

105/154/1

BC 0105015401



D Mg ME Morrison
BRADLEY'S LANDINGS EAST

11/84

8/84

1/85

3/85

7/85

9/85

ADDITION TO
DUE TO

Dargaville Office
Private bag 1001
DARGAVILLE
Phone 0-9-439-7059
Fax 0-9-439-6756

KAIPARA DISTRICT COUNCIL

APPLICATION FOR A BUILDING CONSENT

Paparoa Office
P.O. Box 1
PAPAROA
Phone 0-9-431-7019
Fax 0-9-431-7017

OWNER

Name: D & M MORRISON
Postal Address R.D. 4
DARGAVILLE
Phone Number 4375395
Fax Number _____

CONTACT (if not owner)

Contact Name: _____
Postal Address _____
Phone Number _____
Fax Number _____

Address: BROOKFIELD LANDING EAST RD.

IMPERMENT SAVED

Valuation Number: 105/154/1
Lot(s): 1 CP/S: 16851
Section _____ Block 11
Survey District TOKA TOKA

AREA OF SITE: 50.59m hectares/square metres

NATURE OF SOIL: (rock, clay, sand, loam, etc) CLAY

FLOOR AREA: (proposed work, square meters)

Main Building	Basement	Ground Floor	Other Floors	Total
Accessory Buildings				<u>50</u>

ESTIMATED VALUE OF WORK:

Main Buildings (excluding plumbing & drainage): \$ 7200
Accessory Buildings (excluding plumbing & drainage): \$ 2
Plumbing & Drainage:
- Labour \$ _____
- Materials \$ _____
Total value of Work \$ 9,500

☐ Application for building consent only, in accordance with Project Information Memorandum NO: _____

☒ Application for Building Consent and Project Information Memorandum

Signed for and on behalf of the owner

Signature [Signature]

Name: D. MORRISON Date: 19-9-93
(Please Print)

- ☒ New Building - exclude domestic garages & domestic outbuildings
☐ Foundations only
Alterations, repairs, extensions, conversions, resiting, installation of heating appliances
☐ Domestic garages & domestic outbuildings

Intended Life:
Indefinite.
but not less than
50 yrs ☐ OR
Specified as _____ yrs

Demolition ☐

Being stage.....
of an intended.....
stages

OFFICE USE ONLY

Property ID: _____

FEES PAID ON APPLICATION (including GST)

P.I.M. CURRENT

Building Consent

Street Crossing

BRANZ Levy
B.I.A Levy

Footpath Deposit

Photocopying

Water Connection

Structural Check

Plumbing

Drainage (Labour only)

	\$	c
	<u>N.A.</u>	
Building Consent	<u>\$ 55</u>	<u>00</u>
Street Crossing		
BRANZ Levy		
B.I.A Levy		
Footpath Deposit		
Photocopying		
Water Connection		
Structural Check		
Plumbing		
Drainage (Labour only)		
	<u>\$ 55</u>	<u>00</u>

RECEIPT NO: 132649

DATE: 20-10-93

PART B : PROJECT DETAILS

[Complete Part B only if you have **not** applied separately for a Project Information Memorandum)

The project involves the following matters (Tick ☒ each applicable box, if any, and attach **relevant** information in **duplicate**)

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings (Site Plan with elevations, Topography, drawn to Scale)
- ☐ **Detail;s** of any known or **potential erosion**, avulsion, falling debris, filled **ground**, subsidence, slippage, alluvion, inundation, hazardous contaminants on or near the site.
- ☐ Provisions to be made for vehicular access, including parking [To be shown on site plan]
- ☐ Provisions to be made in building Over or adjacent to any road or public place
- ☐ New provisions to be made for disposing of stormwater and wastewater (**To be** shown on site plan)
- ☐ Precautions to be taken where building work is to take **plāce** over existing drains or sewers or in close proximity to wells or watermains
- ☐ New Connections to public utilities **i.e.** water supply, stormwater system, wastewater system (Note: Council has no agreement with network utility operations to act as their agent)
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression or dust disposal of debris, disconnection **from** public utilities, and suppression of noise
- ☐ Details of any cultural **heritage significance** of the building or building site, including whether it is **or** a marae, or waahi tapu.
- ☐ Copy or reference to, of any resource consent or planning approval for this project.
- ☐ Details of volume Proposed Excavations: Include volumes for Site Preparation, Basement and Driveway.

(Complete Part C in all cases)

PART C : BUILDING DETAILS

This application is accompanied by (Tick ☒ each applicable **box**, attach relevant documents in duplicate)

- ☐ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the Provisions of the New Zealand Building Code, with supporting documents, if any, including -
 - ☐ -Building Certificates
 - ☐ Producer Statements
 - ☐ References to accreditation certificates issued by the Building Industry Authority
 - ☐ References **to** determinations issued by the Building Industry Authority
- ☐ Proposed procedures, **if any, for** inspection during construction

Dargaville Office: Private bag 1001 DARGAVILLE Phone 0-9-439-7059 Fax 0-9-439-6756	KAIPARA DISTRICT COUNCIL PROJECT INFORMATION MEMORANDUM NO : <u>462</u>	Paparoa Office: P.O.Box 1 PAPAROA Phone 0-9-431-7019 Fax 0-9-431-7017
--	--	---

APPLICANT	PROJECT
Name: <u>D. M. MORRISON</u> Mailing Address: <u>RD 4</u> <u>Dargaville</u> Contact: _____ Phone: <u>09 439 5395</u>	New or relocated building ☒ Alteration/Additions: ☐ Installation of heating appliances & plumbing and drainage ☐ Intended use(s) [In detail]: <u>Implement Shed</u> ☒ ☐ ☐ Intended life: Indefinite but not less than 50 years ☐ Specified as _____ years Demolition ☐ ☐ ☐
COUNCIL CHARGES* The Council's total charges payable on the uplifting of this project memorandum, in accordance with the attached details, are: \$: <u>55 00</u> Receipt No: <u>133649 20/10/93</u> <i>Note: where actual and reasonable costs exceed the charge on application, additional charges will be made.</i>	PROJECT LOCATION Street address (if any): <u>Bradleys Landing East</u> <u>Rd</u> Valuation Reference: <u>1050/154/1</u> Legal description: <u>Lot 2 DP 16851 Lots 1, 2 DP 168263</u>

This project information memorandum is:

- ☒ Confirmation that the proposed building work may be undertaken subject to the provisions of the Building Act 1991 and any requirements of the building consent
- Not yet applied for ☐
 No : _____ Attached ☒
- ☐ Notification that any other authorisations must be obtained before a building consent will be issued.
- ☐ Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused.

This project information memorandum includes:

- ☐ No applicable information for the proposed project.
- ☒ Information identifying relevant special features of the land concerned.
- ☐ Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings.
- ☐ Details of relevant utility systems. (Council is not acting as agents for Electrical or Gas Utility Operators)
- ☐ Details of authorisations which have been granted.
- ☐ Details of authorisations which must be obtained before a building consent will be issued.
- ☐ Details of authorisations which have been refused.

Signed for and on behalf of the Kaipara District Council



Name: P. M. O'CONNOR Date: 22-10-93

Position: Building Inspector

Dargaville Office:
Private bag 1001
DARGAVILLE
Phone 0-9-439-7059
Fax 0-9-439-6756

KAIPARA DISTRICT COUNCIL

Paparoa Office:
P.O.Box 1
PAPAROA
Phone 0-9-431-7019
Fax 0-9-431-7017

BUILDING CONSENT No.: C462



APPLICANT

Name: D & M MORRISON

Mailing Address: R.D. 4

DARGAVILLE

Contact: OWNER

Phone: 09 439 5395 Fax: _____

Application Received: I / 1

COUNCIL CHARGES

The Council's total charges payable on the uplifting of this building consent, in accordance with the attached details, are: \$ 55.00

Building Research
Association Levy: \$ —

Total: \$ 55.00

Receipt No: 133649

PROJECT

New or relocated building ☒

Alteration ☐
Intended Use(s) (in detail)

ERECT NEW FARM

IMPLEMENT SHED

Intended Life: ☐
Indefinite but not less than 50 years
Specified as _____ years

Demolition ☐

Being stage _____ of an intended _____ stage!

Estimated Value (inclusive of GST):
\$ 2,500

PROJECT LOCATION

Street address (if any): BRADLEY'S

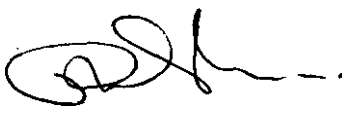
HANDING EAST RD

Valuation Reference: 105/154/1

Legal Description: LOT 1 D.P. 16851
BLK II

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the New Zealand Building Code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached _____ pages headed "conditions of Building Consent No. _____".

Signed for and on behalf of the Council: 

NAME: P.M. van der Smiss

POSITION: Building Inspector DATE: 22/10/93

NOTICE **TO** APPLICANT

1. This consent will lapse if building work has not commenced within six months from the date of issue or if reasonable progress has not been made within twelve **(12)** months after work has commenced. The consent may be extended for a further period at the discretion of the territorial authority.
2. No deviation or deration from the original plans and specification *can* be carried out without written approval of the territorial authority and no building may be converted to any other **use** than that stated on the building consent.
3. **IMPORTANT:** You are fully responsible for any damage done to any **works** such as telephone cables, power cables, water mains, **gas** mains, sewers, pipes, footpaths, roads **or** other services.
4. **As** the property owner is responsible for the **correct** siting of **all** works in accordance with the N.Z. Building Code and the Resource Management **Act**, the owner must ascertain the true position of survey pegs before work commences.
5. **Restrictions of the Erection of Buildings near Overhead Electric Lines:-** Under the Electrical Supply Regulations **1976**, it is **an** offence to erect **any** building or structure etc. within certain prescribed distances of an overhead electric line. To enquire about these restrictions, contact the nearest office of the New Zealand **Electricity** Department or your local Power Supply Authority.
6. Notice that building work **is** ready for inspection:- For **the** purposes of Section **76** of the Building **Act**, and **unless** otherwise provided by the building consent, the owner or other person undertaking any building work shall give the territorial authority:
 - (a) At least **2** working days' notice of the intended commencement of construction:
 - (b) At ~~least~~ **1** working days' notice of the covering up or closing in of any:-
 - (i) Drainage or plumbing:
 - (ii) Excavation for foundation:
 - (iii) Reinforcing steel for a foundation:
 - (iv) Timber required **to** have a *specified* moisture content:
 - (v) Any other building work in respect of which such notice is required **as** a condition of the building consent.
7. Territorial Authority **is to be notified** at the completion of building work on the appropriate form.

CONDITIONS OF BUILDING CONSENT

(i) **as set out on** the attachments headed ' of Building Consent **No** if any)

Dargaville Office:
Private bag 1001
DARGAVILLE
Phone 0-9-439-7059
Fax 0-9-439-6756

KAIPARA DISTRICT COUNCIL

CODE COMPLIANCE CERTIFICATE

000099

Paparoa Office:
P.O.Box 1
PAPAROA
Phone 0-9-431-7019
Fax 0-9-431-7017



NO. 462

Name: <u>MORRISON</u>	Contact Name: <u>MURDER</u>
Mailing Address: <u>R.D. 4</u> <u>DARGAVILLE</u>	Mailing Address: _____

Street/Road No _____	Valuation Roll No <u>105/154/1</u>
Street/Road Name <u>BRADLEY'S LANDING EAST RD</u>	lot <u>1</u> DP <u>16251</u>
Town or District <u>PAPAROA</u>	Section _____ Block <u>II</u>
	Survey District _____

COUNCIL CHARGES The Council's total charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are: _____ \$ _____ Receipt No: _____	☒ New Building - exclude domestic garages & domestic outbuildings ☐ Foundations only ☐ Alterations, repairs, extensions, conversions, resiting, installation of heating appliances ☐ Other New Construction and demolition ☐ Domestic garages & domestic outbuildings	Intended Life: Indefinite. but not less than 50 yrs ☐ OR Specified as _____ yrs Demolition ☐ Being stage of an intended..... stages.
--	---	---

THIS IS

- ☒ A final code compliance certificate issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This Certificate is issued subject to the conditions specified in the attached _____ pages headed "Conditions of Code Compliance Certificate No: _____" (being this certificate)

Signed for and on behalf of the Council:

Name: P. M. VAN DER SCURF

Position: Chairman Date: 18 / 4 / 96

Date Inspected

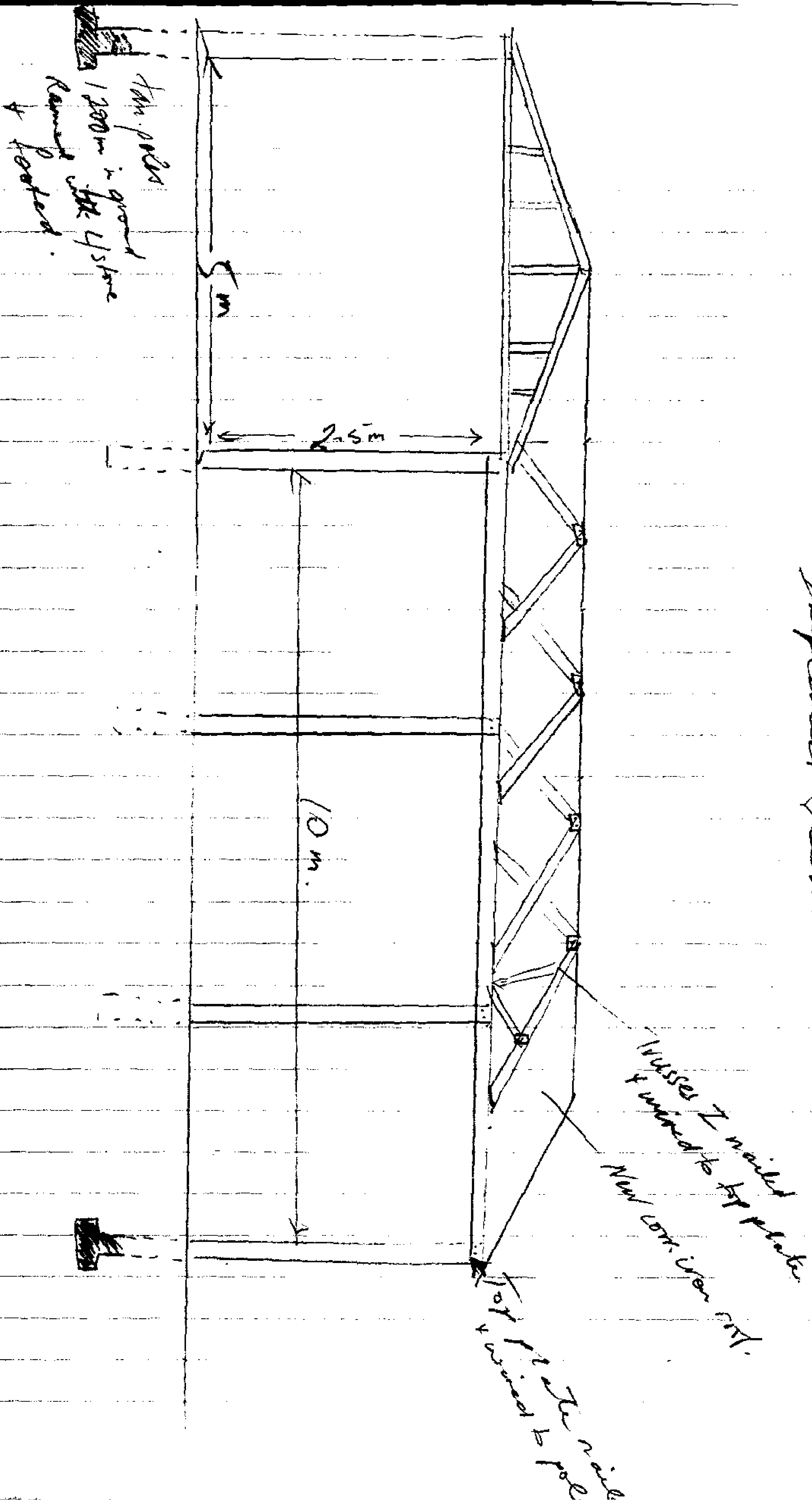
INSPECTORS FIELD SHEET

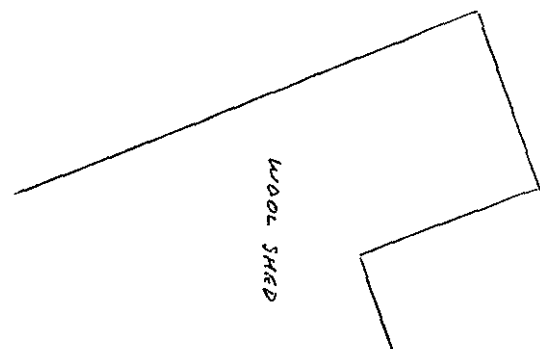
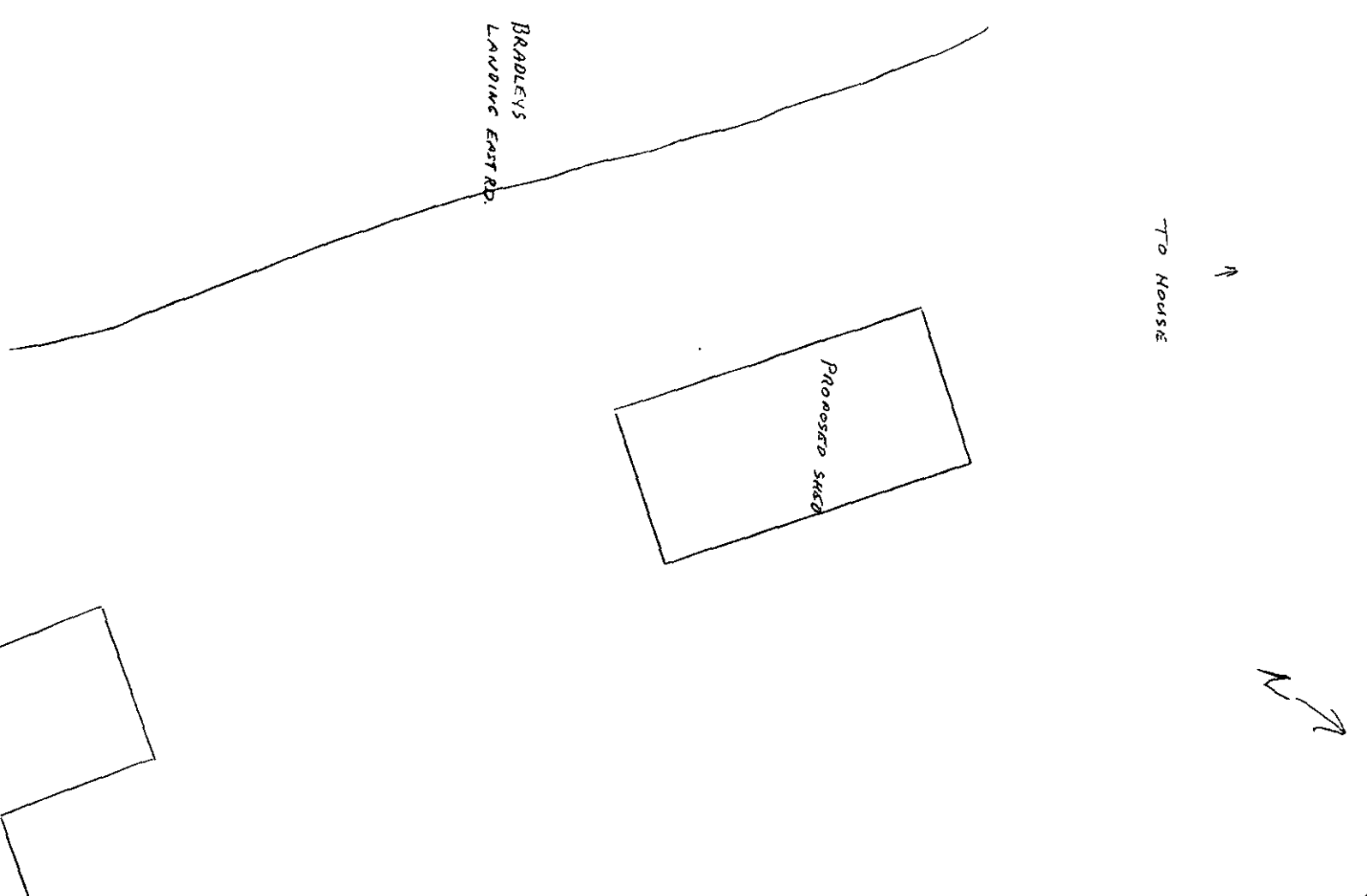
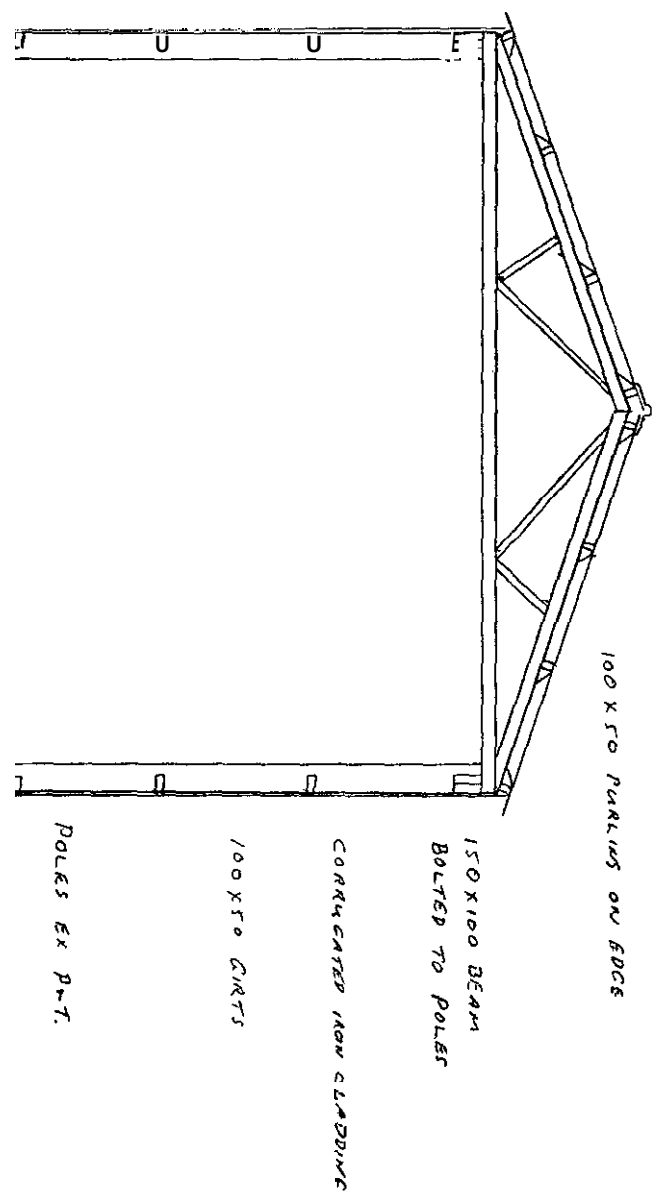
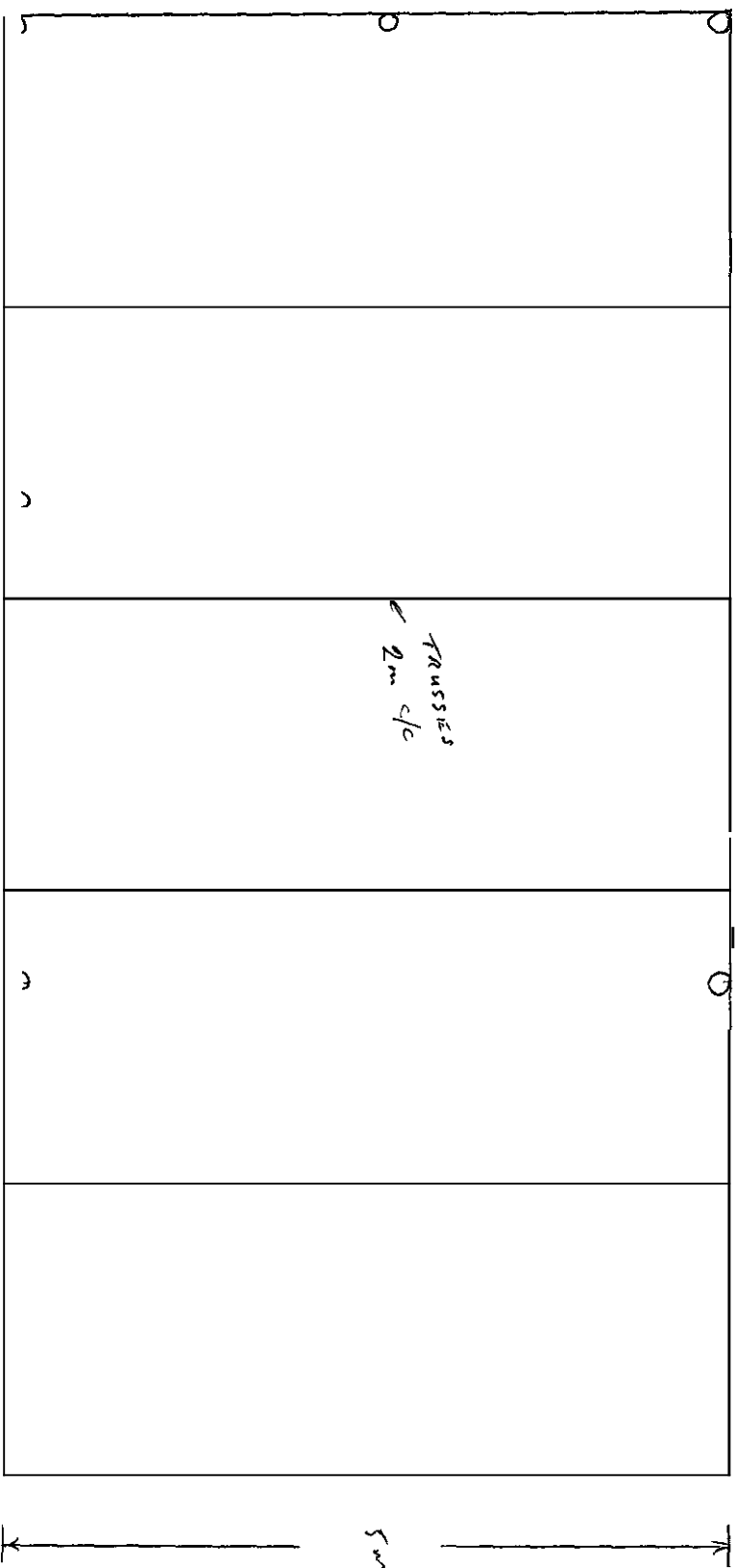
CONSENT NO:

Site inspected: foundations, size & depth of holes
discussed.

COMPLETED (Signature) _____ Date ____/____/____

Thompson School





PART D : KEY PERSONNEL

(Complete Part D as far as possible in all cases. Give names, addresses, and telephone numbers
Give relevant registration numbers if known)

DESIGNER(S)

Name _____

Address _____

Phone Number _____ Fax Number _____

BUILDER

Name _____

Address _____

Phone Number _____ Fax Number _____

DRAINLAYER

Name _____

Address _____

Phone Number _____ Fax Number _____ Registration No: _____

PLUMBER

Name _____

Address _____

Phone Number _____ Fax Number _____ Registration No: _____

CERTIFIERS

Name _____ Reg.No _____

Address _____

Phone Number _____ Fax Number _____

Certifying _____

Name _____ Reg No _____

Address _____

Phone Number _____ Fax Number _____

Certifying _____

PART E : COMPLIANCE SCHEDULE DETAILS

E1 : SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

(Complete Part E1 for **all** new buildings and alterations, except single residential dwellings)

The building will contain the following (Tick ☐ each applicable box and attach proposed inspection, maintenance, and reporting procedures.

- ☐ Automatic Sprinkler systems or other **systems** of automatic fire protection
- ☐ Automatic doors which form part of **any** fire wall and which are designed to close shut and remain shut on an alarm of fire.
- ☐ Emergency warning systems for fire and other dangers.
- ☐ Emergency lighting systems.
- ☐ Escape route pressurisation **systems**. Riser
- ☐ Mains for fire service use.
- ☐ Any automatic back-flow preventer connected to a potable water supply.
- ☐ Lifts, escalators, or ~~travelators~~ or other similar systems.
- ☐ **Mechanical** ventilation or air conditioning system serving **all** or a major part of the building.
- ☐ Any **other** mechanical, electrical, **hydraulic**, or electronic system whose proper operation is **necessary** for compliance with the building code.
- ☐ Building maintenance units **for providing** access to the exterior and interior walls of buildings.
- ☐ Such signs as are required **by the building** code in respect of the abovementioned systems.
- ☐ None of the above.

E2 : OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

(Complete **Part E2** only if the building contains one or more of the systems listed in **Part E1**)

The building will contain the following (Tick ☒ each applicable box and attach proposed *inspection*, maintenance, and reporting procedures).

- ☐ Means of escape from fire.
- ☐ Safety barriers.
- ☐ Means of access and facilities **for use by persons** with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- ☐ Hand-held hoses for fire fighting.
- ☐ Such signs as are required **by the building code** or Section 25 of the **Disabled Persons Community Welfare Act 1975**.

Dargaville Office: Private bag 1001 DARGAVILLE Phone 0-9-439-7059 Fax 0-9-439-6756	KAIPARA DISTRICT COUNCIL APPLICATION FOR A BUILDING CONSENT	Paparoa Office: P.O.Box 1 PAPAROA Phone 0-9-431-7019 Fax 0-9-431-7017
--	---	---

Name: <u>DAVID MORRISON</u> Postal Address <u>R.D. 4</u> <u>DARGAVILLE</u> Phone Number <u>439 5395</u> Fax Number _____	Contact Name: _____ Postal Address _____ Phone Number _____ Fax Number _____
--	---

3. PROJECT LOCATION

Address <u>BRADLEY LANDING EAST RD PAPAROA</u>

Valuation Number: <u>105/154/1</u>	OFFICE USE ONLY Property ID: _____
Lot(s) <u>1</u> (Section)	DPIS <u>16851</u> (Block) <u>II</u> <u>TOKATOKA S.D.</u>
Area of site _____	hectares _____ sq.mtrs _____

PROJECT		Description of Work <u>ADD FAMILY ROOM TO FARM DWELLING</u>	
Addition New Building ☐	Intended Life: Indefinite, but not less than 50 yrs ☐ OR	Intended Use(s) (in detail) <u>OWNERS USE</u>	
Alteration ☐	Specified as ☐ yrs	Estimated _____	
Relocation ☐		Building _____	
Demolition ☐		Plumbing & Drainage - Labour _____	
		- Materials _____	
		Total <u>\$ 9,000-00</u>	

☐ Application for building consent only, in accordance with Project Information Memorandum No: _____

☒ Application for Building Consent and Project Information Memorandum

Signed for and on behalf of the owner

Signature _____

Name: DAVID MORRISON **Date** 1-7-93
 (Please Print)

OFFICE USE ONLY TARGET DATE <u>1 1</u>
--

PART B : PROJECT DETAILS

- (Complete Part B only if you have not applied separately for a Project Information Memorandum)

The project involves the following matters (Tick ☒ each applicable box, if any, and **attach relevant information in duplicate**)

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings (Site Plan with elevations, Topography, drawn to Scale)
- ☐ Details of any known or potential erosion, avulsion, falling debris, filled ground, subsidence, slippage, alluvion, inundation, hazardous contaminants on or near the site.
- ☐ Provisions to be made for vehicular access, including parking (To be shown on site plan)
- ☐ Provisions to be made in building over or adjacent to any road or public place
- ☐ New provisions to be made for disposing of stormwater and wastewater (To be shown on site plan)
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains
- ☐ New Connections to public utilities i.e. water supply, stormwater system, wastewater system (Note: Council has no agreement with network utility operations to act as their agent)
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression or dust disposal of debris, disconnection from public utilities, and suppression of noise
- ☐ Details of any cultural heritage significance of the building or building site, including whether it is on a maraa, or waahi tapu.
- ☐ Copy or reference to, of any resource consent or planning approval for this project.
- ☐ Details of volume Proposed Excavations: Include volumes for Site Preparation, Basement and Driveway.

(Complete Part C in all cases)

PART C : BUILDING DETAILS

This application is accompanied by (Tick ☐ each applicable box, attach relevant documents **in duplicate**)

7. ☐ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the New Zealand Building Code, with supporting documents, if any, including -
 8. ☐ Building Certificates
 9. ☐ Producer Statements
 10. ☐ References to accreditation certificates issued by the Building Industry Authority
 11. ☐ References to determinations issued by the Building Industry Authority
 12. ☐ Proposed procedures, if any, for inspection during construction

PART D : KEY PERSONNEL

(Complete Part D as far as possible in all cases. Give names, addresses, and telephone numbers.
Give relevant registration numbers if known)

13.

DESIGNER(S)

Name _____

Address _____

Phone Number _____ Fax Number _____

BUILDER

Name J.R. & L.M. PATENSON

Address - 134 ANAKINO RD

Phone Number _____ Fax Number _____

DRAINLAYER

Name _____

Address _____

Phone Number _____ Fax Number _____ Registration No: _____

PLUMBER

Name _____

Address _____

Phone Number _____ Fax Number _____ Registration No: _____

GASEFITTER

Name _____

Address _____

Phone Number _____ Fax Number _____ Registration No: _____

ELECTRICIAN

Name _____

Address _____

Phone Number _____ Fax Number _____ Registration No: _____

CERTIFIERS

Name _____ Reg.No _____

Address _____

Phone Number _____ Fax Number _____

Certifying _____

Name _____ Reg No _____

Address _____

Phone Number _____ Fax Number _____

Certifying _____

If more than number allowed for please provide details on a separate sheet.

PART E : COMPLIANCE SCHEDULE DETAILS

E1 : SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

(Complete Part E1 for all new buildings and alterations, except single residential dwellings)

The building will contain the following (Tick ☐ each applicable box and attach proposed inspection maintenance, and reponing procedures.

- ☐ Automatic Sprinkler systems or other systems of automatic fire protection
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.
- ☐ Emergency warning systems for fire and other dangers.
- ☐ Emergency lighting systems.
- ☐ Escape route pressurisation systems. Riser
- ☐ Mains for fire service use.
- ☐ Any automatic back-flow preventer connected to a potable water supply.
- ☐ Lifts, escalators, or travelators or other similar systems.
- ☐ Mechanical ventilation or air conditioning system serving all or a major part of the building.
- ☐ Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code.
- ☐ Building maintenance units for providing access to the exterior and interior walls of buildings.
- ☐ Such signs as are required by the building code in respect of the above-mentioned systems.
- ☐ None of the above.

E2 : OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

(Complete Part E2 only if the building contains one or more of the systems listed in Part E1)

The building will contain the following (Tick ☒ each applicable box and attach proposed inspection maintenance, and reporting procedures).

- ☐ Means of escape from fire.
- ☐ Safety barriers.
- ☐ Means of access and facilities for use by persons with disabilities which meet the requirements Section 25 of the Disabled Persons Community Welfare Act 1975.
- ☐ Hand-held hoses for fire fighting.
- ☐ Such signs as are required by the building code or Section 25 of the Disabled Persons Community Welfare Act 1975

14. Please answer the following questions if they apply.

What materials will be used for the: (tick boxes) and which form of energy is being installed OR is already installed?

Floor ☐ Timber ☐ Concrete ☐ Wood Products ☐ Other Framing ☐ Timber ☐ Concrete ☐ Steel ☐ Aluminium ☐ Other	Roof ☐ Steel ☐ Concrete Tiles ☐ Steel Tiles ☐ Shingles ☐ Aluminium ☐ Other Internal Linings ☐ Plaster Board ☐ Fibrous Plaster ☐ Wood Products ☐ Other	Outer Walls ☐ Brick ☐ Concrete ☐ Concrete Block ☐ Cement Board ☐ master ☐ Timber ☐ Steel ☐ Aluminium ☐ Other Insulation ☐ Fibreglass ☐ Paper ☐ Wool ☐ Foil ☐ Other	Energy ☐ Electric ☐ Gas ☐ Solid Fuel ☐ Floor Electrical ☐ Ceiling Electrical ☐ Storage Electrical Cooking ☐ Electric ☐ Gas ☐ Solid Fuel
--	--	---	--

Floor Area of Proposed Work:	Area square metres
Buildings Other Than Detached Accessory Buildings:	sq.m
Floor	sq.m
Basement	sq.m
Ground Floor	sq.m
First Floor	sq.m
Second Floor	sq.m
Additional Floors (Total)	sq.m
Mezzanine	sq.m
Decks	sq.m
Total	24.36 sq.m
Detached Accessory Buildings:	
Garage	sq.m
Carport	sq.m
Other Buildings	sq.m
Total	sq.m

FOR OFFICE USE ONLY

FEES PAID ON APPLICATION (including GST)

	\$	C
P.I.M.	\$ 40	00
Building Consent	\$ 145	00
Street Crossing		
BRAN2 Levy		
Reserves Contribution		
Footpath Deposit		
Photocopying		
Water Connection		
Structural Check		
Plumbing		
Drainage (Labour only)		
	\$ 185	00

CONSENT NUMBER: _____

CONSENT ISSUE AUTHORITY

Receipt No. _____

Date of Issue _____

Authorised By: _____

Date Authorised: _____

REFERRALS

	SENT	RETURNED
Structural		
Fire Service		

	TO	FROM
Planning		
Health		
Streets		
Traffic		
Water		
Drainage		
P & D		

Dargaville Office:
Private bag 1001
DARGAVILLE
Phone 0-9-439-7059
Fax 0-9-439-6756

KAIPARA DISTRICT COUNCIL

Paparoa Office:
P.O. Box 1
PAPAROA
Phone 0-9-431-7019
Fax 0-9-431-7017

PROJECT INFORMATION MEMORANDUM NO: 346

APPLICANT

Name: D. M. MORRISON

Mailing Address: RD 4

Dargaville

Contact: _____

Phone: (09) 439 5395

COUNCIL CHARGES*

The Council's total charges payable on the uplifting of this project memorandum, in accordance with the attached details, are: \$: 40.00

Receipt No: 121321

Note: where actual and reasonable costs exceed the charge on application, additional charges will be made.

New or relocated building ☐
Alteration/Additions: ☒
Installation of heating appliances & plumbing and drainage ☐

Intended use(s) [In detail]:

Addition of family room

Intended life:
Indefinite but not less than 50 years ☒
Specified as _____ years ☐

Demolition ☐

PROJECT LOCATION

Street address [If any]: Bradleys landing East Rd
Dargaville

Valuation Reference: 1050/154/1

Legal description: Lot 2 DP16851 Lots 1, 2 DP116263
Blk 11 Toka Toka SD

This project information memorandum is:

☒ Confirmation that the proposed building work may be undertaken subject to the provisions of the Building Act 1991 and any requirements of the building consent

Not yet applied for ☐
No: _____ Attached ☒

☐ Notification that any other authorisations must be obtained before a building consent will be issued.

☐ Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused.

This project information memorandum includes:

☐ No applicable information for the proposed project.

☒ Information identifying relevant special features of the land concerned.

☐ Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings.

☐ Details of relevant utility systems. (Council is not acting as agents for Electrical or Gas Utility Operators)

☐ Details of authorisations which have been granted.

☐ Details of authorisations which must be obtained before a building consent will be issued.

☐ Details of authorisations which have been refused.

Signed for and on behalf of the Kaipara District Council



Name: P. M. VAN DER SCUR Date: 28-7-93

Position: Building Inspector

ATTACHMENT TO P.I.M. No. 346

INSPECTORATE

(A) Wind Zone rating for site

Low ☐
Medium ☐
High ☒
Very High ☐

(B) Provisions being made with regard to building over or adjacent to a road or public place are acceptable

Hoardings ☐
Gantries ☐
Temporary Support ☐

(C) Provisions made for demolition are adequate

Removal of materials from site ☐
Dust Extraction ☐

(D) The site is known to be affected by hazardous contaminants which may impact on the proposed project

Chemical Contamination ☐
Underground Tanks ☐
Asbestos ☐

(E) Licenses required to operate, subject to Building Consent being granted

Health Licences ☐
Dangerous Goods Licence ☐

PLANNING

Proposed Project complies with District Plan Zoning

Yes ☒
No ☐

(B) The bulk and location of the proposed project complies with the restrictions of the District Plan

Yes ☒
No ☐

Special planning restrictions known to affect the site which impact on the proposed project

Protected Tree Restrictions ☐
Historic Site Restrictions ☐

(D) Proposed vehicle access acceptable

Gradient ☐
Width ☐
Length ☐

(E) Resource Consent Required

Nature of required consent

☐

ENGINEERING

(A) The site is known to have soil conditions which will have impact on the proposed project

Fill ☐
Erosion ☐
Slippage ☐
Poor Bearing Capacity ☐

(B) Site is known to be prone to flooding or lies within an overland flow path

☐

(C) Proposed methods for building over or near service pipes acceptable?

☐

(D) Proposed connection to services acceptable

Stormwater Disposal ☐
Foulwater Disposal ☐
Water Connection ☐

(E) Proposed location of vehicle access acceptable

Location ☐
Traffic Implications ☐

(F) Restrictions which may be imposed owing to potential impact on traffic

Signs ☐

Dargaville Office:
Private bag 1001
DARGAVILLE
Phone 0-9-439-7059
Fax 0-9-439-6756

KAIPARA DISTRICT COUNCIL

Paparoa Office:
P.O.Box 1
PAPAROA
Phone 0-9-431-7019
Fax 0-9-431-7017

BUILDING CONSENT No.: C 3 4 6

Tick ☐ each applicable box. Attach relevant documents
PROJECT INFORMATION MEMORANDUM NO :

APPLICANT	
Name: <u>D.M. MORRISON</u>	
Mailing Address: <u>R.D. 4</u>	
<u>DARGAVILLE</u>	
Contact: <u>owner</u>	
Phone: <u>(09) 439 5895</u> Fax: _____	
Application Received: <u>1</u> / <u>1</u>	
COUNCIL CHARGES	
The Council's total charges payable on the uplifting of this building consent, in accordance with the attached details, are: \$ <u>145.00</u>	
Building Research Association Levy :	\$ <u>—</u>
Total :	\$ <u>145.00</u>
Receipt No: <u>12132</u>	
PROJECT LOCATION	
ADD FAMILY <u>7-b</u>	
<u>EXISTING DWELLING</u>	
Intended Life:	
Indefinite but not less than 50 years	☒
Specified as _____ years	
Demolition	☐
Being stage _____ of an intended _____ stages	
Estimated Value (inclusive of GST):	\$ <u>9,000</u>
Street address (if any): <u>BRADLEYS LANDING</u>	
<u>EAST R</u>	
Valuation Reference: <u>105/154/1</u>	
Legal Description: <u>LOT 1 D.P. 16851</u>	
<u>BLK II TOKA TOKA S.D.</u>	

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the New Zealand Building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other ad.

This building consent is issued subject to the conditions specified in the attached _____ pages headed "Conditions of Building Consent No. _____"

Signed for and on behalf of the council.

NAME: [Signature]

POSITION: Building Inspector DATE: 28/7/93

NOTICE TO APPLICANT

1. **This** consent will lapse if building work has not commenced within six months from the date of issue or if reasonable progress has not been made within twelve **(12)** months after work has commenced. The consent may be extended for a further period at the discretion of the territorial authority.
2. No deviation or alteration from the original plans and specification can be carried out without written approval of the territorial authority and no building may be converted to any other **use** than that stated on the building consent.
3. **IMPORTANT :** You are fully responsible for any damage done to **any** works such **as** telephone cables, power cables, water mains, **gas** mains, sewers, pipes, footpaths, roads or other services.
4. As the property owner is responsible for the correct siting of all works in accordance with the N.Z. Building Code and the Resource Management Act, the owner must ascertain the true position of survey pegs before work commences.
5. **Restrictions of the Erection of Buildings near Overhead Electric Lines:-** Under the Electrical Supply Regulations **1976**, it is an offence to erect any building or structure etc. within certain prescribed distances of an overhead electric line. To enquire about these **restrictions**, **contact** the nearest office of the New Zealand Electricity Department or your local Power Supply Authority.
6. Notice that building work **is** ready for inspection:- For the purposes of Section **76** of the Building Act, and **unless** otherwise provided by the building consent, the owner or other person undertaking any building work **shall** give the territorial authority:
 - (a) At least **2** working days' notice of the intended commencement **Of construction:**
 - (b)** At least **1** working days' notice of the covering up or closing in of any:-
 - (i) Drainage or plumbing:
 - (ii) Excavation for foundation:
 - (iii) Reinforcing steel for a foundation:
 - (iv) Timber required to have a specified moisture content:
 - (v) Any other building work in respect of which such notice is required **as** a condition of the building consent.
7. Territorial Authority **is to** be notified at the completion of building work on the appropriate form.

CONDITIONS OF BUILDING CONSENT

(and **as** set out on the attachments headed "Conditions of Building Consent No" if any)

Dargaville Office:
Private tag 1001
DARGAVILLE
Phone 0-9-439-7059
Fax 0-9-439-6756

KAIPARA DISTRICT COUNCIL

CODE COMPLIANCE CERTIFICATE

000100

Paparoa Office:
P.O.Box 1
PAPAROA
Phone 0-9-431-7019
Fax 0-9-431-7017

_____	_____
_____	_____
_____	_____

_____	_____
_____	_____
_____	_____

ADD FAMILY ROOM TO EXISTING DWELLING

COUNCIL CHARGES		Nature of consent (tickbox)	
The Council's total charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are:	\$ _____	☐ New Building - exclude domestic garages & domestic outbuildings	Intended Life: Indefinite. but not less than <u>Specific</u> <u>as</u> <u>Ops</u>
		☐ Foundations only	
Receipt No: _____		☒ Alterations, repairs, extensions, conversions, resiling, installation of heating appliances	Being stages 1..... of an intended..... stages.
		☐ Other New Construction end demolition	
		☐ Domestic garages & domestic outbuildings	

Times Print, Dargaville 1994

THIS IS

- ☒ A final code compliance certificate issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This Certificate is issued subject to the conditions specified in the attached _____ pages headed "Conditions of Code Compliance Certificate No: _____" (being this certificate)

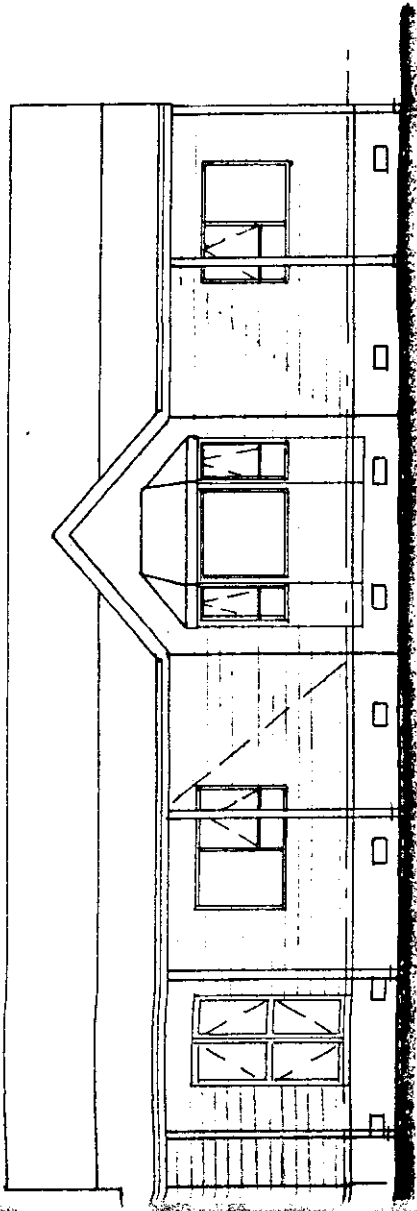
Signed for and on behalf of the Council:

Name: P. M. VAN DER BEEK

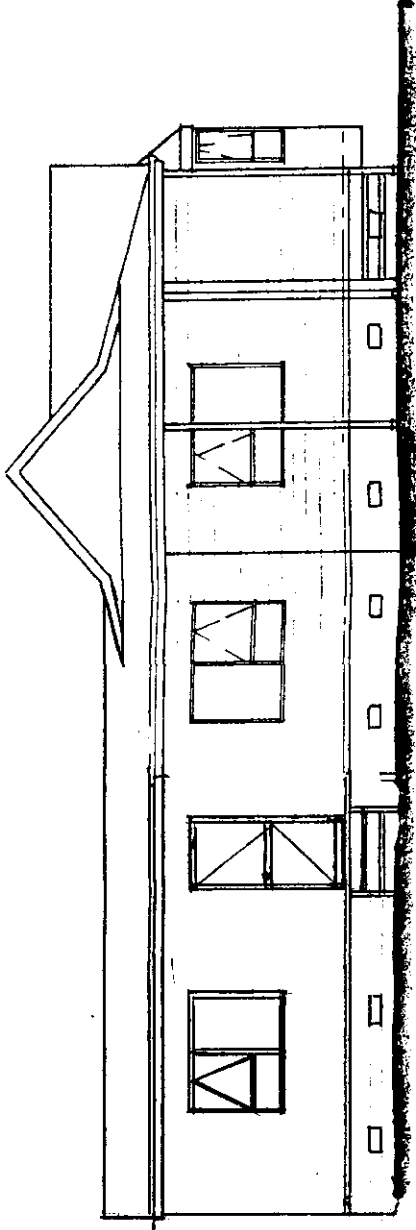
Position:

Building Inspector

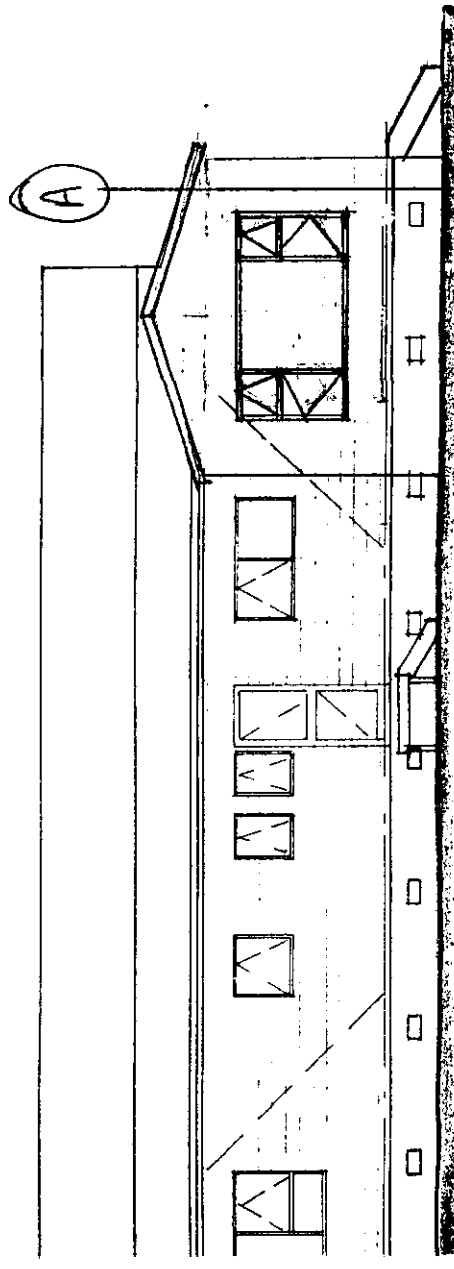
Date: 12 / 4 / 94



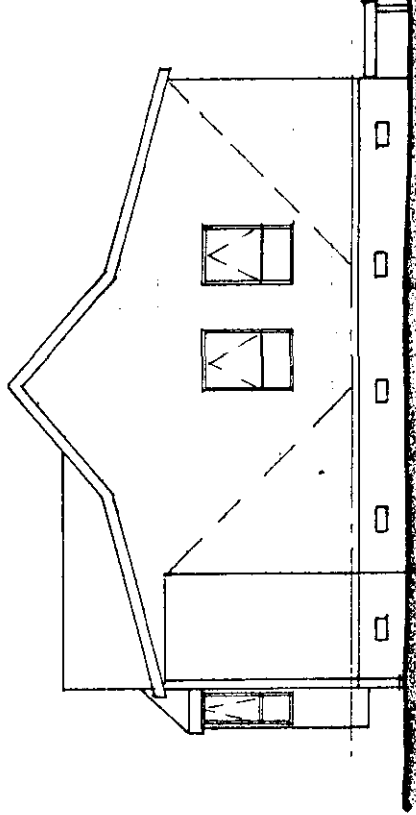
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

LUXALON ROOFING ON 50x40 PURLINS
 ~ 350 CRS WITH S/S PAPER
 TYPE A TRUSSES ~ 900 CRS
 100x50 WALL FRAMING STUDS ~ 600 NOGS 800
 FIBROPLANKS TO MATCH EXISTING WITH BREATHABLE
 TYPE PAPER. 318 INTERIOR LINING WITH
 WALL & CEILING BATS. PARTIALLY BOARD
 FLOORING WITH FOIL UNDER (PERFORATED)
 150x50 JOISTS ~ 450 CRS. 200x75 BEARERS
 ~ 2850 CRS 125x45 PILING WITH 415x415
 CONCRETE. 2 CORNER ANCHOR PILES 900 DEEP
 WITH 12 AN CORRECTORS.

Approx. 20m.

SECTION A

6mm Hardiflex
 base cladding

150 x 100 bearers.

All piles to be 140 SED
 Tanapiles. at 1.65m
 max crs.

100 x 50
 at 600
 Floor joists

Lot 1
 D.P.
 52.26 Ha.

BRADLEY'S LANDING EAST RD

KAIPARA DISTRICT COUNCIL

Dargaville Office
Private Bag, Dargaville
Phone (0884) 7059

Paparoa Office
P.O. Box 1, Paparoa
Phone (089) 4317019

APPLICATION FOR BUILDING PERMIT

To the Engineer (ATTENTION: Building Inspector)

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan, detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:

OWNER Name ALICE MORRISON
Postal Address AROPOHUE BRADKEYS LANDING EAST Rd.
Phone _____

BUILDER Name KEVIN LENOEL
Postal Address 79 HOKI RD
DARGAVILLE Phone 6556

EXISTING USE OF SITE AND BUILDINGS CARA

NATURE OF PROPOSED BUILDING WORK SLEEP OUT

e.g. additions to Dwelling, Bedroom, Lounge extensions etc.

VALUATION DEPT. ASSESSMENT No: (from rate demand) 105, 154/1

LEGAL DESCRIPTION OF SITE: (from rate demand or title deeds) LOT 1 DP 16851 BLK.

ADDRESS OF SITE 2 TOKATOIKA. RD.

AREA OF SITE _____ Hectares 2 sq. metres

NATURE OF SOIL (rock, clay, sand, loam etc) CLAY

FLOOR AREA (proposed work-square metres)

	Basement	Ground Floor	Other Floors	Total
Main Building		<u>15.8 m²</u>		

Accessory Buildings _____

ESTIMATED VALUE OF WORK AND FEES

	VALUE
Main Buildings (excluding plumbing and drainage)	\$ <u>3500-00</u>
Accessory Buildings (excluding plumbing and drainage)	\$ _____
Plumbing	\$ _____
Drainage	\$ _____
Sub Total	\$ _____
Building Levy Fee (on Sub Total Value)	
Vehicle Crossing Deposit	
Vehicle Crossing Payment	
Footpath and Street Damage Deposit.. ...	
Sewer Connection	
Water Connection	
Other e.g. Hoarding Licence, Stormwater Inspection, Off Street Parking	

TOTAL FEE \$

FOR OFFICE USE ONLY

Fees	Receipt No.	Date	Permit	No.
<u>95.00</u>	<u>69311</u>	<u>16/3/92</u>		
\$ _____	_____	/ /		
\$ _____	_____	/ /		
\$ _____	_____	/ /		
\$ _____	_____	/ /		
\$ _____	_____	/ /		
\$ _____	_____	/ /		
\$ _____	_____	/ /		
\$ _____	_____	/ /		
\$ _____	_____	/ /		

CERTIFICATE:

I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Kaipara District Council Bylaws governing and regulating all matters the subject of the foregoing.

Signature of Applicant _____ Date _____

FOR OFFICE USE ONLY

TO TOWN PLANNING OFFICER:

Checked and approved

Signature

Date

TO BUILDING INSPECTOR:

Checked and approved

Signature

Date

TO STRUCTURAL ENGINEER

Checked and approved

Signature

Date

TO FIRE INSPECTOR:

Checked and approved

Signature

Date

TO HEALTH INSPECTOR:

Checked and approved

Signature

Date

REMARKS

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

PERMIT TO BE ISSUED SUBJECT TO:

.....

.....

.....

PERMITS:

Building Permit No.	Signature	Date
Plumbing Permit No.	Signature	Date
Drainage Permit, No.	Signature	Date

.....

.....

.....

Inspector: M _____ File No. _____

Receipt No. 6911

Date Permit Issued 11/1/92

OWNER
Name _____
Mailing Address _____ _____

BUILDER
Name _____
Mailing Address _____ _____

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE
Street No. _____
Street Name _____
Town/District _____
Riding _____

LEGAL DESCRIPTION
Valuation Roll NO. <u>10 / 154/1</u>
Lot <u>1</u> DP. <u>1051</u>
Section _____ Block <u>II</u>
Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

<u>DEMOLITION OF EXISTING BUILDING</u>
<u>FOR CONSTRUCTION OF NEW BUILDING</u>

FLOOR AREA

DWELLING UNITS

Whole Sq Metres <u>150</u>	Number Erected _____
----------------------------	----------------------

ESTIMATED VALUES	
\$ _____	GST <u>10</u>
TOTAL <u>16500</u>	

NATURE OF PERMIT (TICK BOX)

☐	NEW BUILDING - exclude domestic garages and domestic outbuildings
☐	FOUNDATIONS ONLY
☐	ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED - include installation of heating appliances
☐	NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions
☐	DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ <u>75</u>	Water Connection	\$ _____	Receipt No. <u>6911</u>
Street Damage Deposit	\$ _____		\$ _____	Date of Payment <u>11/1/92</u>
Building Research Levy	\$ _____		\$ _____	Authorised Officer <u>D. J.</u>
Plumbing	\$ _____		\$ _____	
Drainage	\$ _____		\$ _____	
Sewer Connection	\$ _____		\$ _____	
Vehicle Crossing Levy	\$ _____	G.S.T.	\$ _____	
M.S. Plumbing	\$ _____	TOTAL	\$ <u>75</u>	

Special Conditions: _____

Date Inspected _____ REMARKS (e.g. stage reached with work)

Date Inspected

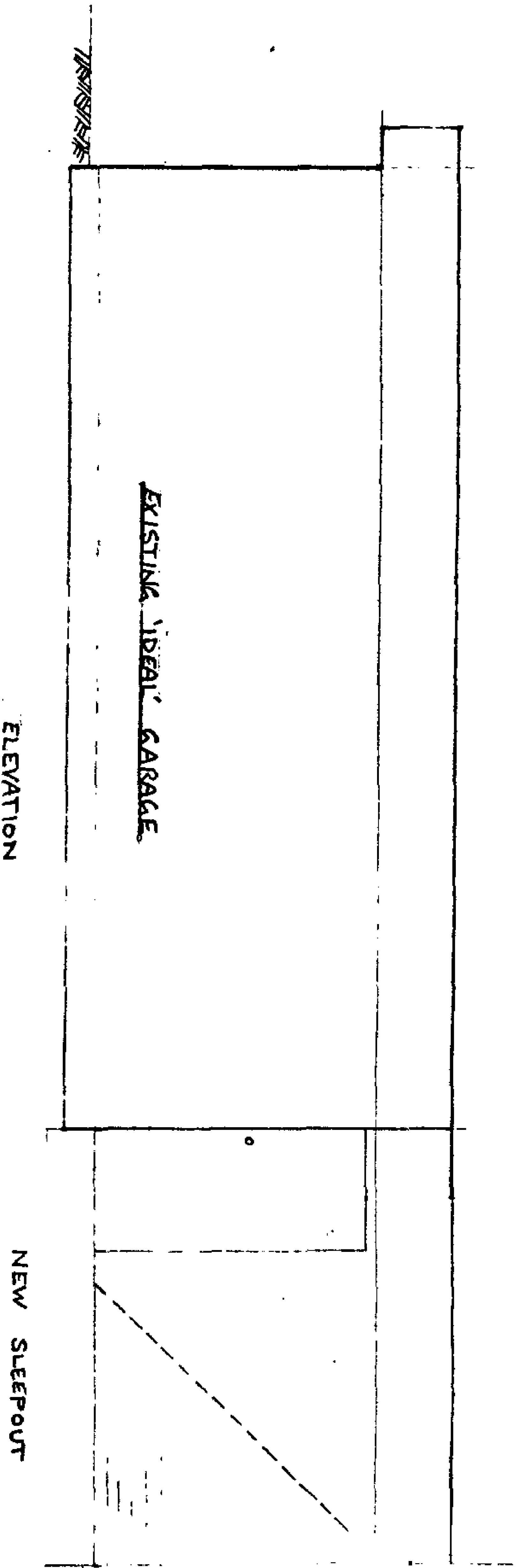
No further inspection requested

2-6-92

exterior & completed looks ok.

COMPLETED (Signature) _____ Date ____/____/____

FILE 1-50

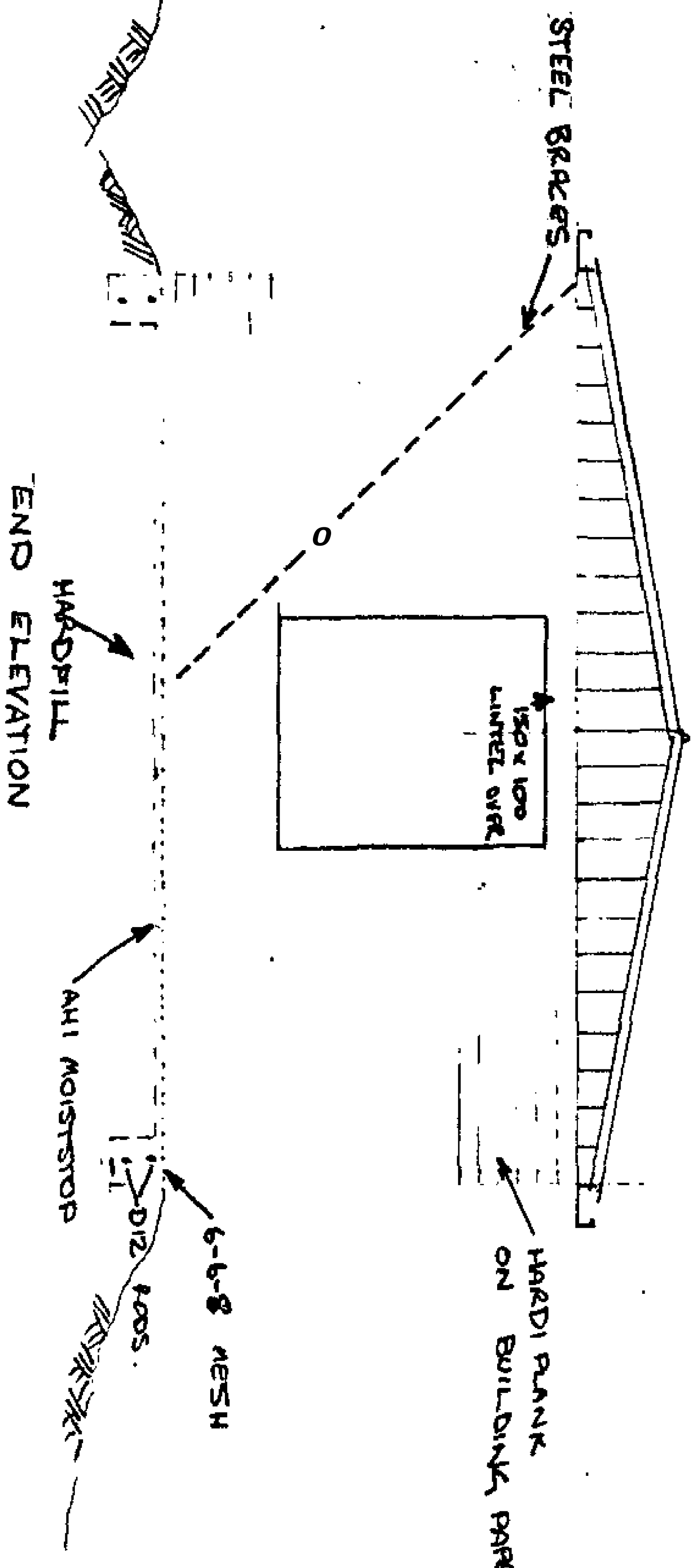


ELEVATION

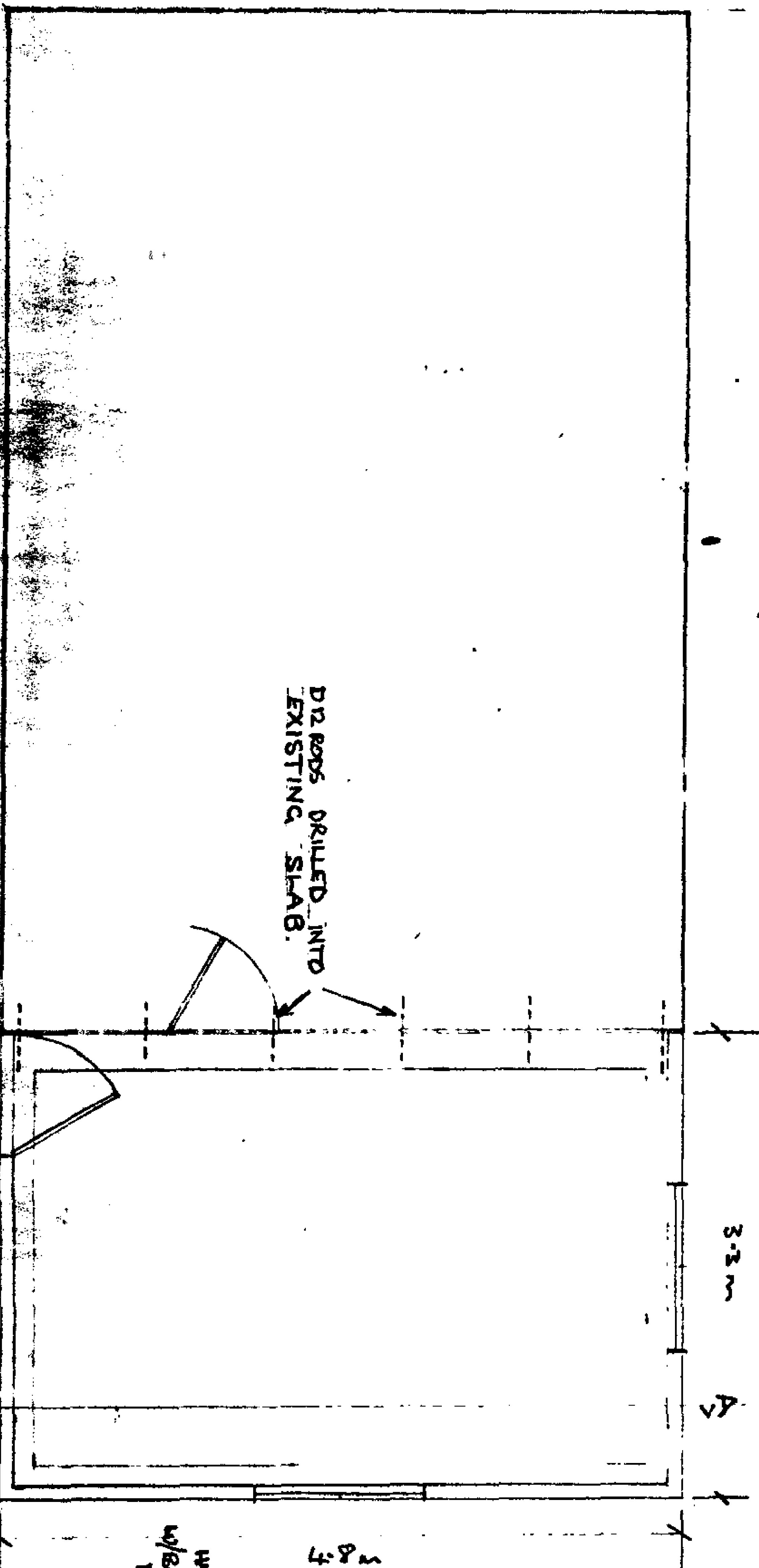
NEW SLEEPOUT

3-2m

A

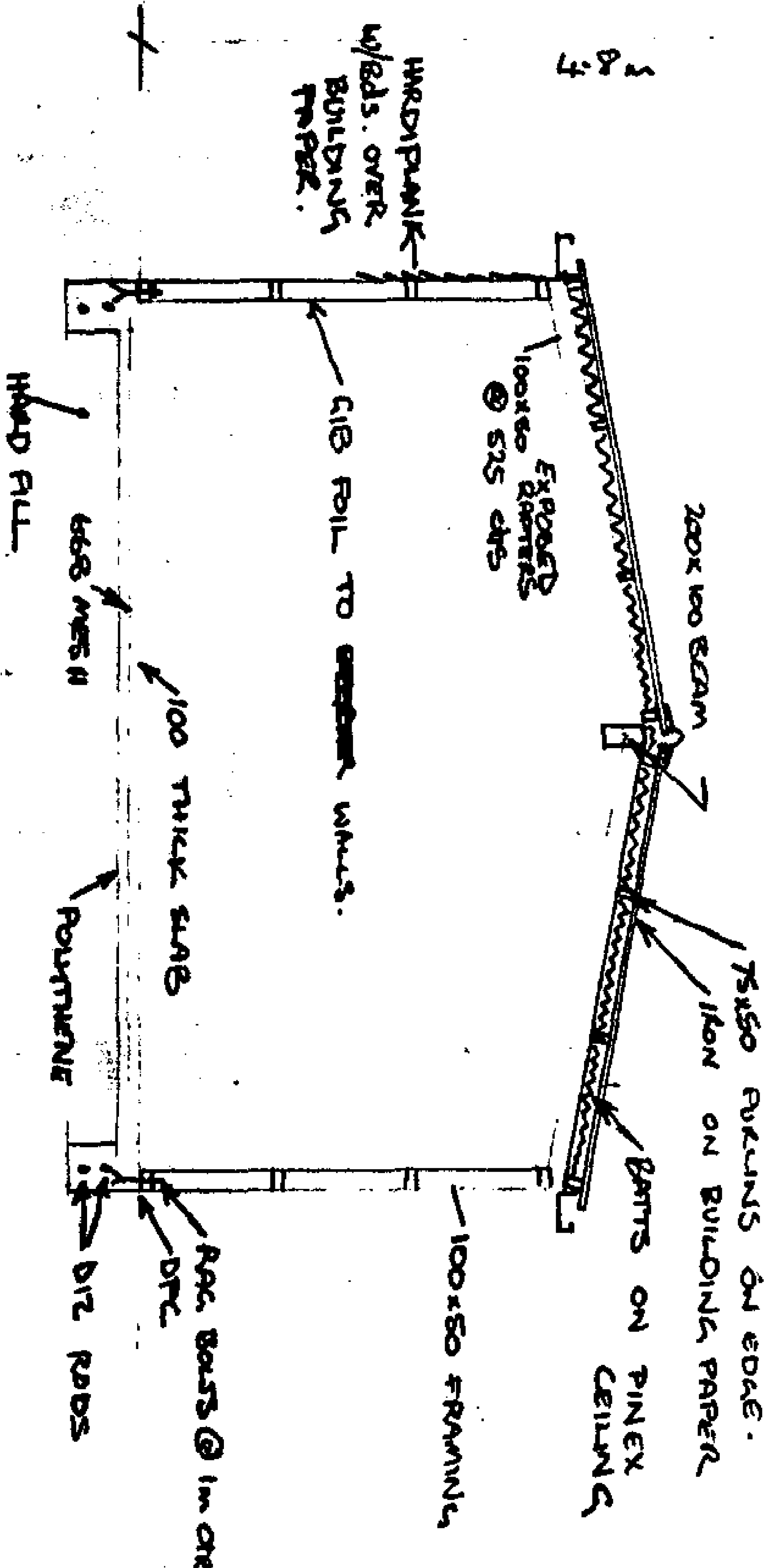


END ELEVATION



DIP RODS DRILLED INTO EXISTING SLAB.

3-2m



SECTION A-A

PROPOSED SLEEPOUT BUILT ON TO EXISTING IDEAL GARAGE AT DAVE MORRISONS, AROPOHUE

GENERAL INFORMATION

- (1) The following **MUST** accompany this Application:

PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATE in ink or on print paper to an acceptable metric scale (eg. Plans and Elevations 1:100, Cross sections 1:50, Details 1:10, Site Plan 1:200 would be normal) and drawings shall be drawn or printed on quality paper preferably of Standard A1, A2 or A3 size.

The following shall be included:

- (a) A floor plan of each floor level showing position of all sanitary fittings and names and sizes of various rooms.
 - (b) Where the building is on a sloping site the correct height of foundations must be shown
 - (c) An elevation of each external wall.
 - (d) Cross-sections showing framing, the type and location of cladding, insulation, sheathing and lining.
 - (e) The type and location of each foundation element (for example: reinforced masonry foundation wall, anchor pile, cantilevered pile, and so on).
 - (f) Adequate information on all subfloor, floor, wall, and roof framing, including the type and location of each subfloor brace, diagonal brace, and wall bracing element and the number of bracing units assigned to each wall bracing element.
 - (g) Where a building requires Plumbing and Drainage work a separate Application form must be filled in and fee paid before a Building Permit can be issued.
 - (h) Such drawings and information in details as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the Bylaws.
 - (i) A report and calculations showing how the design complies with the By-laws in the case of buildings requiring specific designs.
 - (j) Applications for (in so far applicable):
 - (1) Drainage and Plumbing
 - (2) Sewer Connections
 - (3) Water Supply Connection
 - (4) Footpath Damage Deposit
 - (5) Hoarding Licence
 - (6) Vehicle Crossing
 - (7) Stormwater Connection
 - (k) In duplicate a location drawing showing the site (all four boundaries) the buildings already on the site and the new proposed building shown in black. The measurements from the proposed buildings to all buildings on the site and the boundary lines should be given.
- (2) FEES may be forwarded later on advice of availability of permit and the amount of fees required.

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the Engineer shall have the absolute determination of the value of the proposed work or building.

BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK (Value to exclude value of Plumbing and Drainage work).

Values must be calculated at current market rates and include the GST content of the price of the building.

0 to \$ 2,500	fee	\$ 55.00
\$ 2,501 to \$ 5,000	fee	<u>\$ 95.00</u>
\$ 5,001 to \$ 9,000	fee	\$145.00
\$ 9,001 to \$ 13,000	fee	\$220.00
\$ 13,001 to \$ 20,000	fee	\$300.00
\$ 20,001 to \$ 30,000	fee	\$370.00
\$ 30,001 to \$ 45,000	fee	\$425.00
\$ 45,001 to \$ 60,000	fee	\$485.00
\$ 60,001 to \$ 80,000	fee	\$525.00
\$80,001 to \$110,000	fee	\$585.00
\$110,001 to \$150,000	fee	\$650.00
\$150,001 to \$200,000	fee	\$750.00

\$200,001 and above — \$750.00 for the first \$200,000 **plus** \$100.00 for every \$50,000 or part thereof thereafter.

That where a design certificate or structural checking is required, that the fee be increased by 25%.

BUILDING RESEARCH LEVY FEE

In addition to the above fee, there will also be payable a Building Research Levy in accordance with the Building Research Levy Act 1969, which is set at \$1.00 in each \$1,000 or part thereof of the value of each Building Permit issued. Permits for work of a value less than \$20,000 are exempted.

PLUMBING AND DRAINAGE PERMIT FEE

See Drainage and Plumbing Application Form

A minimum fee of \$30.00 for the first \$200 worth of work (labour without materials)

\$6.00 per \$100.00 worth of work thereafter.

All the above fees include GST.

HOBSON COUNTY COUNCIL

Private Bag
Dargaville

Local Government Centre,
(Office, Hokianga Road),
Dargaville

Phone 7059
Dargaville

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTOR

Sir,

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan (overleaf) detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:-

OWNER Name D.M. & M.E. MORRISON
Postal Address R. 2 DARGAVILLE Phone.. ..

BUILDER Name S.W. BERRIDGE
Postal Address 178 HOKIANGA RD. Phone.

PLUMBER **DRAINLAYER**

EXISTING USE OF SITE AND BUILDINGS FARM

NATURE OF PROPOSED BUILDING WORK .. WOOL SHED ..
e.g. additions to Dwelling, Bedroom, Lounge extensions etc.

VALUATION DEPT. ASSESSMENT No.: (from rate demndd) 105/154/1

LEGAL DESCRIPTION OF SITE: (from rate demand or title deed)
LOT 1 D.P. 16851 BLK II TOKA TOKA S.D.

Road or Street: District: Riding:

AREA OF SITE: Hectares

NATURE OF SOIL: (rock, clay, sand, loam, etc).. ..

FLOOR AREA: (proposed work — square measure)

	Basement	Ground Floor	Other Floors	Total
Main Building				<u>74.88</u>
Accessory Buildings				

ESTIMATED VALUE OF WORK:

Main Buildings (excluding plumbing and drainage)	\$
Accessory Buildings (excluding plumbing and drainage)	\$ <u>6000</u>
Plumbing and Drainage	\$

Total Value of Work \$ 6000.00

CERTIFICATE: I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Hobson County Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant: S.W. Berridge Date: 26/1/88

FOR OFFICE USE ONLY

FEES: (includes GST)

Building Permlt \$ 110.00 Receipt No. 10400 Date 26-01-88 Permit NO.....

Plumbing and Drainage Permlt \$ Receipt No..... Date Permlt NO.....

Building Research Levy I Receipt No. Date.. ..

TOTAL \$ 110.00

FOR OFFICE USE ONLY

TO ADMINISTRATIVE OFFICER: Date Received

Check List: Forms Completed () Valuation No. () Fees recelpted ()

Remarks:

..... Signature: Date:

TO PLANNING OFFICER: (Check with District Planning Scheme. Refer to Council if required),

Approved by County Chairman Signature: Date:

Checked and approved by Officer Signature: Date:

TO HEALTH INSPECTOR: (Check for drainage, health, etc)

Checked and approved Signature: Date:

TO BUILDING INSPECTOR: (Check for by-laws, etc.)

Checked and approved Signature Date:

REMARKS:

PERMIT TO BE ISSUED SUBJECT TO:

GENERAL INFORMATION

(1) The following **MUST** accompany this Applcation:

PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATE (in ink or on print paper) including—

- (a) Ground plans of proposed work showing position of all sanitary fittings and names and sizes of various rooms.
- (b) Where the building is on a sloping site the correct helght of foundations must be shown.
- (c) Front and side elevations.
- (d) Cross section showing framing with bracing.
- (e) Where a building requires Plumbing and Drainage work a separate Applleatlon Form must be filled in and fee paid before a Building Permit can be Issued.
- (f) Application for entrance crossing from road.
- (g) Such drawings and information in detail as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the By-laws.
- (h) A report and calculations showing how the design complies with the By-laws in the case of building requiring specific design.

(2) **FEES** may be forwarded later on advice of avallability of permit and the amount of fees required.

BUILDING PERMIT

(Office Copy)

AUTHORITY

Stats. No. F

001698

HOBSON COUNTY COUNCIL

No.

Receipt No. 10400

Date Permit Issued 26/1/88

OWNER

Name D.M. & M.E. MORRISON

Mailing Address R.D. 2

DARGAVILLE

BUILDER

Name ✓ S.W. BERRIDGE

Mailing Address 178 HOKIANCA RD.

DARGAVILLE

PROPERTY ON WHICH BUILDING IS TO BE ERECTED

SITE

Street No.

Street Name BRADLEYS LANDING EAST

Town/District ARAPOHUE

Riding ARAPOHUE

LEGAL DESCRIPTION

Valuation Roll No. 105/154/1

Lot 1 D.P. 16851

Section Block II

Survey District TOKA TOKA

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

TO ERECT A SMALL FARM WOOLSHED

FLOOR AREA

DWELLING UNITS

Whole
Sq. Metres

75

Number
ErectedESTIMATED
VALUES
\$

Building

Plumbing

Drainage

G.S.T. INCL

TOTAL

6,000 00

6,000 00

NATURE OF PERMIT (TICK BOX)



NEW BUILDING

- exclude domestic garages and domestic outbuildings



FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
- include installation of heating appliances

NEW CONSTRUCTION

OTHER THAN BUILDINGS - include demolitions

DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ 110 00	Water Connection	\$
Street Damage Deposit ..	\$		\$
Building Research Levy ..	\$		\$
Plumbing	\$		\$
Drainage	\$		\$
Sewer Connection	\$		\$
Vehicle Crossing Levy ..	\$		\$
M.S. Plumbing	\$		\$
		G.S.T. INCL	\$
		TOTAL	\$ 110 00

Receipt No. 10400

Date of Payment 26/1/88

Authorised Officer J. Vallance

Special Conditions: (In addition to those noted on reverse):

NOTICE TO APPLICANT

PERMISSION IS HEREBY GRANTED YOU to carry out the works as proposed in accordance with the drawings and other documents submitted, and with any conditions defined: such work to be subject to inspection at any time during progress and to be carried out in strict conformity with the requirements of the Council By-Laws.

IMPORTANT - YOU ARE FULLY RESPONSIBLE for any damage done to any works such as telephone cables, power cables, water mains, gas mains, sewers, pipes, footpaths, roads or other services.

BC/MP/01A

IDEAL GARAGES

MANUFACTURERS OF PREFABRICATED GARAGES AND SHEDS

IDEAL CONSTRUCTIONS (AUCK.) LTD
HEAD OFFICE & FACTORY

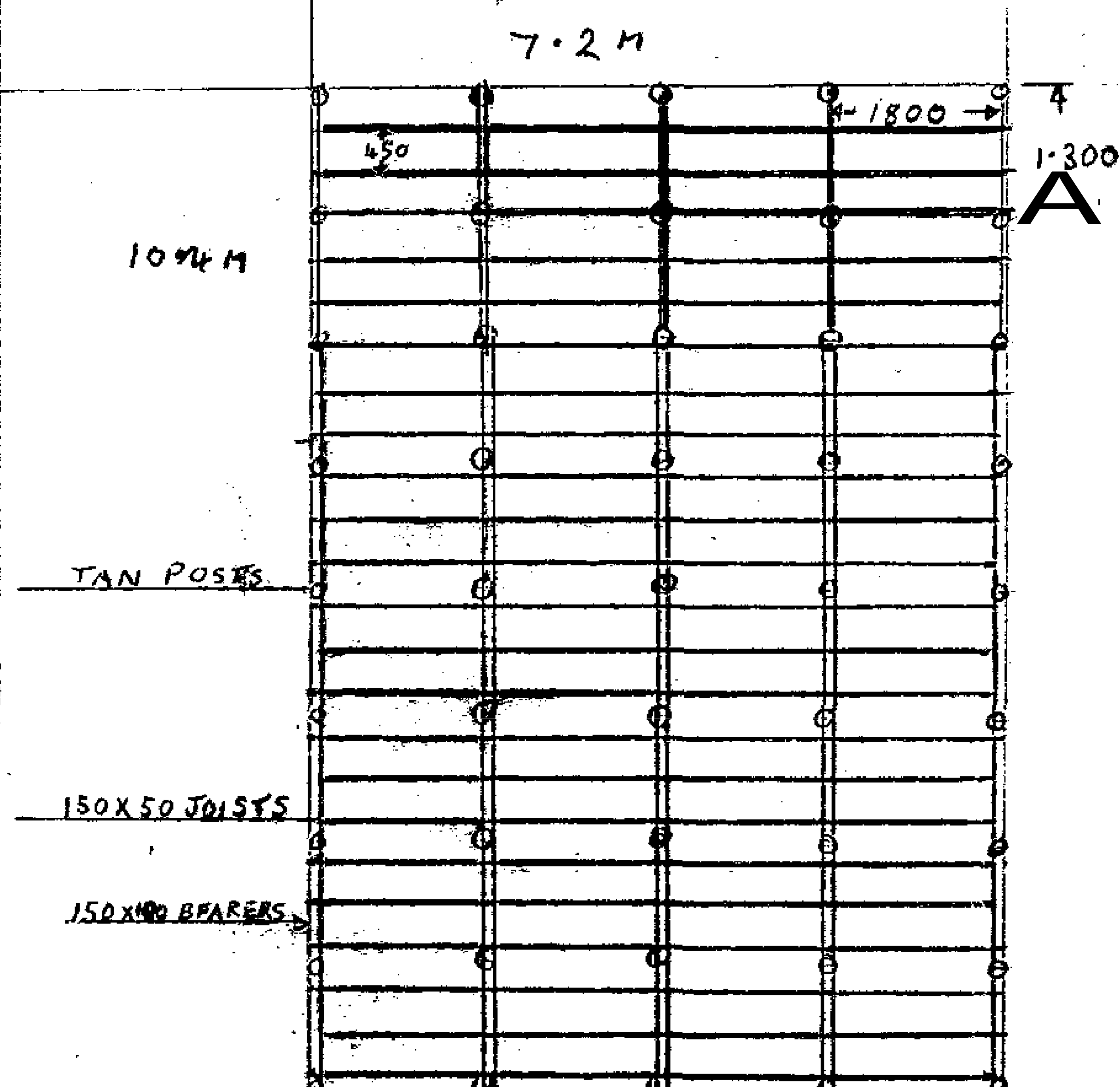
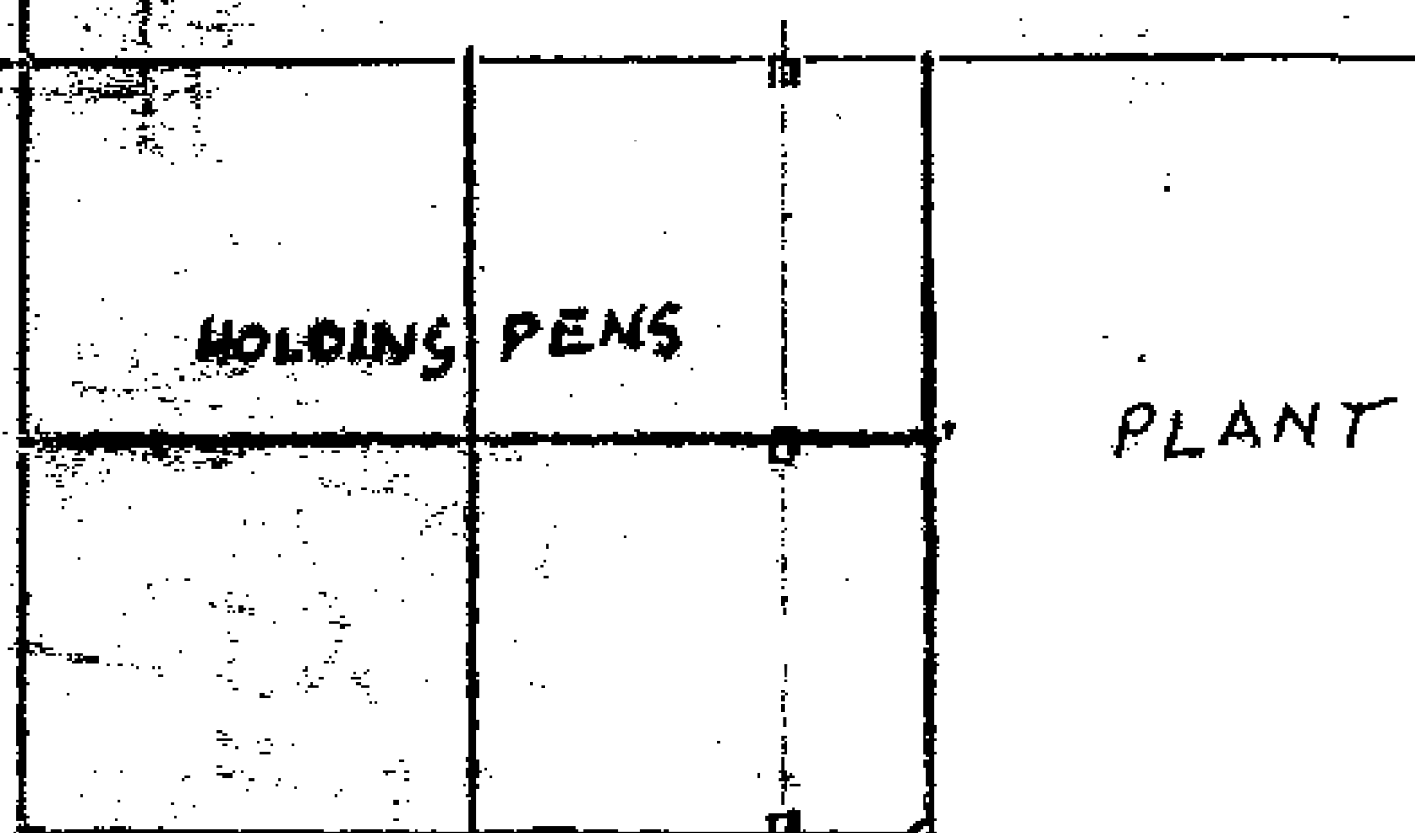
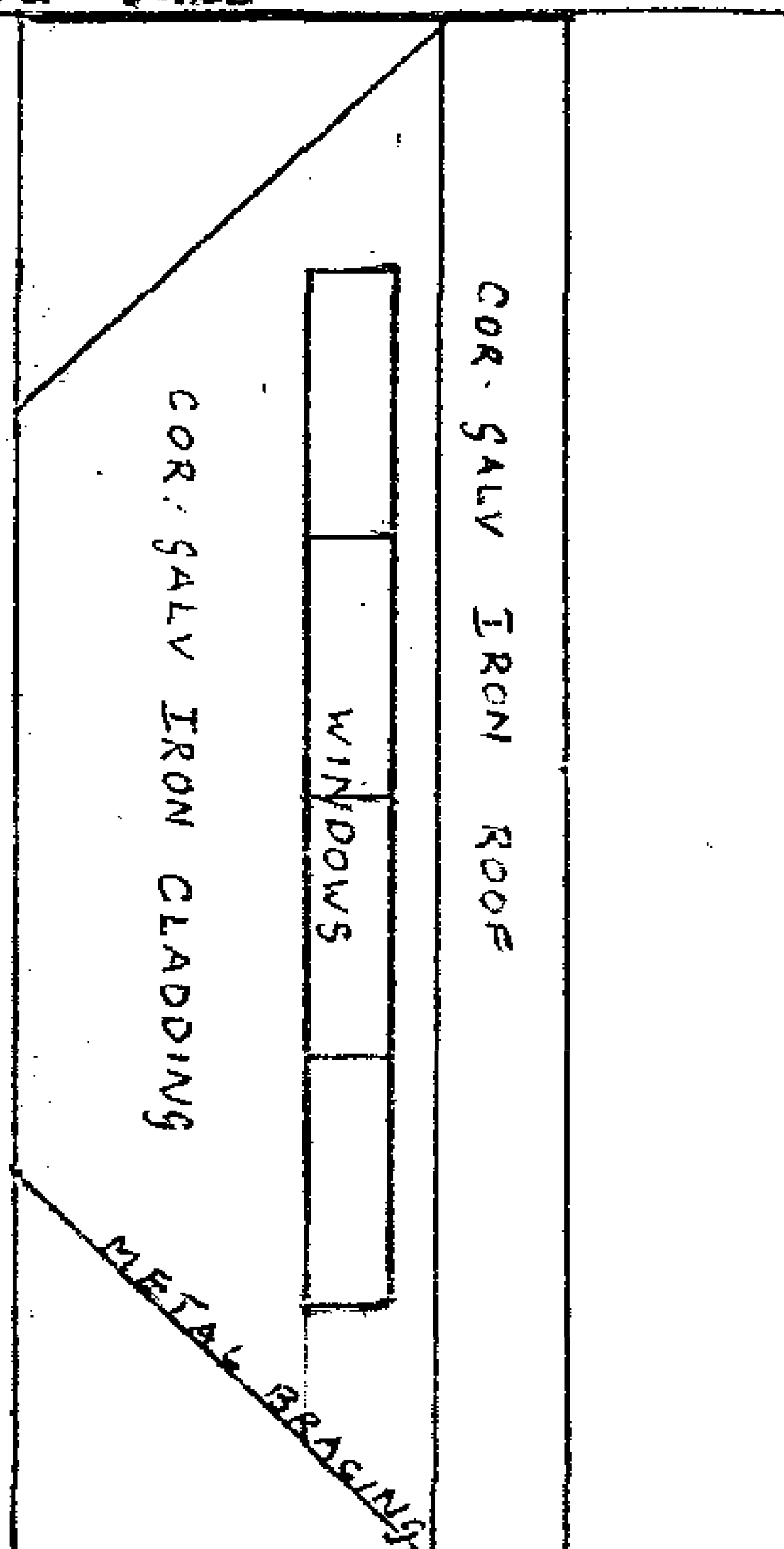
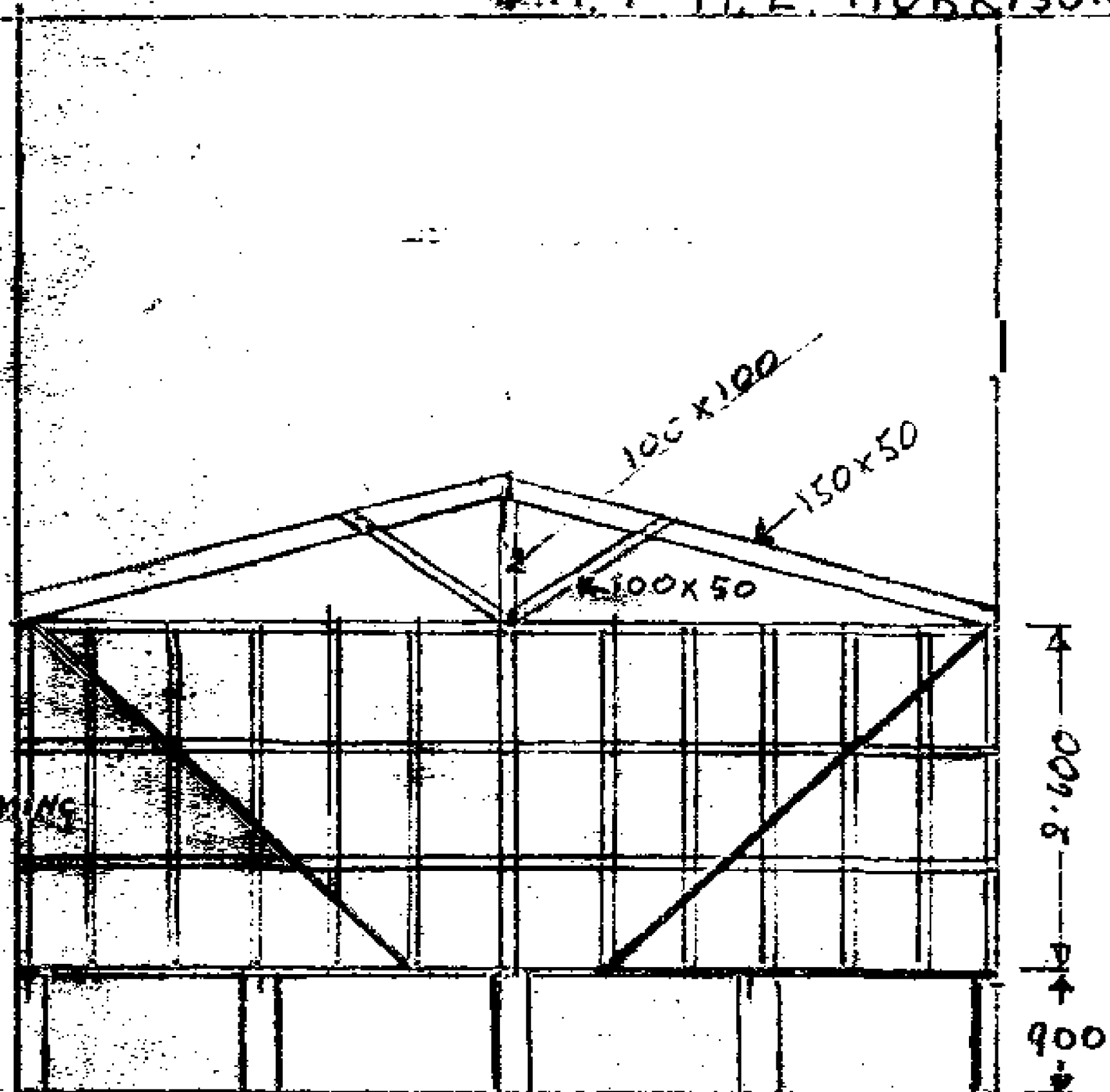
AUCKLAND — 95 GAVIN STREET, PENROSE.

PHONE 596-165

P.O. BOX 11243,

ELLERSLIE, AUCKLAND.

D.M. + M.E. MORRISON ARAPAHUE WOOL SHED



Auckland
Phone 298-7788

North Shore
Phone 444-5112

Hamilton
Phone 492-747

Rotorua
Phone 80-661

Whangarei
Phone 82-163

Dargaville
Phone 8473

Kaitia
Phone 1072 D

Whitianga
Phone 65-271

Tauranga
Phone 65-621

Whangamata
Phone 59-099

Whakatane
Phone 88-829

New Plymouth
Phone 75-913

Wellington
Phone 699-471

Paraparaumu
Phone 86-242

Nelson
Phone 73-306

Wanganui
Phone 56-103

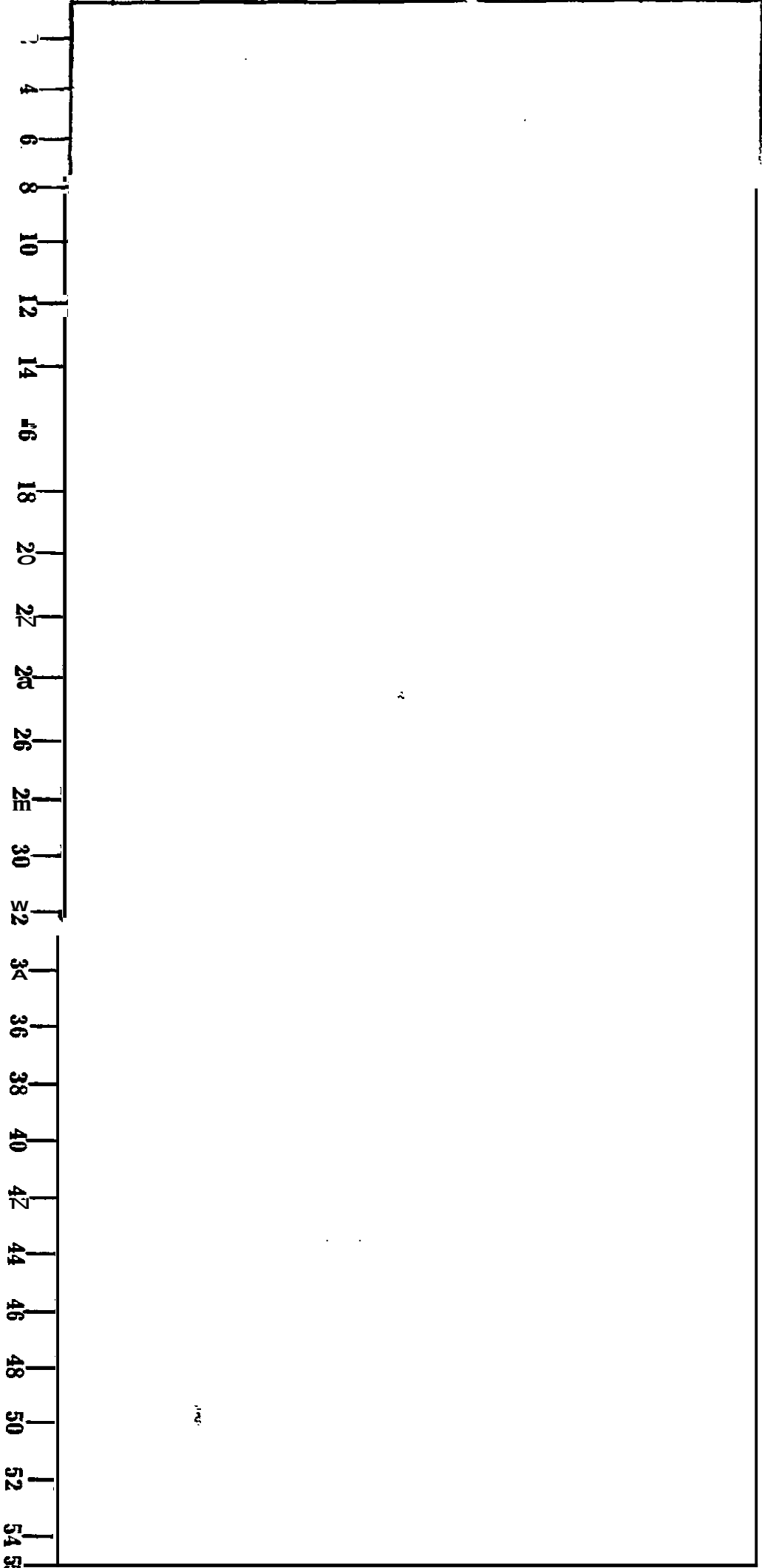
2 4 6 8 10 12 14 16 18 20 22 24 25

SITE PLAN

THIS PLAN MUST SHOW
(in ink):

1. Position of existing buildings
(drawn in red).
2. Position of building proposed
under this application (drawn in
blue).
3. Position of Garage and
Driveways whether required
now or not.
4. Position of Septic Tank, Sanitary
and Stormwater drainage.
5. Distances of each building from
boundary lines.
6. Boundary lines shown thus:

- - - - -
7. Any building Line Restrictions
imposed on land.
8. Site plan must be drawn ac-
curately to scale. Indicate if not
in metric.
9. Deviation from site plan is not
permitted without previous ap-
proval of the Council.



Conversion:
7 Metres 6.562 feet

REAR BOUNDARY

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK: (Value to exclude value of Plumbing and Drainage work).

ESTIMATED VALUE OF WORK

<u>VALUE OF WORK</u>	<u>FEE</u>
0 - 1000	\$35
1001 - 2000	\$45
2001 - 2500	\$55
2501 - 3000	\$65
3001 - 3500	\$75
3501 - 4000	\$85
4001 - 5000	\$100
5001 - 6000	\$110
6001 - 7000	\$120
7001 - 8000	\$130
8001 - 9000	\$140
9001 - 10000	\$150
10001 - 12000	\$180
12001 - 14000	\$210
14001 - 16000	\$240
16001 - 18000	\$270
18001 - 20000	\$300
20001 - 25000	\$330
25001 - 30000	\$360
30001 - 35000	\$380
35001 - 40000	\$410
40001 - 50000	\$450
50001 - 60000	\$470
60001 - 70000	\$490
70001 - 80000	\$510
80001 - 90000	\$530
90001 - 100000	\$550
100001 - 120000	\$570
120001 - 140000	\$590
140001 - 160000	\$620
160001 - 180000	\$650
180001 - 200000	\$700
200001 - 250000	\$800
250001 - 300000	\$900

BUILDING RESEARCH LEVY FEE

In addition to the above fees there will also be payable a Building Research Levy in accordance with the Building Research Levy Act, 1969, which is set at \$1.00 in each \$1,000 or part thereof of the total value of each Building Permit issued. Permits for work to a value less than \$10,000 are exempted.

PLUMBING AND DRAINAGE PERMIT FEES

See Drainage and Plumbing Application Form.

HOBSON COUNTY COUNCIL

Private Bag
Dargaville

Local Government Centre,
(Office, Hokianga Road,
Dargaville

Phone 7059
Dargaville

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTOR

Sir,

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan (overleaf) detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:-

OWNER Name D.M. & M.E. DODDSON
Postal Address TE WHAKAU Phone.....

BUILDER Name S.W. BERRIDGE
Postal Address 178 HOKIANGA RD. Phone.....

PLUMBER **DRAINLAYER**

EXISTING USE OF SITE AND BUILDINGS FARM DWELLING

NATURE OF PROPOSED BUILDING WORK ... GARAGE WORKSHOP
e.g. additions to Dwelling, Bedroom, Lounge extensions etc.

VALUATION DEPT. ASSESSMENT No.: (from rate demand) 105/154/1

LEGAL DESCRIPTION OF SITE: (from rate demand or title deed)

..... LOT 1 D.P. 16851 BLK II
..... TOKA TOKA

Road or Street: BRADLEY LANDING District: ANAPOHUE Riding: ANAPOHUE
EAST RD

AREA OF SITE: Hectares

NATURE OF SOIL: (rock, clay, sand, loam, etc).....

FLOOR AREA: (proposed work — square measure)

	Basement	Ground Floor	Other Floors	Total
Main Building				
Accessory Buildings				<u>34.56</u>

ESTIMATED VALUE OF WORK:

Main Buildings (excluding plumbing and drainage) \$.....

Accessory Buildings (excluding plumbing and drainage)..... \$

Plumbing and Drainage \$.....

Total Value of Work \$2851.00

CERTIFICATE: I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Hobson County Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant: S.W. Berridge Date: 25/8/86

FOR OFFICE USE ONLY

FEES:

Building Permlt \$35.00 Receipt No. 9932 Date 25-8-86 Permit No.....

Plumbing and Drainage Permlt \$..... Receipt No..... Date..... Permit No.....

Building Research Levy \$..... Receipt No..... Date.....

TOTAL \$.....

FOR OFFICE USE ONLY

TO ADMINISTRATIVE OFFICER: Date Received

Check List: Forms Completed () Valuation No. () Fees recelpted ()

Remarks:

..... Signature: Date:

TO PLANNING OFFICER: (Check with District Plannlng Scheme. Refer to Council If required).

Approved by County Chairman Signature: Date:

Checked and approved by Officer Signature: Date:

TO HEALTH INSPECTOR: (Check for drainage, health. etc)

Checked and approved Signature: Date:

TO BUILDING INSPECTOR: (Check for by-laws. etc.)

Checkedandapproved Signature Date:

REMARKS:

.....

.....

.....

PERMIT TO BE ISSUED SUBJECT TO:

.....

.....

.....

GENERAL INFORMATION

- (1) The following **MUST** accompany this Application:
- PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATE (in ink or on print paper) including—**
- (a) Ground plans of proposed work showing position of all **sanltary** fittings and names and sires of various rooms.
 - (b) Where the building is on a sloping site the correct height of foundations must be **shown**.
 - (c) Front and slde **elevations**.
 - (d) Cross section showing **framlng** with bracing.
 - (e) Where a **building** requires Plumbing and Drainage work a separate Application Form must be **filled in** and fee paid before a Building Permit can be Issued.
 - (f) **Application** for entrance crossing from road.
 - (g) Such drawlngs and information in detail as may be necessary to indicate that the proposed **building** or other work or change of use of land or **buildings** will comply in all respect wth the **District Planning Scheme** and wth the Bylaws.
 - (h) A report and calculations showing how the design **comples** with the By-laws **in** the case of building re-qlring **speciflc** design.
- (2) FEES may be forwarded later on advice of availability of permit and the amount of fees required.

BUILDING PERMIT

(Office Copy)

AUTHORITY

Stats. No. D

048074

HOBSON COUNTY COUNCIL

No.

Receipt No. 9932

Date Permit Issued 26/8/86

OWNER

Name D.M. & M.E. MORRISON

Mailing Address TE WHAKAU

BUILDER

Name S.W. DERIDGE

Mailing Address 178 HOKIANGA RD.
DARGAVILLE

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

Street No.

Street Name DRAIDLEY'S LANDING EAST R.O.

Section/District ARAPOHUE

Block ARAPOHUE

LEGAL DESCRIPTION

Valuation Roll No. 105/154/1

Lot 1 D.P. 16851

Section Block II

Survey-District TOKA TOKA

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

TO ERECT AN "REAL" DOMESTIC GARAGE WORKSHOP

LOT AREA

OWNER'S DETAILS

Whole
Sq. Metres

34

Number
Erected

ESTIMATED VALUES

Building

Plumbing

Drainage

TOTAL

2551 00

2551 00

NATURE OF PERMIT (TICK BOX)

☐

NEW BUILDING

- exclude domestic garages and domestic outbuildings

☐

FOUNDATIONS ONLY

☐

ALTERED, REPAIRED, EXTENDED

- include conversions and related buildings

☐

NEW CONSTRUCTION

OTHER THAN BUILDINGS - include demolitions

☒

DOMESTIC GARAGES

AND DOMESTIC OUTBUILDINGS

FEE'S APPLICABLE

Building Permit \$ 35 00

Street Damage Deposit \$

Building Research Levy \$

Plumbing \$

Drainage \$

Sewer Connection \$

Water Connection \$

Vehicle Crossing Levy \$

M.S. Plumbing \$

\$

\$

TOTAL: \$ 35 00

Receipt No. 9932

Date of Payment 25/8/86

Authorised Officer J. Nathan

Special Conditions: (In addition to those noted on reverse):

NOTICE TO APPLICANT

PERMISSION IS HEREBY GRANTED YOU to carry out the works as proposed in accordance with the drawings and other documents submitted, and with any conditions defined; such work to be subject to inspection at any time during progress and to be carried out in strict conformity with the requirements of the Council By-Laws.

IMPORTANT - YOU ARE FULLY RESPONSIBLE for any damage done to any works such as telephone cables, power cables, water mains, gas mains, sewers, pipes, footpaths, roads or other services.

SITE PLAN

THIS PLAN MUST SHOW
(in ink):

1. Position of existing buildings
(drawn in red).
2. Position of building proposed
under this application (drawn in
blue).
3. Position of Garage and
Driveways whether required
now or not.
4. Position of Septic Tank, Sanitary
and Stormwater drainage.
5. Distances of each building from
boundary lines.
6. Boundary lines shown thus:

- - - - -
- I. Any building Line Restrictions
imposed on land.
8. Site plan must be drawn ac-
curately to scale. Indicate if not
in metric.
9. Deviation from site plan is not
permitted without previous ap-
proval of the Council.

SITE PLAN
SEE ORIGINAL

Conversion:
2 Metres 6.562 feet

REAR BOUNDARY

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK : (Value to exclude value of Plumbing and Drainage work).

ESTIMATED VALUE OF WORK

<u>Value of Work</u>	<u>Fees</u>
0 - 1000	15.00
1001 - 2000	25.00
2001 - 2500	30.00
2501 - 3000	35.00
3001 - 3500	40.00
3501 - 4000	45.00
4001 - 5000	55.00
5001 - 6000	65.00
6001 - 7000	75.00
7001 - 8000	85.00
8001 - 9000	95.00
9001 - 10000	105.00
10001 - 12000	120.00
12001 - 14000	135.00
14001 - 16000	150.00
16001 - 18000	165.00
18001 - 20000	180.00
20001 - 25000	205.00
25001 - 30000	230.00
30001 - 35000	255.00
35001 - 40000	280.00
40001 - 50000	310.00
50001 - 60000	340.00
60001 - 70000	370.00
70001 - 80000	400.00
80001 - 90000	430.00
90001 - 100000	460.00
100001 - 120000	510.00
120001 - 140000	560.00
140001 - 160000	610.00
160001 - 180000	660.00
180001 - 200000	710.00
200001 - 240000	760.00
240001 - 280000	810.00

BUILDING RESEARCH LEVY FEE

In addition to the above **fees** there will also be payable a Building Research Levy in accordance with the Building Research Levy Act, 1969, which is set at \$1.00 in each \$1,000 or part thereof of the total value of each Building Permit issued. Permits **for** work to a value less than \$10,000 **are** exempted.

PLUMBING AND DRAINAGE PERMIT FEES

See Drainage and Plumbing Application Form.

Private Bag,
Dargaville.

Local Government Centre,
(Office, Hokianga Road),
Dargaville

Phone 7059
Dargaville

APPLICATION FOR BUILDING PERMIT

TO THE BOROUGH ENGINEER,

Sir,

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan, detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:—

OWNER Name D.M. + M.E. MORRISON
Postal Address _____ Phone _____
BUILDER Name PIONEER COTTAGES (NORTHLAND) LTD,
BOX 176
Postal Address KERIKERI Phone _____
Phone 79-292
PLUMBER Name Joe Joyce
Postal Address Box 25 Kawakawa Phone 27664
DRAINLAYER Name Joe Joyce
Postal Address Box 25 Kawakawa Phone " "

EXISTING USE OF SITE AND BUILDINGS FARM

NATURE OF PROPOSED BUILDING WORK NEW DWELLING
e.g., additions to Welling, Bedroom, Lounge extensions etc.

VALUATION DEPT. ASSESSMENT No.: (from rate demand) 105/154/1

LEGAL DESCRIPTION OF SITE: (from rate demand or title deeds)

LOT 1 D.P. 16851 BUKITOKATOKA S.D.

Road or Street: BRADLEY LANDING EAST RD.

AREA OF SITE: 129 HA. ~~Square Metres~~

NATURE OF SOIL: (rock, clay, sand, loam, etc.) CLAY

FLOOR AREA: (proposed work—square metres)

	Basement	Ground Floor	Other Floors	Total
Main Building		<u>104.32</u>		<u>104.32</u>
Accessory Buildings				

ESTIMATED VALUE OF WORK:

Main Buildings (excluding plumbing and drainage)	<u>\$47400.</u>
Accessory Buildings (excluding plumbing and drainage)	<u>\$</u>
Plumbing and Drainage	<u>\$4600.00.</u>

Total of Work \$52000.00.

CERTIFICATE: I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Dargaville Borough Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant:

Date: 24th Oct 1984

FOR OFFICE USE ONLY

TO ADMINISTRATIVE OFFICER:

Date Received

Check List:

Forms completed

Valuation No. ()

Fees received ()

Remarks:

Signature:

Date:

TO PLANNING OFFICER:

(Check with District Planning Scheme. Refer to Council if required).

Approved by Council

Minute No.

Date:

Checked and approved by Office

Signature:

Date:

TO HEALTH INSPECTOR:

(Check for drainage, health, etc)

Checked and approved

Signature: ..

Date:

TO BUILDING INSPECTOR:

(Check for by-laws, etc.)

Checked and approved

Signature:

Date:

TO FIRE INSPECTOR

(Check for by-laws, etc.)

Remarks:

Checked and approved

Signature:

Date:

TO STRUCTURAL ENGINEER

(Check design calcs,

Remarks:

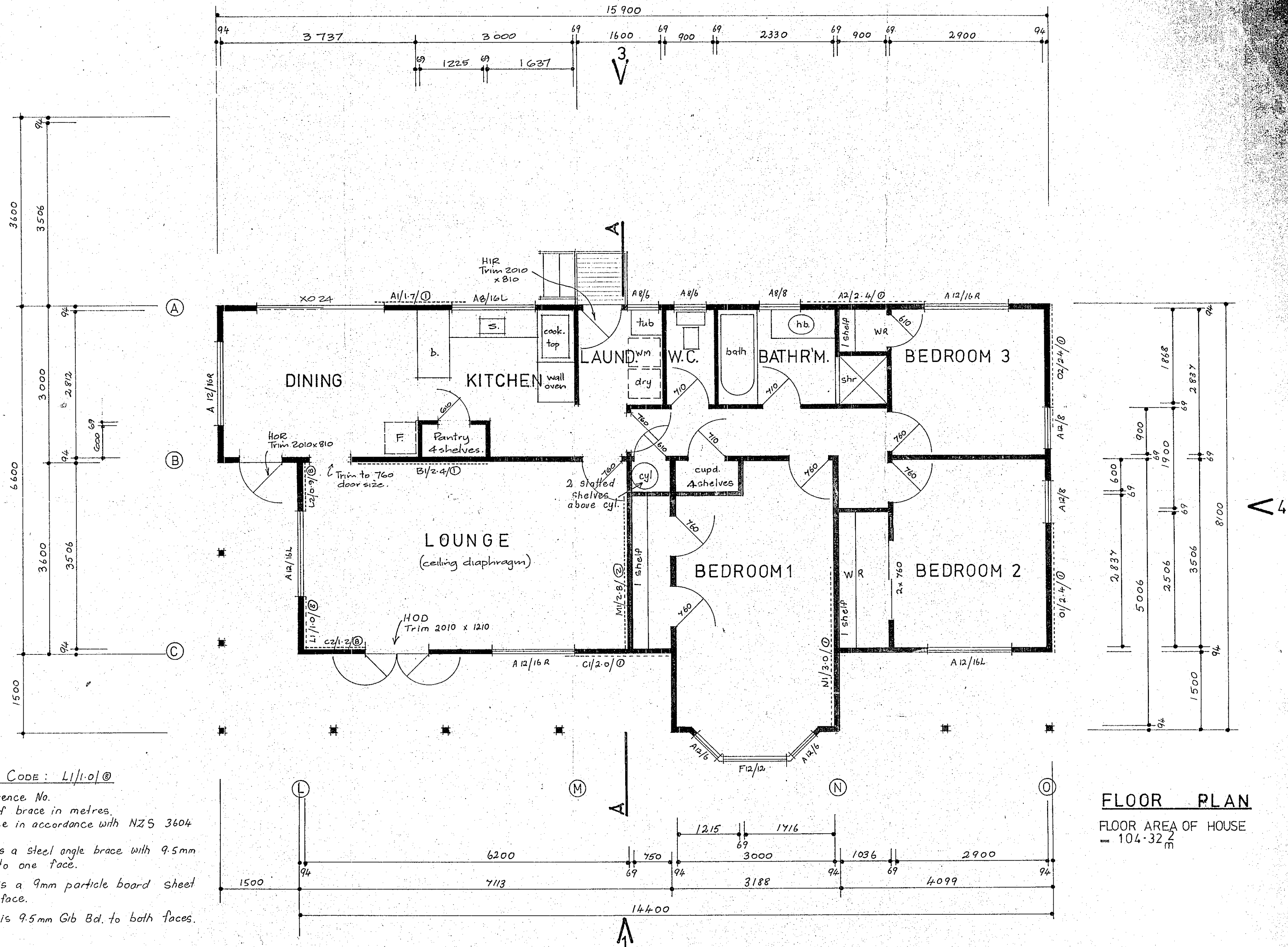
Checked and approved

Signature:

Date:

REMARKS:

PERMIT TO BE ISSUED SUBJECT TO



Do not scale.

Before commencing work Contractors shall verify all levels and dimensions on site.

All copyright herein is reserved to Pioneer Cottages Ltd.

PROPOSED RESIDENCE FOR D.M. & M.E. MORRISON
AT BRADLEYS LANDING EAST ROAD, DARGAVILLE

PIONEER COTTAGES (NORTHLAND) LTD.

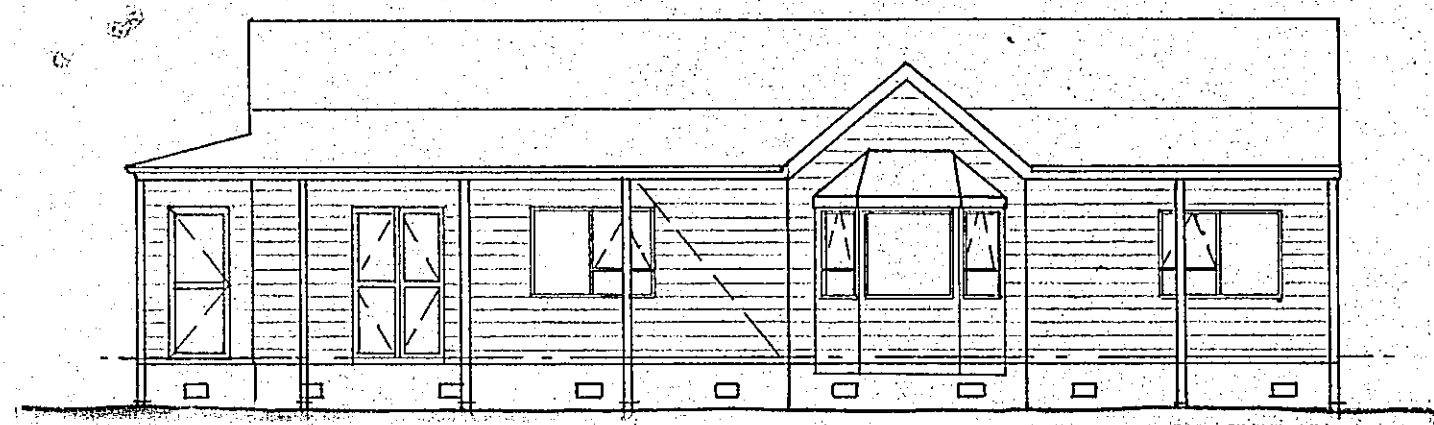
S.H. 10, Waipapa
 P.O. Box 179 Phone 79292 Kerikeri

DRAWN *WMB*
 TRACED *WMB*

CHECKED
 DATE July 1984

SCALES 1:50

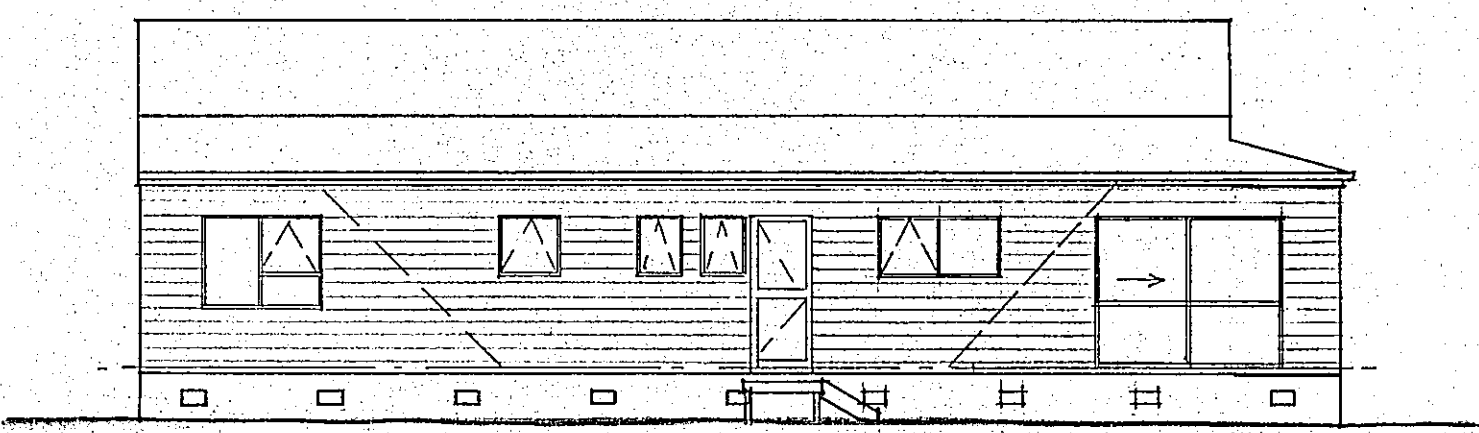
SHEET 1
 SERIES OF 3
 REF



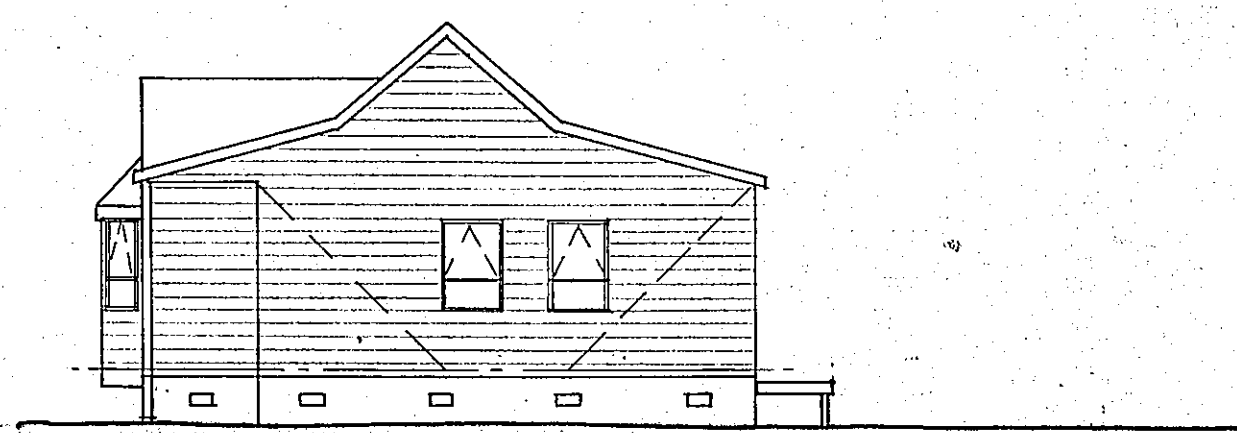
ELEVATION 1



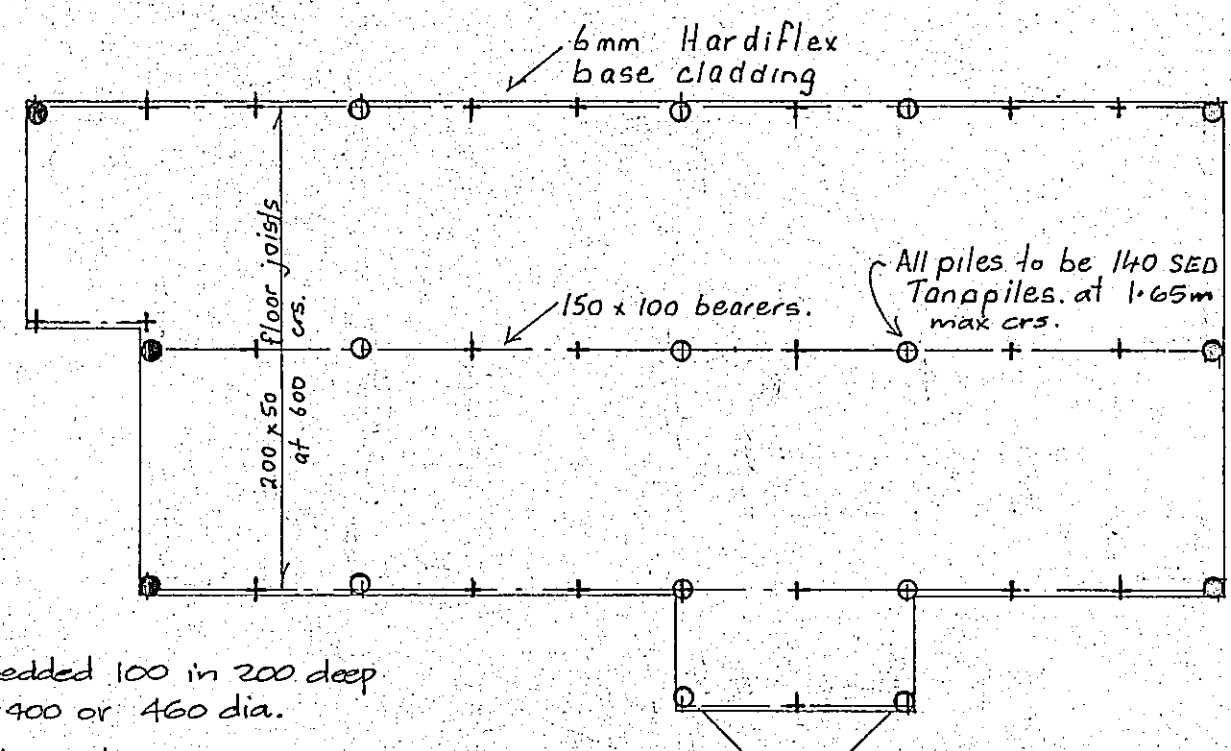
ELEVATION 2



ELEVATION 3

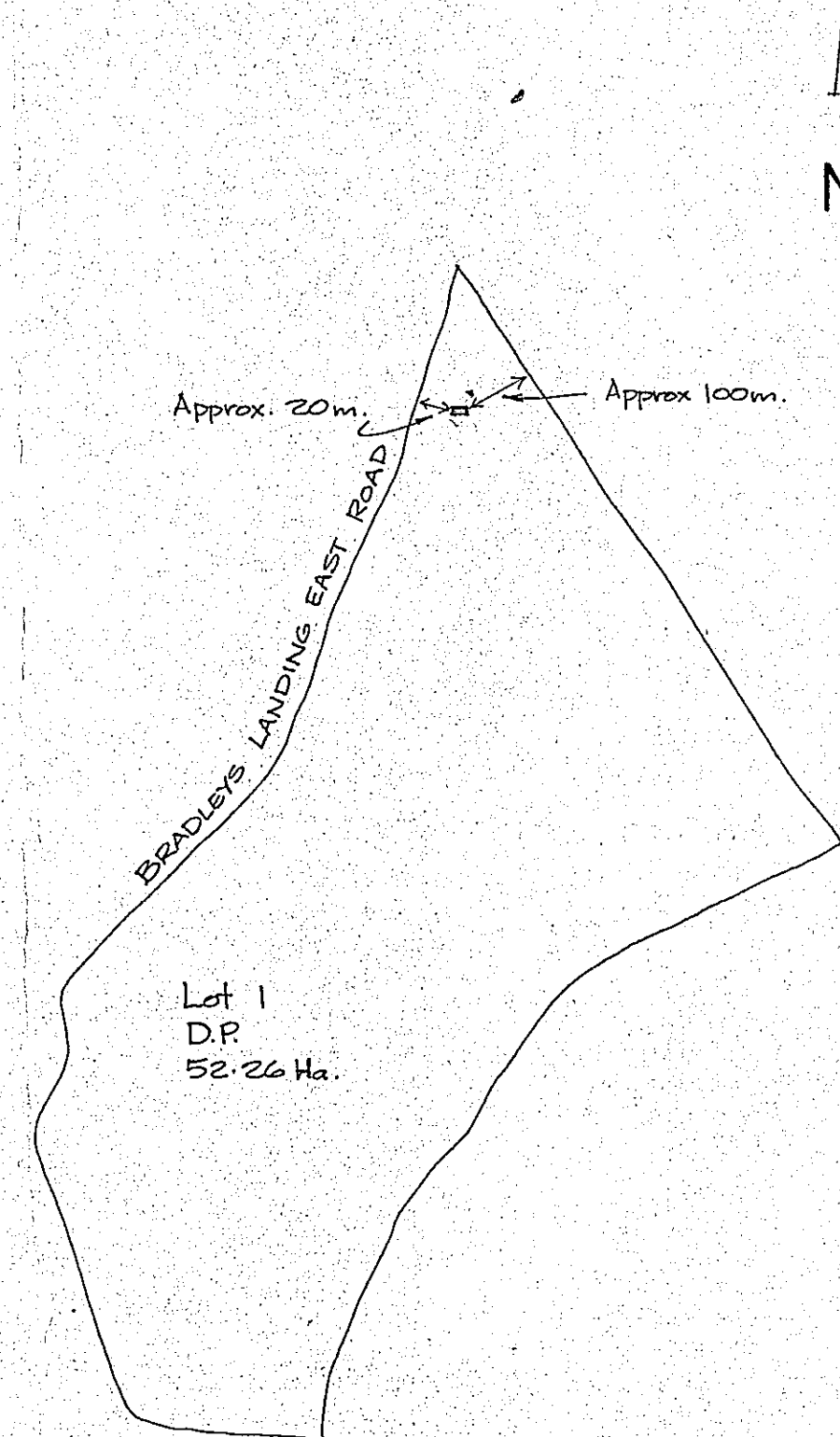


ELEVATION 4



- + Ordinary piles embedded 100 in 200 deep conc. footing 400x400 or 460 dia.
- o Cantilever piles embedded 350 in 450 deep conc. footing 400x400 or 460 dia.
- Anchor Piles embedded 800 in 900 deep conc. footing 400x400 or 460 dia.

FOUNDATION PLAN



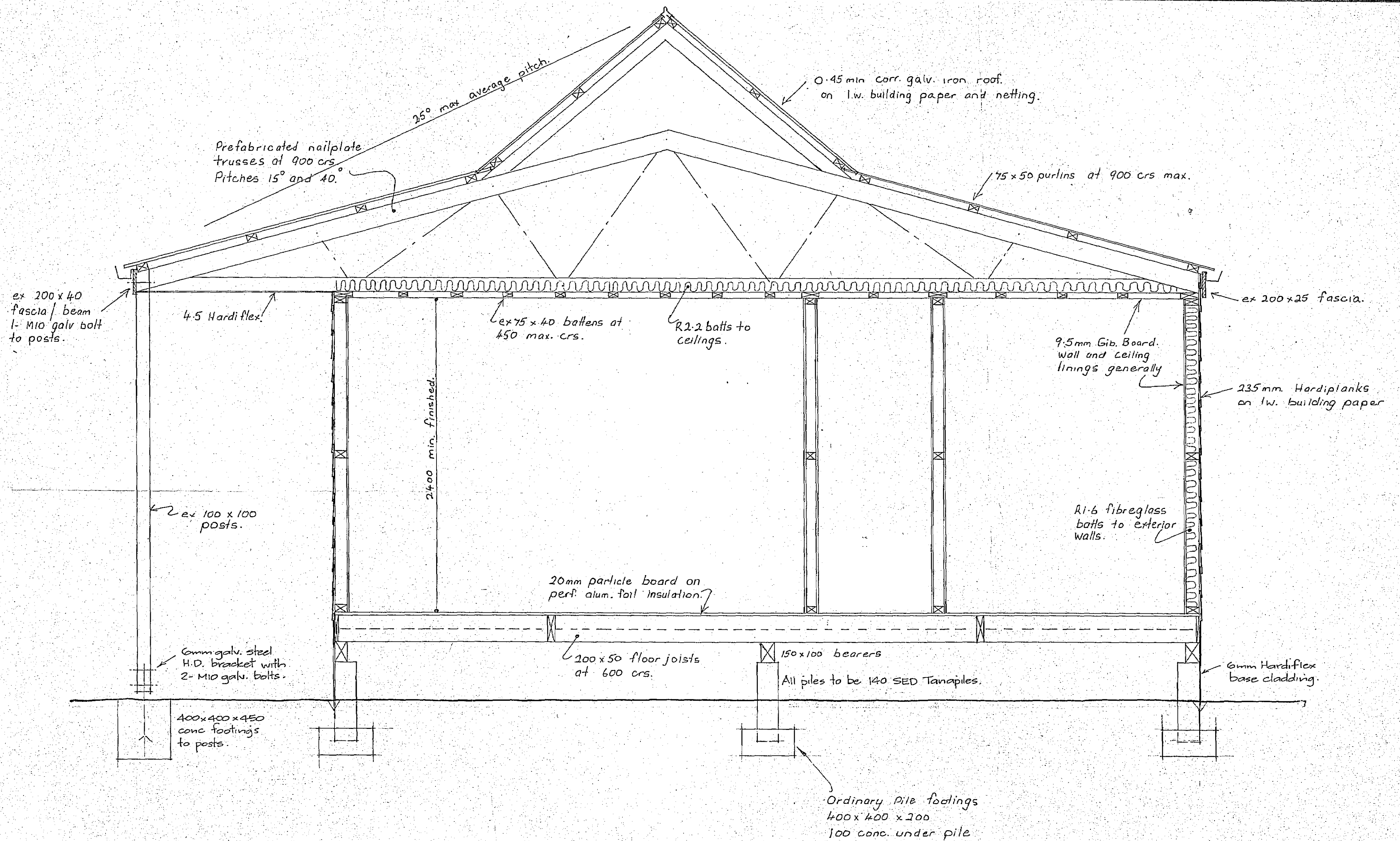
SITE PLAN

Do not scale.
Before commencing work Contractors shall verify all levels and dimensions on site.
All copyright herein is reserved to Pioneer Cottages Ltd.

PROPOSED RESIDENCE FOR D.M. & M.E. MORRISON
AT BRADLEYS LANDING EAST ROAD, DARGAVILLE

PIONEER COTTAGES (NORTHLAND) LTD.			
S.H. 10, Waipapa			
P.O. Box 179 Phone 79292 Kerikeri			
DRAWN <i>WPS</i>	CHECKED	SCALES 1:100	SERIES OF 3
TRACED <i>WPS</i>	DATE July 84	1:200	REF

SHEET **2**



CROSS SECTION A-A

Do not scale

Before commencing work Contractors shall verify all levels and dimensions on site.

All copyright herein is reserved to Pioneer Cottages Ltd.

PROPOSED RESIDENCE FOR D.M. & M.E. MORRISON
AT BRADLEYS LANDING EAST ROAD, DARGAVILLE

PIONEER COTTAGES (NORTHLAND) LTD.			
S.H. 10, Waipapa			
P.O. Box 179		Phone 79292 Kerikeri	
DRAWN <i>mas.</i>	CHECKED	SCALE 1:20	SHEET 3
TRACED <i>mas.</i>	DATE July 1984		SERIES OF 3
			REF

BUILDING PERMIT

(Office Copy)

AUTHORITY

Stats. No. B

025745

No.

Hobson County Council

Receipt No. 2132-34

Date Permit Issued 8/11/84

OWNER

Name D M + M E. Morrison,

Mailing Address

BUILDER

Name Pioneer Cottages (Nth) Ltd

Mailing Address

Box 179,
Kerikeri ✓**PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED****SITE**

Street No.

Street Name

Bradley Landing East Rd

Town/District

Dargaville

Riding

Orapohue

LEGAL DESCRIPTION

Valuation Roll No.

105/154/1

Lot

1

D.P.

11851

Section

Block

II

Survey District

Toka Toka

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

New Dwelling erected for Farm Residence.

FLOOR AREA**DWELLING UNITS**Whole
Sq. Metres

104.32

Number
Erected

1

ESTIMATED
VALUES
\$Building
Plumbing
Drainage
TOTAL47400 00
4600 00
852000 00**NATURE OF PERMIT (TICK BOX)****NEW BUILDING**

- include dwelling added, exclude domestic garages

**FOUNDATIONS ONLY****ALTERED, REPAIRED, EXTENDED**

- include conversions and resited buildings

**NEW CONSTRUCTION**

OTHER THAN BUILDINGS - include demolitions

**DOMESTIC GARAGES**

AND DOMESTIC OUTBUILDINGS

FEES APPLICABLEBuilding Permit \$ 231 00
Street Damage Deposit .. \$
Building Research Levy .. \$ 52 00
Plumbing \$ 47 00
Drainage \$
Sewer Connection \$

Water Connection

Vehicle Crossing Levy ...

M.S. Plumbing

TOTAL:

\$
\$
\$
\$
\$
\$ 330 00

Receipt No.

2132-34

Date of Payment

8/11/84

Authorised Officer.

[Signature]

Special Conditions: (In addition to those noted on reverse):

NOTICE TO APPLICANT

PERMISSION IS HEREBY GRANTED YOU to carry out the works as proposed in accordance with the drawings and other documents submitted, and with any conditions defined; such work to be subject to inspection at any time during progress and to be carried out in strict conformity with the requirements of the Council By-Laws

IMPORTANT - YOU ARE FULLY RESPONSIBLE for any damage done to any works such as telephone cables, water mains, gas mains,

branz

SHEET A

(CIRCLE whichever is applicable)

NAME: Pioneer Cottages (Nthld) Ltd.
(D.M & ME Morrison)

ADDRESS: Bradley Landing East Road
R.D.2, Dangaville

STOREY: Single or Uppermost
Lower of two or middle of three
Lower of three

ROOF TYPE: Light Heavy

ROOF PITCH: 0° - 25° / 26° - 45°

WIND AREA High Medium / Low

W = 33 B.U.'s/m

EARTHQUAKE ZONE: A / B / C

E = 2 B.U.'s/m²

ROOF OR BUILDING LENGTH

BL = 15.9 m

ROOF *OR* BUILDING WIDTH

BW = 6.6 m

GROSS ROOF OR BUILDING PLAN AREA

GPA = 129 m²

EARTHQUAKE: B.U.'s ALONG AND ACROSS

E x GPA = 2 x 129 = 258 B.U.'s

WIND: B.U.'s ALONG

W x BW = 33 x 6.6 = 218 B.U.'s

WIND: B.U.'s ACROSS

W x BL = 33 x 15.9 = 525 B.U.'s

SKETCH PLAN (external and internal walls) :

1 Total B.U.'s Required	2 Wall Line	3 Minimum B.U.'s Required	4 Label No.	5 Type	6 Rating B.U.'s/m	7 Length (m)	8 B.U.'s Provided
ALONG	A	159	A1	1	42	1.7	71
			A2	1	42	2.4	100
			Sub-total				
	B	70	B1	1	42	2.4	100
			Sub-total				
	C	144	C1	1	42	2.0	84
			C2	8	67	1.2	80
			Sub-total				
	D						
			Sub-total				
258	TOTAL	373	TOTAL				435

ACROSS	L	66	L1	8	67	1.0	67
			L2	8	67	0.9	60
			Sub-total				
	M	70	M1	2	62	2.8	174
			Sub-total				
	N	70	N1	1	42	3.0	126
			Sub-total				
	O	66	O1	1	42	2.4	100
			O2	1	42	2.4	100
			Sub-total				
	P						
			Sub-total				

'NEW PIONEERS'

SPECIFICATION

FOR

D.M. & M.E. Morrison.
at.

Bradley's landing East Rd.

1. preliminaries
2. Excavation
3. Concrete Work
4. Carpentry
5. Joinery
6. Roofer
7. Plumber
8. Drainlayer
9. Electrical
10. Painter
11. Glazier

Note: For specific information regarding
Fittings and Trade Names etc. refer
to Addenda to Specifications.

1. PRELIMINARIES

1.1 GENERAL CONDITIONS OF CONTRACT:

Refer to the General Conditions of Contract which form part of this contract.

1.2 SITE:

The Owner will be responsible for locating survey pegs and otherwise defining the site, and indicating clearly in writing the positions of the building on site.

The Contractor will be responsible for setting out the building on site, and carrying out the work to the dimension shown on the drawings to generally accepted practice in the trade application.

1.3 INSURANCES:

The Contractor is required to take out the following insurances;

(a) Public Liability Insurance - for an amount of not less than \$30,000.00 and extended to indemnify the Owner against any liability he might have arising out of the performance of the works.

(b) Contractors All Risks Insurance - for the full value of the Contract.

1.4 BY LAWS:

The Contractor shall carry out the whole of the works in conformity with the By-Laws of the local Authority and Statutory Regulations in force at the time of tendering.

The Contractor shall obtain all permits, pay all fees legally demandable, give all notices and obtain all consents. Except for Conditional Use and other special Town and Country planning consents.

1.5 ATTEND UPON TRADES:

All subcontractors shall be engaged and supervised by the Contractor, (refer Cl 1.7) who shall attend upon all trades, render reasonable assistance to, and make good after all subcontractors and tradesmen employed on the works. Except those employed by the owner.

1.6 MATERIALS AND LABOUR:

.1 The Contractor shall provide all materials and labour of every description necessary for the proper execution and completion of the whole of the works described in this specification.

.2 Workmanship shall be in accordance with the acceptable trade practice in locality in which the building is being erected.

.3 Materials and fittings employed shall be those specified or indicated on the attached plans, and in the event of any conflict arising between the following specification and the plans, the materials and fittings indicated upon the plans shall be employed. The Owner acknowledges that he has considered the specified materials and fittings (both per this specification and the plans) and accepts the same as appropriate for the purposes for which they are intended, and in so accepting he acts upon his own judgement and not in reliance upon the expertise of the builder nor upon any representation whatsoever that the builder may have made regarding any such

Materials or fitting. In any case where the builder shall have provided to the owner any manufacturer's or supplier's guarantee as to the performance of any material, fitting, process or work carried out or supplied in respect of the works, the Owner shall not take any proceedings against the builder in respect of any defect arising from the performance of any such materials, fitting, process or work carried out and so guaranteed but shall proceed only against such guarantor.

1.7 SUPERVISION:

The Contractor shall provide a contract supervisor who shall visit the site from time to time while work is in actual progress.

1.8 PROTECTION:

The Contractor shall take reasonable precautions to avoid damage to the Owner's property and to that of adjoining owners and to public footpaths and the like during the progress of the works. The Contractor shall protect the works from damage during progress.

Where a road or footpath crossing is required by the local authority and costs arising shall be the responsibility of the Owner and do not form part of this contract.

1.9 REMOVAL OF RUBBISH AND CLEARING UP:

The Contractor shall collect rubbish from the works, stack on the site for removal by the Owner.

The Contractor shall sweep all floors and leave the premises in a reasonably tidy condition.

1.10 EXTRA WORK:

Work extra to the contract shall not be undertaken until a contractor's variation order has been issued and signed by the Owner, and the extra work has been quoted for by the Contractor and paid for by the Owner. Failing such payment in advance by the Owner work shall be charged to the Owner to cost plus a markup of 20% on labour and materials.

1.11 PROVISIONAL SUM:

1. The term "Provisional Sum" shall mean and include any reference to "prime cost sum", "Provisional Sum", "allowance", or any other similar term. The work encompassed within any Provisional Sum shall be that work indicated in the appropriate item in the Provisional Sum Schedule attached, or forming part of the agreement.

2. Any extra to or saving from any Provisional Sum hereinafter provided for shall be to the account of the Owner and adjusted as appropriate between the Owner and the Builder in the Penultimate progress claim and payment.

3. The final cost of any Provisional Sum payable by the Owner shall be determined by adding to the invoiced cost to the Builder of the work and material referred to in the Provisional Sum item, an amount equivalent to 15% of such invoiced cost.

4. The Builder shall be deemed to have absolute authority from the Owner to proceed with any works

contained within a Provisional Sum item and without any prior approval from the Owner shall be entitled to recover the amount of the Provisional Sum item stated in the Provisional Sum Schedule plus any additional amount payable in terms of 3. hereof up to an additional cost of a further 50% of the stated cost of the Provisional Sum concerned.

5. Where any material or fittings selection is made available to the Owner in terms of any Provisional Sum item, the Owner shall specify in writing the material he requires (from the range of materials suitable and then readily available to the Builder) within seven (7) days of being required to do so by the Builder.

6. In the event of the Builder advising the Owner that the actual cost of any Provisional Sum item is likely to exceed the stated Provisional Sum by any amount in excess of 50% of the stated cost, the Owner shall either carry out that portion of the works indicated in the Provisional Sum item concerned at his own cost within fourteen (14) days of being so advised or confirm in writing to the Builder that the Builder may proceed with the work concerned and recover the cost of Provisional Sum item notwithstanding sub-clause 4. hereof.

2. EXCAVATION:

2.1 EXCAVATION:

The Owner shall remove vegetation as required by the Builder. The Builder shall excavate for 300mm deep footings and for piles 450mm deep.

2.2 GROUND CONDITIONS:

The Owner shall be responsible for the cost of any work additional to that provided by this specification and accompanying drawings, through encountering ground rendered inappropriate for construction due to factors beyond the Builder's control, or ground of doubtful bearing capacity and for landslides and fissures resulting from causes beyond the reasonable control of the Builder. For the purposes of this contract ground conditions are taken to be solid ground approved by the local authority.

2.3 DISPOSAL OF EXCAVATED MATERIAL:

Removal from site of surplus excavated material is the responsibility of the Owner.

2.4 HARDFILLING:

Hardfilling shall be suitable soft brown rock or scoria or material approved by local authority, clean inert and suitably graded compacted.

3. CONCRETE WORK (PILE FOUNDATIONS):

3.1 CONCRETE:

Generally concrete shall be ordinary grade concrete attaining a compressive strength of 17.5 mpa at 28 days and may be either mixed on site or obtained from an approved off-site ready-mix batching plant and complying with NZSS 1900 Ch 9. Non structural site concrete under pads shall be low grade concrete.

3.2 FORMWORK:

All formwork shall be so constructed, braced and supported that the finished concrete shall be straight and even.

3.3 PLACING OF CONCRETE:

For 300 x 300 x 100 thick pile pads. Form concrete porch slabs or steps if indicated on drawings.

3.4 PILE FOUNDATIONS:

Piles shall be 140mm S.E.D. Tanapiles, precast piles set vertically at least 300 into solid ground on pile foundations. Piles shall be spaced at max 1350 centres under sleeper plates.

3. CONCRETE WORK (FLOOR SLAB):

3.1 CONCRETE:

Shall be ordinary grade concrete, attaining a compressive strength of 17.5 mpa at 28 days and may be mixed on site or obtained from an approved offsite ready mix batching plant.

Non structural concrete required to bring up to level under footings or slab shall be low grade concrete complying with NZSS 1900 Ch 9.3A/19.

3.2 FORMWORK:

All formwork shall be so constructed, braced and supported that the finished concrete shall be straight and even.

3.3 HARDFILL AND DAMP-PROOF COURSE:

Any hardfill 100 min. thick well compacted under slab, blinded off with fines to provide suitable surface for laying D.P.C.

Lay 125mm black polythene or moistop 737 underlay properly lapped with joints taped. Take care to prevent damage and repair tears with tape before pouring concrete.

3.4 CONCRETE SLAB AND FOOTINGS:

Refer to drawings for size and reinforcement to footings. Slab shall be shown as reinforced with mesh centrally placed, lapped 200, set on stools to maintain cover.

3.5 SLAB FINISH:

Screed off floor slabs level and float off to smooth hard finish free of waves, hollows and irregularities. Floor finish in service rooms to be suitable for sheet floorings, in other rooms suitable for carpet. Floor finish in garages and similar areas to be screeded off smooth and even.

3.6 BUILDING IN:

Provide for and build in all items and fixings necessary to provide for plumbing and service pipes.

4. CARPENTRY:

4.1 GRADING OF TIMBER:

All timber shall be graded in accordance with NZS 3631 (1971) and amendments. All timber quality, spacings and dimensions shall comply with NZSS 3604 CH.6.1. Timber types and qualities specified herein may be varied at the discretion **of** the Contractor or timbers with similar properties.

4.2 FINISH OF TIMBERS:

Except for timbers required to be rough sawn, all external timbers shall be machine gauged. All internal finishing timbers shall be machine dressed and prepared to a smooth finish without knots or checks, but shall be equivalent to paint quality, i.e. not for stained or clear finish.

4.3 TIMBER TREATMENT:

All framing timber shall be No.1 framing grade radiata pine, treated to commodity specification C8 (pressure of diffusion treated).

All timber subject to moderate decay hazard, hazard including verandah timbers and railings shall be treated to commodity specification C7.

All exterior joinery and finishing timbers shall be treated to commodity specification **C6**.

4.4 TIMBER SCHEDULE:

Eearers	150 x 75
Joists	200 x 50
Bearing wall framing	100 x 50
Nonbearing wall framing	
Top and bottom plates for internal bearing wall	100 x 75
Verandah Joists	100 x 50
Verandah Posts	100 x 75
Verandah beam -	
up to 1800' span	100 x 100
- up to 2400' span	150 x 100
Rafters	100 x 50
Ridge Board	150 x 25
Purlins	75 x 50
Fascia Board	150 x 40 nominal
Barge Board	150 x 25 nominal
Handrails	100 x 50 nominal
Balusters	50 x 50 nominal
Decking	100 x 40 nominal
Lintels over doors and windows up to 1350 span	100 x 100
up to 1800 span	2/150 x 50
up to 2200 span	2/200 x 50

4.5 FIXINGS:

Provide all nails, screws, clip bolts, glues and the like necessary to complete the work.

All screws used externally or where exposed to the weather shall **be** galvanised.

Only galvanised nails and brass or galvanised screws shall **be** used in Totara, Redwood or Cedar timbers.

4.6 DAMP - PROOF COURSE:

Between all faces of timber in contact with concrete place a full width layer of malthoid or equivalent damp-proof course.

4.1 FRAMING:

Frame up for subfloor, floor, walls and roof.

Wire jack studs and bearers to piles. Brace as necessary. Lay floor joists gauged level over bearers and cut in solid blocking as shown. Wall framing shall be fixed true to line plumb and square. Brace wall roof and partition framing in accordance with NZSS, 3604 Ch. 6. Cut in dwangs to suit linings and maximum 600 cc.

Refer to details for eaves and verandah framing.

4.8 FLOORING:

Lay 20mm flooring quality high density particle board flooring in large sheets to detailed set-out and fixed to manufacture recommendations.

At completion floors shall be cleaned off with one coarse cut with sanding machine.

4.9 EXTERIOR SHEATHING: Refer to Addenda:

Sheath all exterior walls from bearers up with 235mm plain 'Hardiplanks' fixed over heavy black building paper well lapped and stapled to framing.

Fix Hardiplanks level, lapped 40mm. Use P.V.C. soakers at joints and galvanised corner soakers at external corners.

4.10 BASE SHEATHING:

Sheath base below bearer level with flat 6 mm hardiflex sheeting,, and fit pressed galvanised steel vents,

4.11 SOFFITS:

Fix 4.5mm hardiflex verandah and eaves soffits in large size sheets. Join with P.V.C jointing strips.

4.12 INSULATION:

Unifoil 422 Breather Type Sisalation for under-floor R1.6 Fibreglass Batts to exterior walls and R.2.2 Batts to ceilings as shown on plan.

4.13 INTERNAL LININGS:

Line all walls with 9.5mm gibraltar board fixed with galvanised clouts, with nail heads and joints stopped flush. Line inside wardrobes and other cupboards. Joints to walls will not be taped.

Line ceilings with gibraltar board with joints stopped flush. Stop all nail holes. Joints to be taped.

Use largest practicable sheet sizes.

4.15 INTERNAL TRIM:

Skirtings shall be TRADA bevel moulding No.20 architraves, TRADA bevel moulding No.19, and cornice TRADA moulding No.8 finger jointed radiata pine. Neatly mitre and scribe at junctions as necessary.

4.15 SHELVING:

Refer to detail sheet and fix dressing grade radiata pine shelving where indicated. Fit 2 slatted shelves to H.W. cupboard. Support shelves on neatly fitted bearers. Pantry has 5 shelves. Linen cupboard has 5 shelves.

4.16 BATH:

Provide bath supports and build in front of bath. Line with gibraltar board. Fit ex 150 X 25 trim board around bath.

4.17 SHOWER:

Cubicle shall be lined on three sides with Hardiglaze. A chromium plated shower curtain rail shall be provided. One plastic recessed soapholder to be provided.

5. JOINERY

All joinery shall be constructed to detail and to sizes shown, in workmanlike manner. Parts shall be back grooved, rebated and housed to prevent opening up by shrinkage, and shall be thoroughly flued and fixed without visible nails where possible. No hammer bruises or other marks shall show in the finished work. Where nails, brads or screws are used they shall be carefully punched or countersunk. Holes shall be stopped with approved stopping.

5.1 WINDOWS: (ALUMINIUM)

Windows shall be Fisher natural anodised aluminium awning windows to standard metric sizes shown in accordance with detail sheet, supplied glazed with hardware fitted.

Windows shall be installed according to manufacturers recommendations complete with head flashings and scribes, or butyl foam sealer.

Finger Jointed Radiata Pine reveals shall be fitted to all **doors** and windows.

5.5 DOOR FRAMES:

Exterior door frame shall be Fisher H Series natural anodised aluminium.

5.3 DOORS:

Exterior doors shall be as above glazed with clear glass.

Interior doors shall be standard hardboard faced hollow core doors nominal 38mm thick, the following sizes where indicated.

1980 x 760

1980 x 610

1980 x 460

Interior Door Jambs shall be ex.25mm finger jointed Radiata Pine with planted stops. Provide hinged under floor access door complete with padbolt.

5.4 INTERIOR JOINERY FITTINGS:

Fittings shall be constructed from particle board. Clash exposed edges. Cupboard doors shall be Custom wood, hung on steel butts. Drawers shall be constructed with Customwood fronts, particle board sides and hardboard bottoms. **Doors** and drawers shall be overlay type.

5.5 TOPS:

Sinkbench and Flat Pressings shall be Formica with 40mm clashed edges where seen.

5.6 STAIRS:

Stairs shall be standard Trueline - Particle Board paint quality with handrail one side - no Balustrades.

5.7 DOOR HARDWARE:

Door hardware shall be Legge Fortune C.P. type with snib set to toilet and bathroom.

WINDOWS: (TIMBER)

Windows shall be N.Z. Joinery Manufacturers Federation Standard Metric Timber Windows. Timber joinery profiles shall be NZS 495 but may be subject to minor variations.

Frames shall be DAH Rimu **or** treated DA Rimu **or** treated finishing grade radiata. Sashes shall be DAH Totara, Redwood **or** similar.

5.8 BATHROOM HARDWARE:

One 1 metre Long Chromium Plated Towel rail to be provided and one Jaeco 93 Toilet roll holder.

6. ROOFER:

6.1 MATERIAL:

Shall be 0.45mm longrun galvanised corrugated iron sheeting fixed with 75 annular lead headed roofing nails.

Underlay shall be saturated building paper laid over galvanised netting.

6.2 WORKMANSHIP :

Purlins shall be spaced max 760 centres. Underlay shall be well lapped and laid over netting stapled taut. Side laps shall not be less than $1\frac{1}{2}$ corrugations. Fix at every purlin at second and seventh corrugations. Provide lead edged ridge capping, flash and overflash plumbing pipes penetrating roof. Finish verges with flashing **or** rolled edge sheet.

7. PLUMBING:

7.1 GENERALLY:

Materials and workmanship shall comply with the requirements of the Drainage and Plumbing Regulations 1959 and amendments and in accordance with the Department of Health and Local Body Requirements.

7.2 MATERIALS:

Copper Tubing shall be first quality drawn tube, complying with NZSS 1755.

UPVC Pipes shall conform to NZS 1338 and be installed according to the "code of Practice for the installation of unplasticised P.V.C. pipes".

7.3 WORKMANSHIP:

Pipes are to be set out in straight runs with easy bends, and supported to prevent-sagging. Where possible, pipes shall be out of sight.

7.4 FLASHINGS:

Sill trays shall be .45 mm gauge galvanised iron. Flashings and soakers shall accurately fit the work and be machine bent and cut, back and front edges are to be folded in 12". Flashings shall be in as long lengths as possible and joints shall be as follows:

Galvanised Iron - Soft soldered or with standing seam.

7.5 PIPE FLASHING:

Flash all vent pipes with 1.8 kg lead.

7.6 WINDOWS: (Timber windows only)

Fit window sills with .45 mm gauge galvanised iron trays set to discharge clear of building..

7.7 SPOUTING AND DOWNPIPES:

Spouting and downpipes shall be .6 mm gauge galvanised iron. Spouting shall be supported on double 25 mm x 1.2 mm gauge galvanised iron with clips at 900 centres, provide stiffening gussets to all angles in spouting or downpipes. Two 75 mm diameter downpipes shall be provided, to floor level only, seamed with slip joints and fixed to walls with 7mm gauge **straps**. No spouting to Dormer windows.

7.8 COLD WATER SUPPLY:

Connect cold water supply from a point provided by the local authority in min. 12 mm Alkathene laid in a trench. NZS 7601 and 7602.

Provide one branch for an external hose tap. Cold water services within the building shall be in 12 mm copper NZS 3501.

If a shower is provided take cold supply from low pressure side of p.r.v.

7.9 HOT WATER SUPPLY:

Provide and install a 136 litre hot water cylinder complete with lagging and casing to comply with NZS 4602. Fit thermostat and element supplied by Electrical Contractor. Provide a copper sludge pipe with stop-cock below the hot water cylinder and copper vent.

Hot water services within the building shall be in 12 mm copper NZS 3501.

7.10 TAPS: (Greenstyle)

SHOWER MIXER:	Markham
Bath	20mm Chromium plated 75mm extended bib taps.
Basin	12 mm Chromium plated pillar taps
Sink and Laundry:	12 mm Chromium plated 75 mm extended bib taps.
W.C. Cistern	12 mm Chromium plated stop valve.
Hose	12 mm Brass cock with hose connection.

7.11 SANITARY FITTINGS:

Formica topped Vanity where shown on plan - Plix or Clearlite Basin. Basin shall be Plix WBI white first quality on cabinet.

Bath shall be Clearlite - Portia or Pacific White complete with chromium plated chain including chromium plated grating.

WC shall be white glazed earthenware first quality pedestal type fitted with a plastic seat and cover and including a three gallon low down plastic flushing cistern.

Laundry tub shall be provided by Joiner as part of the Laundry cabinet. Tub shall be Burns and Ferrall L.F.I. or similar.

Sink shall be provided by Joiner as part of the sinkbench. Formica Bench with Stainless Steel Sink.

Shower base shall be stainless steel on polystyrene pad.

7.12 SOIL, WASTE AND VENT PIPES :

Soil and waste pipes shall be in P.V.C. NZS 7642 adequately supported, and generally shall run to gulley traps by Drainlayer. Backventing other than shown on plans shall be deemed an extra cost.

7.13 COMPLETION:

Clean up and remove trade debris on completion.

8. DRAINAGE:

8.1 GENERAL:

Supply all materials and Labour necessary for all drainage work which shall be strictly in accordance with the Local Authority By-Laws and the Drainage and Plumbing Regulations 1959. Check levels of the drainage system and ascertain depths of drains with the Contractor before work commences.

8.2 MATERIALS:

All pipes and fittings shall be first quality ceramic pipes to NZS 1823 with socketted rubber ring joints, or P.V.C. drainpipes NZS 7649 if approved by local authority.

8.3 INSPECTION FITTINGS:

All inspection fittings shall be sealed and occur at each branch every change of direction and at not more than 12 metres apart.

8.4 GULLEY TRAPS:

Shall be encased in concrete, as specified in the Concrete Work trade section including cast iron grating.

8.5 SEPTIC TANK: (Where required)

Provide and install standard septic tank to local authority approval.

8.6 TESTING AND BACKFILLING:

Before backfilling the drains shall be inspected and tested by the local authority Inspector and any defects rectified.

Backfill and leave all neat and tidy on completion.

9. ELECTRICAL WORK:

9.1 GENERAL:

All work shall be carried out by Registered Electricians and to the requirements of the Electrical Wiring Regulations 1961, their amendments and interpretations and in compliance with the ordinances *of* any other relevant or Government Authority.

9.2 MATERIALS:

All materials shall be of best quality and of approved manufacture.

9.3 SUPPLY METER AND SWITCHBOARD:

Supply to point of entry shall be by the Electric Power Board, and shall be the responsibility and cost of the Owner. Service main between the switchboard and the meter cabinet and the point of entry shall be 16mm 2 Phase + Neutral.

Provide and install internal fuse type switchboard in laundry, and external meter box adjacent to back door.

9.4 LIGHT SWITCHES:

All light switches shall be flush type complying with NZSS 931 and mounted generally 1350 mm above floor level.

9.5 LIGHTING OUTLETS:

All internal light fittings shall generally consist of ivory plastic batten holders with ivory conical plastic shades other than for exterior lights which shall be screw-ball type. The number *of* lights provided in this contract shall be

9.6 SOCKET OUTLETS:

Sockets shall be 10 amp flush mounted type. The number of sockets provided in this contract shall be

9 7 ELECTRIC RANGE:

Allow the Provisional Sum listed in Provisional Sum Schedule for the supply only selected electric range'. Connection and isolating switch shall be provided by the Electrician.

9 8 WATER HEATING:

Provide approved type and make of water heating element and thermostat for fitting into cylinder by Plumber. Connect 1500W element and thermostat to adjacent outlet.

9.9 COMPLETION:

Clean up and remove trade debris.

10. PAINTING:

GENERAL :

For the purpose of accurate quotations, the following has been allowed for:

1. Interior colour choice is 6 per house.
2. Maximum colours 3 per room.
3. Scotia colour to be the same as the wall or ceiling.
4. Architraves to be painted.
5. Service rooms paint finish. Vinyl wallpapers in these areas would have an extra charge added for hanging.
6. Interior of Pantry is not painted unless specified.
7. Wardrobes are painted.
8. Linen and Hot Water cupboards not painted inside.

10.1 MATERIALS :

All materials shall be delivered onto the site in unbroken packages, bearing brand and maker's name.

All undercoats shall be the same brand as the finishing coat.

10.2 WORKMANSHIP:

The work shall be executed by competent tradesmen and shall be carried out in accordance with the NZ Standard Code of Painting Practice. No exterior work shall be done in wet or very damp weather and no painting shall be done in a dusty atmosphere. Before applying each coat, rub down rough places and other imperfections with glass paper to obtain a good surface.

10.3 PAINTING EXTERNAL WOODWORK:

Prime all exterior timbers including all meeting surfaces, both faces of laps and ends of weatherboards, exposed side of battens, all exterior sides of exterior door and window frames and sashes, **woodwork of** eaves and all timber than comes into contact with concrete, brickwork and so on with primer complying with NZSS 1056 type L.R. The priming shall be brushed thoroughly into the woodwork to completely cover the entire surface.

After priming has set, stop all holes and defects with best linseed oil putty and rub down as required.

Apply an approved undercoating.

To all external exposed woodwork apply a final coat of gloss paint **of** approved brand. Decking and steps are not painted or stained.

10.4 PAINTING OF EXTERNAL AND INTERNAL CONCRETE AND PLASTER:

Paint asbestos cement weatherboards with two coats of exterior acrylic paint of approved type, the first coat to be matt, the second or finishing coat to be semi-gloss.

- a) Concrete block foundation wall.
- b) Asbestos cement weatherboards.
- c) **All** asbestos - cement sheathing and soffit Linings.

10.5 EXTERNAL METALWORK:

Paint external metalwork as follows:

Metal Spouting Downpipes and vents.

Galvanised Iron - Prime with calcium plumbate primer, followed by undercoat and finishing coat as for external woodwork.

Copper - Undercoat and finishing coat as for exterior woodwork.

Metal flashings and soakers.

Galvanised iron soakers - Soakers to weatherboard walls shall be primed on all faces with calcium plumbate primer prior to fixing.

All other Exposed Metalwork - Prime with zinc chromate primer followed by undercoat and finish as for exterior woodwork.

The roof is not painted.

10.6 PAINTING OF INTERIOR SURFACES;

All woodwork and exposed metal surfaces not otherwise finished shall be primed, undercoated and all surfaces finished with alkyd semi-gloss enamel paint.

All walls and ceilings to Kitchen-Dining, laundry, Bath and WC and to back of cupboards, doors shall be similarly treated.

Kitchen fittings shall be primed undercoated and semi-gloss enamel finish.

Remaining ceilings shall be sealed and painted with two coats of alkyd flat finish.

Faces of flush doors facing painted wall areas shall be primed, undercoated and finished with one coat of semi-gloss enamel finish.

Only cupboards painted inside are wardrobes.

10.7 PAPERHANGING:

Walls to Lounge, Passage and Bedrooms shall be papered.

All walls to be papered shall be sealed with an approved size. All wallpapers shall be trimmed, cut straight and true, butt jointed and hung plumb and true with patterns matching. Paste shall be of an approved brand of prepared paste with a fungicide incorporated by manufacturer.

Refer to Provisional Sum Schedule for wallpaper allowance.

10.8 COMPLETION:

Clean up and remove trade debris.

11. GLAZING:

All glass shall be approved manufacture, free from all defects, and unless otherwise specified shall be 3 mm sheet.

11.1 WORKMANSHIP:

Glaze all doors and windows prepared for glass. Cut glass to fit rebates with due allowance for expansion and secure with metal sprigs. Prime rebates, bed glass, sprig and face putty. Putty shall be best linseed putty.

11.2 GLASS:

shall be as follows:

3 mm for length plus width not over 1750 mm.

3.3 mm for length plus 1750 mm to 2000 mm.

Obscure glass for windows of Bathroom and WC shall be Spotswood.

GENERAL INFORMATION

(1) The following MUST accompany this Application:

PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATE (in ink or on print paper) including—

- (a) Ground plans of proposed work showing position of all sanitary fittings and valves and sizes of various rooms.
- (b) Where the building is on a sloping site the correct height of foundations must be shown.
- (c) Front and side elevations.
- (d) Cross-section showing framing with bracing.
- (e) Where a building requires Plumbing and Drainage work a separate Application Form must be filled in and fee paid before a Building Permit can be issued.
- (f) Such drawings and information in detail as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the By-laws.
- (g) A report and calculations showing how the design complies with the By-laws in the case of buildings requiring specific designs.
- (h) Applications for (in so far applicable):
 - (1) Drainage and plumbing
 - (2) Sewer connections
 - (3) Water supply connection
 - (4) Crossing
 - (5) Footpath damage deposit
 - (6) Hoarding licence
 - (7) Vehicular crossing
 - (8) Stormwater connection
- (i) In duplicate a location drawing showing the site (all four boundaries) the buildings already on the site and the new proposed building shown in black. The measurements from the proposed building to all buildings on the site and the boundary lines should be given.

(2) FEES may be forwarded later on advice of availability of permit and the amount of fees required.

FOR OFFICE USE ONLY

FEES (where applicable)		Receipt No.	Date	Permit No.
Building Permit	\$231:00	2132	8-11-84	3026746
Building Research Levy	\$ 52:00	2132	8-11-84	
Plumbing and Drainage Permit	\$ 47:00	2133	8-11-84	1806.
Footpath Damage Deposit	\$:			
Sewer Connection	\$:			
Water Connection	\$:			
Stormwater Inspection	\$:			
Hoarding Licence	\$:			
Vehicular Crossing	\$:			
Off-Street Parking				
Spaces				
Contribution	\$:			
TOTAL FEES	330:00			

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the Borough Engineer shall have the absolute determination of the value of the proposed work or building.

BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK: (Value to exclude value of Plumbing and Drainage work).

ESTIMATED VALUE OF WORK

Value of Work	Fees
\$	\$
0-600	-
601-800	9.00
801-1000	11.00
1001-1200	14.00
1201-1400	16.00
1401-1600	18.00
1601-1800	21.00
1801-2000	23.00
2001-2500	27.00
2501-3000	31.00
3001-3500	37.00
3501-4000	41.00
4001-5000	47.00
5001-6000	53.00
6001-7000	62.00
7001-8000	68.00
8001-9000	74.00
9001-10000	82.00
10001-12000	92.00
12001-14000	101.00
14001-16000	109.00
16001-18000	118.00
18001-20000	134.00
20001-25000	151.00
25001-30000	168.00
30001-35000	189.00
35001-40000	210.00
40001-50000	231.00
50001-60000	252.00
60001-70000	273.00
70001-80000	294.00
80001-90000	315.00
90001-100000	346.00
100001-120000	390.00
120001-140000	410.00
140001-160000	440.00
160001-180000	460.00
180001-200000	480.00
200001-240000	510.00
240001-280000	550.00

BUILDING RESEARCH LEVY FEE

In addition to the above fees there will also be payable a Building Research Levy in accordance with the Building Research Levy Act, 1969, which is set at \$1 in each \$1000 or part thereof of the value of each Building Permit issued. Permits for work of a value less than \$10,000 are exempted.

PLUMBING AND DRAINAGE PERMIT FEES

up to \$50	Few
\$51-\$100	\$1.00
\$101-\$200	\$2.00
\$201-\$400	\$3.00
	\$5.00

Plus \$2.00 for every \$200 or part thereof in excess of the first \$400

HOBSON COUNTY

COUNCIL

APPLICATION FOR PERMIT FOR DRAINAGE AND/OR PLUMBING WORK

The Town Clerk,

Dargaville Borough Council,
Private Bag,
DARGAVILLE.

I, the undersigned, JOE JOYCE hereby apply for permission to have the work described herein and set out in the plan attached hereto, carried out in the premises situated at

BRADLEY LANDING EAST RD. and situated on land legally described as LOT 1 D.P. 16851 Assessment No.

Name & Address of person for whom) D.M. ME MORRISON

work is to be carried out.)

Name of Plumber JOE JOYCE (Undertaking such work)

Name of Regd. Drainlayer " (Undertaking such work)

Description of Work (Sanitary Plumbing and Drainage, but excluding roofing)

State type of premises DWELLING HOUSE (e.g. house, beach cottage, shop, factory etc.)

State extent of work NEW WORK W.C. Bath

Shower Sink Basin Laundry Tub Hot and Cold

Septic Tank Stormwater

(e.g. Urinal, W.C., septic tank, bath, shower, washtub, water reticulation, Hot water reticulation, stormwater drainage or sanitary drainage - and whether New, additional, renewal or repair.)

Estimated Value of Work:-

Drainage \$ — .00.

Plumbing \$ 2400 .00

\$ 4600 .00 Total

(These amounts should be the real value of the work as opposed to the possible cost of work or material.)

Dated 24-10-84 19

Signature [Signature] 00549

OFFICE USE ONLY

Received \$ 47-00

Receipt No. 2133

Date 8-11-1984

Approved for permit

Permit No. 1806

Issued

Scale of permit fees payable:-

<u>Estimated Value of Work:-</u>	<u>Fees Payable</u>
Not exceeding \$50	\$1.00
Exceeding \$ 50 but not exceeding \$100	\$2.00
Exceeding \$100 but not exceeding \$200	\$3.00
Exceeding \$200 but not exceeding \$400	\$5.00

Plus \$2.00 for every \$200 or part thereof in excess of the first \$400.00

Plan:-

A suitable small plan should be provided here indicating position, and length of the walls of the building, the position of sanitary fittings, the ytoposed position of drainage and septic tank; distances from boundaries and the position and dimensions to nearest sewer.

NOTE:

No application will be entertained unless:-

- (a) Work to be carried out by a registered plumber or drain layer.
(b) A plan of the proposed work is drawn on this sheet; or attached hereto.
(c) "As built" plans of the completed work must be submitted before a certificate of completion will be issued. Blank block drainage plan sheets for this purpose are obtainable at the office of the Dargaville Borough Council.
- Permit fees are payable on sanitary plumbing and drainage, but not on roofing.