

5001

Wanganui District Council

101 Guyton Street


☐ APPLICATION FOR PROJECT INFORMATION MEMORANDUM

Section 30, Building Act 1991

☒ APPLICATION FOR BUILDING CONSENT

Section 33, Building Act 1991

(Insert a cross in each applicable box. Attach relevant documents in duplicate.)

APPLICANT *	PROJECT
Name: <u>CG D HAY</u> Mailing Address: <u>9 AKEPIRO PL</u> <u>WANGANUI</u> Contact Name: Position: Phone: <u>3447630</u> Fax: <u>-</u>	New or Relocated Building ☒ Alteration ☐ Intended Use(s) (in detail): <u>ADDITION TO GARAGE</u> Intended Life: Indefinite, but not less than 50 years ☒ Specified as years ☐ Demolition ☐
PROJECT LOCATION Street Address: <u>9 AKEPIRO PL</u> <u>WANGANUI</u>	Attach additional information if necessary to describe the project.
LEGAL DESCRIPTION Property Number: <u>9 AKEPIRO PL</u> Valuation Roll Number: Lot: <u>14</u> DP: <u>44124</u> Section: Block: Survey District:	OFFICIAL RECEIPT
COUNCIL CHARGES The Council's charges payable on the making of this application are: \$.....	

* Under Section 30 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

This application is for:

- ☒ Building consent only, in accordance with project information memorandum no:
- ☐ Both building consent and a project information memorandum.

PART B: PROJECT DETAILS

(Complete Part B only if you have not applied separately for a project information memorandum.)

The project involves the following matters *(cross each applicable box, if any, and attach relevant information in duplicate).*

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings.
- ☐ New provisions to be made for vehicular access, including parking.
- ☐ Provisions to be made in building over or adjacent to any road or public place.
- ☐ New provisions to be made for disposing of stormwater and wastewater.
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains.
- ☐ New connections to public utilities.
- ☒ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae.

PART C: BUILDING DETAILS

(Complete Part C in all cases)

This application is accompanied by *(cross each applicable box, attach relevant documents in duplicate):*

- ☒ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including:
- ☐ Building certificates.
- ☐ Producer statements.
- ☐ References to accreditation certificates issued by the Building Industry Authority.
- ☐ References to determinations issued by the Building Industry Authority.
- ☐ Proposed procedures, if any, for inspection during construction.

FILE

Builder(s):

Registered Drainlayer:

Registered Plumber:

Registered Gasfitter:

Registered Electrician:

Designer(s):

Building Certifier(s):

Other: EXISTING BUILDING

PERMIT RESIDING BY COUNCIL BYLAWS ON

SALE & PURCHASE OF PROPERTY

GARAGE & ADDITION & GARDEN SHED WERE PERMANENT WHEN
I PURCHASED THE PROPERTY IN MARCH 1989.

PART E: COMPLIANCE SCHEDULE DETAILS

E1: SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

(Complete Part E1 for all new buildings and alterations, except single residential dwellings.)

The building will contain the following *(cross each applicable box and attach proposed inspection, maintenance, and reporting procedures.)*

- ☐ Automatic sprinkler systems or other systems of automatic fire protection.
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.
- ☐ Emergency warning systems for fire or other dangers.
- ☐ Emergency lighting systems.
- ☐ Escape route pressurisation systems.
- ☐ Riser mains for fire service use.
- ☐ Any automatic back-flow preventer connected to a potable water supply.
- ☐ Lifts, escalators, or travelators or other similar systems.
- ☐ Mechanical ventilation or air conditioning system serving all or a major part of the building
- ☐ Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code.
- ☐ Building maintenance units for providing access to the exterior and interior walls of buildings.
- ☐ Such signs as are required by the building code in respect of the above-mentioned systems.
- ☐ None of the above.

E2: OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

(Complete Part E2 only if the building contains one more more of the systems listed in Part E1.)

The building will contain the following *(cross each applicable box and attach proposed inspection, maintenance, and reporting procedures.)*

- ☐ Means of escape from fire.
- ☐ Safety barriers.
- ☐ Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- ☐ Hand-held hoses for fire fighting.
- ☐ Such signs as are required by the Building Code or Section 25 of the Disabled Persons Community Welfare Act 1975.

Signed by or for and on behalf of the applicant:

Name:

Position:

OWNER OF PROPERTY Date: *6-1-93*

Please answer the following questions if they apply.

What materials will be used for the: (tick boxes)

Floor

- 1 ☐ Timber
 2 ☒ Concrete
 3 ☐ Wood products
 4 ☐ Other

Framing

- 1 ☒ Timber
 2 ☐ Concrete
 3 ☐ Steel
 4 ☐ Aluminium
 5 ☐ Other

Roof

- 1 ☒ Steel
 2 ☐ Concrete tiles
 3 ☐ Steel tiles
 4 ☐ Shingles
 5 ☐ Aluminium
 6 ☐ Other

Internal Linings

- NIL*
 1 ☐ Plaster board
 2 ☐ Fibrous plaster
 3 ☐ Wood products
 4 ☐ Other

Energy

- 1 ☒ Electric
 2 ☐ Gas
 3 ☐ Solid fuel
 4 ☐ Floor electrical
 5 ☐ Ceiling electrical
 6 ☐ Storage electrical
 7 ☐ Electric
 8 ☐ Gas
 9 ☐ Solid fuel

Cooking:

N/A

Outer Walls

- 1 ☐ Brick
 2 ☐ Concrete
 3 ☐ Concrete block
 4 ☐ Cement board
 5 ☐ Plaster
 6 ☐ Timber
 7 ☒ Steel
 8 ☐ Aluminium
 9 ☒ Other

FOR OFFICE USE ONLY

BRANZ

TYPE CODE

IDENTIFIER CODE

INSPECTOR

Building Line
 Means of Egress
 Plumbing & Drainage
 Design
 Roading
 Water
 Dangerous Goods
 Health
 Planning

Checked By:	Date:
<i>G. Stiele</i>	<i>12-1-93</i>
<i>G. Rando</i>	<i>8-1-93</i>
<i>P. Stiele</i>	<i>7-1-93</i>

Report:

Approved for issue of Building Consent

Chief Building Inspector: *[Signature]*

Date: *1/1 JAN 1993*

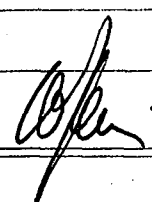
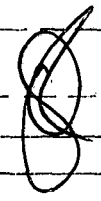
WANGANUI CITY COUNCIL
CITY ENGINEERS DEPARTMENT

BUILDING PERMIT APPLICATION CHECK SHEET

Application for : _____ DATE _____

Address : _____ Lot No _____ DP _____ Sect _____

Notes : _____

DATE	DEPARTMENT		REMARKS
	Town Planning	 11 JAN 1993 Refer Attached Check Sheet _____ Approved: _____ Date _____	
	Building Inspector	Values on Application _____ Ground Levels & Foundations _____ Materials _____ Construction _____ Bracing (3604) _____ Heating Appliances _____ Public & Commercial Buildings _____ Access for Handicapped _____ Chapter 5 Egress etc (Check Sheet Yes/No) _____ Approved:  Date 8/1/93	
	Drainage Engineer	SS Connection & Fee _____ Approved: _____ Date _____ SW Connection & Fee _____ Approved: _____ Date _____	
	Water Engineer	Water Connection & Fee _____ Approved: _____ Date _____	
	Structural Engineer	Structural Drawings & Calculations _____ Approved: _____ Date _____	
	Health Department	Value _____ Plumbing & Drainage Requirements _____ SW Requirements _____ General Requirements _____ Health & Food Regulations etc _____ Dangerous Goods Requirements _____ Approved:  Date 11/1/93	

BUILDING PERMIT CHECK LIST

Property reference		<i>9 Akepiro Street</i>		
Type of Building		<i>Add to garage</i>		
Net Site Area		Zoning	Reserves	
		<i>R.F.</i>		

REQUIREMENTS	REQUIRED	PROVIDED	O.K.
1. Coverage			
2. Density			
3. Height			
4. Front Yard (including Beautification)			
5. Side Yards		<i>Does not exceed 7.5m L or 3.5m L</i>	✓
6. Rear Yards			
7. Outdoor Living Space			
8. Storage Area			
9. Service Area			
10. Car Spaces			
11. Vehicular Access			
12. Loading Bays / Crossings / Distance from Intersection			
13. Trees / Historic Places			
14. Proposed Road / Service Lane			
15. Road Widening & BLR			
16. Easements / Site Dimensions			
17. Floor Area Ratio			
18. View Protection Plane			
19. Sunlight Protection Plane			
20. Services			

Design Approval Required	Yes / No	Date: _____
Dispensations Required in respect of No's: _____		
Dispensation Approved / Declined	Reason: _____	

TREADWELL, GORDON & CO.

BARRISTERS, SOLICITORS & NOTARY PUBLIC

12 November 1992

The Chief Executive Officer
Wanganui District Council
P O Box 637
WANGANUI

FROM: M J van Delden

615

SECTION: _____

14 NOV 1992

FILE No.: _____

FOLIO _____

Dear Sir

OCCUPIER: C G D HAY (OUR CLIENT BAILEY)
LOT: 14 DP: 44124 CT: 150/810 AREA: 564 m2
ADDRESS: 9 Akepiro Place, Wanganui

We enclose our cheque for your enquiry fee of \$30.00.

Please supply the following information in respect of the above property.

1. Designation: Residential A (RA)
2. Building Line: NO
3. Service Lanes: NO
4. Pedestrian Accessways: NO
5. Notified Application Approvals:
 - for property: NO
 - for locality: NO
6. Pending Notified Applications for Consent:
 - for property: NO
 - for locality: NO
7. Proposed changes: NO
8. Rebuilding Permitted: Yes under RA requirements
9. Other Town Planning Requirements: NO
10. Health Department Requisitions: Nil
11. Building Department Requisitions: Extension on the side of the garage requires a building permit.
12. Fire Regulation Requisitions:
13. Please advise whether compliance has been made with The Fencing and Swimming Pools Act 1987:

Yours faithfully
pp TREADWELL GORDON & CO

Zm + Sm.

PARTNERS:
Richard G.W. Austin LL.B (Hons)
D. Rhys Barker LL.B.
Ian R. Burgess LL.B.
James A. Coleman LL.B.
Robert M. Goldsburly LL.B.
J. Robert Handley B.Ag. LL.B. A.Arb. I.N.Z.
Garry R. Spooner LL.B. (Hons)
Jeannie M. Warnock LL.B.

CONSULTANT:
Gordon S. Swan Notary Public, Commissioner for Oaths

WANGANUI OFFICE:
SUITE 8,
WICKSTEED TERRACE,
P.O. BOX 4218
WANGANUI, N.Z.

DX 12305
TELEPHONE: (06) 345-3999
FAX: (06) 345-4971

Also at Waverley

TREADWELL, GORDON & CO.

BARRISTERS, SOLICITORS & NOTARY PUBLIC

Our ref: MJVD:jl BAI134/1

7 December 1992

Armstrong Barton & Co
Solicitors
DX 12 406
WANGANUI

Attention: Mr Coe

Dear Partners

Hay to Bailey

We refer to previous correspondence. Although, at this stage, the agreement is not proceeding, we have now received back District Council requisitions. We attach a copy for your information in case it is of any benefit to you.

Yours faithfully
pp TREADWELL GORDON & CO

M J van DELDEN
Legal Executive

PARTNERS:

Richard G.W. Austin LL.B (Hons)
D. Rhys Barker LL.B.
Ian R. Burgess LL.B.
James A. Coleman LL.B.
Robert M. Goldsbury LL.B.
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Also at Waverley

ARMSTRONG BARTON

16 December 1992

BARRISTERS AND SOLICITORS

Partners:

Peter Murray Hankins LLB, MRFP
Paul Stephen Coe LLB

Address:

8 Bell Street,
Wanganui

Postal Address:

P.O. Box 441, Wanganui,
New Zealand

DX 12406

Communications:

Telephone 0-6-345 8389
Fax 0-6-345 5399

CGD Hay
9 Akepiro Place
WANGANUI

Dear Grant

Proposed Sale of Property

We enclose copy letter received from Bailey's solicitors and a copy of the District Council requisition sheet attached. You will see that the Building Department of the District Council requires a building permit to be obtained for the extension on the side of the garage. This should involve you in a nominal permit fee to the District Council and we would suggest you do pay it as the same requisition will show when the solicitors for the next purchaser requisition the District Council.

Please telephone the writer if you have any queries.

Yours faithfully

ARMSTRONG BARTON

per:-



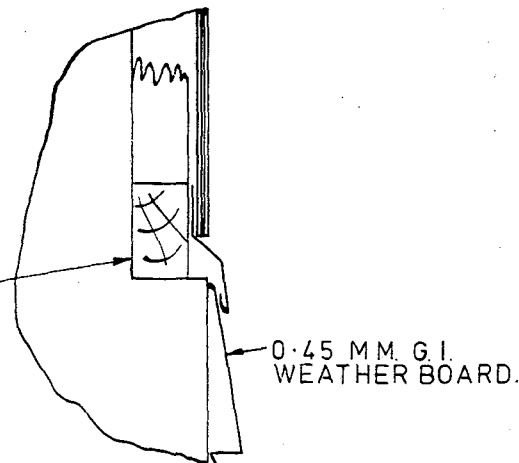
P S Coe

HA199542.LT1

Enc - copy letter
- acquisition sheet

SCALE: 1:2

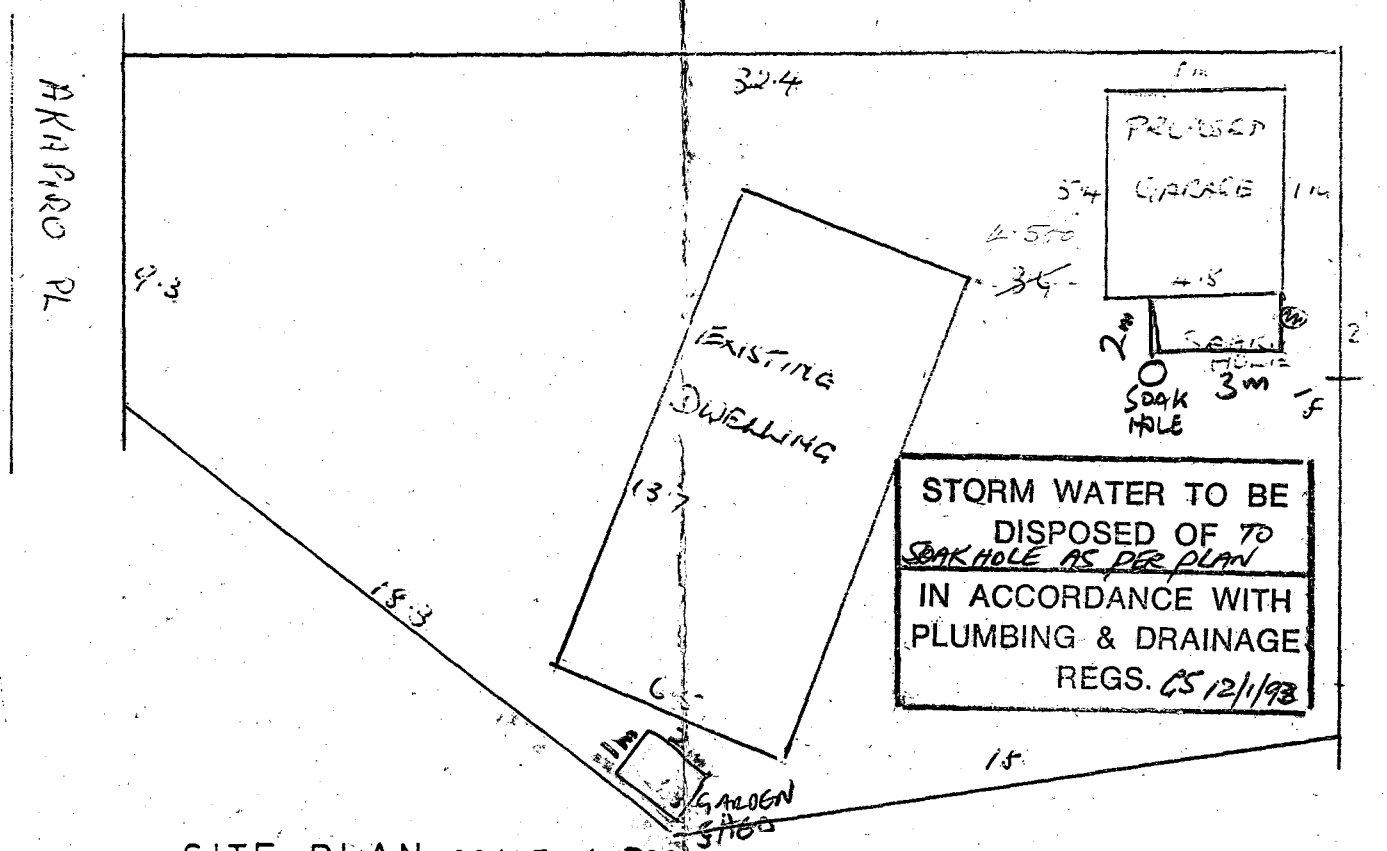
CHECK IN



1 G.I.
ER BOARD.

DETAIL X
SCALE: 1:2

FRAMING. TREATED RADIATA D.4'S.
STUDS. 100 x 50 AT 600 MAX. CRS.
PLATES. 100 x 50 MM.
DWANGS. 100 x 50 MM.
BRACES. 75 x 50 CUT IN, EACH WALL.
PURLINS. 75 x 50 AT 760 MAX. CRS.
DAMPCOURSE. MALTHOID.
RAFTERS. 100 x 50 AT 1.1M. MAX. CRS.
SPOUTING. 125 Q.R. 0.45 MM GALV.
CONCRETE FLOOR. 100 MM THICK.
FOUNDATIONS. 200 x 150 MM 2 NO. BARS.
ROOF. 0.45 C.G. IRON (4.25 G/M).
FASTENINGS. TO NZS. 1900/5.1.11.
WORKMANSHIP. TO GOOD TRADE PRACTICE.

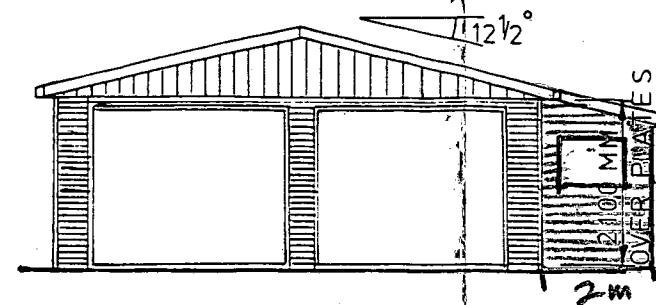
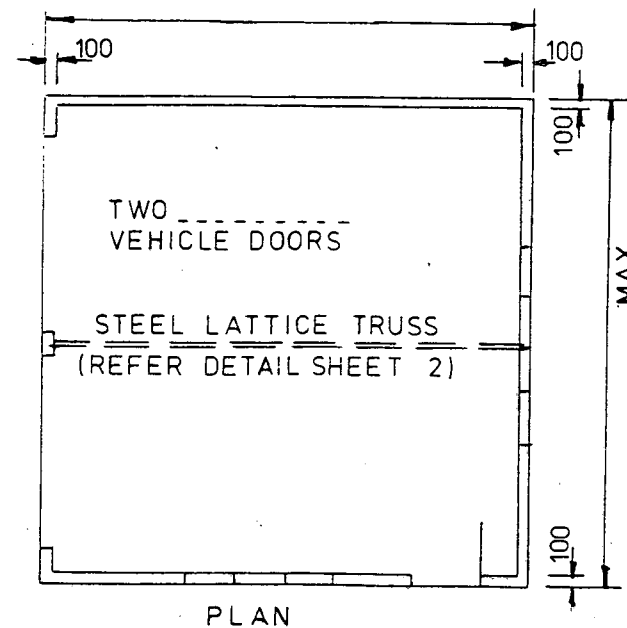


MR P. HALL
AKARAO PL. WANGANUI.

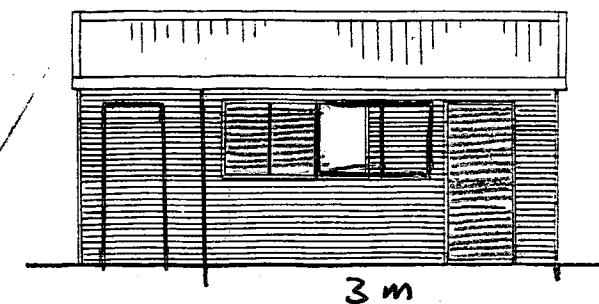
TRACT PRICE: \$1600

SITE PLAN. SCALE: 1:200

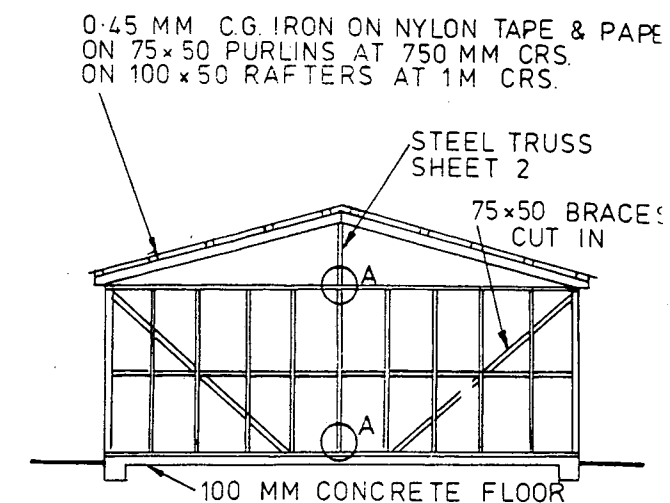
		QUIN BUILDINGS DOUBLE GARAGE & WORKSHOP GARAGE. WALL FRAMING & SITE PLAN.	Designed: <i>[Signature]</i> Drawn: B.A.F.	
			Checked: <i>[Signature]</i> Date: MARCH 75.	
			Scales: AS SHOWN.	
		IAN MACALLAN & CO CONSULTING ENGINEERS	Job No: 77 33	Drawing No: .1.



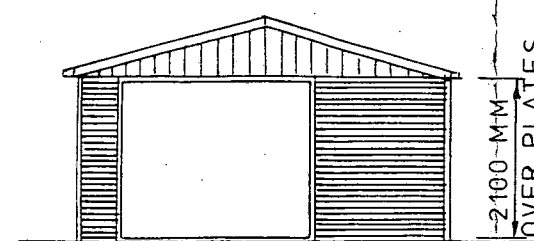
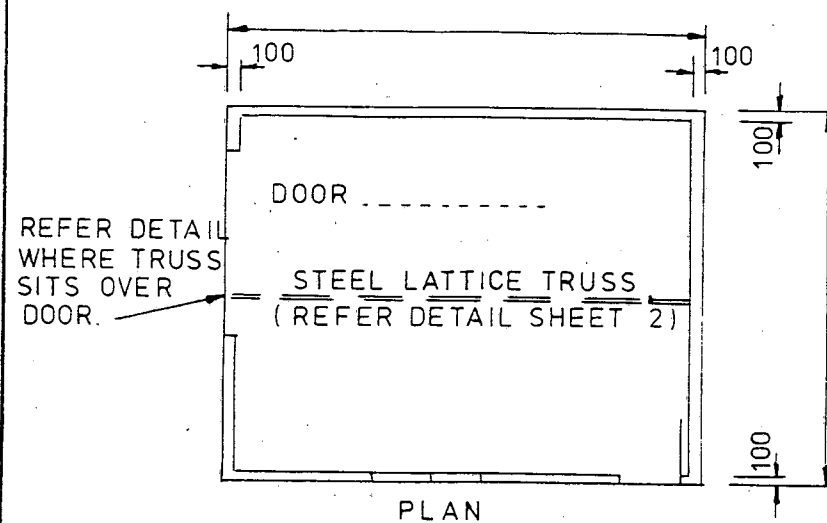
FRONT ELEVATION



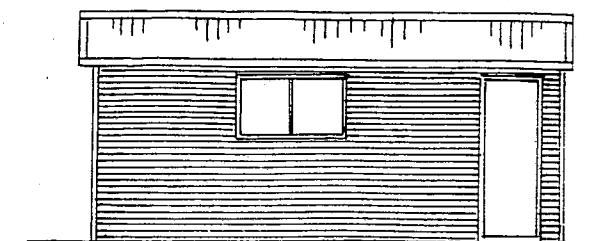
SIDE ELEVATION



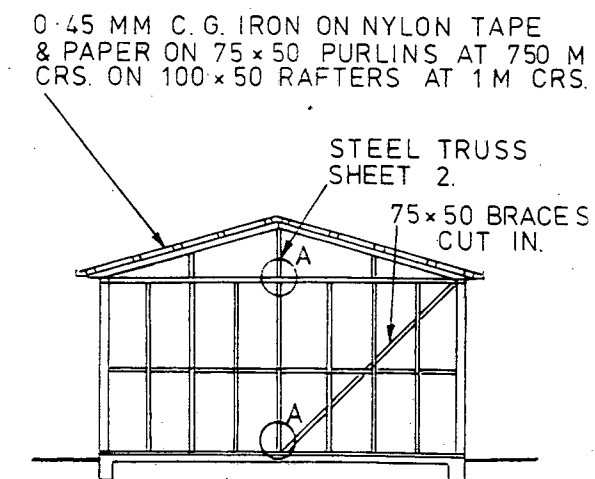
QUIN DOUBLE GARAGE



FRONT ELEVATION



SIDE ELEVATION



QUIN WORKSHOP GARAGE

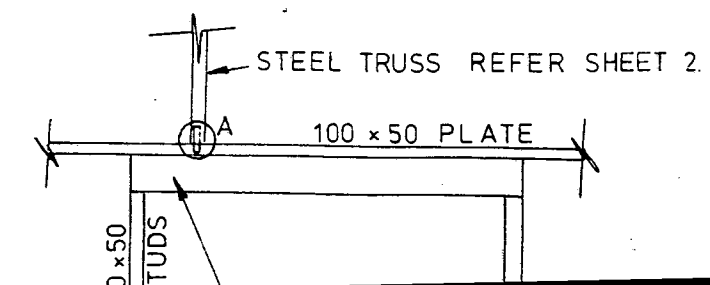
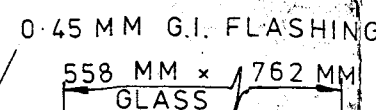
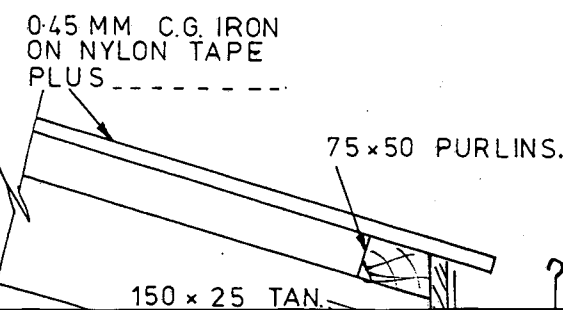
ROOF UNDERLAID WITH _____

OVER NYLON TAPE: _____

WALL SHEATHING: _____

GABLE SHEATHING: _____

UPLIFT TIES: PROVIDE PRYDE NAIL PLATES EACH SIDE JOINING STUD AND PLATES AT POINTS MARKED 'A' ON BOTH END WALLS.



FRAMING. TREATED RADIATA D.4.S.
 STUDS. 100 x 50 AT 600 MAX. CRS.
 PLATES. 100 x 50 MM.
 DWANGS. 100 x 50 MM.
 BRACES. 75 x 50 CUT IN, EACH WALL.
 PURLINS. 75 x 50 AT 760 MAX. CRS.
 DAMPCOURSE. MALTHOID.
 RAFTERS. 100 x 50 AT 1.M. MAX. CRS.
 SPOUTING. 125 Q.R. 0.45 MM GALV.
 CONCRETE FLOOR. 100 MM THICK.
 FOUNDATIONS. 200 x 150 MM 2 NO. --- BARS.
 ROOF. 0.45 C.G. IRON (4.25 G/M).
 FASTENINGS. TO NZS. 1900/6.1.11.
 WORKMANSHIP. TO GOOD TRADE PRACTICE.

CHECK IN

0.45 MM G.I.
 WEATHER BOARD.

DETAIL X
 SCALE 1:2

DETAIL X

0.45 MM G.I.
 WEATHER BOARD.

100 x 50
 FRAMING.

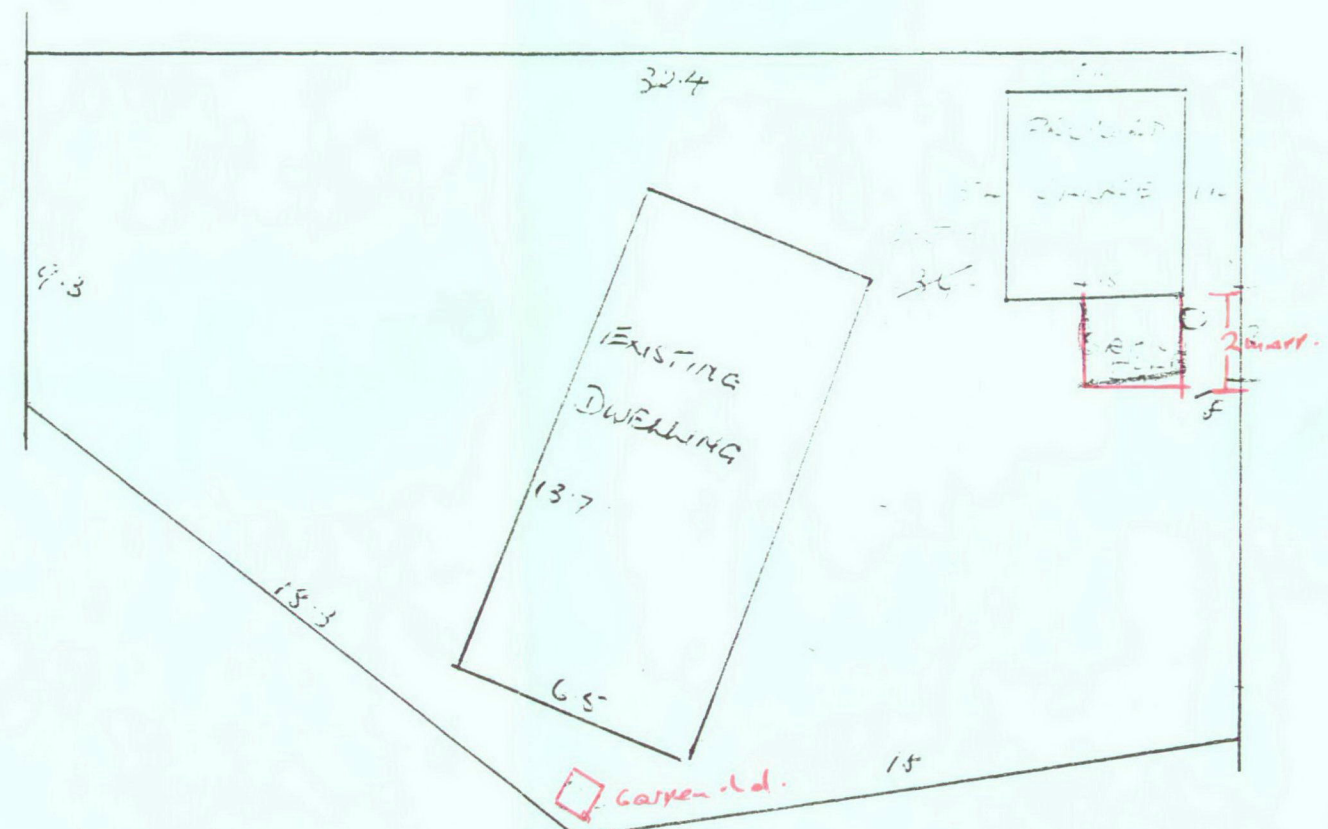
DPC

14 MPa.
 CONCRETE
 2 NO. ---
 BARS.

150 MM
 WALL FRAMING
 SCALE 1:10

FOR: MR. P. HALL
 AT: G. A. KAPLAN PL. W. M. G. R. M. U. L.
 CONTRACT PRICE: \$1605

AKH/NO PL



SITE PLAN, SCALE: 1:200

QUIN BUILDINGS
 DOUBLE GARAGE & WORKSHOP GARAGE.
 WALL FRAMING & SITE PLAN.

IAN MACALLAN & CO
 CONSULTING ENGINEERS

Designed: J. A. T. Drawn: B. A. F.

Checked: J. A. T. Date:

Scales: AS SHOWN.

Job No:
 77 33

17/11/92
 Inspected today
 Extension to garage
 has no permit.
 Bst