

APPLICATION FOR BUILDING PERMIT

1311/530/15

Job 5013

Wanganui City Council

Date: 20 / 11 / 79

THE CITY ENGINEER,

DEAR SIR,

I hereby apply for a Building Permit to erect/~~demolish~~ DWELLING

according to locality plan and detailed plans, elevation, cross sections and specifications of building deposited herewith, in duplicate at:

Street: 9 AKEIRO PLACE

Val. No.: 13110/530/14

Lot: 14 D.P. 44124

Section:

Block:

Owner Name: P. W. HALL

Address: 46 THATCHER ST

Builder Name: AVOLON HOMES

OWNER

Address: P.O. Box 3125, NEW PLYMOUTH

NATURE OF PERMIT (Tick box)

New building including separate buildings added to existing complex ☒

Repairs, alterations or extensions to an existing building ☐

Conversion ☐

Demolition ☐

DESCRIPTION OF BUILDING OR STRUCTURE AND MAIN PURPOSE FOR WHICH IT WILL BE USED:

NEW DWELLING

PREDOMINANT ACTIVITY OF OWNER

ESTIMATED VALUE:

Building \$ 21,200-00

Plumbing & Drainage \$ 1,800-00

TOTAL \$ 23,000-00

Name of Plumber ANCHOR & ELLIS

If valued at more than \$20,000 state:

Estimated commencement date: Mth. 19

Estimated completion date: Mth. 19

Building registration No.

Total floor area (sq m)

84.8m²

Building Fee	\$ <u>95-00</u>	Rec. <u>34420</u>
Plumbing & Drainage Fee	\$ <u>23-00</u>	Rec. <u>34420</u>
Water Connection	\$ } <u>EXIST</u>	PWR
Drain Connection	\$ } <u>EXIST</u>	PWR
Stormwater Connection	\$ } <u>EXIST</u>	PWR
Crossing Fee	\$	PWR
Footpath Damage Deposit	\$ <u>60-00</u>	Rec. <u>34420</u>
TOTAL CITY COUNCIL FEES	\$ <u>178-00</u>	
Building Research Levy	\$ <u>23-00</u>	Rec. <u>34420</u>
TOTAL	\$ <u>201-00</u>	

Signature: REFER ATTACHED LETTER

INFORMATION REQUIRED BY DEPARTMENT OF STATISTICS

A. TYPE OF BUILDING OR STRUCTURE—

Type Code (See back of form for instructions)

(a) Newly built, altered, repaired, extended, or demolished ☒

01

(b) Converted—

from

Type Code

to

Type Code

Number

Number

B. DWELLING UNITS GAINED OR LOST—

Gained

Lost

C. IS BUILDING TO BE RENTED OR LEASED? (Tick appropriate box)

Yes ☐

No ☒

ERECTED ON LAND OWNED BY CROWN?

Yes ☐

No ☒

D. SCOPE OF PERMIT—(Tick box)

Complete building including foundations ☒

Foundations only ☐

Building only, foundations covered by previous permit ☐

13110/530/14

9 AKEPIRO PLCE

LOT 14 D.P. 44124

R.A. & A.M. WOOD.

APPROVAL FOR ISSUE OF BUILDING PERMIT

Not Applicable	Satisfactory Provision Made	Amount of Fee Date Where Applicable
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provided underground. Contractor to note any encumbrances or hazards.

GENERAL REMARKS

BUILDING INSPECTOR:

① Bracing?
② Method of Heating?

HEALTH INSPECTOR:

DRAINAGE ENGINEER:

WATER ENGINEER:

DESIGNING ENGINEER:

TOWN PLANNING:



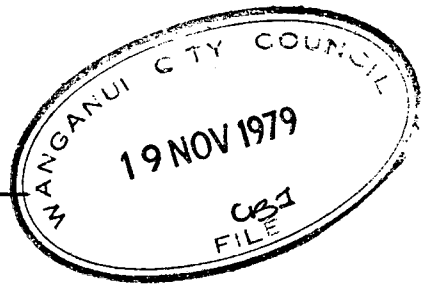
AVALON HOMES LTD

PRE-BUILT TRANSPORTABLE HOMES

DEVON ROAD, WAIMAKAHU
NEW PLYMOUTH
P.O. BOX 3125 PHONE 85-650

Dear Sir,
find enclosed two complete sets
of plans and details required for a
building permit application for Mr P. Hall.

Regards
MPM



P.S. The info required for the application form are
on the reverse.

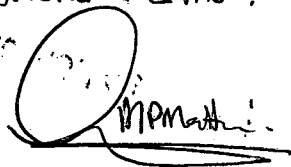
9 Akapio Place
Wanganui.
Lot No 14
D.P. No 44124

Owner: P.W. Hall.
46 Thatcher Street,
Wanganui.

Builder Araton Homes
PO Box 3125 N.P.

Building. \$21,200 -
Plumby \$18,00
Total. \$23,000

Plumber Archer & Ellis.


M. P. Mathison

3°16'30" 1°27'50"

BUILDING PERMIT CHECK LIST

Property Reference:

9 AKapiro PI

Type of Building:

Dwelling

Net Site Area

564m²

Zoning

R2

Reserves

REQUIREMENTS

REQUIRED

PROVIDED

O.K.

1. Coverage

35% = 197m²85m²

✓

2. Density

1-80 = 7

5

✓

3. Height

3.65

✓

4. Front yard (including beautification)

9m Δ

✓

✓

5. Side yards

Formula 1.6

2.0

✓

6. Rear yards

9.0

✓

7. Outdoor living space

NA

8. Storage area

in future garage

✓

9. Service area

NA

10. Car spaces

1-4 = 1

2

✓

11. Vehicular access

3.0

4.5

✓

12. Loading Bay/Crossings/
Distance from intersection

NA

13. Trees/Historic Places

NA

14. Proposed road/service lane

NA

15. Road widening & BLR

NA

16. Easements/Site Dimensions

all correct -
easement redrawn

✓

17. Floor area ratio

NA

18. View Protection Plane

NA

19. Sunlight Protection Plane

NA

20. Services

condition

✓

Design Approval Required Yes/No

Date:.....

Dispensation Required in Respect of Nos:.....

Dispensation Approved/Declined

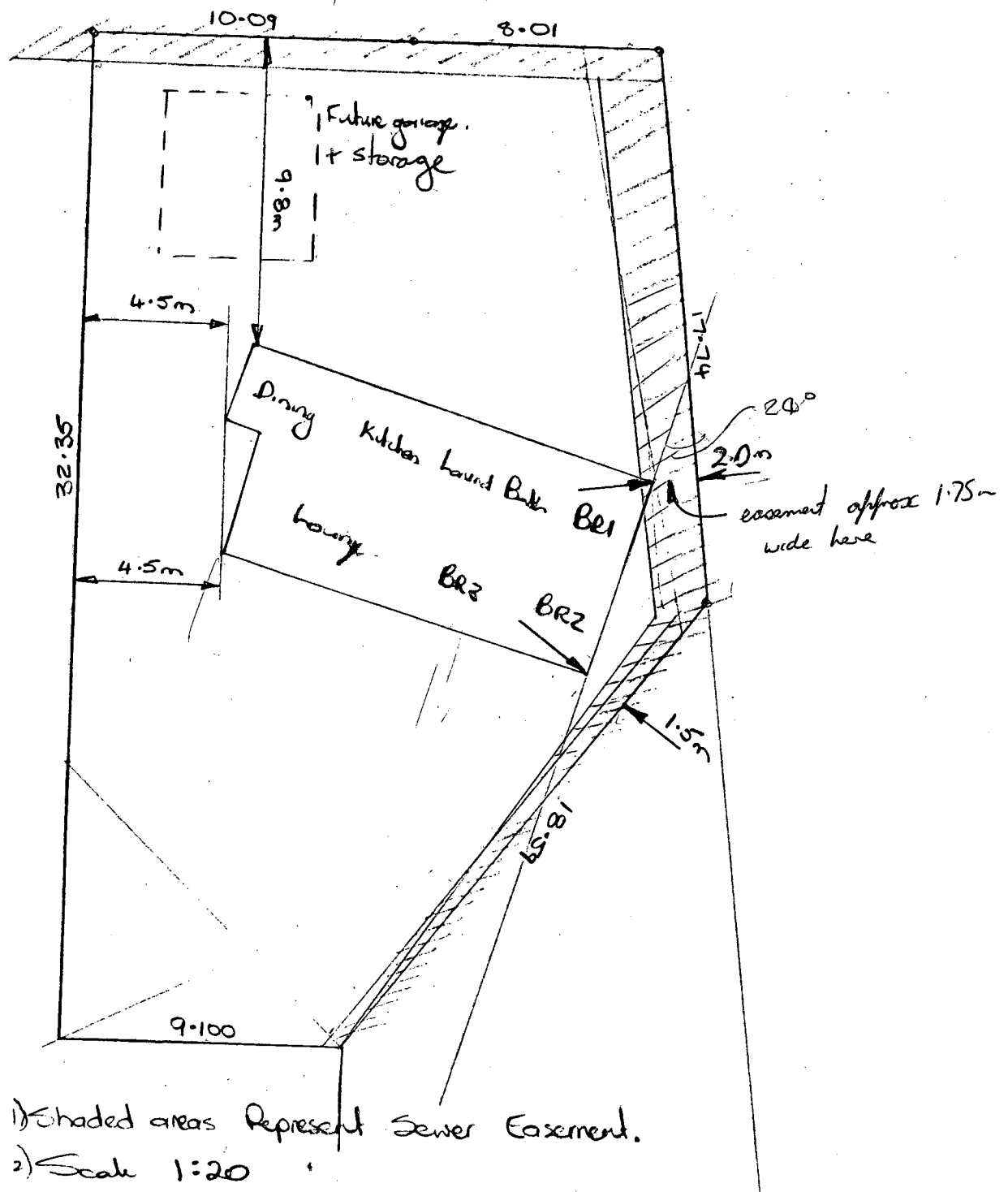
$$D = \frac{2L + 3H}{10}$$

$$= \frac{[75 \times 6.5] + [3(3.65)]}{10}$$

$$= 4.87 + 10.95$$

$$= 15.8$$

$$= \underline{1.6m}$$



Site Plan : P.W. Hall Akapiro Place Wanganui.

SHEET B

1 Total B.U.'s Required	2 Wall Line	3 Minimum B.U.'s Required	4 Label No.	5 Type	6 Rating B.U.'s/m	7 Length (m)	8 B.U.'s Provided
ALONG	A		1	1	62	2.4	149
			2	1	62	2.4	149
		135	Sub-total				149
	B		3	1	62	2.4	149
		70	Sub-total				149
	C		4	1	62	2.4	149
		70	Sub-total				149
	D		6	1	62	2.4	149
			7				
		124	Sub-total				149
254	TOTAL	399	TOTAL				745
ACROSS	L		9	1	62	2.4	149
		65	Sub-total				149
	M						
		70	Sub-total				
	N		11	1	62	2.4	149
		70	Sub-total				
	O		12	1			149
		70	Sub-total				
	P		13	10	83	0.900	75
		65	Sub-total				75
493 1/2	TOTAL	340	TOTAL				522

Bracing Calculations

SHEET A

(CIRCLE whichever is applicable)

Owner P. W. Hall

NAME: Avalon Homes Ltd

ADDRESS: PO Box 3125 New Plymouth.

STOREY: Single or Uppermost
~~Lower of two or middle of three~~
~~Lower of three~~

ROOF TYPE: Light / Heavy

ROOF PITCH: $0^\circ - 25^\circ / 26^\circ - 45^\circ$

WIND AREA: High / ~~Medium~~ / Low

W = 33 B.U.'s/m

EARTHQUAKE ZONE: A / ~~B~~

E = 3 B.U.'s/m²

ROOF OR BUILDING LENGTH

BL = 14.65m

ROOF OR BUILDING WIDTH

BW = 7.70m

GROSS ROOF OR BUILDING PLAN AREA

GPA = 112.8 m²

EARTHQUAKE: B.U.'s ALONG AND ACROSS

E x GPA = 338 1/2 B.U.'s

WIND: B.U.'s ALONG

W x BW = 254 B.U.'s

WIND: B.U.'s ACROSS

W x BL = 483 1/2 B.U.'s

SKETCH PLAN (external and internal walls) :

ok:

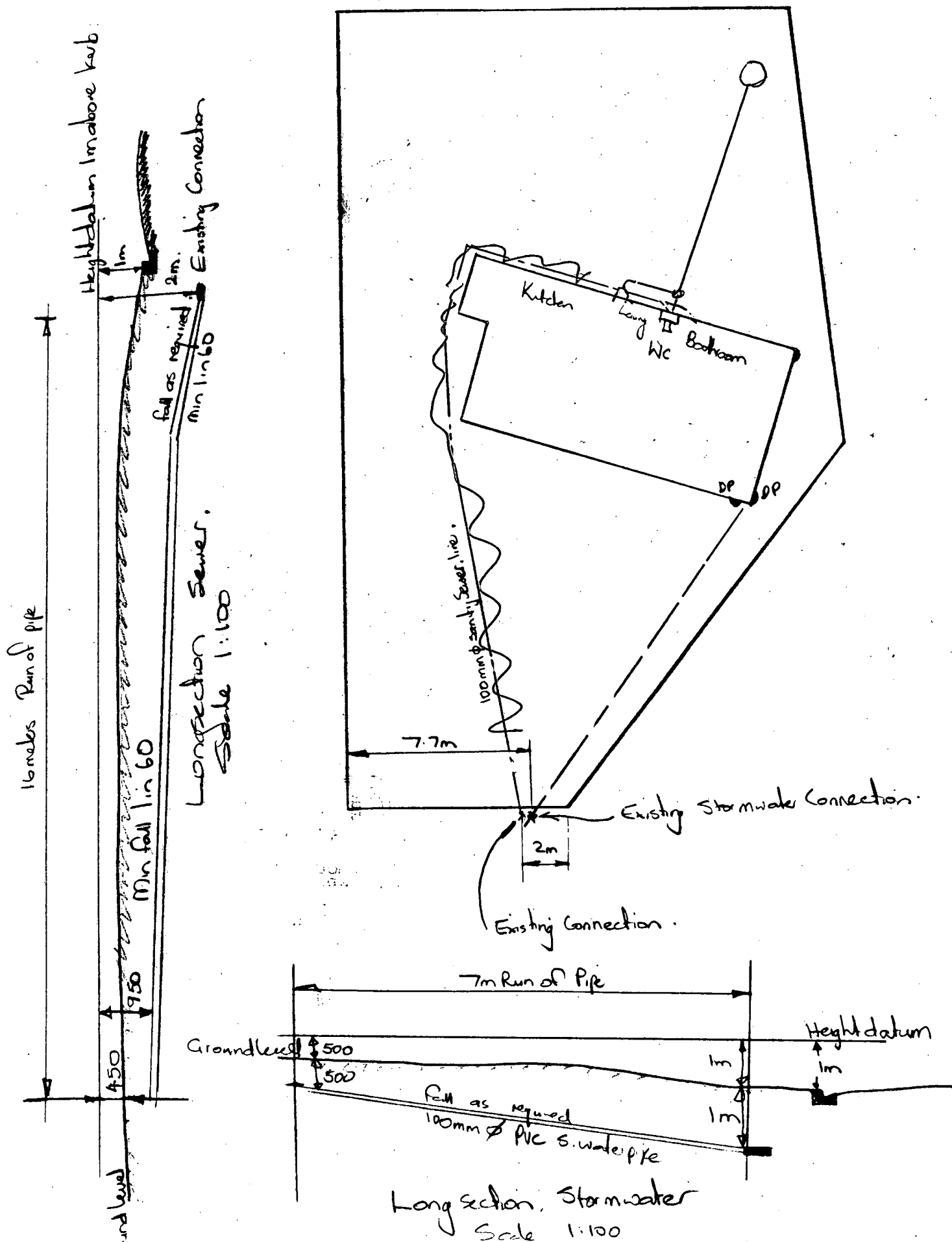
Being Transportable our own bracing requirements are more stringent than the 3604's

P.W. H.B. Long Sections + Drainage Plan.

Lot 14

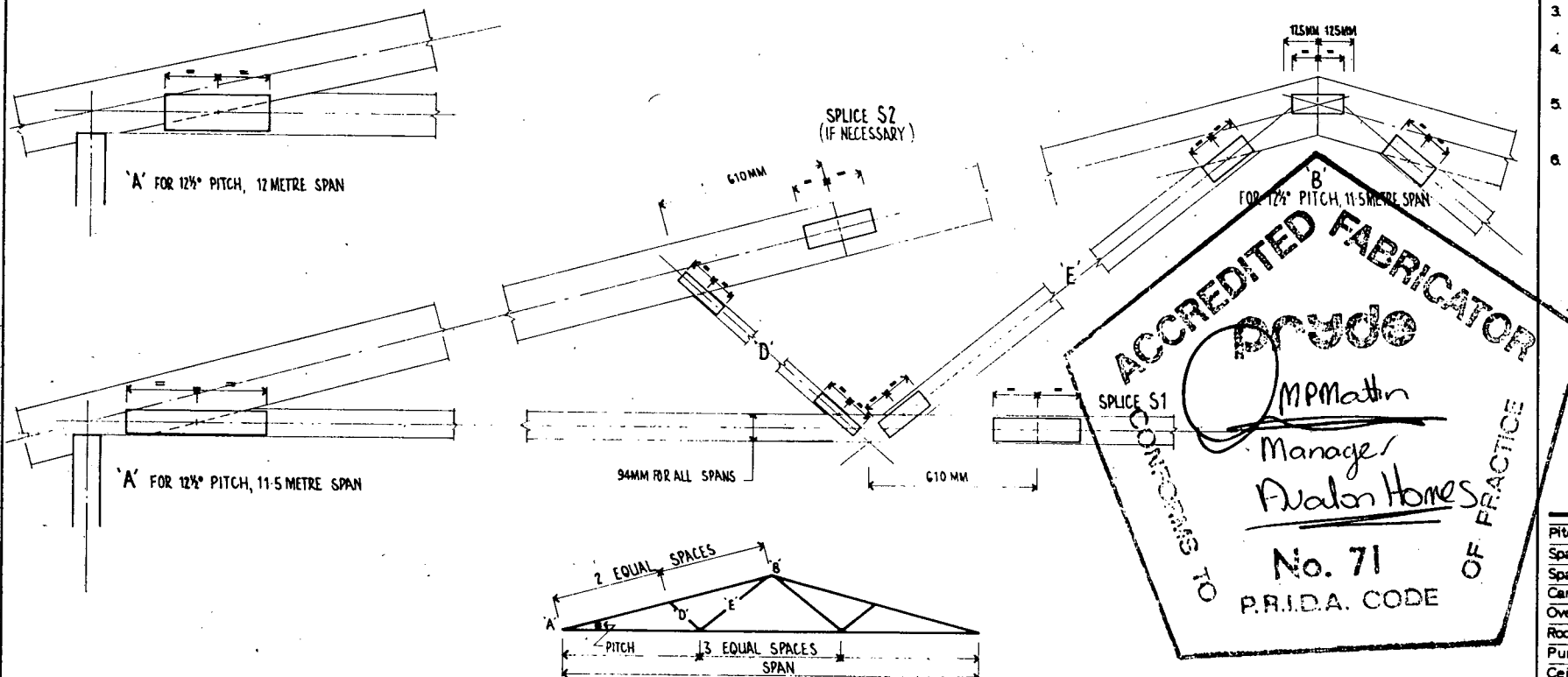
DP 44124

Street No 9 Akapio Place.



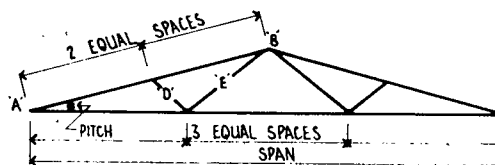
SPECIAL NOTES:

1. IN TABLE BELOW, 8N MEANS ONE 8N PLATE ON EACH SIDE OF TIMBER.
2. CAMBER BOTTOM CHORD AT CENTRE 3MM PER 2000MM OF SPAN.



NOTES

1. Plates are "Pryde" type 1.2mm gauge galvanised steel applied to both sides of joints.
2. Plates are not recommended for highly corrosive atmospheres without further protection.
3. All plates symmetrical on joint except where shown otherwise.
4. Particular care must be taken to have clean timber for all small sizes of timber.
5. No changes shall be made to the details shown. Any variation will require specific re-design.
6. The Standard Trusses are designed to span full length between external walls without reactions from internal partitions. Therefore a gap of approximately 6mm should be provided between truss and all internal partitions during construction.



ALL DIMENSIONS IN MILLIMETRES
UNLESS SHOWN OTHERWISE.

12° PITCH															
5M	5.5M	6M	6.5M	7M	8M	8.5M	9M	9.5M	10M	11M	11.5M	12M			
100	100	100	125	125	125	150	150	150	200	200	200	200			
1422	1245	1168	1346	1219	1118	1270	1168	1092	1397	1321	1245	1168			
100	100	100	100	100	100	100	100	100	100	100	100	150			
50	50	50	50	50	50	50	50	50	50	50	50	100			
50	50	50	50	50	50	50	50	50	50	50	50	100			
100	100	100	100	100	100	100	125	125	125	125	150	150			
1803	1651	1524	1422	1295	1168	1067	1295	1219	1118	1041	1219	1143			
100	100	100	100	100	100	100	100	100	100	100	100	150			
50	50	50	50	50	50	50	50	50	50	50	50	100			
50	50	50	50	50	50	50	50	50	50	50	50	100			
6NH	6NH	6NH	6NH	6NH	4N	4N	4N	4N	6N	6N	6N	6N			
8N	8N	10N	10N	12N	12N	14N	14N	14N	16N	16N	12NW				
6N	6N	6N	6N	6N	8N	8N	8N	10N	10N	10N	10N				
4N	4N	4N	4N	4N	6N	6N	6N	6N	6N	6N	8N	8N			
4NH	4NH	4NH	6NH	6NH	6NH	6NH	6NH	6NH	6NH	6NH	4N				
6NH	6NH	6NH	6NH	6NH	4N	4N	4N	4N	6N	6N	6N				

50MM THICK
PINUS RADIATA
50MM THICK
DOUGLAS FIR
50MM THICK
DOUGLAS FIR
EITHER
TIMBER

TRUSS SPAN IN METRES
TRUSS SPAN IN FEET
RAFTER 50X() IN MM
WITH LATERAL BRACING NOT FURTHER APART THAN
BOTTOM CHORD 50X() IN MM
DIAGONAL D 50X() IN MM
DIAGONAL E 50X() IN MM
RAFTER 50X() IN MM
WITH LATERAL BRACING NOT FURTHER APART THAN
BOTTOM CHORD 50X() IN MM
DIAGONAL D 50X() IN MM
DIAGONAL E 50X() IN MM
APEX PLATES AT B
EAVES PLATES AT A
BOTTOM CHORD SPLICE PLATES AT S1
TOP CHORD SPLICE PLATES AT S2
PLATES EACH END OF MEMBER D
PLATES EACH END OF MEMBER E

15° PITCH															
12M	11.5M	11M	10M	9.5M	9M	8.5M	8M	7M	6.5M	6M	5.5M	5M			
40'	38'	36'	34'	32'	30'	28'	26'	24'	22'	20'	18'	16'			
200	150	150	150	125	125	125	100	100	100	100	100	100			
1524	1168	1245	1346	1168	1270	1372	1092	1219	1372	1524	1651	1778			
100	100	100	100	100	100	100	100	100	100	100	100	100			
50	50	50	50	50	50	50	50	50	50	50	50	50			
100	100	100	50	50	50	50	50	50	50	50	50	50			
125	125	125	100	100	100	100	100	100	100	100	100	100			
1219	1295	1372	1194	1321	1422	1524	1651	1778	1905	2032	2210				
100	100	100	100	100	100	100	100	100	100	100	100	100			
50	50	50	50	50	50	50	50	50	50	50	50	50			
100	100	100	50	50	50	50	50	50	50	50	50	50			
4N	4N	4N	4N	4N	4N	4N	4N	4N	4N	4N	4N	4N			
12N	12N	12N	10N	10N	10N	10N	8N	8N	8N	8N	6N	6N			
8N	8N	8N	6N	6N	6N	6N	6N	6N	6N	6N	4N	4N			
6N	6N	6N	6N	6N	6N	6N	4N	4N	4N	4N	4N	4N			
6NH	6NH	6NH	6NH	4NH	4NH	4NH	4NH	4NH	4NH	4NH	4NH	4NH			
4N	4N	4N	6NH	6NH	6NH	6NH	6NH	6NH	6NH	6NH	4NH	4NH			

DATA

Pitch	12° OR 15°
Span	5 METRES TO 12 METRES
Spacing	1 METRE C.C.
Canilever	NIL
Overhang	750MM MAXIMUM
Roofing	CORRUGATED IRON
Purlins	
Ceiling	GIB, BD OR FIB. PLSTR.
TIMBER STRESS CLASS AS DEFINED IN NZS 1800 CHAPTER 9.1 (APPROXIMATE AUSTRALIAN EQUIVALENT SHOWN IN BRACKETS.)	PINUS RADIATA SELECTED NO 1 FRAMING (f 800) AND DOUGLAS FIR STANDARD GRADE (f 1250)
MOISTURE CONTENT	22% MAXIMUM

DESIGN

Dead load	383 Pa
being roof plane	193 Pa
and ceiling plane	190 Pa
Live load	431 Pa OR 287 Pa
Wind load	622 Pa
Max. downward force each support	814X (1/2 SPAN IN METRES) IN N
Max. wind uplift at each support	400X (1/2 SPAN IN METRES) IN N
NAIL DESIGN LOADS	
Dead	89 N PER NAIL
Dead + live	110 N PER NAIL
Dead + wind / EQ	133 N PER NAIL
Dead + conc. L.L.	
Plan	
Elevation	0 100 200 300 400 500 600 700 800 900 1000
Joints	
Stress diagram	

PLATES MANUFACTURED BY

A.R. TURNER & CO. (NEW ZEALAND) LTD.
NIVEN STREET, ONEKAWA, NAPIER, NEW ZEALAND.
Phone 436011

TELEGRAPHIC AND CABLE ADDRESS "PRYDEWARE"

DISTRIBUTED BY

A.R. TURNER & CO. (NEW ZEALAND) LTD.
EILEEN ROAD, CLAYTON SOUTH,
MELBOURNE 3169, VICTORIA, AUSTRALIA.
TELEPHONE 547-4574

CONSULTING ENGINEERS

POWELL FENWICK & JOHNSON
DESCO CENTRE, 51 TENNYSON STREET, NAPIER.
SECURITIES HOUSE, 126 THE TERRACE, WELLINGTON 1.
137 VICTORIA STREET, CHRISTCHURCH 1.
258 PARNELL ROAD, AUCKLAND 1.

DOMESTIC TRUSS
TYPE B
META ROOF
12° OR 15° PITCH

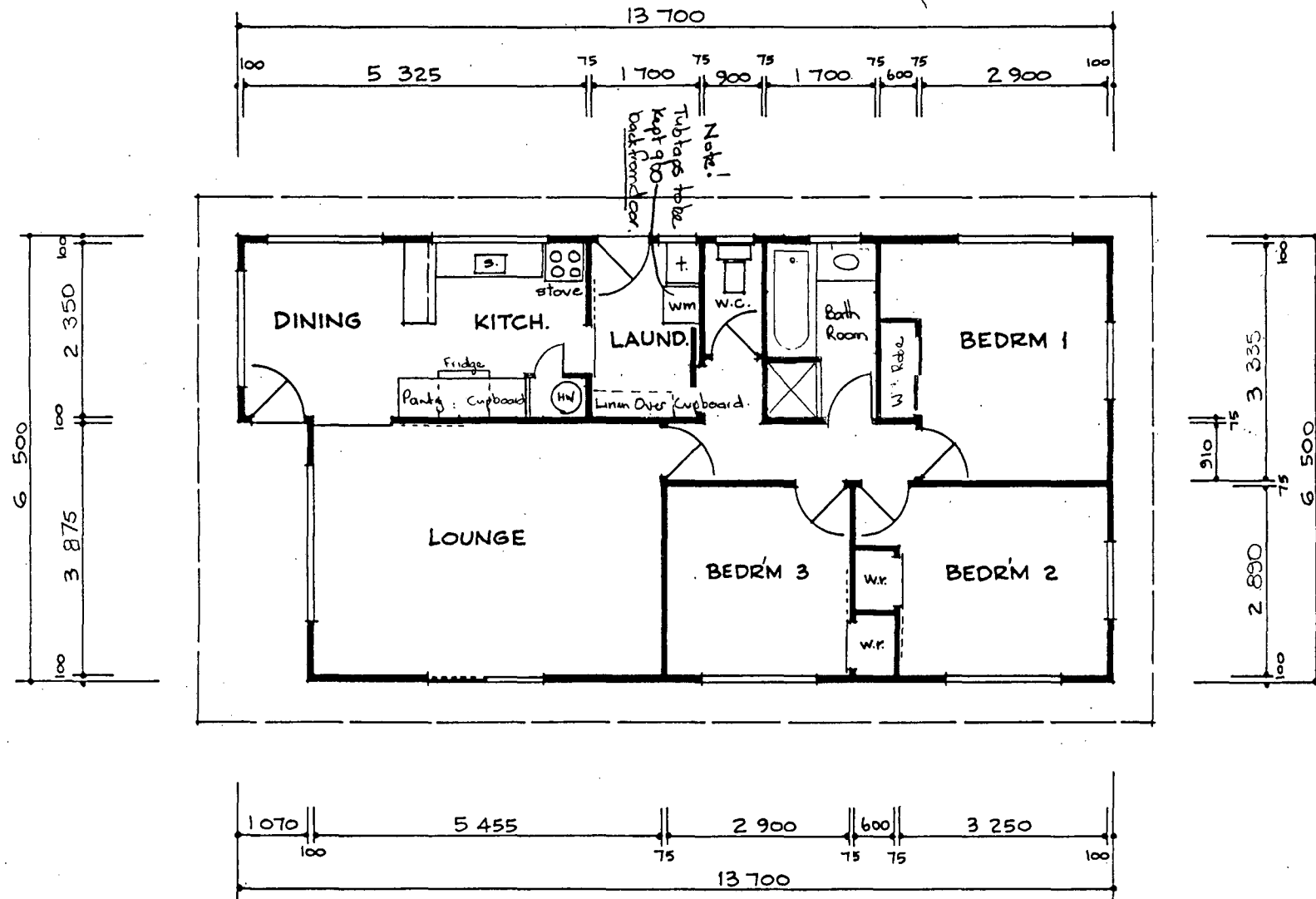
JOB REF: H2301
ISSUE: AUG. 1974
TRUSS REF: M 501

Proposed Residence

P. Hall.

Akapiro Place

Wanganui.



AVALON HOMES LTD

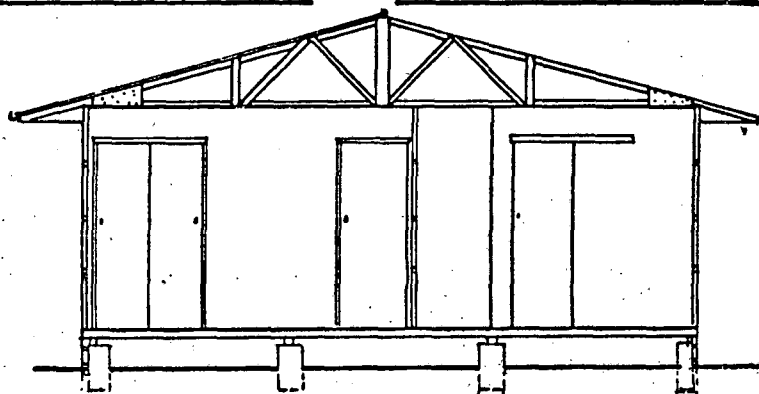
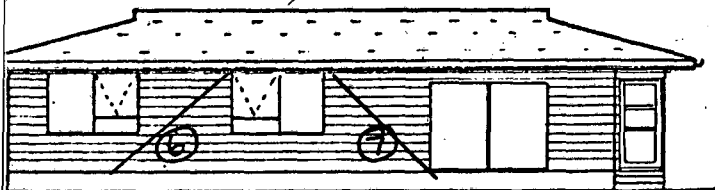
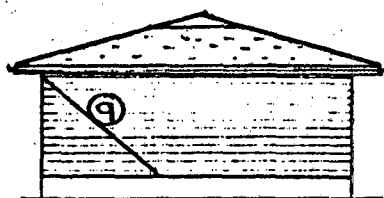
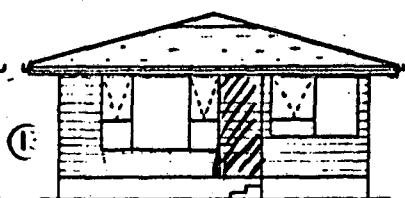
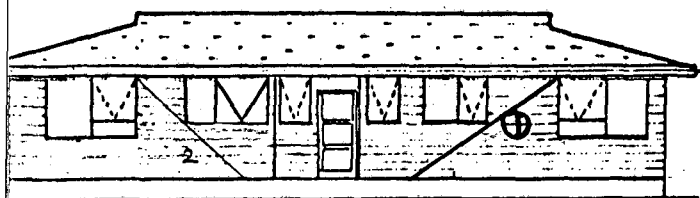
PLAN 861

Scale 1:100

Area 84.8 m²

912 sq ft

Bracing Details.



alton Homes Ltd

MAKING

PLYMOUTH

TE 55-555

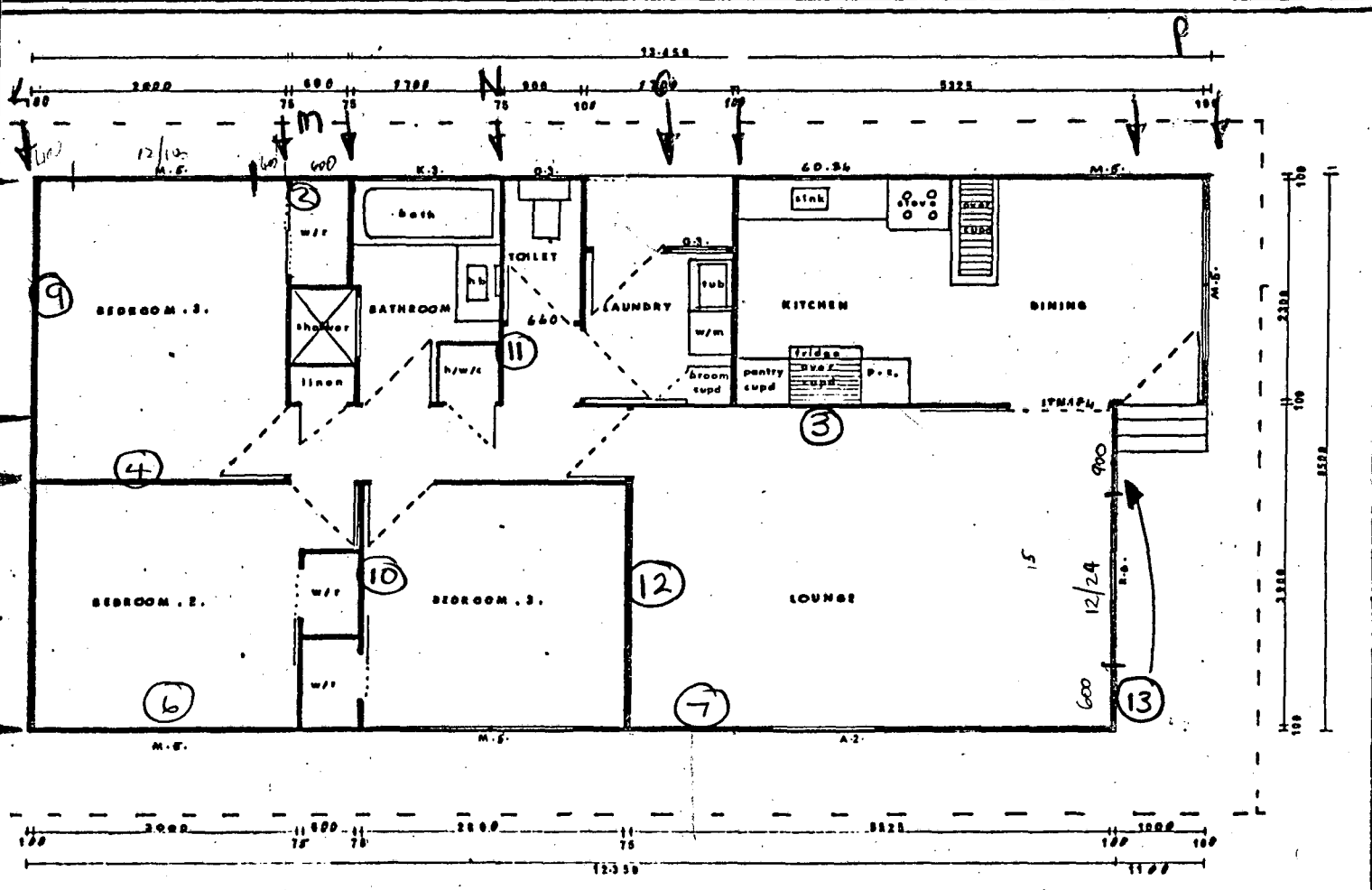
Standard Plan 867 PLAN NO 881

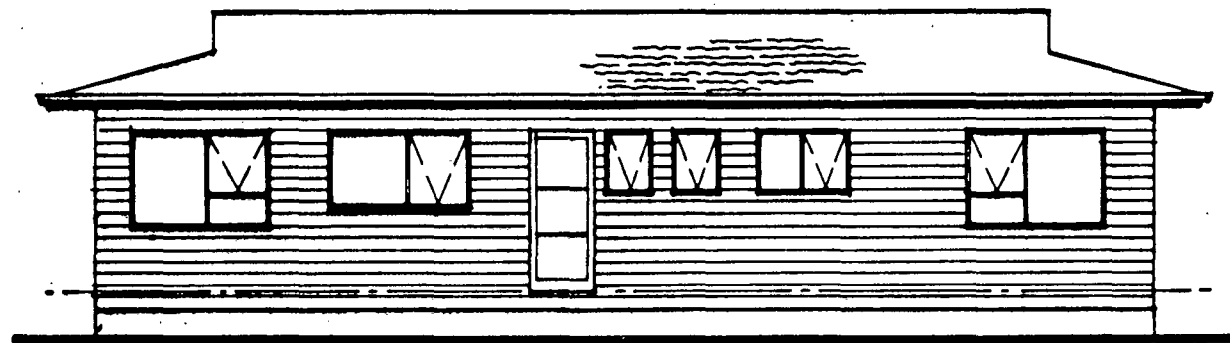
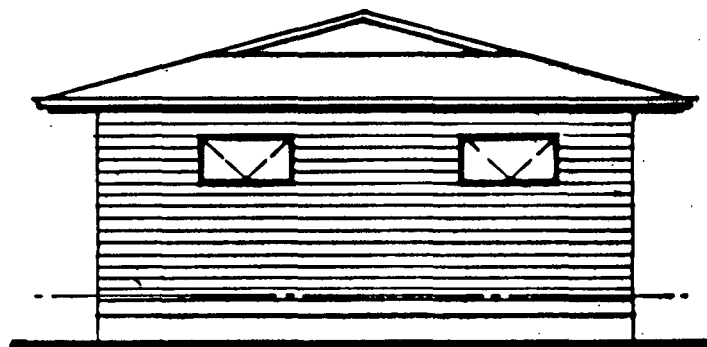
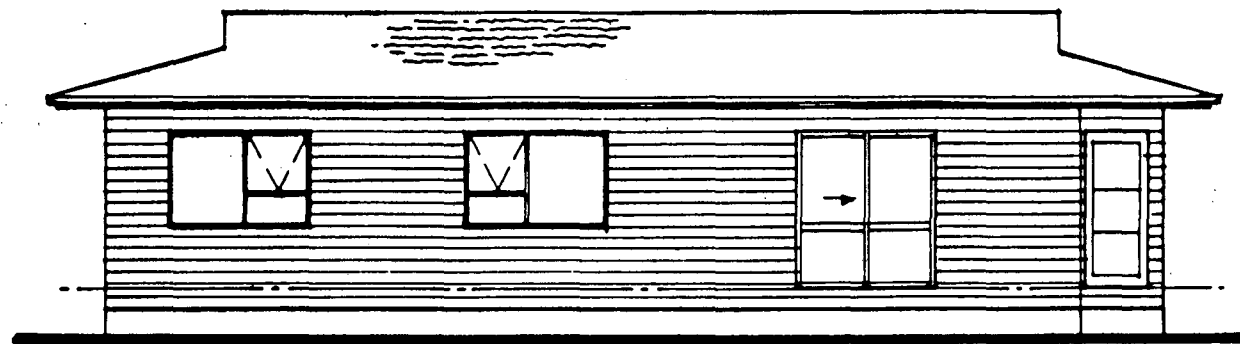
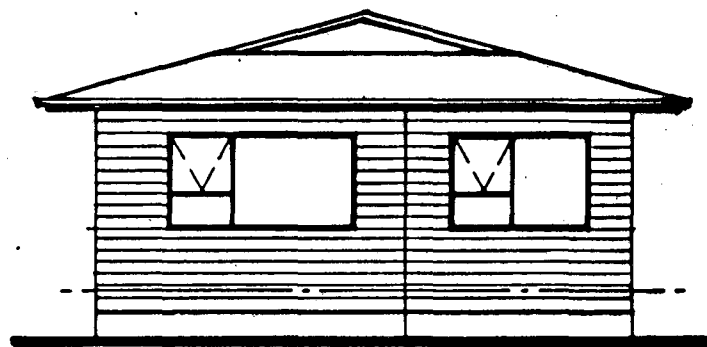
NAME

ADDRESS

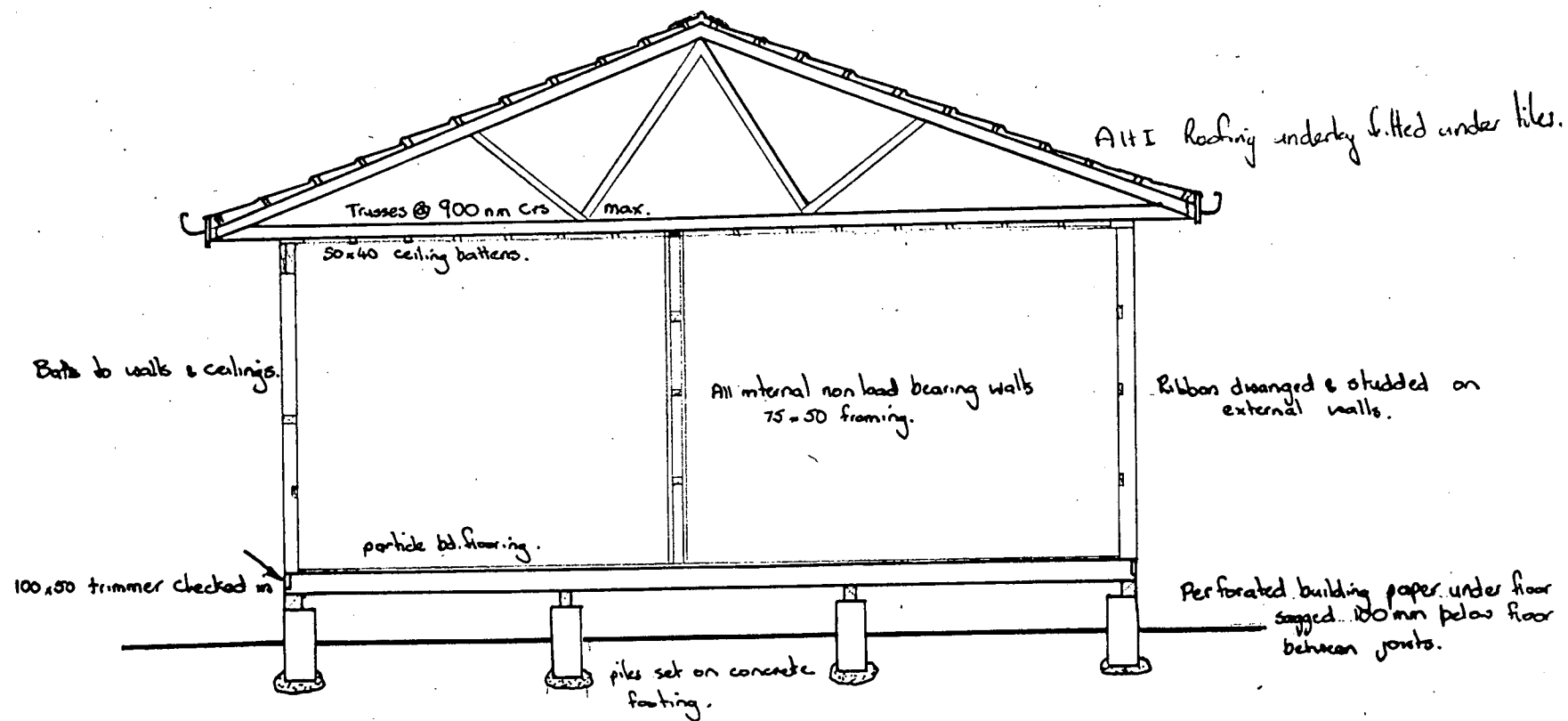
PHONE

HOUSE NO





AVALON HOMES LT
PLAN 861
Scale 1:100



Crosssection: Scale 1:50



AVALON HOMES LTD

PRE-BUILT TRANSPORTABLE HOMES

DEVON ROAD, WAIMAKAIRO
NEW PLYMOUTH
P.O. BOX 3125 PHONE 85-960

OWNERS NAME:

P. W. Hall

SITE ADDRESS:

~~Henderson Street~~

AKEIRO
PLACE

Wanganui

SPECIFICATIONS OF WORK TO
BE DONE AND MATERIALS TO
BE USED IN CONSTRUCTION OF
"AVALON CUSTOM-BUILT HOMES"

WORKMANSHIP:

All work to comply with N.Z.S.S. 1900 Standard Building Code and appropriate Local Authority and Lending Institution.

GENERAL:

"Avalon Custom-Built Homes" are constructed at the Assembly Yard and are delivered to the Owner and placed on concrete piles to a height not exceeding 450 mm from ground to floor at any point.

SITE:

Clearing and preparation of the site is the responsibility of the Owner. The site must be clearly defined and pegs placed showing the position where the building is to be located. Boundary pegs must also be clearly marked. The Contractor will not be responsible for incorrect siting of the building.

VARIATIONS:

Any variations to the plan or specifications required after the contract is signed shall be instructed in writing and priced and paid for before the work is carried out.

LAND CONDITION:

The Contractor assumes that the land is suitable for standard foundations. Any additional work required through soil being of unsuitable bearing or rock or poor drainage will be a charge on the Owner.

NOTE: The clause re Variations is to apply to such situations.

INSURANCE:

"Avalon Custom-Built Homes" are fully insured during construction in the yard and until the building is completed on site. Once the Owner takes occupation, he is responsible for arranging his own insurance.

BUILDING PERMIT:

The Owner is responsible for obtaining all permits and paying all fees relative to permits, connections, street crossings and the like charges made by Local Authority.

FIGURED DIMENSIONS:

Take figured dimensions in preference to scale, check totals before setting out with particular reference to stock sizes being available for fixing to positions established by that stock module. Plan and section dimensions related to timber and taken between framing to nominal sizes. Foundation dimensions are taken between material faces to nominal sizes. Steelwork dimensions are taken between centre lines.

CARPENTER AND JOINER: All timbers to be strictly in accordance with the classes specified, moulding and finishing timbers and joinery work are clean selected Rimu. All nails in exposed work to be galvanised and punched and timbers dressed.

TIMBER SCHEDULE: The Contractors reserve the right to change the material used within the building. Any change will comply with the Local By-Laws. Any change will be subject to an increase or decrease in the price originally quoted, and the Purchaser informed accordingly.

CONCRETE PILE FOUNDATION: 200 x 200 Piles on 300 x 300 x 100mm concrete pads as required.

Jack Studs: at 1350 mm Tanalised Pine 100 x 75

Soldier Blocks: ~~Tanalised Pine~~ 150 x 150 x 50mm

Exterior Framing: Boric Treated Pine, B.A.R. or D.Fir 100 x 50. Braces checked into Exterior Walls Boric Treated Pine or D.Fir Galvanised Steel or 100 x 25.
Dragon Ties 1828 mm return to corner chekced in Galv. Steel or 100 x 25. Trimmers to openings.

Treated Pine or B.A.R. up to 1350	100 x 75
1350 - 1800	150 x 50
1800 - 2000	200 x 50
up to 3500	100 x 100

as per Engineers Calculations

Trimmer Studs:

Opening under 1350 check 12 mm	100 x 50
Opening over 1350 double studs	100 x 50
Spiked together one supporting lintel	
Trusses at 900 crs. Bottom cords T.Pine or D.Fir	100 x 50
Braces, struts and hangard, T.Pine, B.A.R. or D.Fir	75 x 25
Rafters at 900, 1200 or 1350 crs.	150 x 50
Purlins at 750 crs. on edge or flat, T.Pine, B.A.R. or D.Fir	75 x 50
50 x 27 Battens if Bituminous Metal Tile Roof	
Internal Framing T.Pine, B.A.R. or D.Fir	75 x 50
Ceiling Battens at 300 and 450 crs T.Pine B.A.R. or D.Fir	50 x 37
Flooring 19 mm High Density Particle Board.	
Laminated Beams as per plan to N.Z.S.R. 34.	

EXTERIOR SHEATHING: ~~Wood Grain Hard Plank~~ (or as described in schedule) in as long lengths as possible and securely nailed at each stud, covered with galvanised angle soakers at all external angles, butted and covered with galv. soakers or P.V.C. jointer at joints. ~~Hard Plank~~ - 200 mm fixed to Manufacturers specifications. Fibrolite fitted over building paper to Manufacturers specifications.

FACINGS AND SCRIBERS: 50 x 25 T. Pine, D.A. Rimu or D.A. Matai, D.A. Totara, Treated Matai or Treated Rimu.

FLOOR JOISTS: ~~Boric~~ Radiata to be 150 x 50 fixed on Sleeper Plates to a uniform level and securely spiked in long lengths.

FRAMING:

The whole of the building to be framed, nailed and fastened together in a thorough and tradesmanlike manner with materials as scheduled and hereafter specified.

Studs:

Studs to external walls 100 x 50 at 600 mm max.
Studs to internal walls 75 x 50 at 900 crs max.

Bracing:

External wall securely braced where possible with galvanised steel braces. Internal walls braced with 75 x 50 cut in braces.

Roof Frame:

To be constructed robustly of trusses and jack rafters of 100 x 50 at 900 crs., or 1350 crs., securely nailed and birdmouthed over plates. Purlins 75 x 50 on flat or edge at 760 crs. for iron roof. For Tile Roof 50 x 35.

FLOORING:

As scheduled, fitted out under plates and run under all partitions.

INTERIOR LININGS:

All walls covered with 9mm. Gibraltar Board. Paper finished rooms to be flush pointed, all painted rooms to have P.V.C. Jointer at joints with 43mm wall batten. 19mm quadrant moulding at corners. All ceilings of 600 x 300 Pinex Insulating shiplap panels.

Finishing Timbers:

All skirtings to be of 60 x 12 bevelled and architraves of 43 x 12 bevelled. Wood scotia to cornices.

Insulation:

R 11 Batts to walls and ceiling and Perforated Reflective Foil to under floor.

Building Paper:

Fixed to exterior of exterior stud walls, a suitable breather type building paper.

JOINERY:

Doors, Sashes & Frames:

All frames to exterior doors shall be D.A.H. Matai, Totara or Rimu ex 5108 C.M. solid rebated.

Interior Doors:

All interior doors to be ^{Tulip Oak} ~~Phillipine Mahogany~~ or other approved ply 1980 x 760 to main rooms. 1980 x 660 to utility rooms. Wardrobes, Linen, H.W.C. Coats etc 1980 x 460, 610 or 760 hung or sliding as shown on plan.

Front & Back Doors:

Cedar Redwood or Tanalised Pine. Obscure Glass.

Front Door:

1980 x 810 3 panel Vertical

Back Door:

1980 x 810 3 panel

Aluminium sliders as per plan.

Metal Windows:

Metal windows and sliding doors shall be of Anodised Aluminium, weather stripped with glazing beads and plain anodised sashes. Anodising shall be to Grade A.A. 25 or better as per plan.

PLUMBING:

All plumbing work to be carried out under strict supervision by reputable and registered contractors. Standard fittings where applicable.

Laundry:

560 x 410 stainless steel seamwelded wash tub with wooden unit. Hot and cold water taps to tub. Washing Machine taps to be fitted for automatic machines at a standard height.

Kitchen: 40 gallon hot water cylinder to be installed in airing cupboard. Stainless steel sink bench, with stainless steel bowl central, complete with plug and waste, hot and cold water taps. All hot and cold water run in concealed copper pipe to a point ready to be connected to main supply, P.V.C. pipe may be used for cold water. 1 hose tap fitted adjacent to back door.

Bathroom & W.C. Vinyl base with vinyl shower lining selected from standard colour range and/or Vitrous enamel pressed steel bath. Formica vanity top and white bowl on wooden unit or white porcelain hand basin on brackets, all complete with plug and waste and hot and cold water taps. Water closet of N.Z. Manufacture complete with low water cistern, white flexible nylon seat, terminal vent as required, and ready for outflow to sewerage.

Roof: (A) ~~Long run corrugated iron roofing to be fitted over building paper. Downpipes in P.V.C. securely fixed ready for outflow to soakholes or drain. All laps of iron to be painted. All ridges, valleys and guttering in Galvanised iron.~~

OR

(B) Metal Tiles fitted to Manufacturers specifications. Guttering and downpipes in P.V.C. securely fixed for outflow to soakholes or drain.

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PAINTING: All painting work to be carried out under strict supervision with high grade materials. Exterior and interior colour schemes may be selected by the Purchaser, to a maximum of three exterior colours and seven interior colours. Additional colours at an extra cost. Generally the paintwork is as follows:

Exterior: Roofing is unpainted. Prime all weatherboards 1 coat of General Purpose priming before fixing. All other exterior timbers to be primed. Then stop with first grade putty to all nail holes, scribes and any defects. Then apply to all exposed woodwork 1 coat of approved undercoat followed by 1 coat of high gloss. One coat of sealer to fibrolite sheathing, soffit lining and gable ends, followed by one coat of P.V.A. Plastic Paint.

Interior: Ceilings to bedrooms, hall and lounge etc. to receive 2 coats of P.V.A. paint. All woodwork to above rooms to receive 3 good coats of paint. Walls to same to receive 2 coats of P.V.A. plastic paint or flat enamel paint, paint to any approved colour. In lieu of paint to walls in any of the rooms, paper will be supplied and fixed to the value of \$3.50 per standard roll. When papered all plaster joints etc. to receive one coat of sealer.

Doors: All interior doors to be ^{Tube Oak} ~~Philippine Mahogany~~ or other approved ply and to be finished with 3 coats of semi-gloss polyurethane.

Kitchen, bathroom and toilet and laundry walls, ceilings and inside of cupboard doors, to receive one coat of sealer, one coat of enamel undercoat and one coat of approved enamel. Interior of all cupboards are unpainted.

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ELECTRICIAN:

(Note: Owner must requisition for power in certain areas)

All electrical work and installations to be executed by reputable and registered electrical contractors and the following details are standard. All circuits to be run in approved cable. Main switch-board located in a position decided by Contractor and services from the outside of the building. Sub-boards where required are to be located by the Contractor.

Total of lights and power points are as follows:

Interior ceiling or wall lights (1 to each room)
Number10.....

Power Points (1 to each room, 2 to lounge and
kitchen) Number11.....

T.V. Aerial Connector to lounge.

Exterior Lights (1 to front and rear entrances)
Number2.....

Point for Hot Water Service.

Stove wiring for four plate supply.

1 Hot Water element of 1,100 watts and thermostat supplied.

1 full size Moffat Contessa Four Plate Automatic stove.

Provide 2 sand heaters in Lounge to approval

STANDARD FITTINGS AND FIXTURES SUPPLIED:

Kitchen: 1650 dresser bench unit with 2 drawers, 3 cupboard doors and dresser unit with Formica surfaced dresser top with doors as per plan.

Top Cupboards: As per plan.

Floor to ceiling pantry, airing cupboard with doors as per plan.

Bathroom: Built in Shaving Cabinet with full width mirror and accessory shelves, toilet roll fixture, towel rail and soap recess.

Laundry: Wash tub with cupboard under. Soap recess over tub.

Sundry: Lockset to front and back doors. Latchsets to interior doors, Capri or Petal.

Snibset to W.C. and Bathroom.

Florentine Bronze knobs to cupboard doors with magnetic catches where applicable.

AVAILABILITY: Should some hardware become in short supply, other approved brands will be used.

BASE SHEATHING: Base of dwelling to be sheathed with flat asbestos cement sheets suitably battened at joints and corners. Fibrolite unpainted. Adequate ventilation to sub-floor.

STEPS: Wooden steps to front and back door.

SERVICE TESTED

FOUL DRAINAGE

STORM DRAINAGE

CITY WATER SUPPLY

PRIVATE WATER SUPPLY

HOT WATER SUPPLY

SEWER VENTS

BACK VENTS

W.C.

SINK

BATH

SHOWER

BASIN

TUBS

CEILING VENT

HEATING

SWIMMING POOL

METER

DANGEROUS GOODS

Ross Chark 1/4/80

Inspector

M. Bradshaw

Date

WANGANUI CITY COUNCIL

No 3318

PLUMBING AND DRAINAGE INSPECTION SHEET

REG. PLUMBER M/S

Ross Chark

AND/OR DRAINLAYER

is/are hereby authorised to carry out the work described herein and set out in the plans deposited in this office, on the premises.

AND SITUATED IN

9 AKEPIRO PLACE

LOT

14

D.P.

44124

SECT.

OWNED

OCCUPIED BY

P. W. HALL

DESCRIPTION OF WORK

DWELLING

ESTIMATED VALUE OF WORK:

PLUMBING \$

\$

RECEIPT No.

08A

DRAINAGE \$

\$

TOTAL \$

1,800-00

FEE PAID \$

23-00

Such work is to be carried out in strict accordance with the Drainage and Plumbing Regulations.

P. M. BARNES, City Engineer.

Inspector

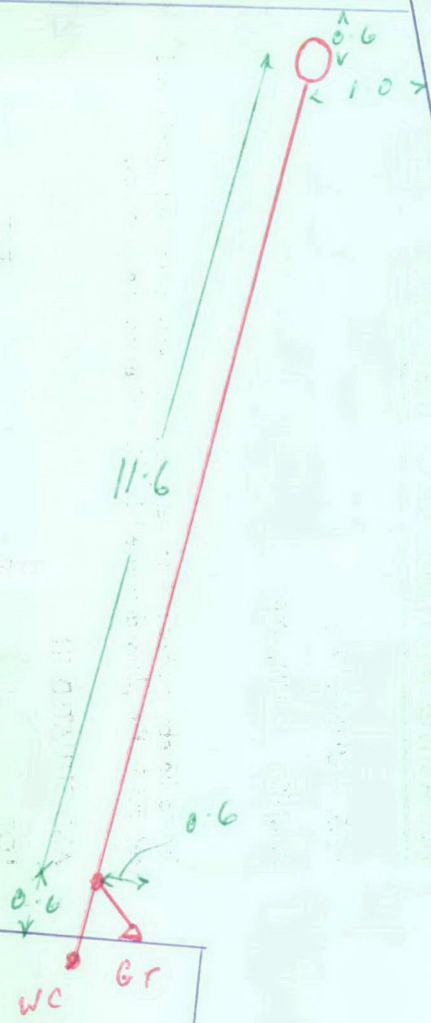
M. Bradshaw

DATED THIS

28th

DAY OF

November 1979



AKERIRO PLACE



Wanganui City Council
Attention Chief Building Inspector

AVALON HOMES LTD

PRE-BUILT TRANSPORTABLE HOMES

DEVON ROAD, WAIMAKAIHO
NEW PLYMOUTH
P.O. BOX 3125 PHONE 85-860

Re P.W. Hall's Residence.
9 Akapiro Place.

9 March 1980

TO WHOM IT MAY CONCERN

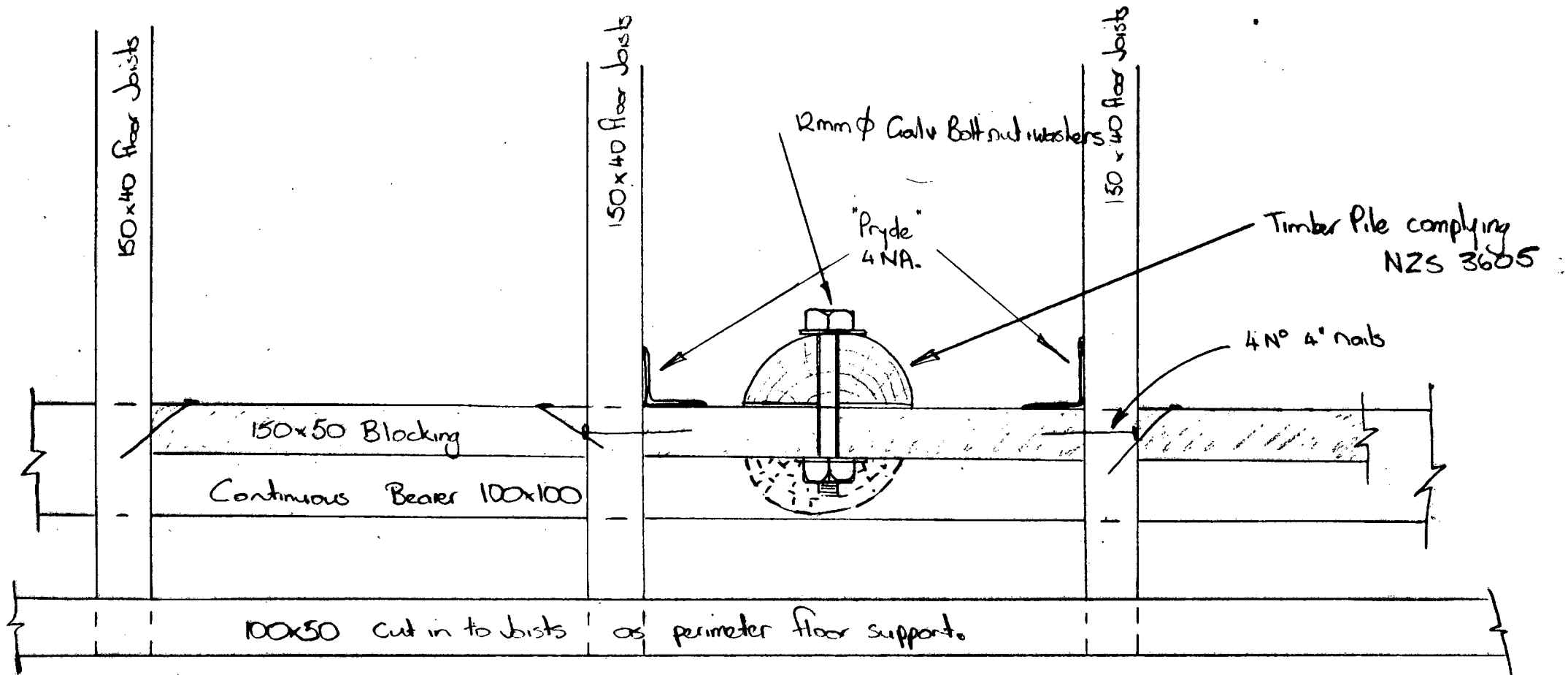
Because of a recent BRANZ seminar on the 3604 Building Code held at New Plymouth, it was stated that the subfloor braces and anchor piles are totally ineffective and not to be used on foundations closer to the cleared ground level than 600mm, the attached alternative has been derived in association with Branz personnel.

A copy is now in Branz for comment and approval. I would like to suggest that this detail be followed for all low level Avalon Homes, even though written approval has not been received yet, for lack of any other details, yet confirmed.

Yours faithfully,
AVALON HOMES LTD

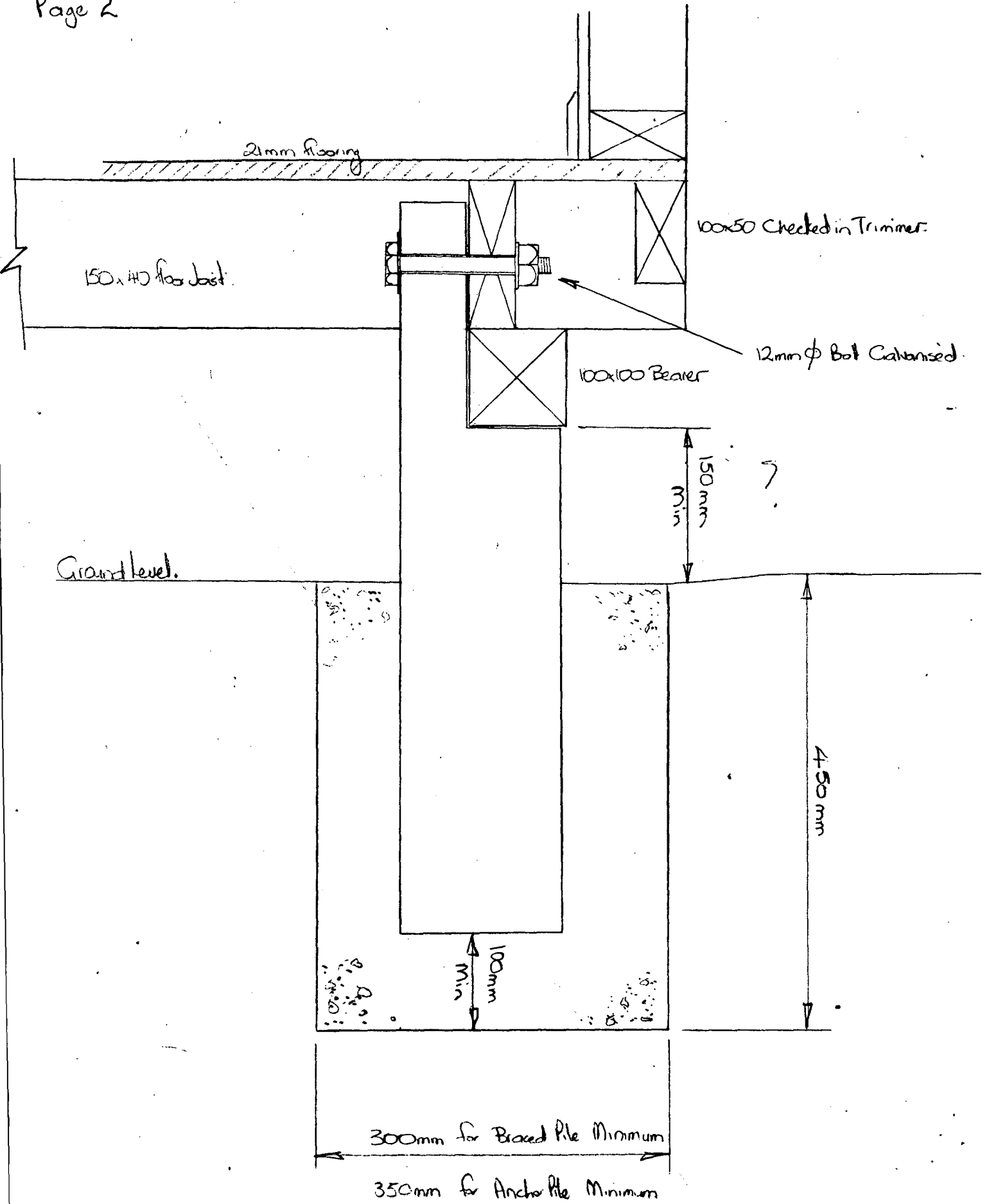
M.P. Mattin
MANAGER

Alternative To Anchor Piles & Braced PILES. (Where foundations max height of 600mm)



Notes :

- 1) Blocking Full depth of Joist
- 2) Blocking to be either side of bolted pile also.
- 3) All cut surfaces of pile to be treated with creosote.



Footway No... 4438.....

No... 1955

WANGANUI CITY COUNCIL

Building Inspection Sheet

Permit No. J065013 Value 23,000 Val No. 13110/530/14

OWNER P.W. HALL DATE:- 20.3.80

BUILDER OWNER Rebuilt "Avalon"

STREET 9. AKEPIRO PLACE Date

SEC. Lot 14 DP. 44124 Inspection

✓ Boundaries

✓ Excavation

✓ Foundation 9.12.80 19.3.80

✓ Piles 20.3.80

Vents See Over 8/5/80

Chimney Found 11/4/80

Framework

Trimmers

Ventilation

Rafters

Purlins

Sheathing

Netting

Ceiling Vents 11.5/80 7/5/80

Water Heaters 15/5/80

Gas Fire Flues 22/5/80

Completed 7/6/80

REMARKS:- IF TIMBER PILLS NOT PROCURABLE

FOR ANCHOR PILLS, THE ANCHOR PILLS

MUST BE POURED IN SITU, AND A 900MM

LENGTH OF CHAIRNISED ANGLE INSERTED TO

TAKE DIAGONAL BRACIS (THE INSITU

UEB Print

PILL TO BE 150 MM ABOUT NATURAL GROUND
THEN JACK STUDDED TO BEARER.

8/2/80! Anchor piles in but
braces not bolted. Informed
Builder that this is not
satisfactory. Harold Homes
ref to call and discuss
this with CBI.