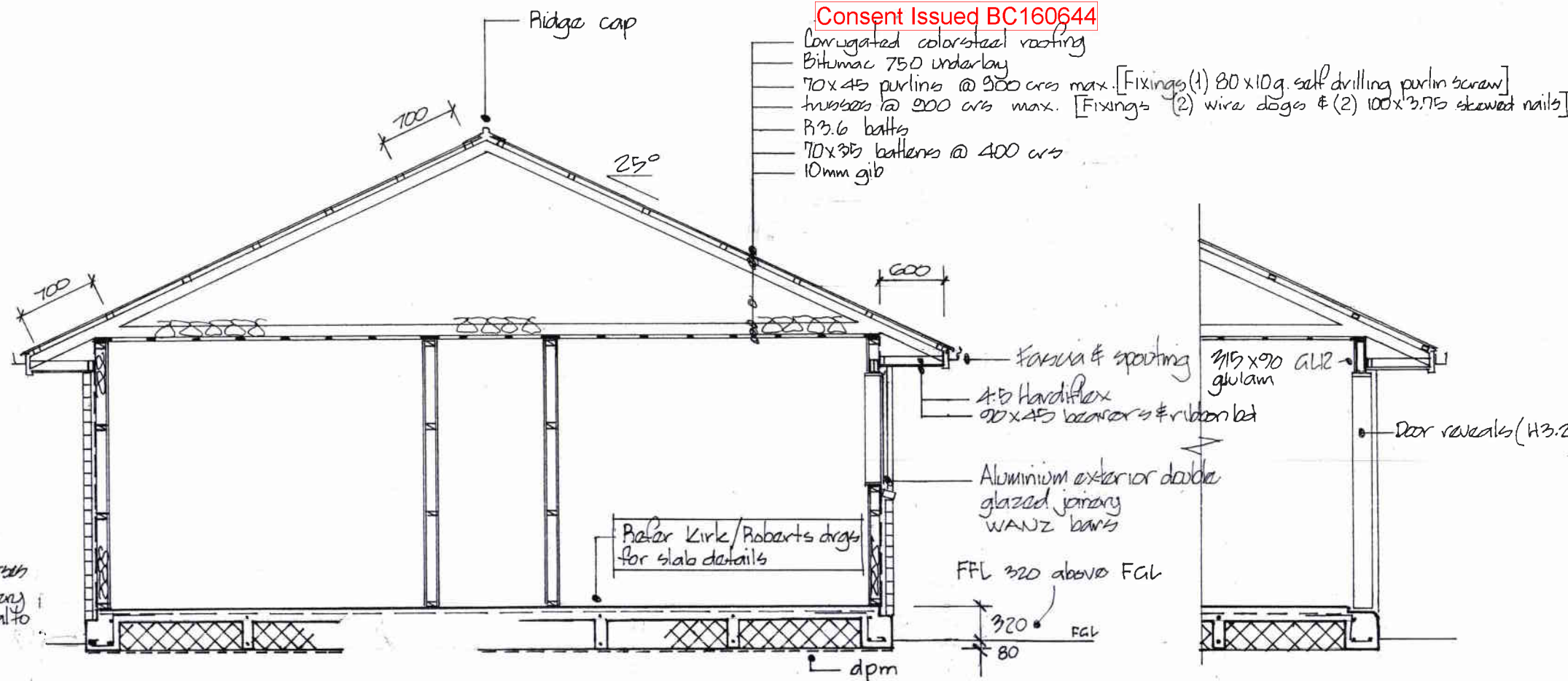
lot 4

Des: W. Worrell

2

Consent Issued BC160644

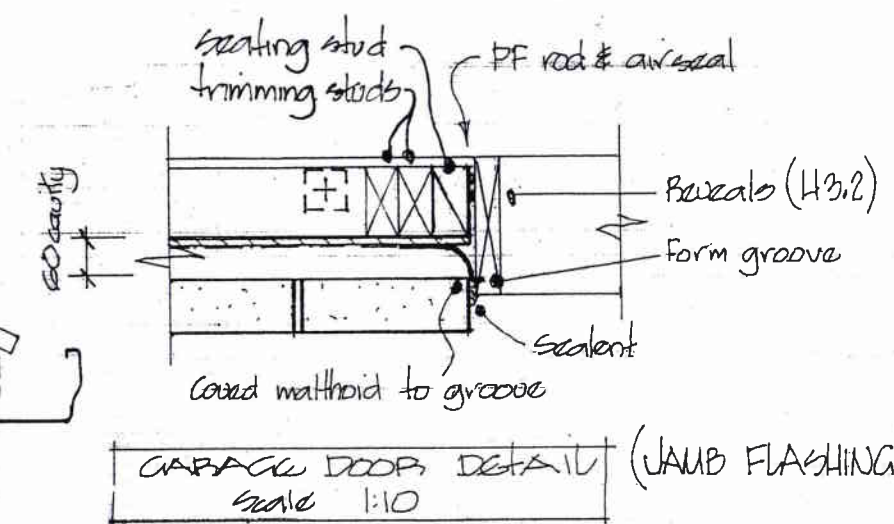
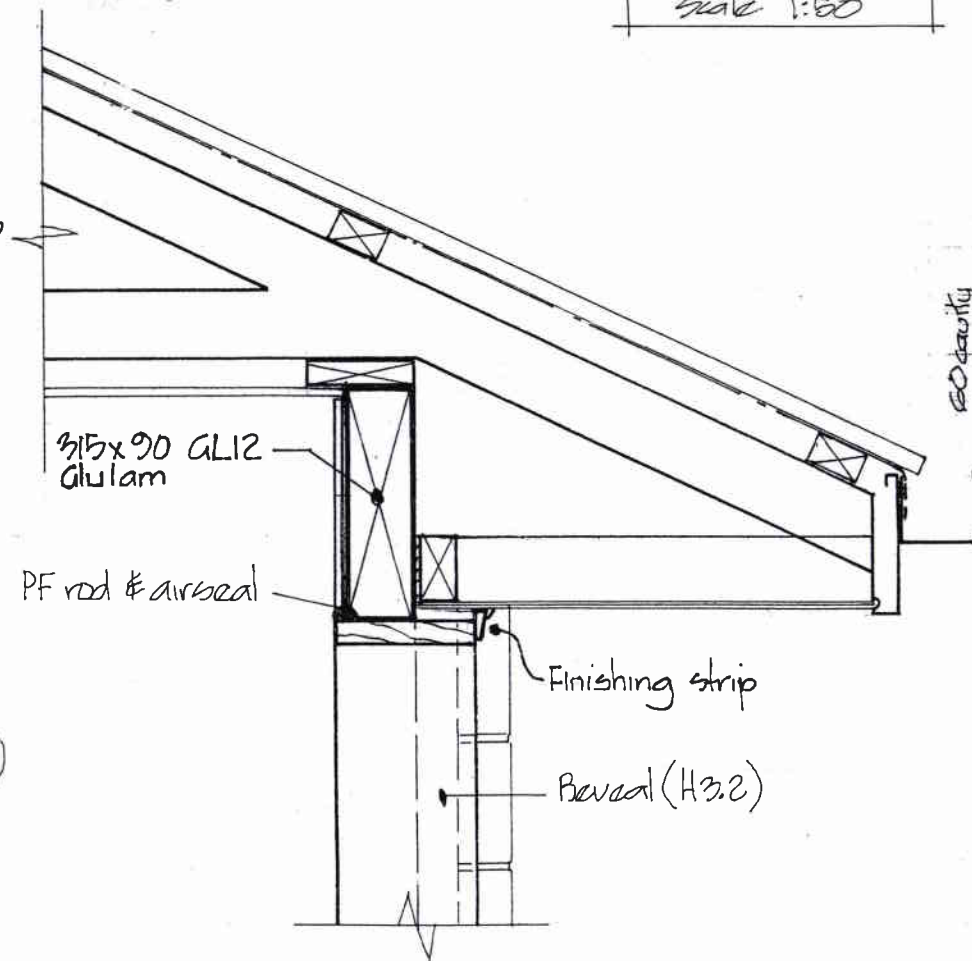
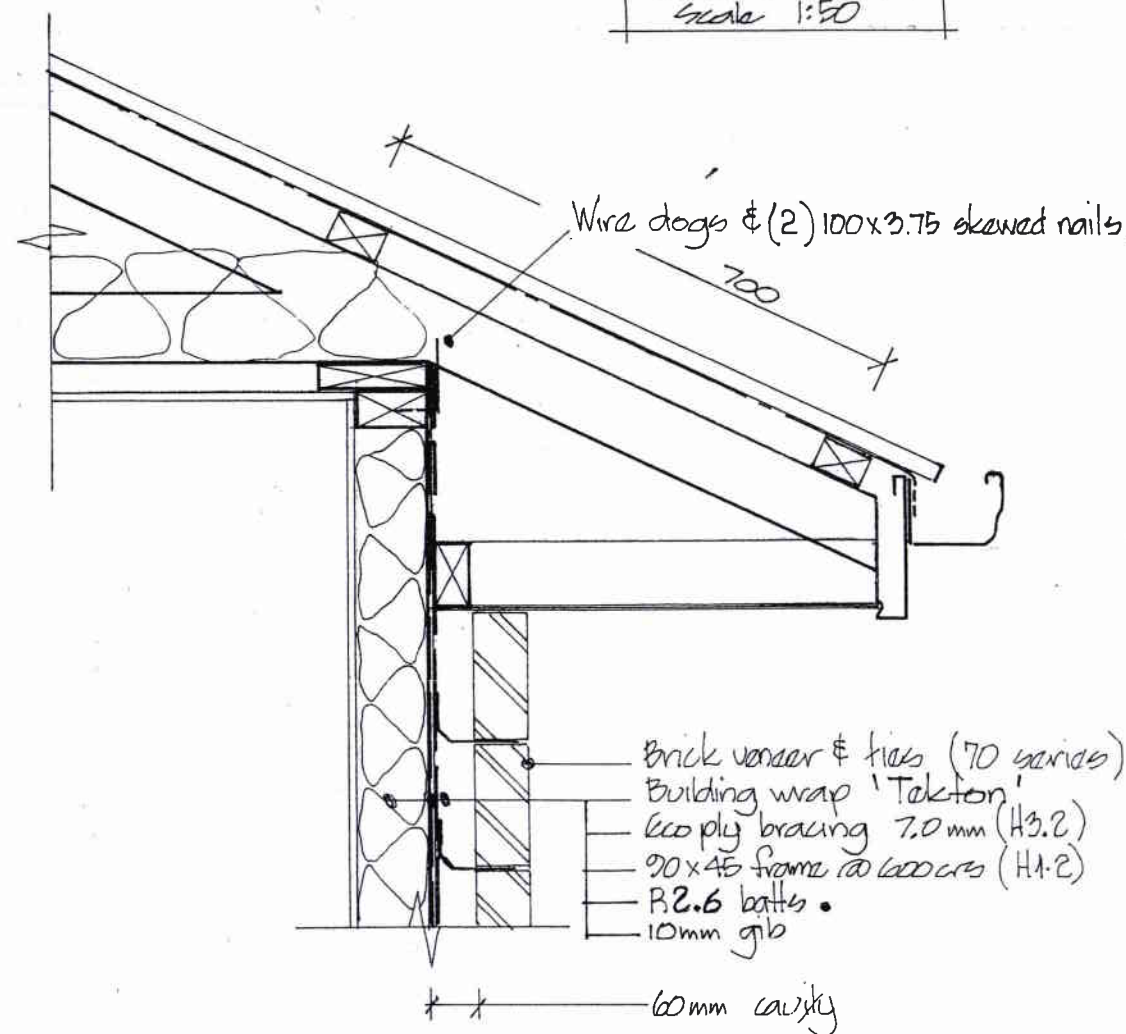
Building Consent BC160644
Received 22/06/2016



SECTION A-A
Scale 1:50

SECTION B-B
Scale 1:50

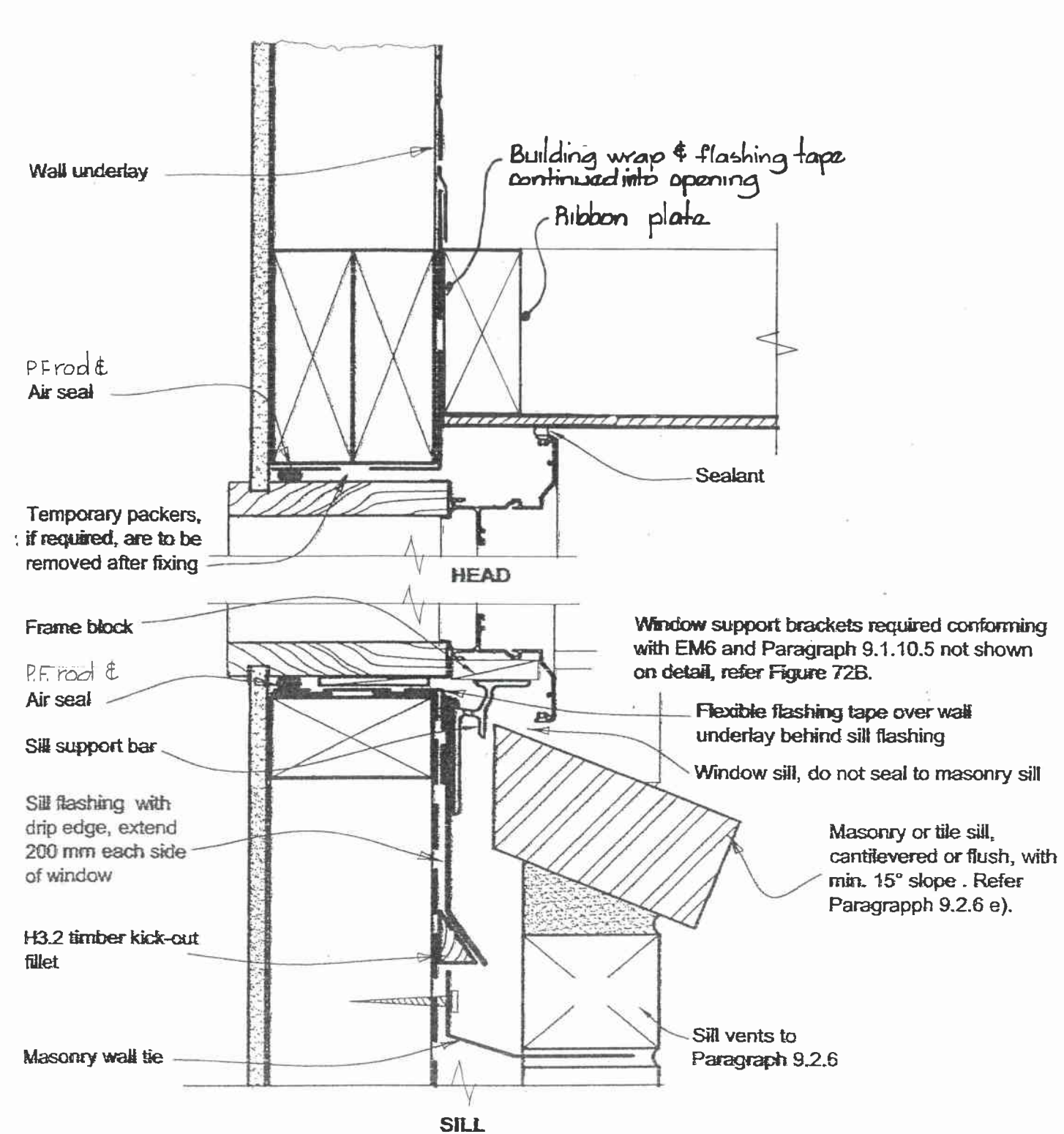
TYPICAL WINDOW SECTION
Scale 1:50



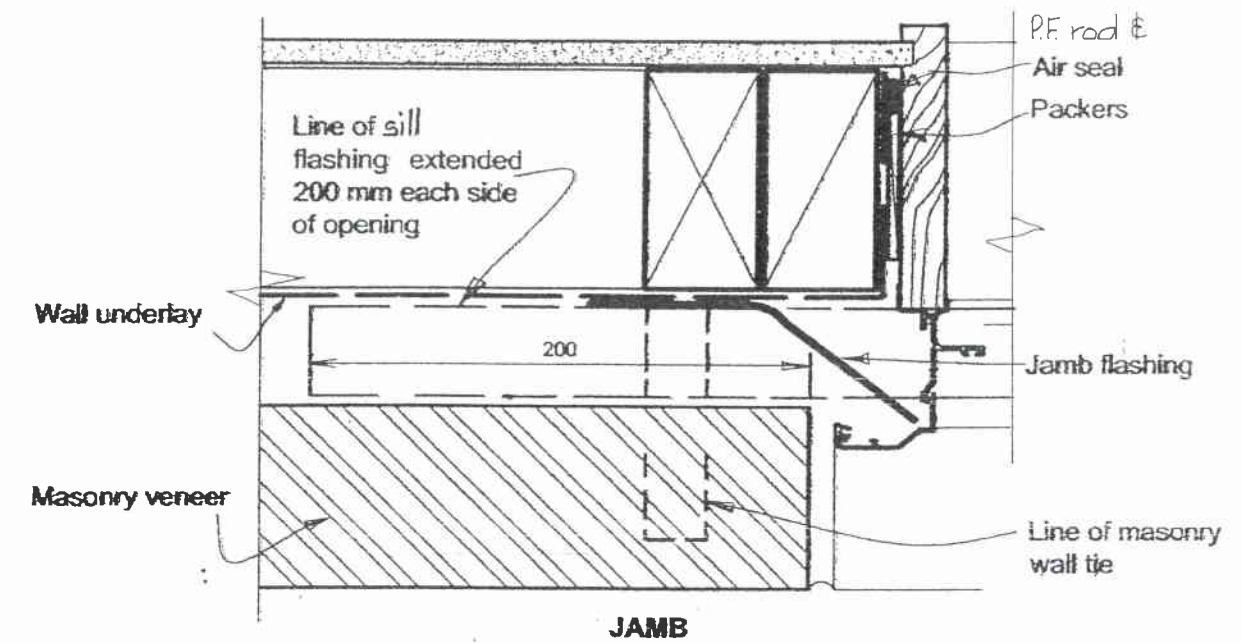
WAIMAKARIRI DISTRICT COUNCIL
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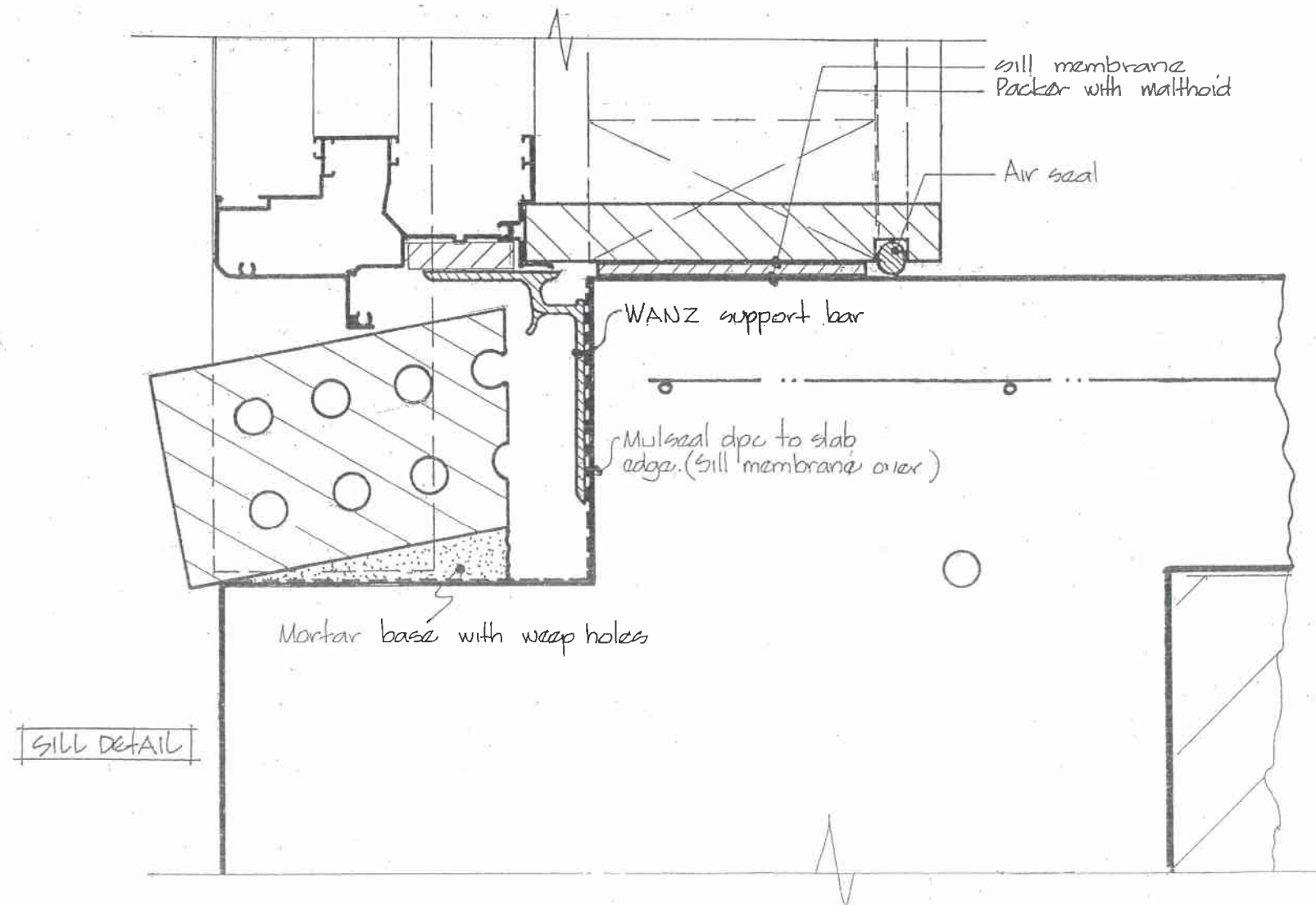
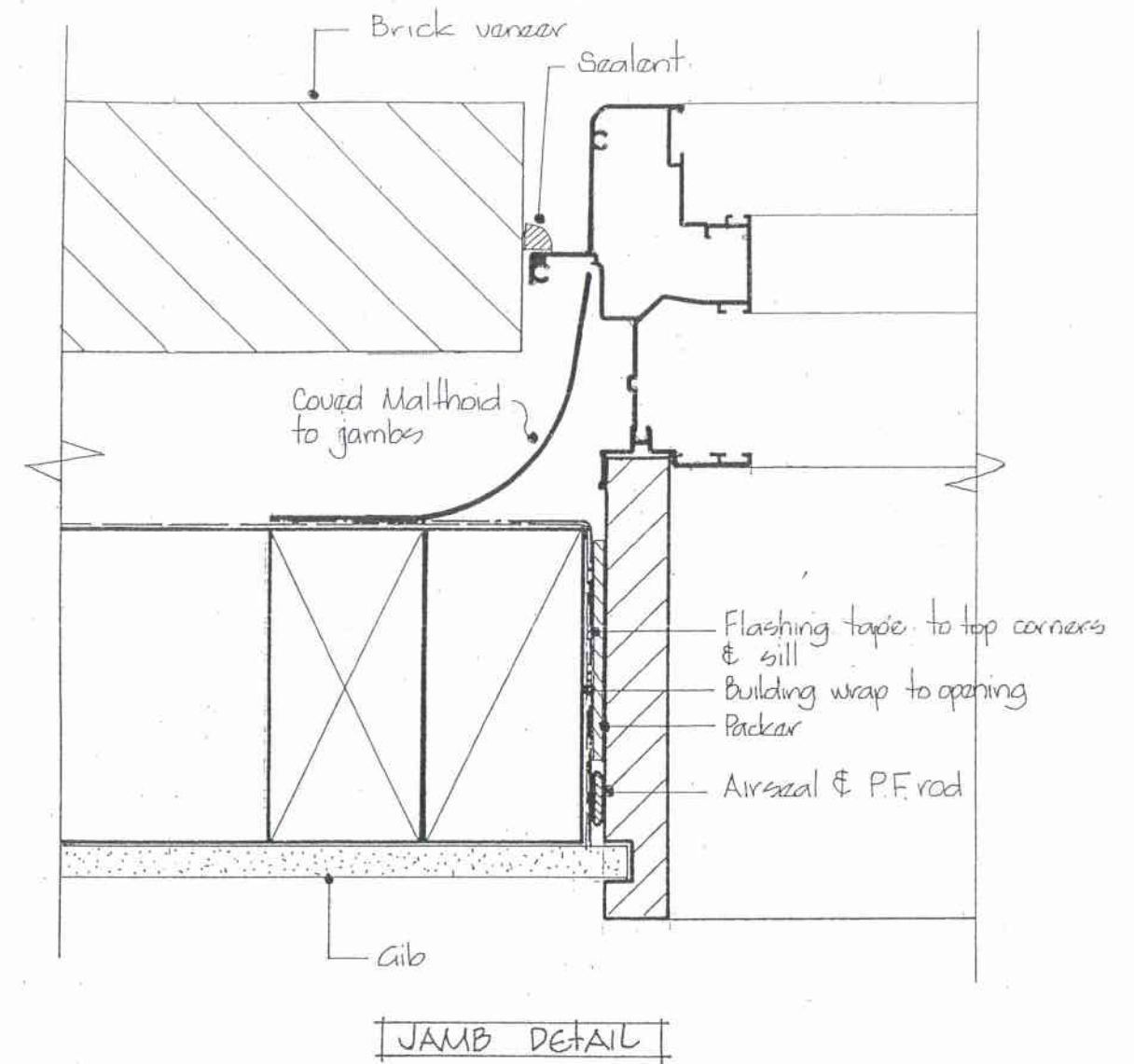
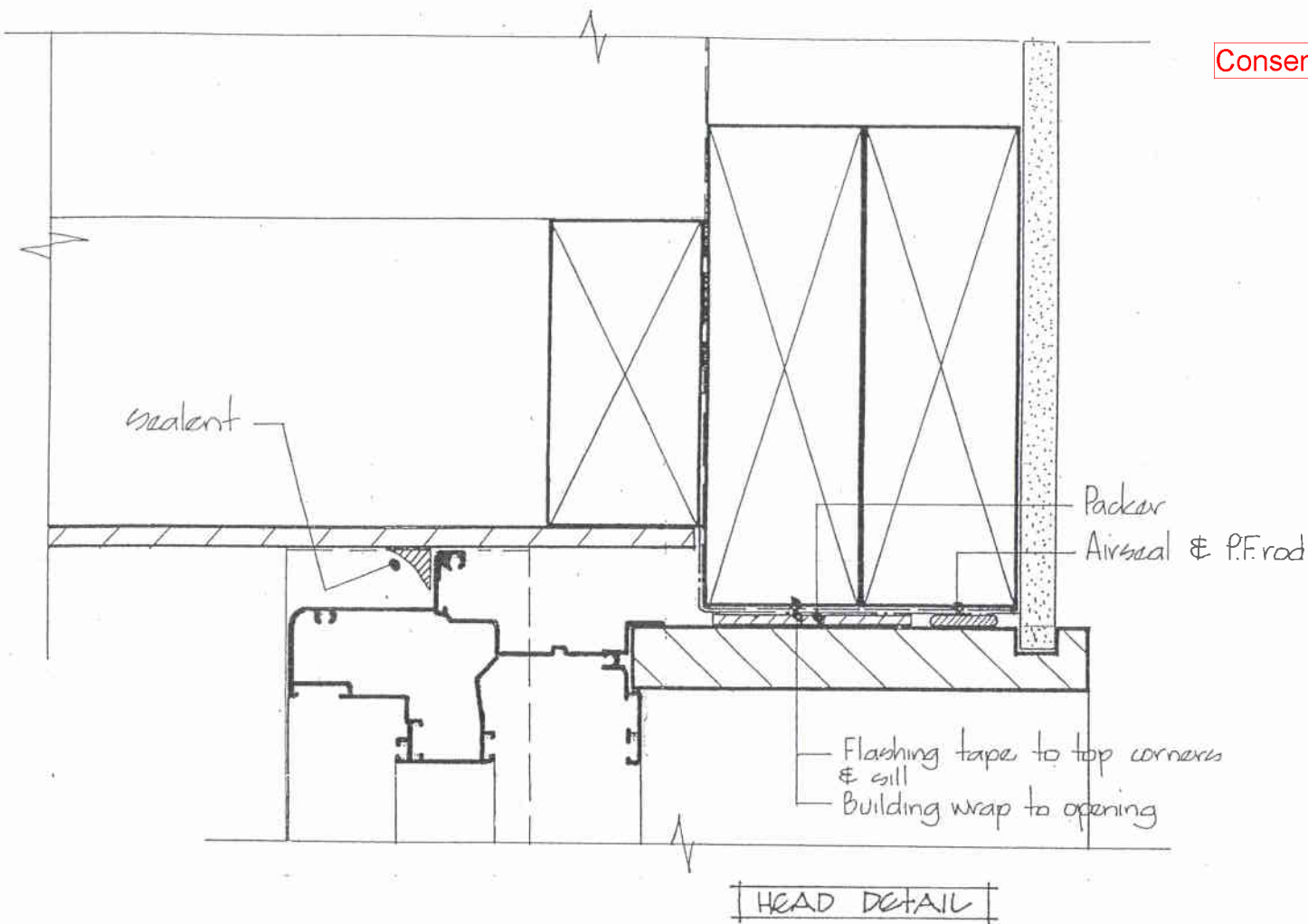
CLEGG RESIDENCE: RANGIORA/WOODEND RD. lot 4

Drn: W. Wonnall (3)



WINDOW DETAILS



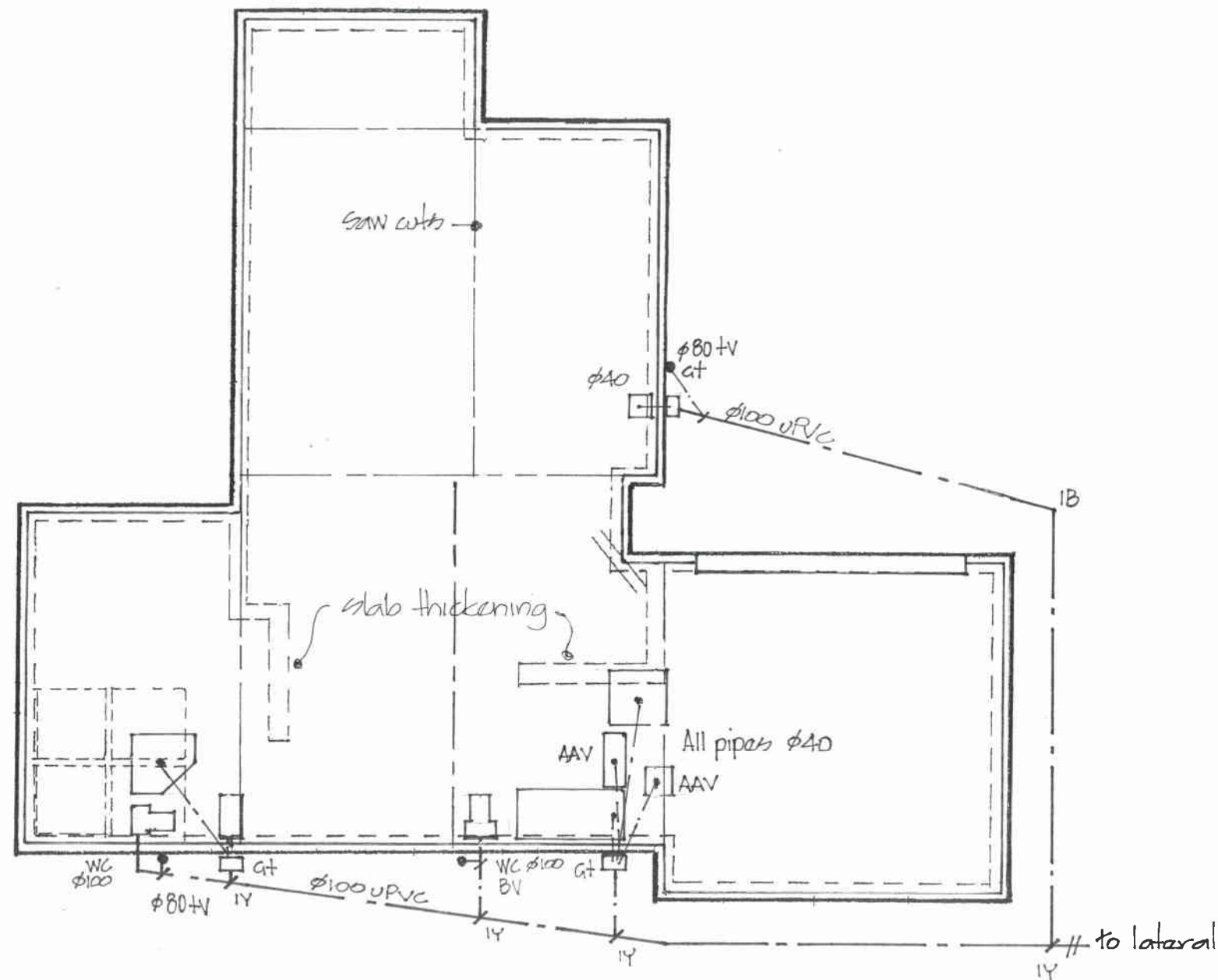


NOTE: Bifold door details similar

RANCH/SLIDER DETAILS Scale 1:2

Drn: W. Warrall 31

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Notes:

1. All under slab pipes $\phi 40$ (gradient 1:40)
2. Fit AAV's where indicated
3. Lagging to all pipes under slab with thermal protection.
"Plumber's pipe sleeve." Pipe supports per: C13/AS1, table (7), sections: G.2 & G.3
4. Antislip finish to all access routes to comply with D1/AS1 table (2)
5. Sewer & st/water pipes $\phi 100$ UPVC min. gradient 1:120
6. Hardstand areas to be min. 150 below FFL & slope away to allow run off
7. Sawcuts to be 3mm wide x 25 deep. Avoid tiled areas where possible

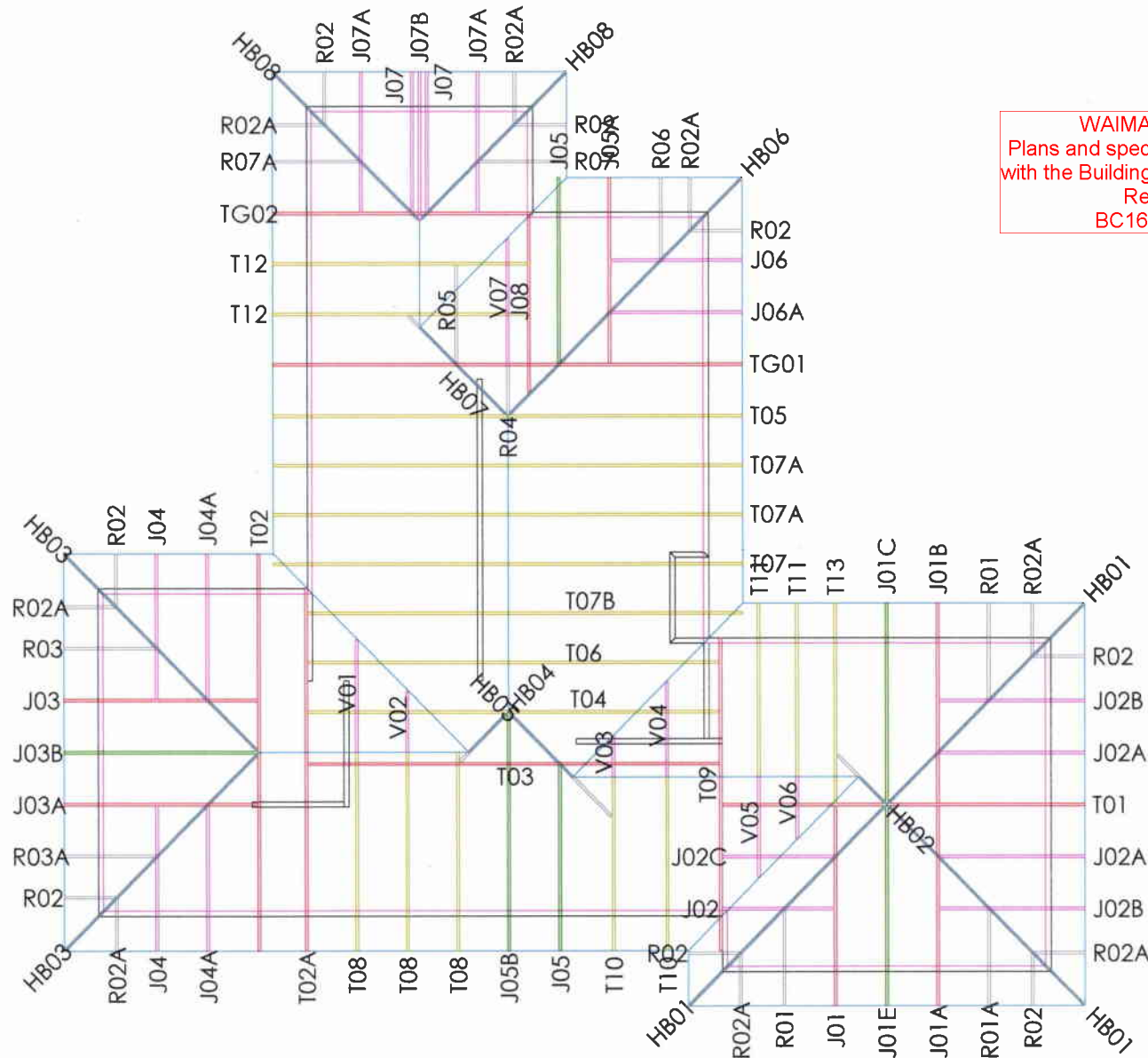
SLAB PLAN
Scale 1:100

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BC160644 24/06/2016 brendan

CLEGG RESIDENCE: BANGIORA/WOODEND RD (Lot 4)

Drn: W. Norrall

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BC160644 24/06/2016 brendanm



Site Address :
ITM Probuild
Dwelling 4
Rangiora - Woodend Road
Woodend

Sheet Title :
**For Building Consent
Buildable Truss Layout**
Date : 17 June, 2016 Drawn : Nick Buckley
Scale : 1:100 System : MiTek 20/20

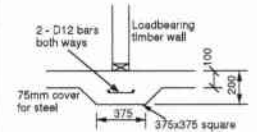
Job Details:
Roof Pitch : 25.00deg
Roof Material : Longrun Iron
Ceiling Material : Standard
Wind Zone : High
Roof Snow Load : 0.441kPa

Truss Centres : 900mm
Roof Live Load : 0.250kPa
Floor Live Load :
Wind Speed : 44m/s
Overhang : 600mm



Job Title :
QCH1551
Sheet :
1
Revision Number :

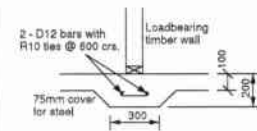
Slab Thickening Details



TYPE FP1 - 375x375mm Pad



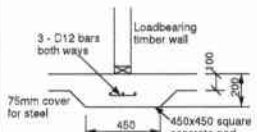
Number of Underlugs



TYPE FS1 - 300mm Strip footing



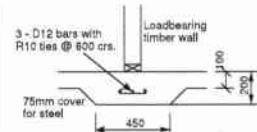
Number of Underlugs



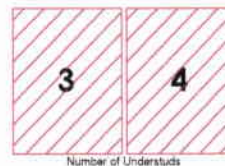
TYPE FP2 - 450x450mm Pad



Number of Underlugs



TYPE FS2 - 450mm Strip footing



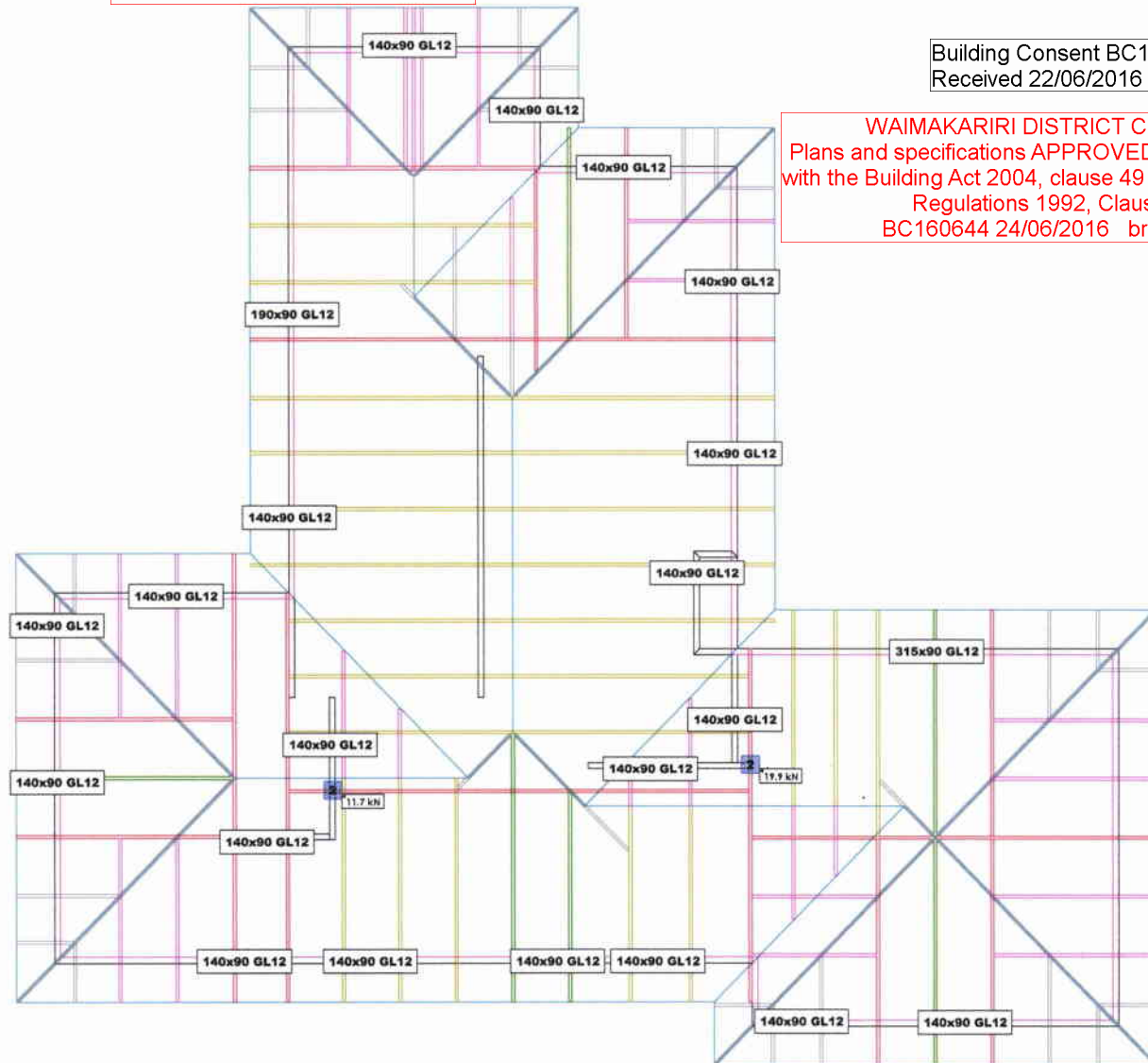
Number of Underlugs

NOTES:

The numbers found within the hatched area are the number of studs required below each truss. Refer to: GANG-NAIL Internal Load Bearing on Concrete Floor Slabs brochure 10/2011

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BC160644 24/06/2016 brendan



Site Address :
ITM Probuild
Dwelling 4
Rangiora - Woodend Road
Woodend

Sheet Title :
For Building Consent
Slab Thickening/Lintel Sizes

Date : 17 June, 2016 Drawn : Nick Buckley
Scale : 1:100 System : MiTek 20/20

Job Details:
Roof Pitch : 25.00deg
Roof Material : Longrun Iron
Ceiling Material : Standard
Wind Zone : High
Roof Snow Load : 0.441kPa

Truss Centres : 900mm
Roof Live Load : 0.250kPa
Floor Live Load :
Wind Speed : 44m/s
Overhang : 600mm

PrimeCad v4.6.301
Job Title :
QCH1551
Sheet :
2
Revision Number :



Truss Fixings



A - LUMBERLOK JH47x90 Joist Hanger



B - LUMBERLOK JH47x120 Joist Hanger



D - LUMBERLOK JH47x190 Joist Hanger



E - LUMBERLOK JH95x165 Joist Hanger



C - Pair of LUMBERLOK CT200 Ceiling Ties



M - Pair of LUMBERLOK Multi Grips



NP - LUMBERLOK Nailon Plate



N - LUMBERLOK N21 Diagonal Cleat



P - LUMBERLOK TTP 16kN Truss to Top Plate set

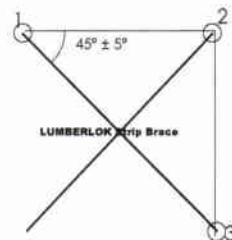


Q - LUMBERLOK TTP 9kN Truss to Top Plate set

Roof Bracing

Refer to:
LUMBERLOK Roof Bracing Specifications
brochure 08/2006 for end fixing details.

The brace must be located such that it forms an
angle of $45^\circ \pm 5^\circ$ to the wall



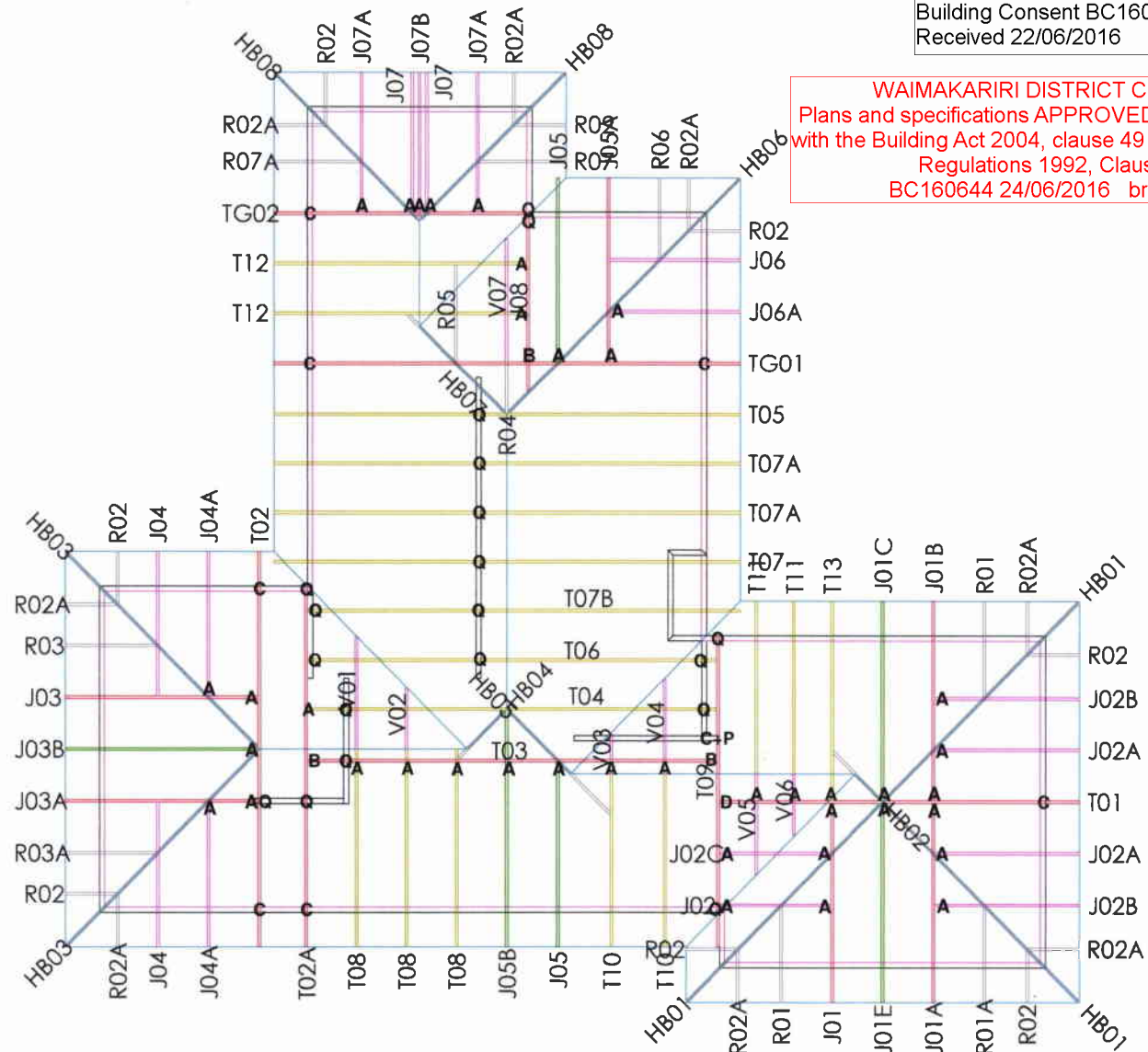
NOTES:

All other areas must have at the minimum
2/ 90x3.15mm skew nails + 2 wire dogs
for truss to top plate connections.

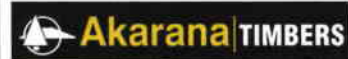
Refer to:
LUMBERLOK Timber Connectors Characteristic
Loadings Data brochure 03/4

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BC160644 24/06/2016 brendam



PrimeCad v4.6.6.301



Site Address :
ITM Probuild
Dwelling 4
Rangiora - Woodend Road
Woodend

Sheet Title :
For Building Consent
Truss Fixings & Roof Bracing

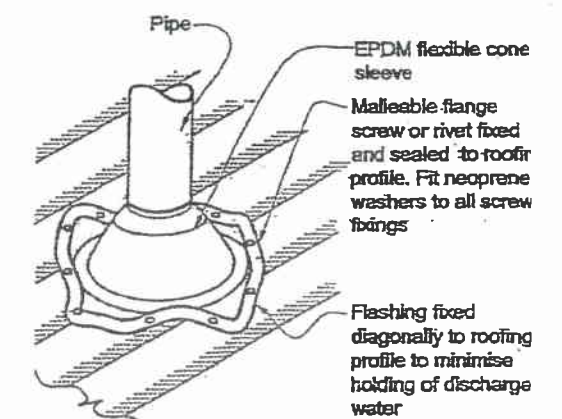
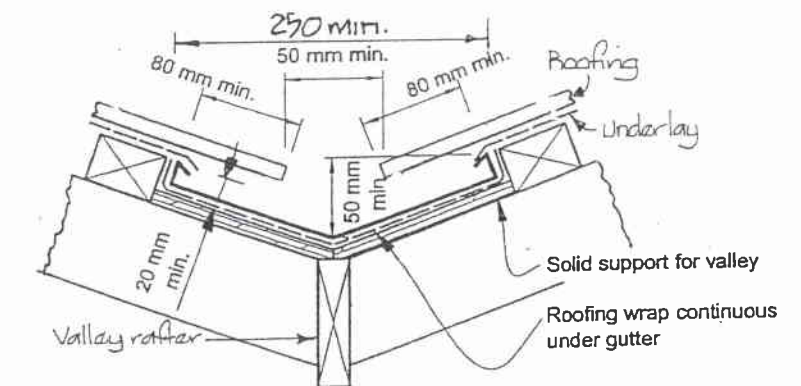
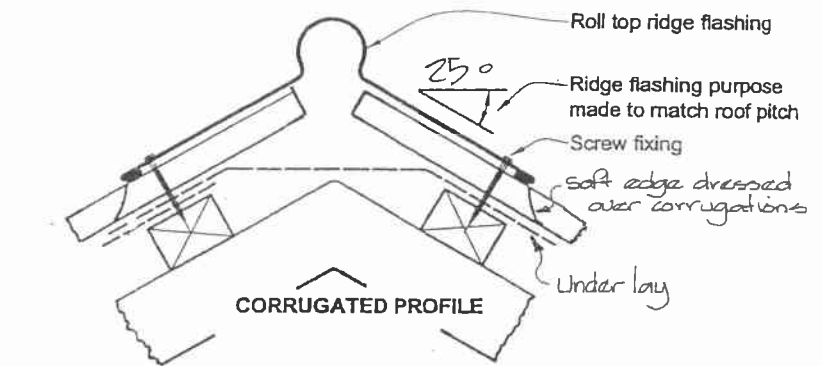
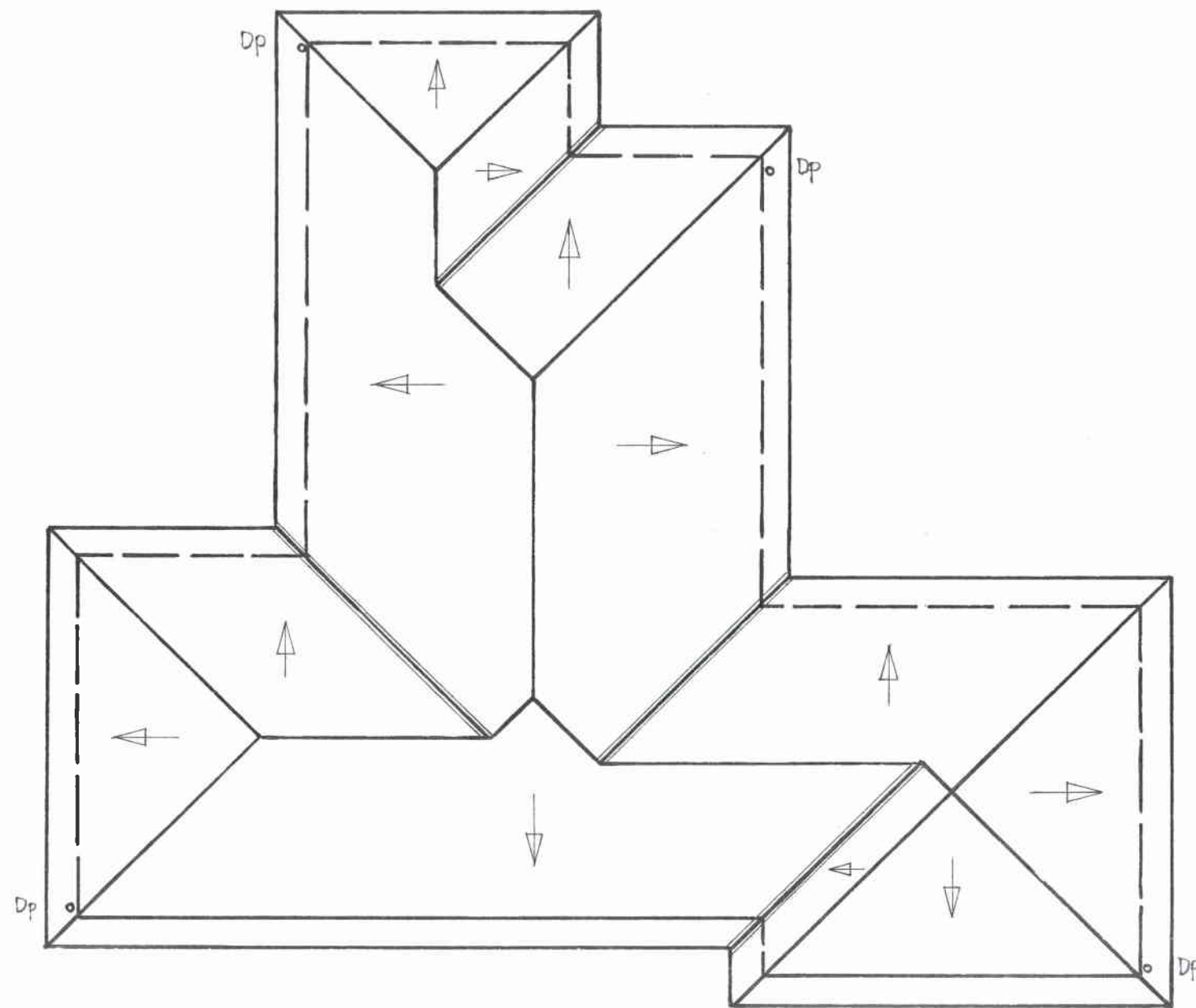
Date : 17 June, 2016
Scale : 1:100
Drawn : Nick Buckley
System : Mitek 20/20

Job Details:
Roof Pitch : 25.00deg
Roof Material : Longrun Iron
Ceiling Material : Standard
Wind Zone : High
Roof Snow Load : 0.441kPa

Truss Centres : 900mm
Roof Live Load : 0.250kPa
Floor Live Load :
Wind Speed : 44m/s
Overhang : 600mm



Job Title :
QCH1551
Sheet :
3
Revision Number :



NOTE:
 (1) Max. roof pitch for this flashing 45°, minimum pitch 10°.
 (2) For pipes up to 85mm diameter.

ROOF PLAN
 scale 1:100

Roof pitch : 25°
 Roof area : 187.44 m²
 No. of downpipes : 4 (46.9 m²/downpipe)
 Downpipe size : 75x50 [table (5) allows 70 m²/dp]
 Area of gutter Approx 7000 mm² [Fig (15) allows 60 m² per length]

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC160644 24/06/2016 brendam

CLEGG RESIDENCE: BANGIOBA WOODEND RD Lot 4

Drn: W Worrall 5

R. O. W.

20.450

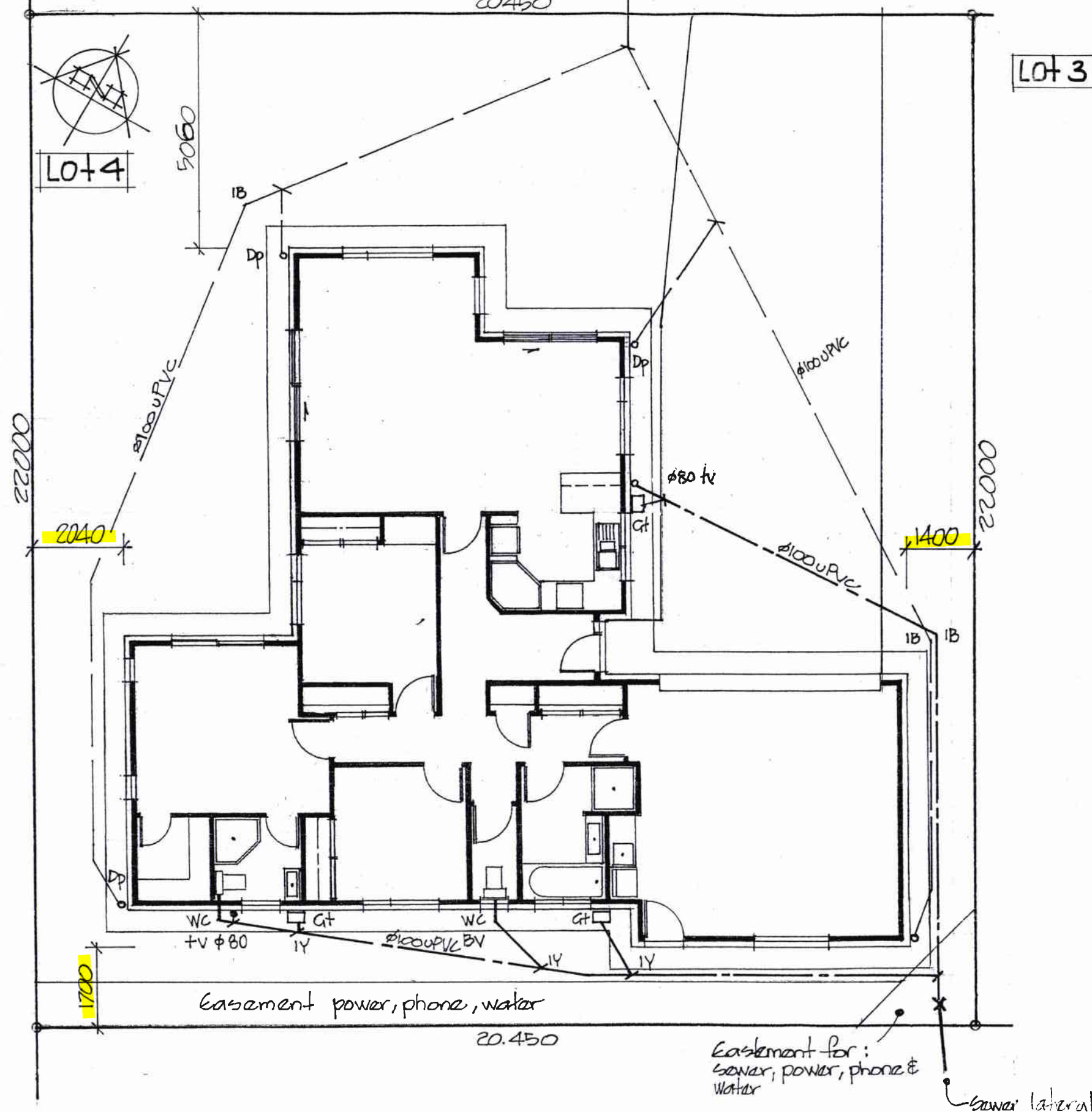
St/Water lateral

Lot 3

Section area: 450 m²
 Site coverage: $155.79/450 = 34.62\%$
 FFL :

- Sewer & stormwater pipes: $\phi 100$ uPVC, min. gradient (1:120)
- " " " laterals existing in easement
- Finished floor level 320 above finished ground level

RAUGIORA/WOODEND RD.

SHE PLAN
Scale 1:100

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 Regulations 1992, Clause 3
 BC160644 24/06/2016 brendan

CLEGG RESIDENCE: RAUGIORA/WOODEND RD. (Lot 4) Drn: W. Worrall

NOTES

- Subdivision proposal plan only.
 - Areas and dimensions subject to final survey.
 - Plan prepared for the purpose of obtaining a Resource Consent.
- Note: Scandlyn Surveying accepts no responsibility for the use of this plan for any other purpose other than that intended (obtaining a Resource Consent).

18x18 square

Lot 1 Total Area 600m², net area 600m²
Lot 2 Total Area 807m², net area 495m², access 312m²

WAIMAKARIRI DISTRICT COUNCIL
APPROVED APPLICATION
RC155046/RC155047

PM. Wainess 28/4/15
AUTHORISED OFFICER

MEMORANDUM OF EASEMENTS

Nature	Servient Tenement		Dominant Tenement
	Lot	Shown	
Right of way, right to drain water and sewage, right to convey water, electricity, telecommunications and computer media	2	A,B,C,D	Lots 1,3,4
Right to drain water	2	F,G,H	Lots 1,3,4
Right to drain sewage	3	F,G,H	Lots 1,3,4

EXISTING EASEMENTS

Nature	Servient Tenement		Document
	Lot	Shown	
Right to drain water	2	C,E,F	E1 5516533.4
Right of Way		A	

Waimakariri District Council
Comprised in 34381, CB40D/343
Original scale 1: 500 Format (A3)

Lots 1-4 being a proposed subdivision of
Lot 4 DP 70132 & Lot 2 DP 308847

Prepared by: Scandlyn Surveying Ltd
BOX 454, RANGIORA
18 Durham Street
Ph 3131272, Fax 3131274
murray@scandlyn.co.nz
Reference: 2731 R3 22 Jan 2015

FILE NAME: 2731 R3 20150122 S2.DWG
Dwg Date: 2007, 01/22/15
PATH: D:\SurvJobs\2731\dwgs\

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RANGIORA WOODEND ROAD
(20.12)

