

FILE NO 01 /u/RA/RAM1 Rates Property File RECORD INQUIRY
REC NO 1938093400 HERRON NICHOLAS ALAN LAST NO

FIELD	DESCR	DATA
1.01	OCC-NAME-1	HERRON NICHOLAS ALAN
1.02	OCC-NAME-2	MCRAE-HERRON RACHEL ANN
1.03	OCC-ADDR-1	P O BOX 980
1.04	OCC-ADDR-2	NELSON
1.06	POST-CD	7015
5.01	MAINT-DATE	29/09/95
6.01	IMPROVMNTS	BACH OBS OIS
6.02	CERT-TITLE	125/115
7.01	LEGAL-1	LOT 36 DP5090 BLK II WAIMEA SD
11	LOCATION	BARNETT AVE, BEST ISLAND
13.01	LAND-VALUE	47,000
13.02	CAPL-VALUE	75,000
13.03	IMPR-VALUE	28,000
13.21	HECTARES	0.0809
14.01	N-LAND-VAL	47,000
14.02	N-CAPL-VAL	75,000

BLANK = NEXT SCREEN X = END INQUIRY OR NEXT NO T = TRANSACTION

Site meeting with owner
and father - New Kitchen
ALTERATIONS - Needed B/C. STUCCO EXTERIOR
WARNED OWNER OF SERIOUS NATURE OF
ALTS NO. B/C.

Recommended Drawn up Probably
Before & After some form of.
Producer Stint from Engineer or
SIMILAR - (Because Job Done)
STRESSED Need for URGENCY.
4/12/95 Greene Wood.

FILE

(Took 3 photos)
G



BUILDING CONSENT SUMMARY 951888

Applicant: NICK HERRON : P O BOX 980 : NELSON
Project location: BARNETT AVE, BEST ISLAND
Legal description: LOT 36 DP5090 BLK II WAIMEA SD

Project descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
EXTENSION OF KITCHEN AND RECLADDING OF HOME

Intended life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended uses: RECLADDING AND KITCHEN EXTENSION

Builder: OWNER

Plumber: STEVE MILSON 21 CROUCHER STREET RICHMOND

Valn No.: 1938093400
Estimated value: \$ 6,000
Charges inc levies: \$ 240.00

Date of applicn: 19/12/95
Date issued: 20/12/95
Overseer: Graeme Wood

FILE

INSPECTION DETAILS:

INSP PRIOR TO ISSUE
Mr Herron had done the
work prior to B/C being given
however looks satisfactory

SIGNED: [Signature]

DATE: 20/12/95



CONDITIONS OF BUILDING CONSENT 951888

- 1 ALL WORK HAS BEEN DONE PRIOR TO BUILDING CONSENT BEING ISSUED. A PRODUCER STATEMENT HAS BEEN RECEIVED FROM STEVE MILLSON.
- 2 The owner or person undertaking the building work shall give at least one working day's notice to cover up or close in of any Drainage system.
- 3 The owner or person undertaking the building work shall give at least two working day's notice to cover up or close in of any Plumbing work.
- 4 The owner or person undertaking the building work shall advise of completion of work by returning the "Advice of Completion of Building Work" form which accompanied the consent.
- 5 A copy of this consent is to remain on site at all times and you should ensure that a copy is given to any tradesmen e.g. your builder, plumber and drainlayer..
- 6 This consent will expire if building work is not commenced within 6 months from the date of issue unless a written extension of time is obtained from the Building Inspector.

9/5/97

HERRON and work at 1938093400 - Barnett Ave, Best Island.

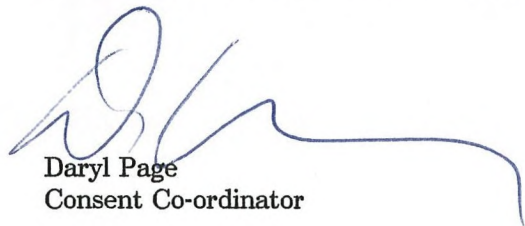
Discussed case further with Andy Beatson who advised that FVM would instruct another Solicitor if to advise Council as Herron was (and still is?) a client. I asked for this action not to happen until I had discussed the case with Manager Dennis Bush-King.

Outlined notes of 6/5/97 to Dennis and offences (a) and (b). No doubt the work took place but reality is the non complying nature is being corrected by the new owner under a building consent. Notwithstanding we are outside our "6 months" to lay an information, being successful in a prosecution was under some doubt. Because we are outside the time, the consideration does become irrelevant. In respect to (b), a case can still proceed and would be worthwhile if we were able to combine it with a similar prosecution on Chalk - i.e. both prosecutions done by the same Solicitor.

The decision was made not to proceed on (b).

I subsequently telephoned Brian Rowell of the Stoke Law Centre to catch up on his correspondence of December 1996. Nothing has been pursued mainly because Herron is hard to get hold of. He is due to talk the his client Hawkins again shortly.

I explained that Council were following up Gilbert Hunt's letters to Herron. Brian stated that his client would be happy to see Council take some action against Herron - his client would just like to see Herron "pay" for the problems he has caused.



Daryl Page
Consent Co-ordinator

Noted
Dennis Bush-King
9/5/97

6/5/97

HERRON history on 1938093400 - Barnett Ave, Best Island.

4/12/95

Graeme Wood inspects pty with N Herron and his father following an enquiry from a possible purchaser who revealed work had been undertaken.

Council required before and after drawing of work (already done) and producer statements.

18/12/95

Building consent applied for and BC951888 which clearly "stated work done prior to building consent", was issued 20/12/95. Documentation included with consent included a producer statement from an engineer and the plumber who did some work. A code compliance certificate was issued on 21/12/95 based on producer statements and Council inspection.

10/1/96

Stoke Law Centre letter asks about major structural work without consent and the history of BC951888 (as above) was conveyed by fax 10/1/96.

5/11/96

New owner C N Hawkins applies to Council for a building consent for alterations.

6/11/96

File note on application "Gilbert identified problem with existing septic tank".

12/11/96

Council's Plumbing and Drainage Inspector records on applications screening sheet comments regarding existing and proposed drainage systems.

18/11/96

Letter to N Herron (C/- FVM) detailing illegal plumbing and drainage installation.

4/12/96

Further letter to N Herron (Best Island) which followed up that of 18/11/96.

Somewhere between 12/11/96 and 13/12/96

Discussion between the owner and Council's Inspector followed and filed was noted "New septic tank system to be installed as discussed with owner".13/12/96

13/12/96

Building consent BC961906 issued.

20/12/96

Letter from Stoke Law Centre requesting copies of Council's notice to Mr Herron. A copy of their letter to Mr Herron dated 19/12/96 was attached.

27/1/97

Letter to Stoke Law Centre in response to their letter 20/12/96.

The question to be asked here is if Council should be taking a case against Herron for:

- (a) Failure to obtain a building consent for drainage work. Our file gives no indication when work was done apart from Stoke Law Centre letter 19/12/96 - "we understand you installed the septic tank yourself approximately three years ago".

This is a breach of section 33 if in fact the work was done post Jan 1993.

Gilbert Hunt advises that work possibly after the kitchen alterations in 1995 based on what plumber Steve Millson (who did that work) said.

6 months to lay an information - became known 6/11/96!

- (b) Work not done by Registered Drainlayer. Once again reference in Stoke Law Centre letter suggests Herron did the work - this suggestion could be true given (what turned out to be) the design faults and advice from plumber on job for other work.

This is a breach of the Plumber, Gasfitters and Drainlayers Act - max fine \$200.00.

The faulty work is where Council could issue a notice to rectify under section 42 and failure to comply with such a notice is an offence. The fact however is that the faulty work is being or has been rectified by new owner under BC961906. Accordingly there is no use.

Two offences remain but there will be some difficulty in proving an exact time the work was done. Equally, can we prove Herron did the work.

It is understood that Herron and Hawkins have come to a settlement and no civil action will proceed.


Daryl Page
Consents Co-ordinator

□ **Main Office**

189 Queen Street
Private Bag 4,
Richmond 7031 N.Z.
Tel (03) 544-8176
Fax (03) 544-7249

□ **Murchison
Service Centre**

92 Fairfax Street
P.O. Box 53, Murchison
Tel (03) 523-9004
Fax (03) 523-9004

□ **Motueka
Service Centre**

7 Hickmott Place
P.O. Box 123, Motueka
Tel (03) 528-7700
Fax (03) 528-9751

□ **Golden Bay
Service Centre**

78 Commercial Street
P.O. Box 74, Takaka
Tel (03) 525-9516
Fax (03) 525-9972

27 January 1997

Stoke Law Centre
9 Strawbridge St
Stoke
NELSON

Attention: Brian Crowell

Dear Sir

RE: CHRISTOPHER & LYNETTE HAWKINS

I apologise for the delay in carrying out your request to have copies of letters sent to Mr N Herron.

To date Mr Herron has made no attempt to communicate with myself or Council staff, therefore the Environmental Manager has allowed legal procedures to be carried out against him.

Yours faithfully



Gilbert H Hunt
Drainage & Plumbing Inspector

PM31E\ALLLETTERS\STOKELAW.G11

- | | | | |
|---|---|---|--|
| <input type="checkbox"/> Main Office
189 Queen Street
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7 Hickmott Place
P.O. Box 123, Motueka
Tel (03) 528-7700
Fax (03) 528-9751 | <input type="checkbox"/> Golden Bay
Service Centre
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P.O. Box 74, Takaka
Tel (03) 525-9516
Fax (03) 525-9972 |
|---|---|---|--|

4 December 1996

Mr N Herron
Best Island
RICHMOND

Dear Sir

This Notice has become necessary because of your non-compliance to a letter sent to you on 18 November 1996 via Mr Freeman of Fletcher Vautier & Moore.

As stated in the first letter, drainage installation was carried out at a property on Best Island Valuation No. 19380/934 when owned by you.

As requested of you, your co-operation to expose the septic tank, disposal system and greywater system will assist Mr & Mrs Hawkins with future development and prevent Council employing a drainage contractor to carry out this work and then forwarding all costs to you.

Your inability to co-operate or communicate with Council staff or Mr & Mrs Hawkins to rectify this situation has only strengthened my recommendation to the Environmental Manager that legal action against you should be carried out.

Yours faithfully



Gilbert H Hunt
Drainage & Plumbing Inspector

IM:FAALLTTERS.HERRON.RDS

- | | | | |
|---|---|---|--|
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Fax (03) 525-9972 |
|---|---|---|--|

18 November 1996

Mr N Herron
C/- Mr F Freeman
Fletcher Vautier Moore
2 Cambridge Street
RICHMOND

Dear Sir

ILLEGAL PLUMBING AND DRAINAGE INSTALLATION

This letter has become necessary because of illegal plumbing and drainage installation at Barnett Ave, Best Island (Valuation No. 19380/934).

You have a legal responsibility from the Building Act as you were the owner of the dwelling at Barnett Ave when the plumbing and drainage installation took place.

The Building Act Section 80 (a) states that every person commits an offence who does any building work (this includes plumbing and drainage) or permits any other person to do any building work other than in accordance with a building consent.

The plumbing and drainage installation to a failed septic tank and disposal system, and grey water disposal system, has been installed without a building consent or the required inspections from Council's Technical Officers.

The Drainage and Plumbing Regulations 1978, Section 87 (a) requires a Craftsman Plumber and Registered Drainlayer to carry out the installation or exercise personal supervision.

Council has a legal obligation to enforce the Building Act and Drainage and Plumbing Regulations. You are hereby notified therefore that this situation will go to the Environmental Manager recommending legal action against you.

Also you are required to employ a Registered Drainlayer to expose the septic tank and grey water disposal system and rectify the wrong components.

Your co-operation in this situation will be appreciated by Mr and Mrs Hawkins who can not proceed with their dwelling alteration until this situation has been rectified and a Building Consent has been issued.

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Fax (03) 525-9972

Yours faithfully

G Hunt
PLUMBING AND DRAINAGE INSPECTOR

Mr Freeman: Please forward this letter to Mr Herron as he has not contacted me and I have no contact address.

STOKE LAW CENTRE

Brian C Rowell LL.B. Principal Belinda Rowell (NZLEC) Legal Executive
Grant Parker B.Sc., LL.B. Staff Solicitor Geoff Bracefield B.Com., LL.B. Staff Solicitor
Julian Daly B.A., LL.B. Staff Solicitor

20 December 1996

Tasman District Council
Private Bag 4
RICHMOND



ATTENTION: Gilbert Hunt, Plumbing & Drainage Inspector

**RE: CHRISTOPHER & LYNETTE HAWKINS PROPERTY BESTS
ISLAND ~ HOUSE ALTERATIONS ~ PLUMBING & DRAINAGE
REQUIREMENTS**

We understand that you have been handling this matter.

Please find enclosed a copy of our letter to the former owner Mr Herron for your records.

Could we please have a copy of your notice to Mr Herron informing him of the unsatisfactory state of the septic tank.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Brian C Rowell'.

BRIAN C ROWELL

adbr:00043001

FAXED

STOKE LAW CENTRE

Brian C Rowell LL.B. Principal Belinda Rowell (NZLEC) Legal Executive
Grant Parker B.Sc., LL.B. Staff Solicitor Geoff Bracefield B.Com., LL.B. Staff Solicitor
Julian Daly B.A., LL.B. Staff Solicitor

19 December 1996

Mr N A Herron
C/- S A Herron
BESTS ISLAND

Dear Sir

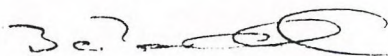
We act for Christopher and Lynette Hawkins who purchased a property off you in January of this year. Under the conditions of the contract you gave our clients warranties and undertakings that all work you had undertaken was permitted and met compliance standards.

In the course of carrying out alternations to the house our clients have been advised by the Tasman District Council that the septic tank does not meet Tasman District Council requirements and must be moved. We understand you installed the septic tank yourself approximately three years ago. We further understand that the Tasman District Council has written giving you notice to rectify the work but you have failed to respond to that notice.

We are instructed to put you on notice that our clients will proceed to have the work rectified to comply with Tasman District Council requirements and are holding you responsible and liable for the cost estimated to be in the vicinity of \$3,000.00

We give you further notice that repiling work undertaken by you has not been done to required standards. In particular rotten floor joists have been discovered which our client must attend to. Our clients are holding you responsible and liable for the cost.

Yours faithfully



BRIAN C ROWELL

adbr:00043000

FACSIMILE

TO: Brian Rowell
Stoke Law Centre.

FROM: Daryl Page

FAX NO: _____

DATE: 10/1/96

NO. OF PAGES 2
(including this)

IF YOU DO NOT RECEIVE ALL PAGES OF THIS TRANSMISSION PLEASE TELEPHONE IMMEDIATELY

Note: The information contained in this facsimile message is confidential to the intended recipient. If you have received this facsimile in error, please notify us immediately (by collect call if necessary) and destroy this facsimile. Any use distribution, dissemination or reproduction of this facsimile by any person other than the intended recipient is prohibited

Lot 36 Best Island - Hawkins purchase.
Your letter 9-1-96 refers.

The work you mention is covered by Building
Consent N^o 951888 issued 20/12/95.

After reviewing the work undertaken without
consent, Council decided to issue a building
consent under the Building Act due to
being "satisfied on reasonable grounds" that
work done complied to the Building code. This
was done by:

- Council inspection
- Engineer producer statement
- Plumbers producer statement.

A code compliance certificate was issued 21/12/95.

Property summary attached.

Regards



STOKE LAW CENTRE

Brian C Rowell LL.B. Principal Belinda Rowell (NZLEC) Legal Executive
Grant Parker B.Sc., LL.B. Staff Solicitor
Geoff Bracefield B.Com., LL.B. Staff Solicitor

9 January 1996

Tasman District Council
Private Bag 4
RICHMOND



ATTENTION: BUILDING CONSENTS

We act for Mr and Mrs Hawkins who are purchasing tomorrow a property owned by Nicholas Alan Herron at Bests Island, legal description Lot 36 Deposited Plan 5090, Certificate of Title 125/115. We know that the house has had major structural work done to it without building permits. We understand that Mr Herron has recently arranged to have Tasman District Council Building Inspectors inspect the property. Please confirm that the Tasman District Council has no outstanding requisitions/orders in respect of the property and forward by fax copies of any recent reports and certification. Understandably our clients do not wish to purchase a property which requires immediate expenditure to comply with the Building Act/Code. *

Yours faithfully

A handwritten signature in black ink, appearing to read "B. Rowell".

BRIAN ROWELL

adbr:00043014

FAXED

PLUMBING AND DRAINAGE

Sewerage disposal
Stormwater disposal
Water supply

PD01 ✓	PD07	PD10 ✓
PD04 ✓	PD08	PD11
PD05 ✓	PD09	PD12
PD06		

Connection Fee:

Toilet Pans No.

Owner to ~~ensure~~ ensure existing septic tank & disposal system is examined by Council's Drainage Inspector to approve its future use. Existing discharge system for grey water to be located

Signed: by [Signature]

Date: 12/11/06

also

Re design & siting of ~~well~~ well liners for storm water discharge to a position away from the area where the septic tank is sited

Signed: _____

Date: _____

OTHER

New septic tank system to be installed as discussed by with owner

Signed: _____

Date: _____

OTHER TASMAN RESOURCE MANAGEMENT PLAN MATTERS

- | | |
|---|---|
| Number of residential units per site: _____ | Landscape Priority (18.3) _____ |
| Total site coverage of all buildings: _____ | Land Disturbance (18.6) _____ |
| Financial contribution (16.5) _____ | Residential Restriction Area (18.9) _____ |
| Relocated dwelling (16.8) _____ | Flood Hazard Area (18.11) _____ |
| Earthquake hazard (16.9) _____ | Coastal Issues (18.12 or 18.14) _____ |
| Historic Place / Arch site (18.1) _____ | Slope Instability (18.15) _____ |

CHECK THE PROPERTY ON THE PLANNING MAPS TO PROVIDE MANY ANSWERS TO ABOVE. ALSO A COMPUTER PROPERTY ENQUIRY WILL ASSIST.

RESOURCE CONSENT ALREADY ACTIONED. 

BC FORM 3.DP - May 1996



Application for Building Consent

This application is made under Section 33 of the Building Act 1991

To: Tasman District Council
6/11/96 Gilbert Identified
Problem with existing S.T.

Building Consent No: 961906
Date Issued: 13-12-96

APPLICATION DETAILS

New PLANS
13/12/96

Applicant*

CHRISTOPHER NEAL HAWKINS
Full name of applicant

WEST ISLAND RD 1
Address

RICHMOND

Name and Address for Service (if different to above)
(Name and Address to which documentation will be sent)

Contact Name

Postal Address

Phone 035449985 Fax SAME

*Under Section 33 of the Building Act, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

Project Description

- New Dwellings
- Alterations to Dwellings(s)
- Domestic Garage(s)
- Shed(s) and Other(s)
(e.g. foundations demolition)
- Heating
- Commercial / Industrial

Indicate clearly details of building work,
e.g. New dwelling with internal garage and installation of wood burner.

Intended Use ADDITION TO
EXISTING PRIVATE RESIDENCE.

Project Location

WEST ISLAND
Street Address

LOT 36 DP 5090
Legal Description

Total Estimated Value of Project

Total (Inc. GST) \$ 100,000

Valuation Number 1938093400

FILE

Intended Life

- Indefinite life but not less than 50 years.
- Specified as _____ years
- Demolition

Being Stage _____ of _____ stages

This Application is for:

- Building Consent only, in accordance with project information memorandum
No. _____
- Both building consent and a project information memorandum.

Plan Zone _____

- Truss numbers.
- Schedule of materials.
- Certificate of Title.
- Any subdivision requirements that need to be met.

6. **Confidentiality**

Section 27 of the Building Act states that the application details shall be made available for public inspection. Subsection 3, however, allows an owner to mark plans and specifications as confidential due to copyright or security reasons.

Confidentiality requested for plans and specifications

7. **Connection Fees**

Depending on the area in which you build, and if you are connecting to the Council's sewerage or water schemes, a connection fee may be payable. For further information, please obtain the guide titled "Reminder - Sewer and Water Connection Fees" from Council offices.

8. **Development Impact Levy**

For building work with assessed value greater than \$50,000 (first dwellings exempt) a development impact levy is payable.

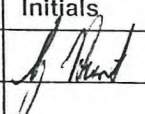
Signed: by/ for and on behalf of applicant: 

Position: OWNER Date: 5-11-96

TASMAN DISTRICT COUNCIL OFFICES

MAIN OFFICE	MOTUEKA SERVICE CENTRE	GOLDEN BAY SERVICE CENTRE	MURCHISON SERVICE CENTRE
189 Queen Street Private Bag 4, Richmond 7031 Ph: (03) 544-8176 Fax (03) 544-7249	7 Hickmott Place P O Box 123, Motueka Ph: (03) 528-7700 Fax: (03) 528-9751	78 Commercial Street P O Box 74, Takaka Ph: (03) 525-9516 Fax: (03) 525-9972	92 Fairfax Street P O Box 53, Murchison Ph: (03) 523-9004 Fax: (03) 523-9004

For Council Use Only

Checked by:	Initials	Date
Plumbing & Drainage		25/11/96
Building		
Health		
Land Use		

Fees Payable (GST incl):

Resource Consent - Minor	\$ _____
Building / Plumbing / Drainage**	\$ <u>750.00</u>
BRANZ Levy	\$ <u>100.00</u>
BIA Levy	\$ <u>65.00</u>
Temporary Accommodation Bond	\$ _____
Compliance Schedule	\$ _____
Sewer Connection	\$ _____
Stormwater Connection	\$ _____
Water Connection	\$ _____
Development Impact Levy	\$ _____
TOTAL	\$ <u>915.00</u>

Approved for Issue of Building Consent:

Technical Officer: 

Date: 6-11-96

Tax Invoice Sent/...../.....

Receipt No.

** Council bases its fee on the cost of processing the total building project as follows:

- (a) **Administration:** Receiving and issuing the consent plus checking plans etc. for Building Code compliance.
- (b) **Inspections:** Council is required to inspect certain stages and elements of construction for Building Code compliance.
- (c) **Code Compliance Certificate:** At the project's completion, Council will, if satisfied work complies to the Building Code, issue a certificate, which is an important document for future property dealings.

Date Submitted: Friday, 24 May 2019

FORM PLG 1

National Environmental Standard (NES) for Assessing and Managing Contaminants in Soil to Protect Human Health

For assistance in answering these questions please refer to (PLG 1A)

Please note that any inaccuracies may result in the applicant being in breach of the Resource Management Act 1991 and/or exposed to liability if the site is subsequently found to be contaminated, including being liable for remedial works.

Is the building work and all associated activities:

Changing the use of the land?

NO

(Please note that "changing the use of the land" includes erecting a dwelling on an area of land which previously had no dwelling erected upon it.)

Disturbing soil?

NO

*(more than 25m³ per 500m² of land) or removing soil? (more than 5m³ per 500m² of land)
(e.g.: foundations, on-site effluent treatment and disposal systems, wells or bores)*

For more information on this process please contact the Duty Planner on (03) 543 8400 or go the Ministry for the Environment website: <http://www.mfe.govt.nz/laws/standards/contaminants-in-soil/>

Signature

The name below as AGENT has the authority for the application to proceed to processing and accept the associated charges.

Signed By:

Haidee Doyle

24 May 2019

The Agent will be the first point of contact for communications with the Council/Building Consent authority regarding this application / building work and will receive all correspondence including all invoices.

Building: Main Building
Inspection: Final
Question: Is the completed installation of the solid fuel burning appliance in accordance with the building consent?
Inspector: Julian Malcolm
Timestamp: 2019-07-01 11:35:29
Comment: Final - Default #1 01/07/19



Building: Main Building
Inspection: Final
Question: Is the completed installation of the solid fuel burning appliance in accordance with the building consent?
Inspector: Julian Malcolm
Timestamp: 2019-07-01 11:35:29
Comment: Final - Default #2 01/07/19



Building: Main Building
Inspection: Final
Question: Is the completed installation of the solid fuel burning appliance in accordance with the building consent?
Inspector: Julian Malcolm
Timestamp: 2019-07-01 11:35:29
Comment: Final - Default #3 01/07/19



Building: Main Building
Inspection: Final
Question: Is the completed installation of the solid fuel burning appliance in accordance with the building consent?
Inspector: Julian Malcolm
Timestamp: 2019-07-01 11:35:29
Comment: Final - Default #4 01/07/19



Building: Main Building
Inspection: Final
Question: Is the completed installation of the solid fuel burning appliance in accordance with the building consent?
Inspector: Julian Malcolm
Timestamp: 2019-07-01 11:35:29
Comment: Final - Default #5 01/07/19



RESOURCE CONSENT ALREADY ACTIONED



Application for Building Consent

This application is made under Section 33 of the Building Act 1991

To: Tasman District Council
6/11/96 Gilbert Identified Problem with existing S.T.

Building Consent No: 961906
Date Issued: 13-12-96

APPLICATION DETAILS

New PLANS
13/12/96

Applicant*

CHRISTOPHER NEAL HAWKINS
Full name of applicant
BEST ISLAND RD 1
Address
RICHMOND

Project Description

- New Dwellings
- Alterations to Dwellings(s)
- Domestic Garage(s)
- Shed(s) and Other(s)
(e.g. foundations demolition)
- Heating
- Commercial / Industrial

Name and Address for Service (if different to above)
(Name and Address to which documentation will be sent)

Contact Name
Postal Address
Phone 035449985 Fax SAME

Indicate clearly details of building work,
e.g. New dwelling with internal garage and installation of wood burner.

Intended Use ADDITION TO EXISTING PRIVATE RESIDENCE.

*Under Section 33 of the Building Act, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

Project Location

BEST ISLAND
Street Address
LOT 36 DP 5090
Legal Description

Total Estimated Value of Project

Total (Inc. GST) \$ 100,000

1938093400
Valuation Number

FILE

Intended Life

- Indefinite life but not less than 50 years.
- Specified as _____ years
- Demolition

This Application is for:

- Building Consent only, in accordance with project information memorandum
No. _____
- Both building consent and a project information memorandum.

Being Stage _____ of _____ stages

Plan Zone

PROJECT DETAILS (Complete only if you have not applied separately for a project information memorandum)

This project involves the following matters (tick each applicable box, if any, and attach relevant information in duplicate):

- Location in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings.
- New provisions to be made for vehicular access, including parking.
- Provisions to be made in building over, or adjacent to, any road or public place.
- New provisions to be made for disposing of stormwater and wastewater.
- Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains.
- New connections to public utilities.
- Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- Any cultural heritage significance of the building or building site, including whether it is on a marae.

BUILDING DETAILS

This application is accompanied by (cross each applicable box and attach relevant documents in duplicate):

The drawings, specifications and other documents according to which the building is proposed to be constructed, to comply with the provisions of the Building Code, with supporting documents, if any, including:

- Building Certificates
- Producer Statements
- References to accreditation certificates issued by the Building Industry Authority
- References to determinations issued by the Building Industry Authority
- Proposed procedures, if any, for inspection during construction

KEY PERSONNEL

	Name and Address	Phone	Regn. No.
Builder(s)	T.B.A		
Registered Drainlayer	T.B.A		
Craftsman Plumber	T.B.A		
Building Certifier			
Designer			

FILE

with fender.

Note: The Craftsman Plumber / Registered Drainlayer are to complete a separate advisory sheet. This advisory sheet is to be returned to Council prior to work commencing.

STATISTICAL INFORMATION

Floor area: 140 m² No. of dwelling units: 1 No. of storeys:

Total Site Coverage of ALL buildings:

GENERAL

1. Please note that a building consent does not give any form of consent under the Tasman Resource Management Plan. Any such consent should be obtained separately prior to the lodgement of an application for building consent.

2. Tasman Resource Management Plan (the Plan)

- (a) A **relocated dwelling** requires a resource consent under Section 16.8 of the plan.
- (b) If building with 200 m of a **coastline** you may require a resource consent under Sections 18.12 or 18.14 of the plan.

Please provide a copy of, or details of, any resource consent obtained which relates to your application for building consent.

3. Plans and Specifications

In order for processing to commence the following attachments will be required:

- | | |
|---|--------------------------|
| ★ Two sets of Plans and Specifications; | ★ Accurate Site Plan; |
| ★ Bracing Schedule & Subfloor Bracing; | ★ Cross-section; |
| ★ Certificate of Title; | ★ Truss Number; |
| ★ Accurate On-site Drainage Disposal System Plan; | ★ Schedule of Materials. |

In addition to the structural details required, the plans and sections shall show every floor of the proposed building, the dimensions, position and intended use of the rooms and the situation of the flues, fireplaces, stoves and chimneys. The plans and sections shall further show the levels, both existing and proposed, adjoining the building and the proposed means of water supply.

Drawings required for works such as garages, outbuildings, barns, carports etc. are: site plan, floor plan, cross-sections and two elevations only.

If the land you are building on is the result of a subdivision, please provide details of any building related matter included in that subdivision.

4. Site Plans are required to show:

- external boundary dimensions
- adjoining properties with current land use shown (eg. orchard, forestry etc).
An aerial photo would assist.
- location and size of all existing and proposed buildings on the property showing distances to boundaries and between the buildings.
- the position of north.
- if overhead wires are present.
- site access (if new construction)

5. Have you included the following details in support of this application (if applicable):

- Two sets of plans and specifications.
- Bracing schedule and subfloor bracing.
- Accurate onsite drainage disposal system plan.
- Proposed water supply.
- Accurate site plan.
- Cross section.

- Truss numbers.
- Schedule of materials.
- Certificate of Title.
- Any subdivision requirements that need to be met.

6. **Confidentiality**

Section 27 of the Building Act states that the application details shall be made available for public inspection. Subsection 3, however, allows an owner to mark plans and specifications as confidential due to copyright or security reasons.

Confidentiality requested for plans and specifications

7. **Connection Fees**

Depending on the area in which you build, and if you are connecting to the Council's sewerage or water schemes, a connection fee may be payable. For further information, please obtain the guide titled "Reminder - Sewer and Water Connection Fees" from Council offices.

8. **Development Impact Levy**


For building work with assessed value greater than \$50,000 (first dwellings exempt) a development impact levy is payable.

Signed: by/ for and on behalf of applicant: 

Position: OWNER Date: 5-11-96

TASMAN DISTRICT COUNCIL OFFICES			
MAIN OFFICE	MOTUEKA SERVICE CENTRE	GOLDEN BAY SERVICE CENTRE	MURCHISON SERVICE CENTRE
189 Queen Street Private Bag 4, Richmond 7031 Ph: (03) 544-8176 Fax (03) 544-7249	7 Hickmott Place P O Box 123, Motueka Ph: (03) 528-7700 Fax: (03) 528-9751	78 Commercial Street P O Box 74, Takaka Ph: (03) 525-9516 Fax: (03) 525-9972	92 Fairfax Street P O Box 53, Murchison Ph: (03) 523-9004 Fax: (03) 523-9004

For Council Use Only

Checked by:	Initials	Date
Plumbing & Drainage		25/11/96
Building		
Health		
Land Use		

Fees Payable (GST incl):	
Resource Consent - Minor	\$ _____
Building / Plumbing / Drainage**	\$ <u>750.00</u>
BRANZ Levy	\$ <u>100.00</u>
BIA Levy	\$ <u>65.00</u>
Temporary Accommodation Bond	\$ _____
Compliance Schedule	\$ _____
Sewer Connection	\$ _____
Stormwater Connection	\$ _____
Water Connection	\$ _____
Development Impact Levy	\$ _____
TOTAL	\$ <u>915.00</u>

Approved for Issue of Building Consent:

Technical Officer 

Date: 6-11-96

Tax Invoice Sent/...../.....

Receipt No.

** Council bases its fee on the cost of processing the total building project as follows:

- (a) **Administration:** Receiving and issuing the consent plus checking plans etc. for Building Code compliance.
- (b) **Inspections:** Council is required to inspect certain stages and elements of construction for Building Code compliance.
- (c) **Code Compliance Certificate:** At the project's completion, Council will, if satisfied work complies to the Building Code, issue a certificate, which is an important document for future property dealings.

PIM / BUILDING CONSENT SCREENING

BC 961906
 Name: C Hawkins
 Address: Beast Island

 Valuation Roll No. 1938093400

RM _____
 Date Received: 5-11-96
 FI: _____
 FR: _____
 Due Date: _____

ATTACHMENTS

- | | |
|--|---|
| <ul style="list-style-type: none"> <input type="checkbox"/> Consent Application <input type="checkbox"/> Plumbing and drainage details <input type="checkbox"/> Two sets of Plans <input type="checkbox"/> Two sets of Specifications <input type="checkbox"/> Bracing Schedule <input type="checkbox"/> Cross Section <input type="checkbox"/> Schedule of Materials | <ul style="list-style-type: none"> <input type="checkbox"/> Contractors <input type="checkbox"/> Certificate of Title <input type="checkbox"/> Accurate Site Plan <input type="checkbox"/> Drainage Details <input type="checkbox"/> Water tank - Make and Size <input type="checkbox"/> Truss Number <input type="checkbox"/> Sub-floor bracing |
|--|---|

TASMAN RESOURCE MANAGEMENT PLAN

Zoning: H95 R/C

Is the activity a Permitted Activity: YES / NO

Signed:  _____

Date: _____

BUILDING

- | | |
|---|---|
| <ul style="list-style-type: none"> Foundations Insulation Lintels Cantilever lintels Rafters Garage beam Producer Statements Subfloor bracing | <ul style="list-style-type: none"> Bearers and joints Wall bracing Second floor joists Purlins Log burner Daylight angle Building height Setbacks |
|---|---|

A01	<input checked="" type="checkbox"/> BG06	BG17	BG27
A02	BG08	BG18	BG28
A03	BG09	BG19	BG29
A04	BG11	BG20	BG30
<input checked="" type="checkbox"/> BG01	BG12	BG21	BG31
BG02	<input checked="" type="checkbox"/> BG13	<input checked="" type="checkbox"/> BG22	BG32
<input checked="" type="checkbox"/> BG03	BG14	<input checked="" type="checkbox"/> BG23	BG33
<input checked="" type="checkbox"/> BG04	BG15	BC25	BG34
BG05	BG16	BC26	BG35

Any Section 44 Systems, (e.g. fire alarms, emergency lighting etc)? Special condition =
Finished floor height to be as NZS 3604.
.225 To ground level or .150 To Permanent
paving.

Signed: A. S. Wood _____

Date: 6 - 11 - 96

PLUMBING AND DRAINAGE

Sewerage disposal
Stormwater disposal
Water supply

PD01 ✓	PD07	PD10 ✓
PD04 ✓	PD08	PD11
PD05 ✓	PD09	PD12
PD06		

Connection Fee:

Toilet Pans No.

Owner to ensure existing, septic tank & disposal system is examined by Council's Drainage Inspector to approve its future use. Existing discharge system for grey water to be located

Signed: *[Signature]*

Date: *12/11/06*

also

~~HEATER~~
Re design & siting of ~~well~~ liners for storm water discharge to a position away from the area where the septic tank is sited

Signed: _____

Date: _____

OTHER
New septic tank system to be installed as discussed ~~by~~ with owner

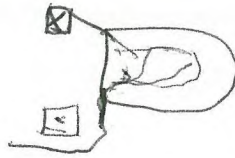
Signed: _____

Date: _____

OTHER TASMAN RESOURCE MANAGEMENT PLAN MATTERS

- | | |
|--|---|
| Number of residential units per site: _____ | Landscape Priority (18.3) _____ |
| Total site coverage of <u>all</u> buildings: _____ | Land Disturbance (18.6) _____ |
| Financial contribution (16.5) _____ | Residential Restriction Area (18.9) _____ |
| Relocated dwelling (16.8) _____ | Flood Hazard Area (18.11) _____ |
| Earthquake hazard (16.9) _____ | Coastal Issues (18.12 or 18.14) _____ |
| Historic Place / Arch site (18.1) _____ | Slope Instability (18.15) _____ |

CHECK THE PROPERTY ON THE PLANNING MAPS TO PROVIDE MANY ANSWERS TO ABOVE. ALSO A COMPUTER PROPERTY ENQUIRY WILL ASSIST.



Reference:

BUILDING CONSENT SUMMARY 961906

Applicant: CHRISTOPHER HAWKINS : 5449985
 Project location: BARNETT AVE, BEST ISLAND
 Legal description: LOT 36 DP5090 BLK II WAIMEA SD

Gill

Project descrn: ALTERATIONS, REPAIRS or EXTENSIONS
 BEING STAGE 1 OF AN INTENDED 1 STAGES
 ALTERATIONS TO DWELLING
 Intended life: INDEFINITE, BUT NOT LESS THAN 50 YEARS
 Intended uses: GARAGING AND HOUSING

Valn No.: 1938093400
 Date issued: 13/12/96
 Overseer: Graeme Wood

*10/2/96 Seems owner
 Contemplating Suing Council as
 Septa Tank not as should
 Have been - Strange Gilbert identified
 Problem*

INSPECTION DETAILS:

- 13/12/96 excavation for Garage. met Builder on site ✓
- 17/12/96 Footing for Dwg Addition. Steel etc ✓
- 20/1/97 Con fin Looks good Progress frame ✓
- 10/2/97 m/c Frame Dry frame 12-17%
 Job Looks good John mentioned existing old
 wall out of plumb about 70mm. (he will need
 to Rebuild) Gilbert Hunt with me.
- 24.4.97 Vent Pipe Fine install all satisfactory - complis.
 Completed as required.

FILE

SIGNED: *Gill D*

DATE: 25/5/98

□ **Main Office**
 189 Queen Street
 Private Bag 4,
 Richmond 7031 N.Z.
 Tel (03) 544-8176
 Fax (03) 544-7249

□ **Murchison Service Centre**
 92 Fairfax Street
 P.O. Box 53, Murchison
 Tel (03) 523-9004
 Fax (03) 523-9004

□ **Motueka Service Centre**
 7 Hickmott Place
 P.O. Box 123, Motueka
 Tel (03) 528-7700
 Fax (03) 528-9751

□ **Golden Bay Service Centre**
 78 Commercial Street
 P.O. Box 74, Takaka
 Tel (03) 525-9516
 Fax (03) 525-9972

BUILDING CONSENT SUMMARY 961906

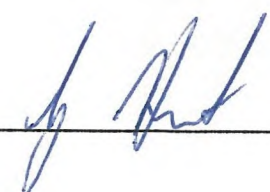
Applicant: CHRISTOPHER HAWKINS : 5449985
Project location: BARNETT AVE, BEST ISLAND
Legal description: LOT 36 DP5090 BLK II WAIMEA SD

Project descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
ALTERATIONS TO DWELLING
Intended life: INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended uses: GARAGING AND HOUSING

Valn No.: 1938093400
Date issued: 13/12/96
Overseer: Graeme Wood

INSPECTION DETAILS:

*Date Check with G Wood reveal illegal Drainage
installation & faulty Septic tank. told owner to
contact previous owner, Mr Herron.
Relocated septic tank & drains, Tom Vahanta
18/12/96 site check with owner designing St & dispoised
19/12/96 Septic tank installed as required
20/12/96 Drains installed as required
-12/97 Pre-binning pipe work mainly covered over, looking OK
19/6/98 final inspection all sanitary facilities
no required
OK to issue CL*

SIGNED: 

DATE: 22/6/98

CONDITIONS OF BUILDING CONSENT 961906

- 1 SPECIAL CONDITION: Finished floor height to be as NZS 3604 .225 to ground level or .150 to permanent paving.
- 2 Owner to ensure existing septic tank & disposal system is examined by Councils' Drainage Inspector to approve its future use, existing discharge system for grey water to be located.
- 3 Re design siting of well liners for stormwater discharge to a position away from the area where the septic tank is sited.
- 4 New septic tank system to be installed as discussed with owner.
- 5 The building inspector is to be notified at least one working day prior to the pouring of concrete on site or the laying of flooring.
- 6 The owner or person undertaking the building work shall give at least one working days notice before placing any insulation and interior linings to enable a "pre-lining" inspection.
- 7 Construction and wall bracing to comply with NZS3604.
- 8 All glass to comply with NZS 4223.
- 9 The owner and the Builder are responsible for the correct siting of the Building work as specified on the approved plans.
- 10 The owner or person undertaking the building work shall give at least one working day's notice to cover up or close in of any Drainage system.
- 11 The owner or person undertaking the building work shall give at least two working day's notice to cover up or close in of any Plumbing work.
- 12 Installation of Plumbing and Drainage for new dwelling to comply to the Building Code and connection to septic tank/effluent disposal system as approved by an Enforcement Officer.

□ **Main Office**

189 Queen Street
Private Bag 4,
Richmond 7031 N.Z.
Tel (03) 544-8176
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7 Hickmott Place
P.O. Box 123, Motueka
Tel (03) 528-7700
Fax (03) 528-9751

□ **Golden Bay
Service Centre**

78 Commercial Street
P.O. Box 74, Takaka
Tel (03) 525-9516
Fax (03) 525-9972

SUMMARY 961906 [Continued]

- 13 No Plumbing and Drainage work is to commence prior to the council receiving names of your nominated Plumber or Drainlayer. The attached advisory sheets are to be completed and returned to this office for our records.
- 14 The owner or person undertaking the building work shall advise of completion of work by returning the "Advice of Completion of Building Work" form which accompanied the consent.
- 15 A copy of this consent is to remain on site at all times and you should ensure that a copy is given to any tradesmen e.g. your builder, plumber and drainlayer..
- 16 All Building Work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur on the Drawings and Specifications.
- 17 This consent will expire if building work is not commenced within 6 months from the date of issue unless a written extension of time is obtained from the Building Inspector.

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Fax (03) 528-9751

□ **Golden Bay
Service Centre**

78 Commercial Street
P.O. Box 74, Takaka
Tel (03) 525-9516
Fax (03) 525-9972

Project ID: 190638
Date Received: 2019-06-24 10:25:02
Sender: jacqui.soffer@therentshop.co.nz
Checked By: Krystle Bang
Accepted By: Krystle Bang
Subject:
Information Received Via Email: RE: BC190638: 117 Barnett Avenue, Best Island

Message:

Hi Krystle

The owners live over in Europe so access will have to be via me or the tenant. To make it easier it would be best if the inspector can call me a couple of hours prior so I can get there because I wont have time to wait at the house for a long time.

Jacqui 021 02959044

Kind Regards

Jacqui Soffer
Property Manager
The Rent Shop Ltd

Phone: 021 029 59044

[cid:image006.png@01D4D35B.B7743D00]

From: Tasman District Council <190638@tasman.abcs.co.nz>
Sent: Friday, 21 June 2019 11:20 a.m.
To: Jacqui Soffer <jacqui.soffer@therentshop.co.nz>
Subject: BC190638: 117 Barnett Avenue, Best Island

Good Morning Jacqui

The final inspection for BC190638 is booked for the earliest date available that being the 1st of July, if you could please pass this email on to the owners as we have no email address listed for them and the agent has asked that they be contacted, They will receive a text message the business day prior with an approximate time to meet with the building inspector.

Kind regards
Krystle Bang
Customer Service Officer - Takaka
Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: bc.admin@tasman.govt.nz <<mailto:bc.admin@tasman.govt.nz>> | W: <http://www.tasman.govt.nz>

DISCLAIMER

This message is for the designated recipient(s) only, and may contain confidential and/or privileged information. If you have received it in error, please delete it and advise the sender immediately. You should not copy or use it for any other purpose, nor disclose its contents to any other person.

Designated Recipient(s): jacqui.soffer@therentshop.co.nz <<mailto:jacqui.soffer@therentshop.co.nz>>

Sent From: AlphaOne Building Consent System

Sent Date: 21 June 2019 11:19:41 am - Friday

REJECTED ATTACHMENT(S):

Note: The listed file(s) below were rejected because they were not in PDF format.

- image001.png

Plans specifications referred to in

WAIMEA COUNTY COUNCIL

Building Permit No. 1049746

Application for Building Permit

19350/780/35

28-11-1978

Date: 28/11/78

BUILDING INSPECTOR

To: The Building Inspector, Waimea County Council, P.O. Box 3070, RICHMOND.

Sir,

I hereby apply for permission to ERECT/ALTER/CONVERT/RESITE/REINSTATE/DEMOLISH (Cross out those not applicable)

SMALL ADDITION TO EXISTING KITCHEN

at Road APPLEBY Riding for K.B. VINCENT of 11 CAUTLEY ST. RICHMOND. (Owner) (Address)

According to the locality plan and detailed plans, elevations, cross sections and specifications of building deposited herewith in duplicate.

N.B. - The locality plan must show the position of building on section, and distances from road, boundaries, etc.

Particulars of Land:

Lot No. 36 D.P. 5096 Section No. Block No. II S.D. WAIMEA

Area: Hectares Square Metres

Building Particulars:

Foundations 100 mm. Conc. Floor (Reinforced) D.P.C. UNDER Walls Treated Red Bricks Roof Cor. 9m Total floor area increase 6.6 square metres Area of existing outbuildings square metres

ESTIMATED VALUE OF BUILDINGS:

Building \$ 200 Plumbing and Drainage \$ TOTAL \$ 200

Proposed purposes for which every part of building is to be used or occupied:

Extension of existing kitchen. The building being used as a holiday bach. Proposed use or occupancy of other part of building affected by this application (if any): Only making the kitchen bigger.

Nature of ground on which building is to be placed Dry, light soil.

Signature of Applicant K.B. Vincent

Address 11 Cautley Street Richmond

Builder's Name and Address K.B. Vincent, 11 Cautley Street, Richmond

If any sanitary, plumbing or drainage work is involved with this application a separate Plumbing and Drainage Permit application must accompany this Building Permit application.

Letter Sent for Fee

OFFICE USE ONLY:

Fees Paid: Building \$ 6 Drainage \$

Paid by Receipt No. Date

Conditions of Permit: all OK

Issue of Permit Approved: Building Inspector

S. D. Approved:

20

28-11-78 Date

SPECIFICATION

PROPOSED HOUSE EXTENSIONS

LOT 36

BEST ISLAND

FOR

MR C AND MRS L HAWKINS



PROJECT NUMBER A96293

1 PRELIMINARY AND GENERAL

1.1 SCOPE

The scope of the works comprises the erection and completion of the work as detailed on the drawings and specified here-in or as reasonably implied

1.2 GENERAL CONDITIONS

The Contractor shall enter into a contract with the owner as specified and agreed with the Owner. The contract shall be governed by the terms and conditions as required by NZS 3910:1987 and NZMP 3914:1994 unless stated otherwise.

1.3 INSURANCES

Before commencing work Contractors shall arrange insurances to protect themselves and others as required by the General Conditions of Contract to protect against all claims which may arise as a result of this contract. Evidence of insurance cover shall be lodged with the Owner for approval prior to commencement of work. Particular attention should be paid to cover of goods or materials located off site.

1.4 SITE

The Owner is responsible for locating and marking of all site boundaries, building line restrictions, easements etc prior to construction. The Owner shall inform the contractor of any known conditions imposed on the site by the local territorial authority , property developer or any other person or body having any legal, financial or planning authority over the site or building placed thereon. Where required the Owner shall procure a Land Information Memorandum from the territorial authority.

Prior to tendering the Contractor shall inspect the site and ascertain the nature and extent of the work, the means of access to the site, the rights and interests that may be affected by the execution of the works and all other matters referred to in the contract documents which may influence the the contract.

Prior to construction the Contractor shall confirm location of all boundaries, electrical, communication, water, stormwater, sewer and any other services, easements etc on or affecting the site.

1.5 BUILDING CONSENT

The Owner shall apply for the building consent and pay fees as required for building consent application and approval.

The Contractor shall be responsible for issuing all notices of inspection to the Territorial Authority , Building Certifier or Engineer and meeting all building consent and building code requirements.

The Contractor shall keep a record of all inspections carried out by the TA , BC or Engineer and all approvals shall be counter signed by the TA , BC or Engineer and the Contractor.

Where extra inspections or costs are incurred by the Owner due to the failure of the Contractor to comply with the Building Code and/or the contract documents such costs shall be recovered from the contractor by a variation deduction from the contract sum.

1.6 RESOURCE CONSENT

Where a Resource Consent is required for the project the Owner shall be responsible for consent application. The Contractor shall be responsible for ensuring the project is constructed in accordance with the requirements of the Resource Consent together with the Building Consent and contract documents.

1.7 BUILDING CODE

The Contractor and all Subcontractors shall ensure all construction techniques, materials and activities comply with the requirements of the Building Code.

1.8 CONTRACT DOCUMENTS

The documents listed in the SCHEDULE OF CONTRACT DOCUMENTS form the Contract Documents for this project.

1.9 AMBIGUITIES

Should there be any omission or ambiguity in or between the contract documents and the Building Code or Resource Management Act, the Contractor shall seek a ruling from the Owner prior to construction or ordering of materials or plant.

1.10 SUBCONTRACTORS

The Contractor shall supply a list of Subcontractors names to the Owner for approval prior to acceptance of tender.

1.11 STANDARDS

The following abbreviations have been used in this specification;

NZS - New Zealand Standard

NZBC - New Zealand Building Code

In all cases the latest documents and subsequent amendments shall be deemed to be part of this contract.

1.12 PROTECTION OF PROPERTY

The Contractor shall ensure that the site and building structures are adequately protected to prevent loss of plant or materials, injury to persons, damage to this and adjoining sites, structures and property. The Contractor will be held responsible for damage incurred as a result of this project.

1.13 RESPONSIBILITY FOR SAFETY

The Contractor is responsible to ensure construction techniques, personnel protection, work environment, plant, equipment and structures are in compliance with the New Zealand Building Act, NZBC, Health Safety and Employment Act, Occupational Safety and Health requirements, Resource Management Act and all other requirements to ensure safety on site and affected neighbouring sites and personnel.

All personnel employed on the project must be suitably qualified and hold licences or certification if required for their particular field of involvement.

1.14 WORKMANSHIP AND MATERIALS

All work shall be executed in accordance with relevant governing regulations and the contract documents and no deviation will be permitted without the written sanction of the Owner.

Any material or construction found to be defective may be rejected by the Owner at the Contractor's expense.

Only competent qualified or suitably supervised persons shall be employed on the project.

1.15 CONSTRUCTION DETAILED

The drawings and specifications show the extent of the construction required but there is no warranty expressed or implied that each and every minor detail or item is detailed. The Contractor is required to allow for all work required to meet the requirements of the contract documents and governing regulations.

Where discrepancies between documents occur the Contractor shall refer such to the Owner for clarification.

Figured dimensions on drawings shall be used in preference to scaling of dimensions. Where any discrepancies occur these shall be referred to the Owner for instructions prior to proceeding.

1.16 EXTRAS AND VARIATIONS

Any extra or variation to the Contract which may result in an alteration to the Contract price and / or compliance with governing regulations must be authorised by the owner in writing. The owner may require confirmation of resulting cost variations prior to issuing approval of such variation.

1.17 PROVISIONAL, PC AND CONTINGENCY SUMS

Any Provisional, Prime Cost or Contingency Sum shall be expended only on the written instruction of the Owner.

Refer to NZS 3910:1987 General Conditions of Contract for definitions of sums.

1.18 POWER TELEPHONE AND WATER FOR SITE

The contractor is responsible for arranging supply of electrical, telephone and water services on the site for the duration of the construction and shall pay all fees and expenses required for same.

1.19 MATERIALS AND PLANT ON SITE

The Contractor shall be responsible for the protection and security of all materials and plant on the site. If any materials or items are delivered on site in a damaged state or of an unacceptable standard the Contractor must inform the Owner immediately for instructions or the Contractor may be held accountable if such items prove detrimental to the project.

The Contractor is responsible to ensure materials plant and fittings on site are protected from theft , adverse weather or damage.

1.20 ATTEND UPON ALL TRADES

The Contractor shall be required to attend upon all Trades and shall render reasonable assistance to Sub-contractors employed on the project.

1.21 PROTECTION OF SURFACE FINISHES

The Contractor shall ensure all necessary precautions are taken to protect surface finishes and completed work from damage during the progress of the project.

1.22 CONSTRUCTION STANDARD

Should any Trade consider the work of another Trade is of an unsatisfactory standard to permit completion of their work to the required standard, the Contractor shall give due notice for rectification prior to further work being commenced.

Failing any notice from the Contractor any Trade will not be absolved of responsibility from completing their work to the required standard.

1.23 DURABILITY OF MATERIALS

Materials, components and construction methods shall be of sufficient durability to meet the requirements of the Contract Documents and regulatory standards.

Refer to NZBC B2 for performance requirements of various elements.

Note that durability performances specified are minimum acceptable standard.

1.24 CONTRACT COMPLETION

On completion of all work the Contractor shall issue notice to the Owner that the construction is complete.

The Owner may reject such notice with notification of outstanding work to be completed to Contractual requirements where-upon the Contractor shall arrange for completion and re-issue the notice.

The Owner may reject such notice with notification of outstanding work to be completed to Contractual requirements where-upon the Contractor shall arrange for completion and re-issue the notice.

EXCAVATION

1 Preliminary

Refer to the preliminary and general sections of this specification, the clauses of which are equally binding on all sections.

2 Scope

The contractors shall excavate the site and backfill as required for the construction of the building.

3 Excavation

Remove all topsoil humus and organic matter from the building area. If uneven or soft areas exist these shall be removed and filled to the satisfaction of the engineer. Local excavation for beams and pads shall be done at this stage as necessary. Support sides of excavation as required and remove any material that may slump into the excavation.

4 Backfill

The backfill as required shall consist of approved metal fill of maximum size 100mm. The metal shall be free from stone flakes and maintain sufficient gritty fines including approved binder completely to fill voids without undue excess and give thorough consolidation under rolling. The material shall be spread in layers not exceeding 150mm thick. It shall be compacted to not less than 98% relative compaction to BS 1377:1975, Test 12. Adjacent to foundation beams and footings hand compaction methods may be necessary. No material shall be spread until the Engineer has inspected and approved the sub-grade surface.

Refer to NZBC B1/M4 Clause 3.

The backfill material shall be brought up to 125mm below slab.

5 Hardfill

Upon completion of any necessary backfilling the whole area shall be brought up to 25mm below the underside of the slabs with 100mm of approved hardfill material graded from 40mm down. This shall be compacted in a single layer to the same standard as the backfill material. The finished level shall be within + / - 10mm of the specified level.

6 Drainage of site and maintenance of accessways etc

The contractor shall keep the whole of excavations free from water arising from any cause by pumping or otherwise. Trucks shall be loaded in such a manner that material and debris are not spilled on to adjacent streets. Any such spillage shall be cleaned immediately by the contractor. The whole of the excavation work shall be carried out in such a manner as to cause as little inconvenience as possible to adjoining owners or the public, and the contractor will be held responsible for any claims which may arise.

7 Disposal of Surplus Material

Unless otherwise directed by the owner the contractor shall load and cart away all surplus excavated materials and pay all charges in connection with the disposal of same.

8 Sand Blinding

The whole of the area under the slabs on grade shall be blinded with a 25mm layer of graded sand before placing the polythene moisture barrier. The tolerance in sand levels shall be + / - 6mm of those specified.

CONCRETE AND REINFORCEMENT

1 Preliminary

Refer to the preliminary and general sections of this specification, the clauses of which are equally binding on all sections.

2 Scope

This section of the contract consists of the supply and construction of all concrete and reinforcing and damp proof membrane materials, formwork and casting in and finishing required to complete the work as shown on the plans, specified herein or reasonably implied.

3 Standards

Construction generally shall comply with NZS 3604 and or NZS 4229. Refer to NZBC B1/AS4 Clause 1.

The following NZ Standards also apply

NZS 2086 Ready mixed concrete production

NZS 3109 Concrete construction

NZS 3124 Concrete construction for minor works

NZS 3402 Steel bars for concrete reinforcement

NZS 3422 Welded fabric of drawn steel wire for concrete reinforcement.

4 Concrete Strength

Concrete shall have a minimum strength of 17.5 MPA at 28 days, and shall contain high or special grade cement and with Type A supervision.

5 Formwork

Formwork shall comply with NZS 3109. All formwork joints shall be fitted tight to prevent leakage. Formwork release oil shall not be applied after reinforcing has been placed.

6 Compaction

All concrete shall be thoroughly compacted by means of suitable power driven vibrators to provide uniformly dense concrete free from voids

Vibration shall be used to consolidate the concrete only and shall not be used to induce lateral motion causing segregation. Any concrete found not to be thoroughly compacted shall be cut out to sound concrete and replaced as directed.

7 Curing and Protection

All concrete shall be cured as defined in NZS 3109:1980. Curing shall be by water sprays or similar, or by curing compound. Fairface concrete and slab surfaces shall be protected from damage at all times. Concrete surfaces damaged shall be repaired or remade to the satisfaction of the owner at no extra cost.

8 Concrete Finishing

All exposed concrete finishes shall be high quality fairface finish. The floor slabs to inside the building shall be finished ready to receive carpet or vinyl. Exterior slabs shall be ready for selected paving. Surfaces shall be screeded off, finished with steel float or power float to fine finish. Other formed surfaces, including concealed foundations and slab edges, shall be cast with a minimum of grout leakage and honeycombing and without conspicuous offsets or bulges.

CARPENTRY

1 Preliminary

Refer to the preliminary and general sections of this specification, the clauses of which are equally binding on all sections.

2 Scope

This section of the contract covers work customarily executed by carpenters as shown on the drawings specified herein or reasonably implied.

3 General

The work shall be executed by competent tradespeople in accordance with NZS 3604, the NZBC and territorial authority requirements.

Materials shall be the best available quality and any materials which are not the required standard shall be removed from the site as directed by the owner or building supervisor.

4 Timber

Timber shall be of the type specified or shown and in accordance with NZS 3603, NZS 3605 and NZS 3615.

Treated timber shall be pressure treated in accordance with the requirements of NZMP 3640:1992 - specification of the minimum requirements of the NZ Timber Preservation Council Inc.

5 Seasoning and Moisture Content

Indigenous timber for framing shall be reasonably well seasoned. Any timber that is delivered to the site in an unseasoned condition shall be fillet stacked until suitably seasoned to the satisfaction of the owner. Radiata Pine timber for framing shall have a moisture content not exceeding requirements specified below based on oven dry weight and any such timber delivered to the site having higher moisture content shall be fillet stacked until suitably seasoned. Joinery and dressing timbers, before machining, shall be seasoned by air or kiln drying to a moisture content of 12% or 18% based on oven dry weight or within 3% of the average moisture content likely to be attained in service.

The following approximate general Equilibrium Moisture Content figures for sheltered outdoor positions have been compiled by the New Zealand Forest Service Research Institute and are based on the known humidity and temperature averages for the localities concerned.

Nelson Area

January

Sap Rimu 13.5% Sap Radiata Pine 12.1%

July

Sap Rimu 18.9% Sap Radiata Pine 17.4%

Maximum acceptable moisture content.

- a: Framing timber at the time of installing interior linings: 24%.
- b: Timber weatherboards and exterior joinery at time of painting: 20%.
- c: Reconstituted wood products: 15%

Refer to specific requirements for lining materials as specified by manufacturer.

6 Types and Grades of Timber

Classification and grading of timber shall be in accordance with NZS 3602. All timber used shall be gauged to produce regular plane surfaces when used to support linings. Other timber members may be rough sawn if desired.

Timber types shall be as the following schedule:

Interior

Wall framing	Radiata Pine No 1 framing H1 treated or Douglas Fir equivalent.
Roof framing	Radiata Pine No 1 framing H1 treated or Douglas Fir equivalent
Exposed beams	Douglas Fir

Exterior

Exposed beams	Radiata Pine H4
Timber Posts	Radiata Pine H4
Timber Trim	Radiata Pine finger jointed H3

7 Priming

Before fixing timber trim all joints and laps abutting exterior finishing timbers and external timber windows and doors shall be primed with an approved primer.

8 Floor Framing

Where timber framed floors are shown construct with joists to sizes indicated on drawings. Lay 20mm flooring grade particle board or T&G as detailed (see lining schedule) to areas shown. Sand floor at completion of job. Securely support and fix at all edges to stop movement. Refer to NZBC E2/AS1 Clause 4.

9 Damp Proof Course

Provide and fix a continuous 3 ply malthoid DPC between all timber in contact with any concrete products. Refer to NZBC E2/AS1 Figure 4.

10 Wall Framing

Frame up wall to thickness shown on drawings or specified. All stud and dwang sizes shall be in accordance with NZS 3604:1990.

Studs shall be spaced as shown to suit joints in lining materials. Three studs shall be provided at external corners, changes of direction or intersections. Double studs shall be provided at each opening, one full height and the other under the lintel. Double studs shall also be provided under ridge beams.

Dwangs shall be at centres shown. Provide all necessary dwangs for joinery fittings, hardware etc.

Lintels shall be as detailed on the drawings or to comply with NZS 3604, support with double studs as above.

11 Roof Framing

Joints in all members shall be at support points only. Sizes shall be as detailed on drawings or as specified in NZS 3604:1990.

Trusses: where detailed shall be fixed plumb, fastened to top plates with framing anchors, stiffened with runners and braced at each end of the building and as per truss manufacturers design requirements the trusses shall have a supporting dwang fixed under top plate or be positioned directly over studs.

12 Ceiling Framing

Ceiling framing shall be constructed as shown on the drawings, as required by manufacturer of ceiling lining and in accordance with NZS 3604. Strapping shall be gauged and fixed to ensure ceiling will be flat when fixed in position.

13 Bracing

Bracing shall be as shown on the drawings to comply with the bracing schedule and details in accordance with NZS 3604. Allow to supply and fix all bracing materials including fastenings.

14 Building Paper

Line exterior of all walls, and where required roof, with fire retardent building paper in accordance with NZBC E2/AS1 Clause 2.4.

15 Insulation

Provide and install wool block insulation to ceiling and walls as shown in accordance with manufacturers recommendation and as required by NZBC G5.

Refer to NZBC G6 for noise attenuation requirements for airbourne and impact sound.

16 Flashings

Flashings shall be as detailed and in accordance with standard trade practice. Do not use sealants where real flashings are required. Typical flashing details are specified in BRANZ Bulletins 304 and 305 Feb 1993

17 Sealants

Where sealants are permitted to be used they shall be selected appropriate for intended use and shall be applied in accordance with manufacturers specification including priming, masking etc.

Particular attention shall be paid to minimum joint size.

Fillet type seals will not be permitted.

18 Finish

All exposed timber shall be dressed to a smooth surface. Internal joinery and finishing timbers shall be brought to a smooth and even surface by sandpapering. Remove all arrises, hammer marks, rough edges and uneven patches and all other surface defects before painting.

19 External Linings

External linings shall be as shown on the drawings.

Fix lining in accordance with manufacturers specification and NZBC E2/AS1.

20 Internal Linings

Internal lining materials shall be as per lining schedule.

Fix linings in accordance with manufacturers specification and NZBC E3/AS1.

21 Completion

On completion remove all rubbish from site, clean the building and leave ready for occupation.

ROOFER

1 Preliminary

Refer to the preliminary and general sections of this specification, the clauses of which are equally binding on all sections.

2 Scope

This section covers the supply and installation of cladding to the roof including where required underlay, battens, flashings and fasteners.

3 General

The work shall be executed by trades people competent in this type of work to the satisfaction of owner and territorial authority in accordance with NZBC E2/AS1, NZS 3604 and manufacturers specification.

4 Underlay

Underlay shall be breather type fire retardent building paper and supported on galvanised wire netting or similar approved support.

5 Prefinished Long Run Steel

Long run steel shall be 0.55mm colorsteel or similar approved prefinished. Profile and color shall be as selected by the owner. Sheets shall be fitted in single runs. Extreme care must be taken to ensure coatings are not damaged prior to and during fixing.

Roof shall be fitted complete with matching ridge, hip and barge caps and flashings. All exposed fasteners shall be color coordinated.

Roof must be completely weather tight and bird proof.

6 Completion

On completion remove all rubbish from site, remove all drillings, rivet mandrels etc and clean down roof.

WINDOWS AND DOORS

1 Preliminary

Refer to the preliminary and general sections of this specification, the clauses of which are equally binding on all sections.

2 Scope

This section covers work customarily done by joiners as shown on the plans specified herein or reasonably implied. Windows and doors shall be aluminium, steel or timber framed as indicated on the drawings.

3 General

Supply and deliver to site windows and doors required by this trade complete with flashings, glazing and hardware.

Aluminium joinery shall be constructed to comply with NZS 4211, NZS 3504 and NZBC F 2.

4 Glazing

Glazing shall comply with NZBC F2/AS1 and NZS 4223.

Note that NZS 4223 shall be modified as required by NZBC F2/AS1 Clause 1.

5 Sealants and Flashings

Seal all windows and doors as required to ensure a weather tight unit. Flashings shall be supplied by this trade and shall be of a material suitable for the joinery. Aluminium flashings shall be anodized or powder coated as required to match joinery finish.

SOLID PLASTER

1 Preliminary

Refer to the preliminary and general sections of this specification, the clauses of which are equally binding on all sections.

2 Scope

This section covers the supply and application of solid plaster to the areas shown on the drawings.

3 General

The work shall be executed by plasterers competent in this type of work to the satisfaction of the owner and territorial authority in accordance with the NZBC E2/Clause 2 and NZS 3604.

4 Backing

The backing type shall be as shown on the drawings.

Rigid backing shall be fixed to the studs and dwangs. Fix building paper to face of backing. Non rigid backing shall be fixed to 25mm thick H3 vertical battens fixed to studs. Fix building paper directly to studs. Cavity shall be sealed off from roof space and subfloor space and ventilated top and bottom.

5 Plaster and Reinforcement

Plaster and reinforcement shall comply with NZS 4251. Plaster finish coat shall be applied after completion of all framing and internal lining. The plaster cladding shall extend 50mm minimum below bottom plate. Control joints shall be located at 4m maximum centres vertically and horizontally.

6 Completion

On completion remove all rubbish from site, clean all plaster droppings from surfaces exposed to view.

ELECTRICAL

1 Preliminary

Refer to the preliminary and general sections of this specification, the clauses of which are equally binding on all sections.

2 Scope

This section covers work customarily done by electricians as shown on the plans, specified herein or reasonably implied.

3 General

The electrical installation shall be in accordance with NZ Electrical Wiring Regulations, NZ Building Code and territorial authority requirements. The electrician shall be a registered electrician. Obtain all permits, pay all fees and arrange inspection and testing as required by the power supply authority and/or territorial authority. Coordinate with other trades where required.

4 Installation

Dwangs and blocking required for installation of fittings shall be supplied and fixed by the carpenter but it shall be the electrician's responsibility to ensure such items are fixed in the correct positions.

Any holes required for cables through framing shall be drilled in the centre of the framing in positions and of a size to ensure structural integrity of framing is not compromised. Hole sizes shall be absolute minimum for size and for number of cables accommodated.

Please feel free to change the "good old go through anything 25 mm speed-bit" for a drill bit a trifle more suitable for hole actually required. Refer to NZBC G9/AS1 Clause 2 for requirements relating to disabled persons.

5 Cables

Cables from switch board shall be TPS of sufficient size to take the load. All cables shall be run concealed in framing, ceiling space or cast in conduits. Cables in ceiling space or similar shall be adequately clipped to framing.

6 Main Switch Board

Connect to main switchboard and install all circuit breakers, switches as required.

PLUMBER

1 Preliminary

Refer to the preliminary and general sections of this specification, the clauses of which are equally binding on all sections.

2 General

The work shall be executed by competent tradespeople registered as required by the local territorial authority in accordance with the NZ Building Code. Holes through framing etc for pipes shall be minimum diameter and shall not diminish the structural integrity of framing (massive holes for tiddley little pipes will not be accepted).

3 Scope

This section covers work customarily done by plumbers as shown on the drawings, specified here in or reasonably implied. The building contractor is responsible for provision for framing, and supports required for fixing of plumbing fixtures. The plumber shall coordinate with all trades as required to ensure all fixings and services are provided as required by this trade. Refer to equipment schedule.

4 Water Supply

Connect to building reticulation system. All piping to building reticulation shall be copper unless otherwise directed by owner. Refer to NZBC G12/AS1 Table 5 for acceptable materials.

5 Equipotential Bonding

Equipotential bonding of all metal pipe systems and metal fixtures is required as per NZBC G12/AS1 Clause 7.

6 Wastes and Traps

Install all waste discharge pipes and traps required for sanitary fittings as shown and as required by NZBC G13/AS1. Refer to NZBC G13/AS1 Figs 3,4,5 and 6 for acceptable pipe layout.

7 Vent Pipes

Vent pipes shall be fitted to fixture discharge pipes as required by NZBC G13/AS1 Clause 5.

Vent pipes shall extend upward from the fixture discharge pipe and terminate outside the building a minimum of 50 mm above the overflow level of the fixture it serves.

Refer to NZBC G13/AS1 Table 6 for sizes and Figure 8 for acceptable installation methods.

8 Completion

On completion remove all rubbish, clean all fittings and hand all guarantees, operating instructions etc to the owner.

DRAINLAYER

1 Preliminary

Refer to the preliminary and general sections of this specification, the clauses of which are equally binding on all sections.

2 General

The work shall be executed by competent tradespeople approved by the territorial authority and registered in accordance with the "Plumber, Gasfitters and Drainlayer Act 1976".

The work shall comply with the NZ Building Code.

3 Scope

This section covers work customarily executed by drainlayer as shown on the drawings specified herein or reasonably implied. Allow to supply and install all materials required for this trade including trench excavation, backfilling.

4 Drainage Plan

Drains shall be laid as per the drainage plan and in accordance with NZBC G13/AS2 Clause 2.

An amended drainage plan shall be submitted to the territorial authority if any alterations are made to the plan.

5 Gully Traps

Install gully traps where shown and in accordance with NZBC G13/AS2 Clause 3.

6 Pipe

Pipes shall be laid at an even gradient. Diameters shall not decrease in direction or flow.

Refer to NZBC G13/AS2 Table 2 for sizes and gradients. Pipes shall be UPVC to comply with NZS 7649 unless otherwise shown.

7 Drain Ventilation

Drains shall be ventilated with vent pipes as shown and in accordance with NZBC G13/AS2 Clause 6

8 Trenches

Excavate trenches as requested to allow adequate working room for pipe laying and jointing. Refer to NZBC G13/AS2 Figure 7 for proximity to buildings. Pipes shall be kept free of dirt etc which may cause blockages.

Bedding material shall have a maximum particle size of 20mm. Trenches shall be backfilled in accordance with NZBC G13/AS2 Clause 8 and Figure 6.

9 Maintenance

Drains shall be provided with adequate maintenance access points. Access points shall be constructed in accordance with NZBC G13/AS2 Clause 9 and shall be located as shown and/or as per NZBC G13/AS2 Clause 9.3.

10 Drain Integrity

Drains shall be completely water tight on completion in accordance with NZS 7643: Section 11 and NZS 4452: Section 11.

11 Completion

On completion dispose of all rubbish and surplus soil backfill material unless otherwise directed by the owner.

13 GLAZING

13.1 PRELIMINARY

Refer to the Preliminary and General Section of this specification and the General Conditions of Contract the clauses of which are equally binding on this section.

13.2 SCOPE

The scope of this trade covers the supply of materials and equipment and installation required to provide a complete glazing system.

13.3 GENERAL

The work shall be executed by competent trades people suitably qualified for the work involved. The Glazing system shall comply with the NZBC F2/AS1 and NZS4223 parts 1 and 2 1985 Code of Practice for Glazing in Buildings, and Part 3 1993 Human Impact Safety Requirements. Further to these codes, ALL glass in doors, door side panels and windows with a sill line below 800mm above floor line shall be fitted with safety glass.

13.4 STANDARD OF WORK

Neatly cut and fit all glass into rebates or frames provided. Coordinate with the Main Contractor and Joiner for installation of glass. Where glazing into paint finished work ensure that all rebates are well primed and free of dirt and foreign matter.

13.5 GLASS TYPES

Refer to plans and schedules for glass types and / or tinting required.

13.6 BUTT JOINTS

Where butt joints are required, glass edges shall be square and clean. Fill joints with clear silicone sealant in accordance with manufacturers instructions. Smooth off and remove excess sealant to give a neat clean finish.

13.7 COMPLETION

On completion clean all surfaces, remove all rubbish from site and have a nice day.

14 PAINING AND WALL COVERINGS

14.1 PRELIMINARY

Refer to the Preliminary and General section of this specification and the General Conditions of Contract the clauses of which are equally binding on this section.

14.2 SCOPE

The scope of this trade covers the supply and application of paint, coatings, or wall coverings as specified and as directed by the owner.

14.3 GENERAL

The work shall be executed by competent approved tradespeople.

All paint and finishing systems shall be applied in accordance with the manufacturers specifications, NZS 7703 and the related documents set out in that standard.

All paint, coating and covering systems shall comply with the NZBC, and in particular, NZBC B2 durability, NZBC C3 spread of fire, NZBC E2 and E3 external and internal moisture.

14.4 MATERIALS

All materials shall be of top quality from reputable manufacturers complying with the NZ Standards. All coatings shall be delivered in sound sealed containers clearly labelled.

Paints specified in any one paint system shall be obtained from the same manufacturer.

Specific paint manufacturers or suppliers may be mentioned in this specification. Other manufacturers or suppliers offered by the Contractor must be approved by the Owner.

All materials and equipment shall be stored in clean conditions free from possible contamination or adverse temperature.

14.5 INSPECTION OF SURFACES

The Painter shall inspect the finish of surfaces to be painted or coated etc, and report to the Contractor any deficiencies, defects, blemishes or contamination which could affect the provision of a high standard of finish. Painting shall not commence until any such deficiencies have been rectified.

14.6 WEATHER CONDITIONS

Painting shall not be carried out during inclement weather or temperatures outside manufacturers specified acceptable range.

14.7 SCAFFOLDING AND EQUIPMENT

Supply all scaffolding, staging and safety equipment required to execute the work in accordance with governing regulatory requirements and to allow application of sound trade practice.

14.8 ATTENDANCE

The Painter shall co-operate with the Contractor and other Trades and arrange work to cause the minimum of inconvenience or delay. The Painter shall be responsible for any damage or deficiencies caused by inadequate work or programming.

14.9 STOPPING

Stopping shall be executed as follows:

- a) Gib board; as per ISA Levels of Gib Board Finish specification.
- b) Concrete, solid plaster or brickwork; similar material to substrate finished with matching texture.
- c) Painted woodwork or wood based products; putty or plastic filler.
- d) Clear finished woodwork or wood based products; putty tinted to match finished work.

14.10 PRE-PAINTING

The Painter shall co-operate with the Contractor to ensure all components requiring pre-painting prior to fixing are catered for.

14.11 COLOURS AND SAMPLES

The Owner will supply a colour specification.

The Painter shall give a minimum of three weeks notice for supply of colour specification.

When requested by the Owner the Painter shall supply samples of at least one square metre of colours or textures for approval and confirmation.

14.12 PAINT SCHEDULE

Refer to the Painting Schedule for paint types.

Note that other systems may be offered by the Painter but will require the prior approval of the Owner.

14.13 CUPBOARD INTERIORS

All interior surfaces of cupboards including doors and shelves shall be painted unless components are supplied prefinished.

14.14 TOUCH-UP WORK

The Painter shall allow for removal and refitting of hardware, electrical cover plates etc and the repainting of joinery or fittings where necessary after fitting and easing by the Carpenter or Joiner.

14.15 COMPLETION

On completion remove all equipment, rubbish etc from the site sweep floors, clean and leave building ready for occupation.

MEMO

3/10/2001

To: Rosalind Squires
From: Hilary Crutchley, Contract Planner, Ph 5423727; email andrewf@clear.net.nz.
Subject: Mr and Mrs L Hawkins application to build a new self contained bed-sit for homestay etc on Bests Island.

The Hawkins have provided a fax from Carl Van Hoppe which refers to the installation of a separate septic tank system for the self contained unit rather than connecting it to the existing system for their house. However, the plan provided shows a pumped sewerage drain from the new bedroom connecting to an existing sewer drain. No detail of the location or size of the existing system is shown on the plan provided. I note that you have sent a fax to Rob Silcock asking him to provide a plan indicating the location of the existing and proposed effluent disposal systems including the disposal areas and distance from mean high water springs. I would also like to know what capacity the existing system has and why a separate system has been proposed.

As discussed on the phone proposed variation No 6 to the TRMP classifies this area as a Special Wastewater Disposal Area. Council has received no submissions against Best island becoming a Special Domestic Wastewater Disposal Area which means that the proposed variation will be adopted by Council in due course. Domestic waste discharges under 2 cubic metres per day from systems constructed after 19 September 1998 are a permitted activity provided they meet the requirements set out in rule 36.1.5 of the TRMP. A septic tank system such as that proposed by Mr Van Hoppe will not meet the standards set out in rule 36.1.5. If the permitted activity rules are not going to be complied with the discharge is a discretionary activity requiring resource consent. There is no justification on technical grounds for approving applications for discretionary consent for systems of this size that will not comply with the permitted activity rules as to do so undermines the aim of the permitted activity rule in the plan. There is some resistance to the SWDA rules as the cost of systems capable of achieving the effluent standard set out in rule 36.1.5 are relatively high. However, this is not a good basis for approving a discretionary consent!

My understanding of the TRMP rules is that if the discharge was going into an existing system operating before 19 September 1998 and the total discharge volume discharged is less than two cubic metres the discharge is allowed to continue as a permitted activity under the less stringent rule 36.1.4 of the TRMP. A discharge from a septic tank should meet the rules in section 36.1.4 of the plan if it is sized appropriately. This option may be more socially acceptable but is only desirable if the existing system has the capacity to cope with the increased volume of effluent and will meet the rules of section 36.1.4 of the plan. Another requirement of the plan rule 36.1.4 is that there must be at least 500 mm of unsaturated soil between the effluent disposal field and the average winter level of groundwater. The depth to the water table in the proposed disposal field should be measured to check for compliance with this requirement.

Mr and Mrs Hawkins have appear to have a choice of either

1. discharging via their existing septic tank **providing** it has sufficient capacity to do so and the discharge from it will comply with the requirements of council rule 36.1.4.
- or
2. **Installing a wastewater treatment system capable of meeting permitted activity rule 36.1.5. In particular the following effluent standards need to be met:**
 - **BOD less than or equal to 20 mg/l**
 - **Suspended Solids less than or equal to 30 mg/l**
 - **Faecal Coliforms less than or equal to 100 faecal coliforms per 100 mls.**

I suggest that they be advised of this and sent a copy of rules 36.1.4 and 36.1.5 for their information. I hope this is what you were looking for...let me know if you want me to send a letter summarising the above.

Hilary



7249

FACS

TO: ~~Rob Silcock~~ Mrs Mrs Hawkins Bests Is
FAX NO: 5445446 Richmond
FROM: Rosalind Squire - Consent Planner
RE: Building Consent Application for Mr and Mrs Hawkins

Plans for kitchen removed following discussion with applicant on 2/11/01. Further information requested 2/11/01 via letter (attached)

Rosie

IF YOU DO NOT RECEIVE ALL PAGES OF THIS TRANSMISSION, PLEASE TELEPHONE IMMEDIATELY.

Note: The information contained in this facsimile message is confidential to the intended recipient. If you have received this facsimile in error, please notify us immediately (by collect call if necessary) and destroy this facsimile. Any use, distribution, dissemination or reproduction of this facsimile by any person other than the intended recipient is prohibited.

Attention: Mr Silcock

Re; Building Consent Application for Mr and Mrs Hawkins - Bests Is

The site of the proposed building is in the Residential zone, Coastal Environment Area and Special Wastewater Disposal Area. The building complies with most of the requirements in the Residential zone and coastal environment area. However, we do need the following additional information:

- i) The plans accompanying the building consent only show 2 parking spaces on site. The Tasman Resource Management Plan requires that two parking spaces be made available for **each unit** on site.
- ii) Is the new self contained unit under the same roof as the existing dwelling?
- iii) Can you please provide a plan indicating the location of the existing and the proposed new effluent disposal system and disposal area and distance from mean high water springs.

Kitchen plans deleted by owner 2/11/01

Rosie

September 2001
FACSIMILE TO: Rob Silcock

While we await this information I have forwarded the application to the Consent Planner – discharges and Building Inspector who may require further information.

Many thanks

Rosalind Squire
CONSENT PLANNER - LAND

Writer's Direct Dial No. (03) 544-8176
E-mail: ros@tdc.govt.nz

02 November 2001

Mr Hawkins
Bests Island
Richmond

Dear Mr Hawkins

I spoke to the Discharge Planner and the Consents Manager following our meeting on Friday regarding the proposed effluent disposal system for the property at Bests Island.

As you are aware the property lies within the Special Wastewater Disposal Area, the Discharge Planner has suggested that you have a choice of discharging via the existing septic tank provided it has sufficient capacity to do so and the discharge will comply with the requirements of rule 36.1.4, of the Proposed Tasman resource Management Plan or installing a wastewater treatment system capable of meeting permitted activity rule 36.1.5. (attached). In particular the following effluent standards need to be met

- BOD less than or equal to 20mg/l
- Suspended solids less than or equal to 30mg/l
- Faecal coliforms less than or equal to 100 faecal coliforms per 100mls.

Can you please let Council know which option you would prefer and either yourself or Mr Parkinson submit plans and other details accordingly.

Yours faithfully



Rosalind Squire
CONSENT PLANNER

9/11/01

Phoned to confirm
that will install
new system

Main Office

189 Queen Street
Private Bag 4,
Richmond 7031 N.Z.
Tel (03) 544-8176
Fax (03) 543-9524

**Murchison
Service Centre**

92 Fairfax Street
Murchison
Tel (03) 523-1013
Fax (03) 523-1012

**Motueka
Service Centre**

7 Hickmott Place
P.O. Box 123, Motueka
Tel (03) 528-7700
Fax (03) 528-9751

**Golden Bay
Service Centre**

78 Commercial Street
P.O. Box 74, Takaka
Tel (03) 525-9516
Fax (03) 525-9972

CHAPTER 36: RULES FOR CONTAMINANT DISCHARGES – TASMAN RESOURCE MANAGEMENT PLAN

36.1.5 Discharge of Domestic Wastewater (Special Areas)

The discharge of domestic wastewater into land from an on-site wastewater treatment disposal field in a Special Domestic Wastewater Disposal Area commencing after 19 September 1998 is a permitted activity that may be undertaken without a resource consent if it complies with the following conditions:

- (a) The volume of effluent discharged is not more than a weekly averaged flow of **D 2/00** |
2,000 litres per day.
- (b) There is no discharge or run-off of effluent into surface water.
- (c) The disposal field is located not less than:
 - (i) 20 metres away from any surface water body, or the coastal marine area;
 - (ii) 20 metres of any bore for domestic water supply;
 - (iii) 1.5 metres of any adjoining property.
- (d) The discharge does not create an offensive or objectionable odour discernible **D 2/00** |
beyond the property boundary.
- (e) An access point to allow sampling of the effluent being discharged to the disposal field must be provided with any on-site wastewater disposal system installed after 19 September 1998.
- (f) The quality of the effluent being discharged into the disposal field does not exceed the following standards:

BOD	20 milligrams per litre
Suspended Solids	30 milligrams per litre
Faecal Coliforms	100 faecal coliforms per 100 millilitres
- (g) The effluent is discharged via a dose-loading system.
- (h) The plant and any associated machinery is maintained by an appropriately **D 2/00** |
competent person experienced in the operation and maintenance of such
plant or machinery and must be according to any service contract supplied
by the
manufacturer, and such information to show how this condition is being met must be
provided as requested by the Council.

22 July 1997

Writer's Direct Dial (03) 544 3444

Mr B Rowell
Stoke Law Centre
PO Box 2187
STOKE

Dear Sir

HAWKINS - BARNETT AVENUE, BEST ISLAND

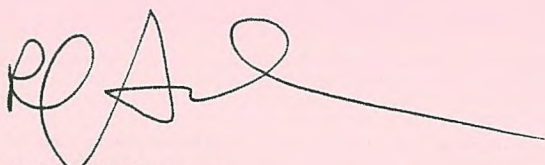
I thank you for your letter of 8 July 1997. We agree that a Land Information Memorandum would not have identified a number of the problems existing in the Barnett Avenue property. That was not the purpose of our suggestion. A Land Information Memorandum however will disclose in a structured way, the various consents which have been granted in respect of a particular property. Your letter of 9 January 1996 simply asked for confirmation of any outstanding requisitions/orders.

We are surprised that it is only now that your clients have suggested that Graeme Wood did not advise them about the condition of the house prior to purchase. That is not our understanding of the matter and this was explained to you at our earlier meeting.

We have nothing further to add in relation to the problems with the septic tank. Our inspection related to the work that was being undertaken at that present time as advised by the then owner. The reply to your 9 January 1996 letter identified (by an enclosure) the existence of a building consent for work specified as "extension of kitchen and recladding of home".

We do not believe that the Council has been negligent and therefore see no reason why the Council should entertain your proposal. In particular, we do not recognise that you have a claim against the Council, but as indicated in our earlier letter we are happy to assist Mr Hawkins should any action be instigated against the previous owner.

Yours faithfully



R G Dickinson
Chief Executive

Main Office

189 Queen Street
Private Bag 4,
Richmond 7031 N.Z.
Tel (03) 544-8176
Fax (03) 544-7249

**Murchison
Service Centre**

92 Fairfax Street
P.O. Box 53, Murchison
Tel (03) 523-9004
Fax (03) 523-9004

**Motueka
Service Centre**

7 Hickmott Place
P.O. Box 123, Motueka
Tel (03) 528-7700
Fax (03) 528-9751

**Golden Bay
Service Centre**

78 Commercial Street
P.O. Box 74, Takaka
Tel (03) 525-9516
Fax (03) 525-9972

STOKE LAW CENTRE

Brian C Rowell LL.B. Principal Frank Freeman Associate
Julian Daly B.A., LL.B. Staff Solicitor Lee James LL.B. Staff Solicitor
Sarah Kissling B.A., LL.B. Staff Solicitor Belinda Rowell (NZLEC) Legal Executive

8 July 1997

Chief Executive
Tasman District Council
Private Bag 4
RICHMOND

WITHOUT PREJUDICE



Dear Sir

RE: HAWKINS - BARNETT AVENUE, BEST ISLAND

Thank you for your letter of 28th May 1997. We note that Council denies any breach of duty. We would comment on several matters raised in your letter. Firstly, you refer to a Land Information memorandum. In the circumstances a LIM would not have identified the following problems; rotten floor joists, bearers and floor, unsafe condition of water tank in the ceiling, bearers not tied down, non-complying drainage work, non-complying septic tank, non-complying loadings (foundation piles are spaced too far apart). Our clients inform us that Graeme Wood did not advise them about the condition of the house prior to purchase. Mr Wood was helpful when our clients approached him late 1996 at the time they applied to Council for a building consent for substantial alterations. Thirdly we believe the Council inspection in 1995 should have identified the problem with the existing septic tank, especially having regard to all the new plumbing work including the installation of a new toilet (without an air vent), shower unit and waste. Had the Council inspection identified the problem with the septic tank in 1995 our client could have had the problem addressed prior to settlement of their purchase. Our clients could have negotiated a reduction in the purchase price or negotiated a condition that Mr Herron install a new septic tank at his cost. We believe Council was negligent in this regard.

On a Without Prejudice basis we are instructed to offer a proposal for settling our clients claim against Tasman District Council. Our client will accept the sum of \$2,000.00 in full and final settlement of their claim against Tasman District Council.

We look forward to receiving your reply.

Yours faithfully

BRIAN ROWELL
jbr:00043000

*exactly!
So how come they expected us to know of all these problems
no change - we inspect work identified as being done by owner.*

Yes, a civil matter.

A dangerous precedent. Council are a stationary body and will become easy beats as civil cases are "too hard".

*DBK / Daly / Woods
Comments plan
Bee D
14/7/97*

Writer's Direct Dial: (03) 544 3444

28 May 1997

Stoke Law Centre
PO Box 2187
STOKE

Attention: Brian Rowell

Dear Sir

HAWKINS - BARNETT AVE, BEST ISLAND.

This letter is to recap the visit of yourself and Mr Hawkins to this office on 26 May 1997. Council staff present at the meeting were Bob Dickinson, Gilbert Hunt, Daryl Page and Graeme Wood.

In December 1995, your client came to Council to inspect the property file for the Barnett Ave residence owned by Mr Herron. Council was advised at this point that building work had been completed but no permit records were held. Upon this advice, Graeme Wood inspected the property in the presence of Mr Herron (and his father) and his file note of 4 December 1995 records the owners advice of work as "new kitchen and stucco exterior". The owner was advised of the serious nature of undertaking work without consent and that Council required plans and a producer statement from an Engineer due to work being already completed.

Subsequent action saw Mr Herron apply for a building consent and based on a producer statement from Ron O'Hara (Registered Engineer) and Steve Millson (Craftsman Plumber) a retrospective building consent (951888) was issued on 20 December 1995 for "Extension of kitchen and recladding of home" and clearly stated "all work has been done prior to building consent being issued". A code compliance certificate was issued on 21 December 1995 for this work only.

Council has on file your letter of 9 January 1996 which requests confirmation that Council has no outstanding requisitions/orders in respect of the property. By fax reply of 10 January 1996, it was confirmed that building consent 951888 had issued for retrospective work based on Council inspection and producer statements from an Engineer and a Plumber. That fax reply included a copy of a property summary which identified building consent 951888 and the scope of work covered by that consent. Because you did not apply you were not furnished with a Land Information Memorandum as provided for under the Local Government Official and Meetings Act.

It is at this point the first issue arises. Mr Hawkins states that his expectation following identification of unpermitted work and Council subsequently issuing a building consent, was that a full and thorough inspection of the building had been done. As already summarised above, the work identified by the owner when confronted about un-permitted work was quite specific and carried through as the work covered by building consent 951888. Council considers it to be unreasonable

Main Office

189 Queen Street
Private Bag 4,
Richmond 7031 N.Z.
Tel (03) 544-8176
Fax (03) 544-7249

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P.O. Box 53, Murchison
Tel (03) 523-9004
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for your client to suggest that while our Inspector was on site for the particular purpose of inspecting work covered by the building consent, that he be expected to inspect and report on other aspects of the building. It should be noted that the site visit on 4 December 1995 was to follow up on unpermitted work which had already been completed. As such, the "inspection" was of a finished product (hence the need for additional documentation) and all parties will agree that much of the problems encountered were not readily evident until alteration work was begun at a later date.

Graeme Wood also states that he advised Mr Hawkins prior to purchase, that because of the age and condition of the house, and his knowledge of houses of similar vintage and location, Mr Hawkins needed to carefully appraise himself of the state of the dwelling before going ahead with the purchase. It does not appear Mr Hawkins took this advice.

In November 1996, Mr Hawkins applied to Council for a building consent for substantial alterations and it is at this point the second issue arises. Following a site visit by Graeme Wood and Gilbert Hunt on 6 November 1996, a problem with the existing septic tank was identified. This had not been picked up in 1995 because the plumbing involved was in the kitchen renovations linked into the existing pipework.

Council then wrote to Mr Herron on two occasions advising him of faulty drainage work with the intention of having him firstly identify just what was in the ground, and secondly, to come to some arrangement with the new owner over remedial work. No response to these letters nor we believe to your letter of 19 December 1996 to Mr Herron, was received. It is acknowledged that while the fault remained, the building consent applied for could not issue. Discussion between Gilbert Hunt and Mr Hawkins followed and the solution of installing a new septic tank and effluent system was arrived at - a further benefit of this was that its situation was going to be better in terms of future connection to a reticulated scheme. The building consent (961906) issued 13 December 1996.

Council considered legal action against Mr Herron however Council's primary purpose under the Building Act is to ensure buildings are safe and sanitary. The main objective when dealing with non-complying work is to have it remedied. Through the building consent 961906 issued to Mr Hawkins, this objective was achieved. Any prosecution is a last resort situation and would apply if the required remedial work does not occur or if the person is a repeat offender. To prosecute every breach would mean a great deal of work for Council. We are now outside the six month limitation period provided under the Building Act.

While Council can sympathise with your client's position of additional expense due to faulty unauthorised work undertaken by the previous owner, it denies any breach of duty and considers that all reasonable steps have been taken. Indeed, if your client had taken our Inspector's advice and had the entire property inspected and appraised prior to purchase, he would not be in this unfortunate position today.

As discussed at the meeting, a civil action by Mr Hawkins against Mr Herron (or his advisers) could be the appropriate re-course to compensation. Given the background, Council would be able to assist in the event of such a civil action.

Yours faithfully

R G Dickinson
Chief Executive

27 January 1997

Stoke Law Centre
9 Strawbridge St
Stoke
NELSON

Attention: Brian Crowell

Dear Sir

RE: CHRISTOPHER & LYNETTE HAWKINS

I apologise for the delay in carrying out your request to have copies of letters sent to Mr N Herron.

To date Mr Herron has made no attempt to communicate with myself or Council staff, therefore the Environmental Manager has allowed legal procedures to be carried out against him.

Yours faithfully



Gilbert H Hunt
Drainage & Plumbing Inspector

PM1EASLETTERS\STOKELAW.GIT

- | | | | |
|---|---|---|--|
| <input type="checkbox"/> Main Office
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Richmond 7031 N.Z.
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Fax (03) 544-7249 | <input type="checkbox"/> Murchison
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Fax (03) 528-9751 | <input type="checkbox"/> Golden Bay
Service Centre
78 Commercial Street
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Tel (03) 525-9516
Fax (03) 525-9972 |
|---|---|---|--|

Writer's Direct Dial: (03) 544 3457

4 December 1996

Mr N Herron
Best Island
RICHMOND

Dear Sir

This Notice has become necessary because of your non-compliance to a letter sent to you on 18 November 1996 via Mr Freeman of Fletcher Vautier & Moore.

As stated in the first letter, drainage installation was carried out at a property on Best Island Valuation No. 19380/934 when owned by you.

As requested of you, your co-operation to expose the septic tank, disposal system and greywater system will assist Mr & Mrs Hawkins with future development and prevent Council employing a drainage contractor to carry out this work and then forwarding all costs to you.

Your inability to co-operate or communicate with Council staff or Mr & Mrs Hawkins to rectify this situation has only strengthened my recommendation to the Environmental Manager that legal action against you should be carried out.

Yours faithfully



Gilbert H Hunt
Drainage & Plumbing Inspector

PM114\LETTERS\HERRON.RDS

- | | | | |
|---|---|---|--|
| <input type="checkbox"/> Main Office
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Richmond 7031 N.Z.
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Fax (03) 544-7249 | <input type="checkbox"/> Murchison
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78 Commercial Street
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Fax (03) 525-9972 |
|---|---|---|--|

18 November 1996

Mr N Herron
C/- Mr F Freeman
Fletcher Vautier Moore
2 Cambridge Street
RICHMOND

Dear Sir

ILLEGAL PLUMBING AND DRAINAGE INSTALLATION

This letter has become necessary because of illegal plumbing and drainage installation at Barnett Ave, Best Island (Valuation No. 19380/934).

You have a legal responsibility from the Building Act as you were the owner of the dwelling at Barnett Ave when the plumbing and drainage installation took place.

The Building Act Section 80 (a) states that every person commits an offence who does any building work (this includes plumbing and drainage) or permits any other person to do any building work other than in accordance with a building consent.

The plumbing and drainage installation to a failed septic tank and disposal system, and grey water disposal system, has been installed without a building consent or the required inspections from Council's Technical Officers.

The Drainage and Plumbing Regulations 1978, Section 87 (a) requires a Craftsman Plumber and Registered Drainlayer to carry out the installation or exercise personal supervision.

Council has a legal obligation to enforce the Building Act and Drainage and Plumbing Regulations. You are hereby notified therefore that this situation will go to the Environmental Manager recommending legal action against you.

Also you are required to employ a Registered Drainlayer to expose the septic tank and grey water disposal system and rectify the wrong components.

Your co-operation in this situation will be appreciated by Mr and Mrs Hawkins who can not proceed with their dwelling alteration until this situation has been rectified and a Building Consent has been issued.

- | | | | |
|---|---|---|--|
| <input type="checkbox"/> Main Office
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Richmond 7031 N.Z.
Tel (03) 544-8176
Fax (03) 544-7249 | <input type="checkbox"/> Murchison
Service Centre
92 Fairfax Street
P.O. Box 53, Murchison
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Tel (03) 528-7700
Fax (03) 528-9751 | <input type="checkbox"/> Golden Bay
Service Centre
78 Commercial Street
P.O. Box 74, Takaka
Tel (03) 525-9516
Fax (03) 525-9972 |
|---|---|---|--|

Yours faithfully

G Hunt
PLUMBING AND DRAINAGE INSPECTOR

Mr Freeman: Please forward this letter to Mr Herron as he has not contacted me and I have no contact address.

STOKE LAW CENTRE

Brian C Rowell LL.B. Principal Belinda Rowell (NZLEC) Legal Executive
Grant Parker B.Sc., LL.B. Staff Solicitor Geoff Bracefield B.Com., LL.B. Staff Solicitor
Julian Daly B.A., LL.B. Staff Solicitor

20 December 1996

Tasman District Council
Private Bag 4
RICHMOND



ATTENTION: Gilbert Hunt, Plumbing & Drainage Inspector

**RE: CHRISTOPHER & LYNETTE HAWKINS PROPERTY BESTS
ISLAND ~ HOUSE ALTERATIONS ~ PLUMBING & DRAINAGE
REQUIREMENTS**

We understand that you have been handling this matter.

Please find enclosed a copy of our letter to the former owner Mr Herron for your records.

Could we please have a copy of your notice to Mr Herron informing him of the unsatisfactory state of the septic tank.

Yours faithfully

A handwritten signature in blue ink, appearing to read "B. Rowell", written over a horizontal line.

BRIAN C ROWELL

adbr:00043001

FAXED

STOKE LAW CENTRE

Brian C Rowell LL.B. Principal Belinda Rowell (NZLEC) Legal Executive
Grant Parker B.Sc., LL.B. Staff Solicitor Geoff Bracefield B.Com., LL.B. Staff Solicitor
Julian Daly B.A., LL.B. Staff Solicitor

19 December 1996

Mr N A Herron
C/- S A Herron
BESTS ISLAND

Dear Sir

We act for Christopher and Lynette Hawkins who purchased a property off you in January of this year. Under the conditions of the contract you gave our clients warranties and undertakings that all work you had undertaken was permitted and met compliance standards.

In the course of carrying out alternations to the house our clients have been advised by the Tasman District Council that the septic tank does not meet Tasman District Council requirements and must be moved. We understand you installed the septic tank yourself approximately three years ago. We further understand that the Tasman District Council has written giving you notice to rectify the work but you have failed to respond to that notice.

We are instructed to put you on notice that our clients will proceed to have the work rectified to comply with Tasman District Council requirements and are holding you responsible and liable for the cost estimated to be in the vicinity of \$3,000.00

We give you further notice that repiling work undertaken by you has not been done to required standards. In particular rotten floor joists have been discovered which our client must attend to. Our clients are holding you responsible and liable for the cost.

Yours faithfully



BRIAN C ROWELL

adbr:00043000



The County Engineer
Waimea County Council
P.O. Box 3050
RICHMOND

Dear Sir,

BESTS ISLAND WATER SUPPLY

I do not wish to have my property at Bests Island connected to the proposed water supply.

Name: Mrs & Mrs K. B. VINCENT

Address: 14 POLGLAZE ST
RICHMOND

Yours faithfully,

J. A. Vincent
.....
(Signature of Property Owner)

Valuation Reference: 19350/780/36

1938093400



WAIMEA COUNTY COUNCIL

189 QUEEN STREET, RICHMOND, NEW ZEALAND
P.O. BOX 3070 TELEPHONE 8176

File Ref: 1938093400
Job No.

M. Newis

WATER SERVICE APPLICATION

To the County Engineer,

I hereby apply for a water service as set out below and I agree to pay all fees and charges relating thereto as laid down by the Waimea County Council from time to time.

RECEIVED
28 FEB 1983
COUNTY ENGINEER

DETAILS OF PROPERTY: (refer to rate assessment)

Valuation Reference 19350 780 36 (BEST'S ISLAND)
Name of Owner K.B. + J.A. VINCENT
Address: 14 Polglare Street Richmond,
LOT. 36 D.P. 5090 BLK 11 Waimea S.D.

SERVICE REQUIRED: (please tick square)

A. Urban Supplies

- (i) Ordinary 15mm domestic connection - 1/2 charge lot
- (ii) Ordinary 15mm domestic connection - new section
- (iii) Extraordinary supply - metred

B. Rural Extension from Urban Supply

C. Rural Supply

- (i) First tank connection
- (ii) Second tank connection
- (iii) Additional tank connections

D. Industrial Supply

COMMENT ON ANY DETAILS *Invoice \$400 actioned 30-8-83 P/B.*

I agree to have the water scheme brought to the boundary of my section for a total cost of \$400.00. Nothing further will be required by me at this present point of time.

APPLICANT'S NAME K.B. Vincent

ADDRESS: 14 Polglare Street Richmond.

SIGNATURE K.B. Vincent *27/2/83.*

Note: To be signed by person to whom all charges are to be directed.

CONNECTION AND SERVICE CHARGES

A. URBAN SUPPLIES

- (i) Ordinary 15mm domestic connection - 1/2 charge lot \$10.00
- (ii) Ordinary 15mm domestic connection - new section actual cost
- (iii) Extraordinary supply - metred actual cost

Meter Rentals (where meter owned by W.C.C.)

15mm meter	..	..	..	..	..	..	..	..	..	..	\$ 6.00 p.a.
20mm meter	..	..	..	..	..	..	..	..	..	..	\$ 8.00 p.a.
25mm meter	..	..	..	..	..	..	..	..	..	..	\$10.00 p.a.
40mm meter	..	..	..	..	..	..	..	..	..	..	\$20.00 p.a.
50mm meter	..	..	..	..	..	..	..	..	..	..	\$30.00 p.a.
80mm meter	..	..	..	..	..	..	..	..	..	..	\$50.00 p.a.

Meter Testing Fee

15mm and 20mm meters	..	..	..	..	..	..	..	..	..	..	\$ 20.00
Larger than 20mm meters	..	..	..	..	..	..	..	..	..	..	actual costs

Re-Connection Fee \$ 20.00

B. RURAL CONNECTION FROM URBAN SUPPLIES - Connection fee .. \$ 300.00 Minimum

The following conditions apply:

1. Supply shall be a low pressure rural type
2. Supply limited to 2 cu. m per day
3. Connection only undertaken where it can be substantially financed from the connection fee.
4. Extensions are to provide suitable pipe size for orderly expansion of the urban water scheme.

C. RURAL SUPPLIES

	<u>Dovedale</u>	<u>Redwoods</u>
1. First tank - actual costs plus	\$360	\$550
2. Second tank - actual costs	\$100 min	\$200 min
3. Additional tanks - actual costs	\$ 50 min	\$100 min

D. WAIMEA INDUSTRIAL SUPPLY

- 1. Connection charges actual costs
- 2. Service and meter charges - included in water charge

FOR OFFICE USE ONLY

JOB NUMBER _____

1. Approved by County Engineer _____ Date _____
Charges to _____
2. Waterworks Foreman - Issue Job number _____ Date _____
Work complete _____
As Built details actioned _____ Date _____
Water Record card filed _____ Date _____
3. Accounts clerk - charges actioned _____ Date _____
Total charges _____
4. Rates Clerk - rate leger noted _____ Date _____
5. Drawing Office as Builts recorded _____ Date _____
6. Application complete for filing _____ Date _____



Key:
* Fire Location
* Smoke Alarms

117 Barnett Ave

Project ID: 190638
Date Sent: 2019-06-24 10:25:03
Recipient: jacqui.soffer@therentshop.co.nz
Sender: AlphaOne System
Subject: RE: RE: BC190638: 117 Barnett Avenue, Best Island
Message:

Hello

Thank you for your message regarding your Building Consent application with Tasman District Council. This is an automated response to confirm your message has been received by the assigned officer for review.

Below is a list of the accepted and rejected attachments. We accept email attachments in PDF, JPG and PNG format.

REJECTED ATTACHMENTS:

- image001.png (9.92kB)

The rejected attachment(s) may be from your signature. If not, please contact the AlphaOne Support Team on (06) 280 2734.

For further information or enquiries please email 190638@tasman.abcs.co.nz.

Kind regards

Tasman District Council
189 Queen Street
Richmond 7020
<http://www.tasman.govt.nz>

Wall Bracing Calculation Sheet A

Job Details

box 1

Name Chris & Lynn Hawkins

Street and Number _____

Lot and DP Number _____

City/Town/District BAST ISLAND

Location of Storey: single/upper of two/tower of two

Building height to apex 3.0 m Roof weight light/heavy

Roof height above eaves 0.60 m Cladding weight light/heavy

Stud height 2.4 m Room in roof space yn

Average roof pitch 3°

Building length BL = 7.7 m Gross Building

Building width BW = 6.1 m Plan Area, GPA = 42 m²

Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.

Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone

box 2

Region: R1 0 Inland 0 _____ Sheltered 0 _____ Topography: Gentle 0

R2 1 _____ Coastal 1 Exposed 1 Moderate 1 _____ Extreme 3 _____

Total points 2

Wind zone: _____ Low (0) _____ Very high (3)

Medium (1) _____ Specific Design (4)

 _____ High (2)

Earthquake zone

box 3

From figure EQ1 select Earthquake Zone: A B C

BUs required Wind

box 4

From Table W1A/W1B

W along = 49 BU/s/m

W across = 35 BU/s/m

Total wind load,

W ALONG:

W along x BW = 299 BU/s

W ACROSS:

W across x BL = 270 BU/s

BUs required Earthquake

box 5

From Table EQ1

E = 4.6 BU/s/m²

Note: For a room in the roof space use E+1

Total earthquake load,

EQ ALONG and EQ ACROSS:

E x GPA BU/s = 193 BU/s

Wall Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 EQ	7 EQ
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (EU/m x L) W	Rating BU/m EQ	BUs Achieved (EU/m x L) EQ
A	70	A13	BRS	1.2	115	138	85	102
B	70	B14	BRS	1.2	115	138	85	102
C	62	C15	BRS	0.6	110	66	95	57
		C16	BRS	0.6	110	66	95	57
D								
E								

Totals Achieved		W	408	EQ	318
From Sheet A	Totals Required	W	299	EQ	193
Wreq/EQreq =					

*If Wreq/EQreq is 1 or less complete EQ column only
 If Wreq/EQreq is 1.5 or more complete W column only
 Otherwise complete both W and EQ

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 EQ	7 EQ
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (EU/m x L) W	Rating BU/m EQ	BUs Achieved (EU/m x L) EQ
M	62	M17	BRS	1.2	115	138	85	102
N	70	N18	BRS	1.2	115	138	85	102
O	31	O19	BRS	1.0	110	110	95	95
P								
Q								

Totals Achieved		W	386	EQ	299
From Sheet A	Totals Required	W	270	EQ	193
Wreq/EQreq =					



Wall Bracing Calculation Sheet A

Job Details

box 1

Name Chrise Lynne Hawkins
 Street and Number _____
 Lot and DP Number _____
 City/Town/District BOST ISLAND
 Location of Storey: single / upper of two / lower of two
 Building height to apex 3.5 m Roof weight light / ~~heavy~~
 Roof height above eaves 0.90 m Cladding weight light / ~~heavy~~
 Stud height 2.4 m Room in roof space Y/N
 Average roof pitch 30
 Building length BL = 15.7 m Gross Building
 Building width BW = 8.8 m Plan Area, GPA = 102 m²

Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.
Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone

box 2

Region: R1 0 Inland 0 Sheltered 0 Gentle 0
 R2 1 Coastal 1 Exposed 1 Moderate 1
 Extreme 3
 Total points 2
 Wind zone: Low (0) Very high (3)
 Medium (1) Specific Design (4)
 High (2)

Earthquake zone

box 3

From figure EQ1 select Earthquake Zone: (A) B C

BU's required Wind

box 4

From Table W1A/W1B
 W along = 49 BU's/m
 W across = 35 BU's/m
 Total wind load,
 W ALONG:
 W along x BW = 431 BU's
 W ACROSS:
 W across x BL = 549 BU's

BU's required Earthquake

box 5

From Table EQ1
 E = 4.6 BU's/m²
 Note: For a room in the roof space use E+1
 Total earthquake load,
 EQ ALONG and EQ ACROSS:
 E x GPA BU's = 469 BU's



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Wall Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 EQ	7 EQ
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m EQ	BUs Achieved (BU/m x L) EQ
A	85	A1	BR9	1.0	110	110	95	95
B	100	B2	BR9	0.6	96	57	83	50
		B3	BR9	0.4	96	46	83	44
		B4	BR5	1.2	115	138	85	102
C	70	C5	BR5	1.8	101	181	75	135
		C6	BR5	1.2	115	138	85	102
D								
E								

x.88 2.7
1.55 2.7
x.88 2.7

Totals Achieved		W	710	EQ	558
From Sheet A	Totals Required	W	431	EQ	469
Wreq/EQreq =					

*If Wreq/EQreq is 1 or less complete EQ column only
If Wreq/EQreq is 1.5 or more complete W column only
Otherwise complete both W and EQ

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 EQ	7 EQ
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m EQ	BUs Achieved (BU/m x L) EQ
M	100	M7	BR9	0.6	96	57	83	50
		M8	BR9	0.6	96	57	83	50
N	100	N9	BR5	1.8	101	181	75	135
O	70	O10	BR5	1.2	115	138	85	102
P	70	P11	BR5	1.2	115	138	85	102
Q	88	Q12	BR5	1.2	115	138	85	102

x.88 2.7
1.55 2.7

Totals Achieved		W	709	EQ	541
From Sheet A	Totals Required	W	549	EQ	469
Wreq/EQreq =					



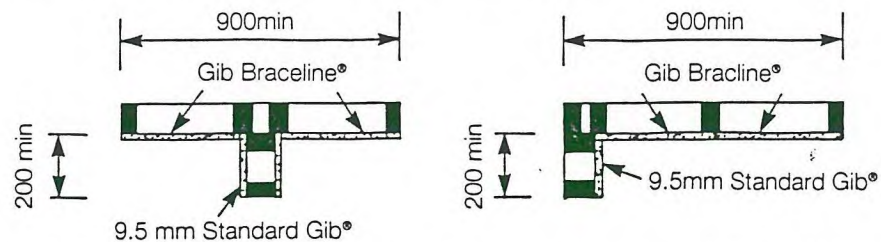
Gib® Wall Bracing Systems Construction Guide

(complies with NZS 3604 : 1990)

Specifications			
Type	Description	Additional Requirements	Nailing & Stopping
Gib 1	9.5mm Standard Gib® on one face. Min. length 1800mm	Diagonal brace	Gib 1, 2 and 3 30 x 2.5 Gib Clouts® at 150mm ccs. around the perimeter of the bracing element and double nailed at 300mm ccs. to intermediate framing. Tape and stop all joints within the bracing element.
Gib 2	9.5mm Standard Gib® on both sides. Min. length 1800mm	Diagonal brace	
Gib 3	9.5mm Standard Gib® on both sides. Min. length 1200mm	No additional requirement	
BR 1	Gib Braceline® on one face. Min. length 1800mm	Diagonal brace	BR 1, 2, 3, 4, 5, 6, 7 and 8 30 x 2.5 Gib Clouts® fitted with Gib Braceline® washers at 150mm ccs. around the perimeter of the bracing element. Double nail to intermediate framing at 300mm centres. Tape and stop all joints within the bracing element.
BR 2	Gib Braceline® vertical on one face. Min. length 1800mm	No additional requirement	
BR 3	Gib Braceline® horizontal on one face. Min. length 1800mm	No additional requirement.	
BR 4	Gib Braceline® on one face. Length 900 to 1200mm	6 kN end-stud fixings	
BR 5	Gib Braceline® on one face. Length 1200 to 2400mm	6 kN end-stud fixings	
BR 6	Gib Braceline® and Gib Board® on opp. sides. Length 1200 to 2400mm	12 kN end-stud fixings	Plywood and Hardboard shall be fixed with 30 x 2.5mm Gib® Clouts at 150mm ccs around sheet perimeters and at 300mm ccs to intermediate framing.
BR 7	Gib Braceline® on one face 7.5mm ply on other. Length 900 to 2400mm	6 kN end-stud fixings	
BR 8	Gib Braceline® on one face 4.75mm hardboard on other. Length 900 to 2400mm	6 kN end-stud fixings	
BR 9	Gib Braceline® on one face min length 0.6m max length 1.2m	Metal strap of 6kN capacity fixed to both wall end-studs and bottom plate to floor fixing.	Nailing type and pattern as illustrated on page 18.

Guidelines for Intersecting Walls

Types BR1 to BR8 may have Standard Gib® intersecting walls with a minimum length of 200mm. Gib® Braceline sheets shall be fixed and jointed as given on pages 16 and 17. Nails and washers are required around the perimeter of the bracing element. Vertical joints at T-junctions (illustrated on the left) shall be fixed and jointed as specified for intermediate sheet joints.



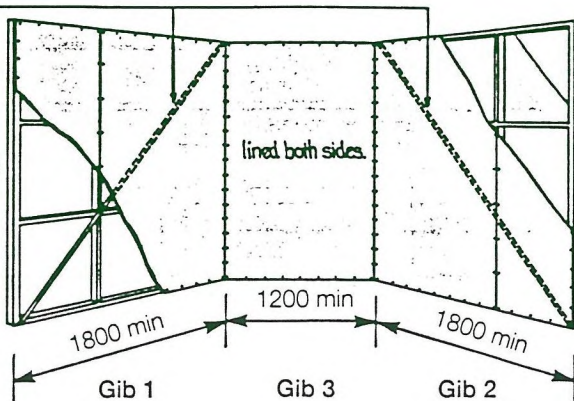
Where Wall Bracing Elements are interrupted by T or L junctions (as illustrated in the 900mm example above) they should be considered as follows:

The Gib Braceline® has been cut to accommodate the junction. Nevertheless, in respect of calculating Bracing Units, the Bracing Element is deemed to be continuous for the whole length (900mm in this particular case):

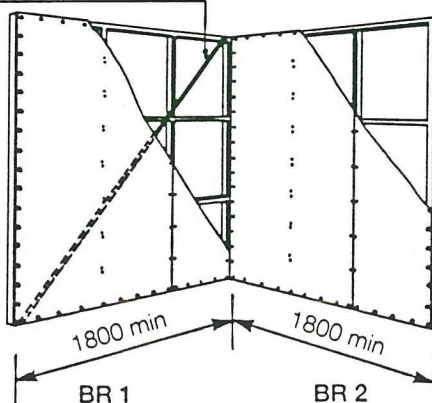
Construction Details

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galv. steel angle brace, fixed with three 60 x 3.15 nails to top and bottom plates and with two 60 x 3.15 nails to wall studs

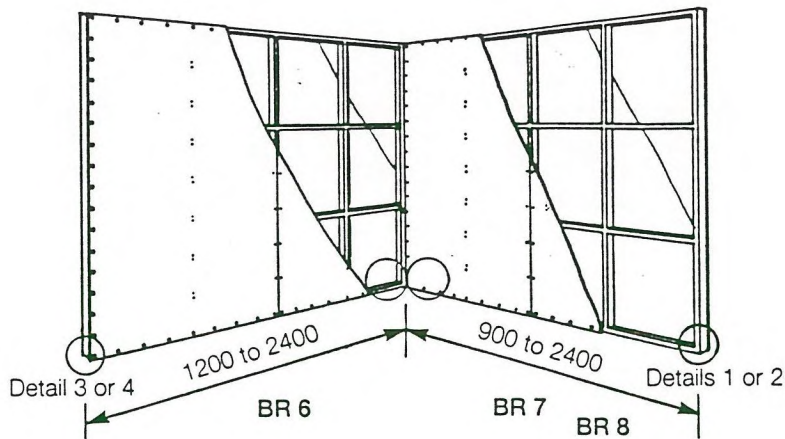
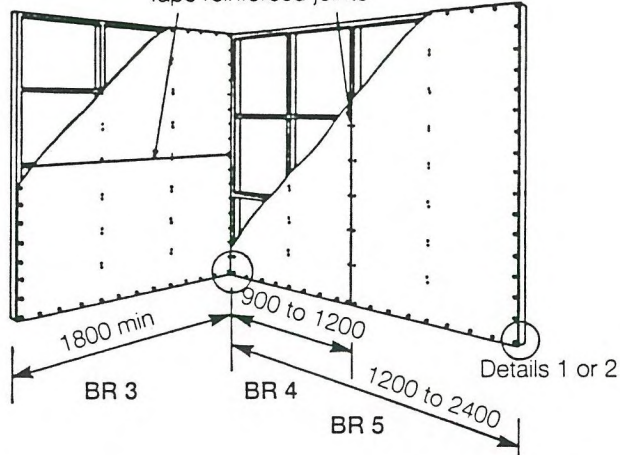


galv. steel angle brace, fixed with three 60 x 3.15 nails to top and bottom plates and with two 60 x 3.15 nails to wall studs



see specifications for nailing requirements

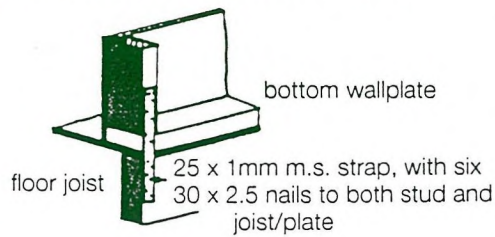
Tape reinforced joints



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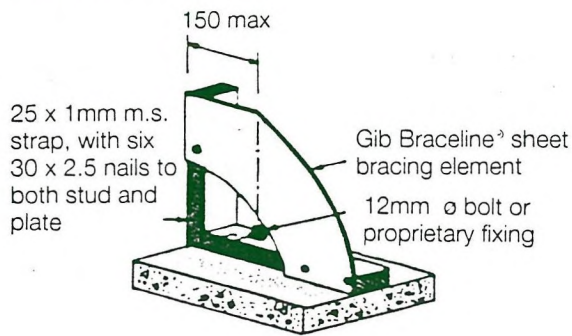
Detail 1

6kN connection to timber sub-floor
(both sides of stud strapped for 12kN)



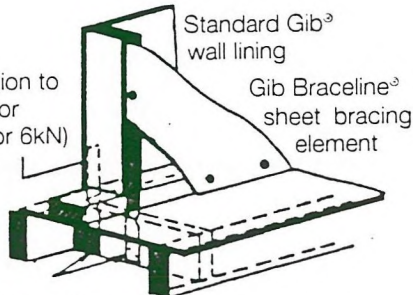
Detail 2

6kN connection to concrete.



Detail 3

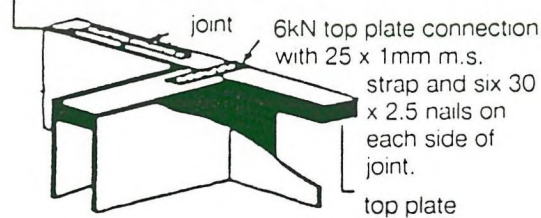
12kN connection to timber sub-floor
(single strap for 6kN)



two 25 x 1mm m.s. straps, with six 30 x 2.5 nails to both stud and blocking piece between floor joists

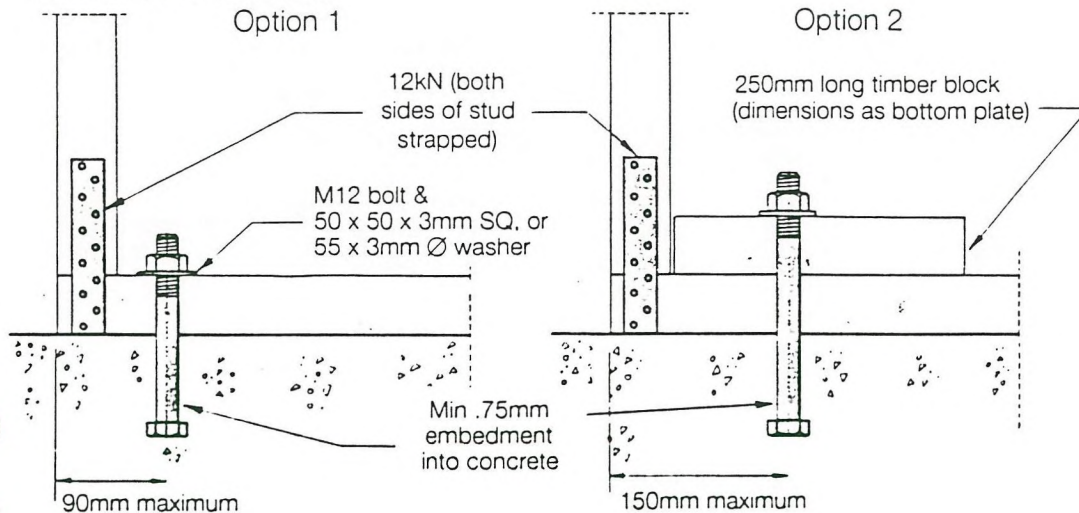
Top Plate Connections

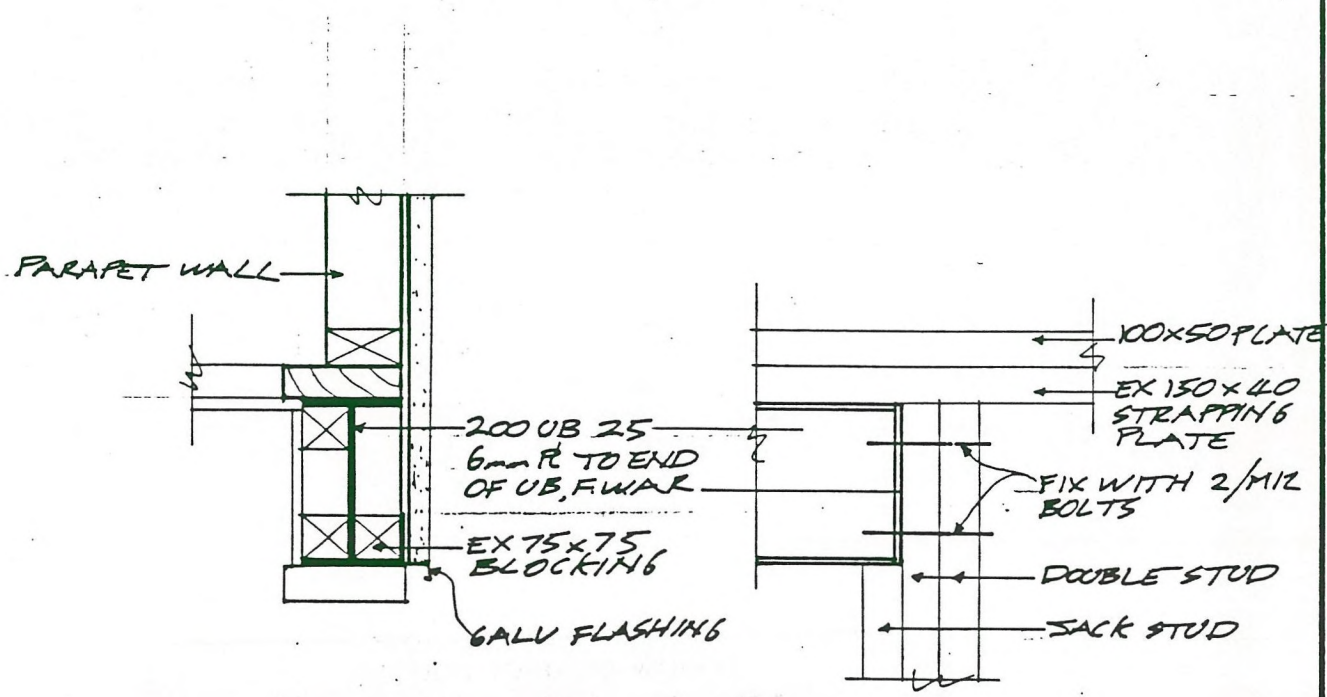
3kN top plate connection, with 25 x 1mm m.s. strap and three 30 x 2.5 nails on each side of joint.



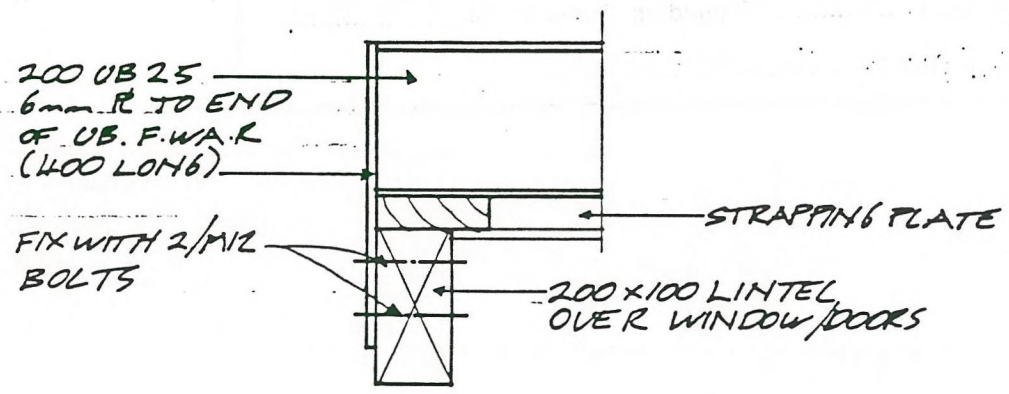
Detail 4

12kN connection to concrete





GARAGE LINTEL DETAIL 1:10



BEAM DETAIL - BED 1 1:10


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 ARCHITECTURAL; MECHANICAL
 DRAUGHTING AND DESIGN
 1 HONEY TEE WAY
 STOKES
 NELSON
 PH (03) 547 4018
 FAX (03) 547 4018
**MENZIES
 DESIGNS**

HAWKINS

SCALE 1:10

DATE

A96293

TASMAN DISTRICT COUNCIL
APPROVED CONSENT DOCUMENT

THESE ARE THE PLANS / SPECIFICATIONS
REFERRED TO IN BUILDING CONSENT No: 961906

- THIS DOCUMENT MUST STAY ON JOB UNTIL COMPLETION
- GIVE 24 HOURS NOTICE before any work is covered up
- Council inspections are required BEFORE any:
concrete, masonry infill, grouting, placement, lining, cladding,
roof fixing, structural frame enclosure, trim fixing, lining stopping,
plumbing, drainlaying, covering.
- Deviations from this Document require further approval
- Consent holder is responsible and liable for any damage as a
result of this work being carried out.
- Date: 13-12-96 Building Consent No. 961906

SIGNED: 

Standard Gib® Wall Bracing System

Product Description

Standard Gib® is a 9.5mm thick tapered edge internal lining suitable for wall bracing applications.

- Foil backed for vapour resistance and thermal insulation (optional)

Framing

General framing requirements such as grade, preservative treatment, spacings and installation shall comply with the provisions of NZS 3604:1990. The minimum call dimensions for external bracing walls shall be no less than 100 x 40mm. The framing call dimension for internal bracing walls shall be no less than 75 x 40mm.

Kiln-dried and machine stress-graded 35mm wide framing may be used for Gib® bracing applications. Reference must be made to the manufacturer's instructions and associated independent appraisals.

Sheet Size and Weight

Thickness	Width	Length
9.5mm	1200mm	2400
		2700
		3000
		3300
		3600
		3900
		4200
Maximum Weight		4800
6.8 kg/m ²		

Fixing Type

Standard 9.5mm Gib® wall bracing systems shall be fastened with 30 x 2.5mm galvanised Gib® Clouts. Gib Fix® adhesive may be used as an alternative fixing to intermediate studs as illustrated below.

Fixing with 30mm x 6g bugle head gypsum drywall screws is permitted **provided the calculated Bracing Unit rating for the element is reduced by 10%**. Screws are required at 150mm centres around the perimeter of a bracing element. Fixing to intermediate framing must be with single screws or Gib® Fix adhesive at 300mm centres.

Vertical Fixing

Insert Gib Clouts® at 150mm centres around the perimeter of the bracing element. Nail sheet edges within the braced element at 300mm centres and double nail intermediate studs at 300mm centres.

As an alternative to nailing to intermediate studs, apply daubs of Gib Fix® adhesive at 300mm centres to intermediate studs.

Horizontal Fixing

Insert Gib Clouts® at 150mm centres around the perimeter of the bracing element. Insert single clouts to each stud at the point where the horizontal joint crosses the stud and double nail at 300mm centres to intermediate studs.

As an alternative to nailing to intermediate studs, apply daubs of Gib Fix® adhesive at 300mm centres to intermediate studs.

Nogs

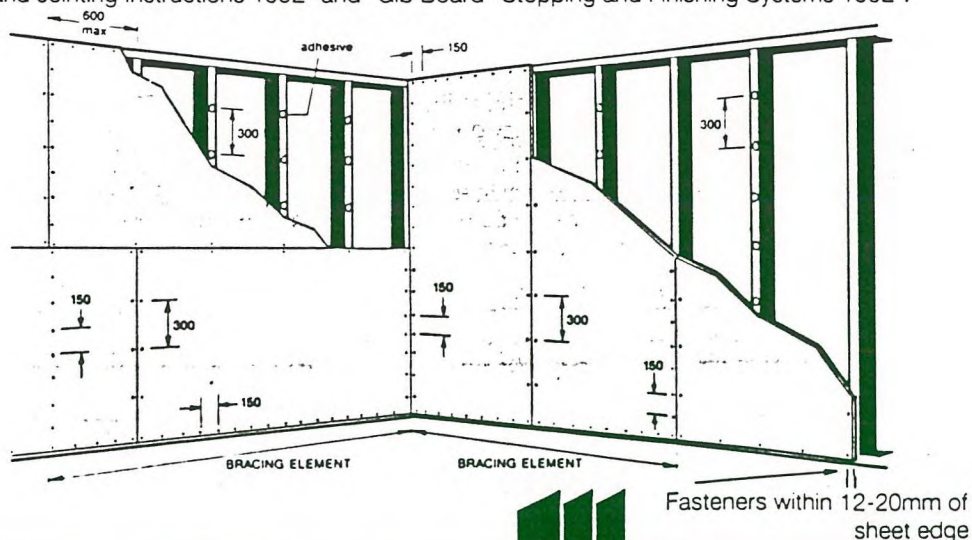
Wall bracing tests on Gib Braceline® and Standard Gib® were undertaken with out nogs. Nogs are not considered to add to the bracing performance of the wall.

Timber Movement

Gib® sheets shall be fixed leaving a 10mm gap at the floor line to allow for movement of framing members.

Jointing

All joints shall be tape reinforced and finished in accordance with the publication "Gib Board® Fixing and Jointing Instructions 1992" and "Gib Board® Stopping and Finishing Systems 1992".



Gib Braceline® Wall Bracing System

Product Description

Gib Braceline® is a 9.5mm thick tapered edge high density internal lining for wall bracing applications including sheet bracing.

- Face paper coloured blue for easy identification
- Foil backed for vapour resistance and thermal insulation (optional).
- Recessed studs not required.
- Quick and easy to install.

Sheet Sizes and Weight

Thickness	Width	Length
9.5mm	1200mm	2400
		2700
		3000

Maximum Weight
8.5 kg/m²

Framing

General framing requirements such as grade, preservative treatment, spacings and installation shall comply with the provisions of NZS 3604:1990. The framing call dimensions for external bracing walls shall be no less than 100 x 40mm. The framing call dimension for internal bracing walls shall be no less than 75 x 40mm, except that the call dimensions for BR9 framing shall in no case be less than 100 x 40mm.

Kiln-dried and machine stress-graded 35mm wide framing may be used for Gib® bracing applications. Reference must be made to the manufacturer's instructions and associated independent appraisals.

Lining and Fixing

Gib Braceline® shall be fastened with 30mm x 2.5mm galvanised Gib Clouts®. The clouts shall be used in conjunction with 15mm galvanised steel washers in the locations specified overpage. Gib Clouts® should be driven at right angles to the lining so that they and the washers are finally seated in a slight dimple or recess.

Vertical Fixing

Use full height sheets. Insert clouts/washers at 150mm centres around the perimeter of the bracing element. Double nail Gib Clouts® (no washers) at 300mm centres to intermediate studs. Double nails to be 50-60mm apart.

Horizontal Fixing

Insert clouts/washers at 150mm centres around the perimeter of the bracing elements. Insert single nails (no washers) to each stud at the point where the horizontal joint crosses the stud and double nail (no washers) at 300mm centres to intermediate studs. Double nails to be 50-60mm apart.

Nogs

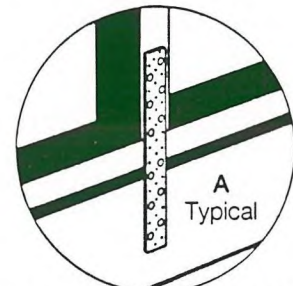
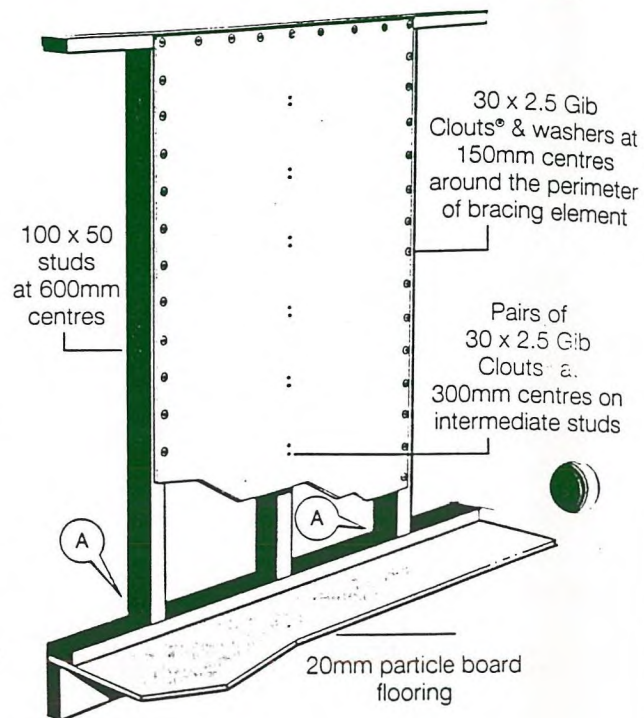
Wall bracing tests on Gib Braceline® and 9.5mm Standard Gib® systems were undertaken without nogs. Nogs are not considered to add to the bracing performance of the wall.

Timber Movement

Gib Braceline® sheets shall be fixed leaving a 10mm gap at the floor line to allow for movement of framing members.

Jointing

All joints shall be tape reinforced and finished in accordance with the publications, "Gib Board® Fixing and Jointing Instructions 1992" and "Gib Board® Stopping and Finishing Systems 1992".



Metal strap in accordance with K4.5 NZS 3604 : 1990

Sheet Brace Panels (Table 3)
(Not including BR9)

Fire Resistance Ratings

Gib Braceline® can be substituted for 9.5mm Gib Fyrelite® in fire rated walls.

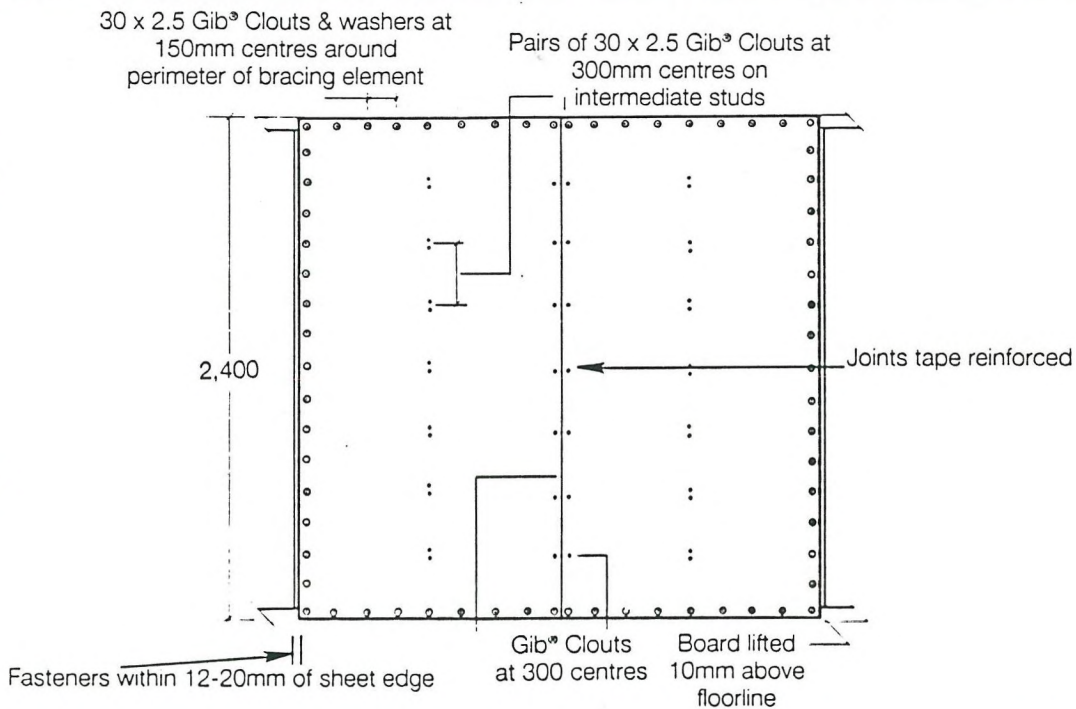
Plywood

7.5mm Standard Construction Plywood manufactured to NZS 3614 and AS 2269. Minimum grade, C-D. Minimum treatment level, untreated. Fixing shall be 30 x 2.5mm Gib® Clouts at 150mm centres around sheet perimeters and at 300mm centres to intermediate framing.

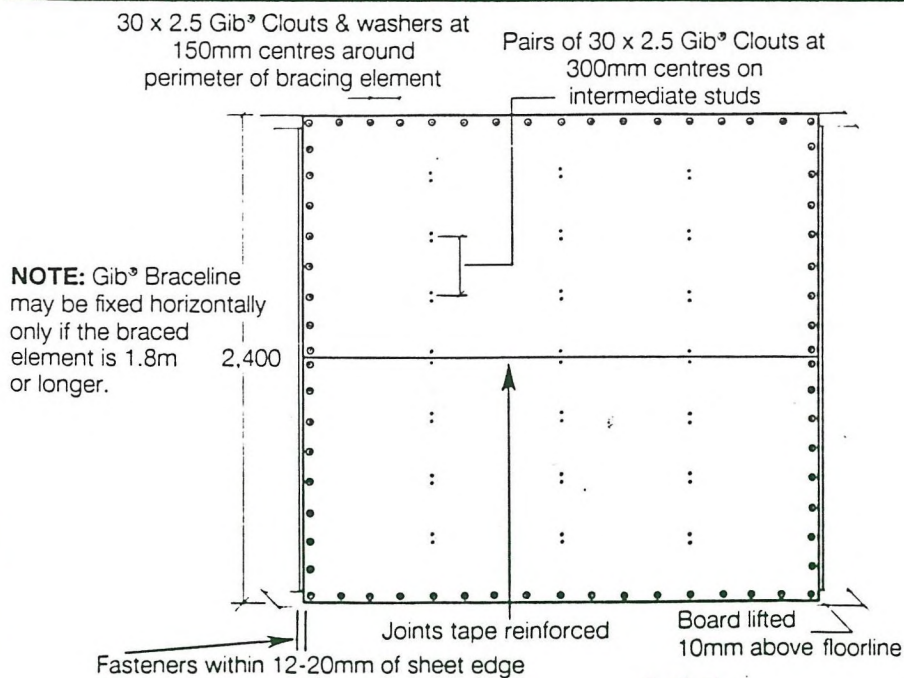
Hardboard

4.75mm Standard Hardboard or 4.75mm Oil Tempered Hardboard as manufactured by Fletcher Wood Panels Limited. Fixing shall be 30 x 2.5mm Gib® Clouts at 150mm centres around sheet perimeters and at 300mm centres to intermediate framing.

Vertical Fixing (Table 2)



Horizontal Fixing (Table 2)



NOTE: Gib® Braceline may be fixed horizontally only if the braced element is 1.8m or longer.

Handwritten text, mostly illegible due to fading and bleed-through. Some words like "Handwritten" and "Handwritten" are visible.

Handwritten text, mostly illegible due to fading and bleed-through. Some words like "Handwritten" and "Handwritten" are visible.



3 ϕ wire hangers from rafters. (required where struts are not located over wall).

Secure cover to prevent water sloshing out.

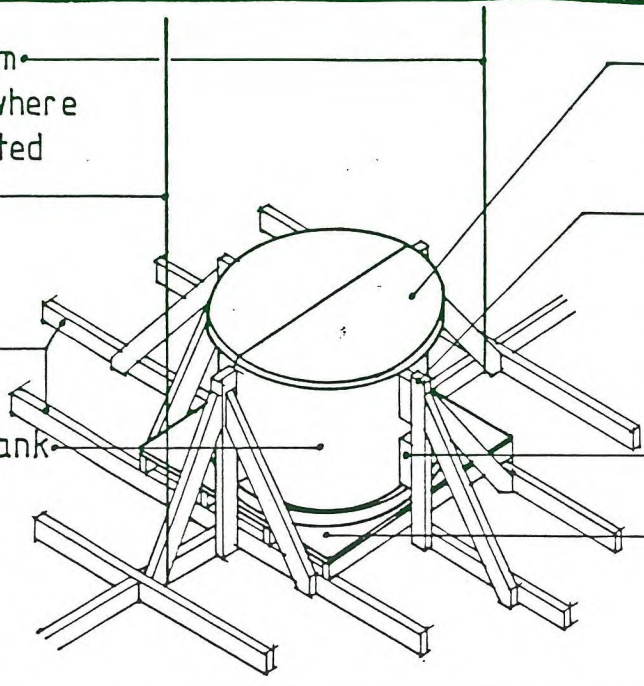
Ceiling joist or bottom chord.

75 x 50 post struts (4 sets) fix with 4-100x4 nails each connection.

Cold water supply tank on overflow tray. Run overflow tray drain to exposed position on exterior of house (eg eaves).

Shaped blocks

Flooring on 4-100x50s on edge.



WATER SUPPLY TANK STRUCTURAL SUPPORT
MAXIMUM TANK CAPACITY 200 LITRES

Wall framing

100x50 packer, fix to each stud with 2-100x4 nails (2 off).

Shaped chock screw, nail to packer with 2-100x4 nails (4 off).

Hot water cylinder

Turn buckle (per strap)

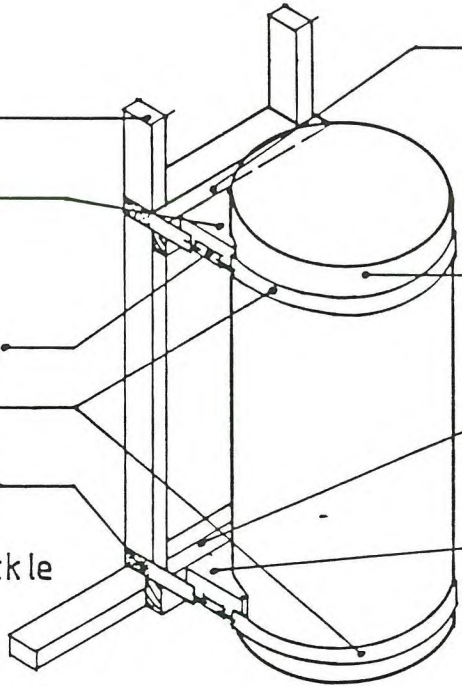
100x50 packer

50x0.6 g.l. straps

100 thick shaped chock.

Strap fixed to stud with 5-30x3mm nails.

Alternatively fix turnbuckle to 6mm hook screwed through wall lining into stud.



HOT WATER CYLINDER SEISMIC RESTRAINT
MAXIMUM CYLINDER CAPACITY 350 LITRES



MENZIES DESIGNS LIMITED
ARCHITECTURAL: MECHANICAL
DRAUGHTING AND DESIGN
1 MCNEY TWE WAY
STOCKE
NELSON
PH (03) 547 4018
FAX (03) 547 4018

SCALE N/S

DATE

I Scope

This set of guidelines describes various levels of finish of Gib Board® surfaces prior to the application of specific types of final decoration.

The appropriate level of finish of Gib Board® wall and ceiling surfaces varies with the final decoration to be applied and can also be dependent on their location in a structure and the type of illumination striking the surface. Each level of finish is described with typical applications.

II Terminology

The following definitions are applicable to this document.

Accessories: Metal trim or moulding used to protect or conceal corners, edges or abutments of the Gib Board® construction.

Critical Lighting: Strong sidelighting from windows or surface-mounted light fixtures. See "Comments" section of this document.

Drywall: Plasterboard systems for lining walls and ceilings generally fixed to a timber or metal frame and flush-finished using joint compounds and tape.

Fibre Raise: This effect occurs where the surface fibre of the paper is scuffed during dry sanding operations. These areas are accentuated particularly where an oil based sealer is subsequently applied.

Joint Compound: These can be either an air drying or setting type material, specifically formulated for use on Gibraltar Board®. See "Comments" section.

Joint Photographing: The shadowing of the finished joint areas through the surface decoration.

Jointing Tape: Joint reinforcing tapes specifically designed for use with Gib Board® are applied with the first coat of joint compound to flat joints and interior angles to provide strength and crack resistance. See "Comments" section of this document.

Skim Coat: A thin coat of compound applied over the entire surface to fill imperfections in the joint work, smooth the paper texture and provide a uniform surface for decorating. Air drying compounds are recommended for this purpose.

Spotting: To cover fastener heads with joint compounds.

Stopping: A term to describe the application of joint compounds.

Texture: A decorative treatment of Gib Board® surfaces.

Texturing: Regular or irregular patterns typically produced by applying a mixture of joint compound and water, or proprietary texture materials including latex based texture paint, to a Gib Board® surface previously coated with sealer. See "Comments" section of this document.

Undercoat: Undercoats are applied as an intermediate coat between the sealer coat and the top coat. The function of an undercoat is to provide a well filled surface on which to apply the top coats, particularly gloss enamels. **Note:** Some undercoats provide the dual function of sealer and undercoat.

Wallboard Sealer: Sealers are generally applied in painting as a first coat to prevent undue absorption of the binder from the subsequent coat of paint.

III Levels of Finish

The following levels of finish are established as a guide for specific final decoration.

Level 0: This level of finish may be useful in temporary construction or whenever the final decoration has not been determined.

Typically no stopping, taping, finishing or accessories are required.

Level 1: For use in plenum areas above ceilings, in attics, in areas where the assembly would generally be concealed, or in building service corridors and other areas not normally open to public view.

Typically joints and interior angles would have tape embedded in joint compound. Surface should be free of excess joint compound. Tool marks and ridges are generally acceptable, with accessories optional at specifier discretion in corridors and other areas with pedestrian traffic.

Some degree of sound and smoke control is provided.

Level 2: For use in garages, warehouse storage or other

concern.
Typically all joints and interior angles would have tape embedded in joint compound and one separate coat of joint compound applied over all joints, angles, fastener heads and accessories. Surface should be free of excess joint compound. Minimal tool marks and edges are generally acceptable.

Level 3: For use in appearance areas which are to receive heavy or medium texture (spray or hand applied) finishes before final painting, or where heavy grade wall coverings are to be applied as the final decoration. *This level of finish is not generally suitable where smooth painted surfaces, or light to medium weight wall coverings, are specified.*

Typically all joints and interior angles would have tape embedded in joint compound and one separate coat of joint compound applied over all joints, angles, fastener heads and accessories. All joint compound should be finished smooth (Generally this is achieved by scraping off nibs and ridges etc with the edge of a trowel.) **Note:** *It is recommended that the prepared surface be coated with a sealer prior to the application of final finishes. See Section V Painting/Texturing/Wallpapering.*

Level 4: For use where light textures or wall coverings are to be applied, or economy is of concern. Also for non-critical lighting areas where flat and low sheen paints are to be applied.

In critical lighting areas, flat paints applied over light textures tend to reduce joint photographing. Gloss and semi-gloss paints are not generally suitable over this level of finish.

The weight, texture and sheen level of wall coverings applied over this level of finish should be carefully evaluated. Joints and fasteners must be adequately concealed if the wall covering material is lightweight, contains limited pattern, has a gloss finish, or any combination of these features is present. Unbacked vinyl wall coverings are not generally suitable over this level of finish.

Typically all joints and interior angles would have tape embedded in joint compound and a minimum of two separate coats of joint compound applied over all joints, angles, fastener heads and accessories. All joint compound should be finished smooth and free of tool marks and ridges. See "Comments" section. **Note:** *The number of coats of joint compound required to achieve this level of finish is dependent on the type of compound used and the skill level of the operator. It is also recommended that the prepared surface be coated with a sealer prior to the application of final finishes. See Painting/Wall covering section in this regard.*

Level 5: This level of finish is for use where gloss, semi-gloss, low sheen, or non-textured flat paints are specified or where critical lighting conditions occur.

Typically all joints and interior angles would have tape embedded in joint compound and one separate coat of joint compound applied over all joints, angles, fastener heads and accessories.

A thin skim coat of an air drying joint compound, (or a material manufactured especially for this purpose) should be applied to the entire surface. The surface should be finished smooth and free of tool marks and ridges. See "Comments" section.

Note: *The number of coats of joint compound required to achieve this level of finish is dependent on the type of compound used and the skill level of the operator.*

Note: *It is recommended that the prepared surface be coated with a sealer prior to the application of finish paint. See Section V Painting/Texturing/Wallpapering.*

This highest quality finish is the most effective method to provide a uniform surface and minimise the possibility of joint photographing and of fasteners showing through the final decoration.

IV Comments

Critical (Severe) Lighting Areas Wall and ceiling areas abutting window mullions or skylights, long hallways, or atriums with large surface areas flooded with artificial and/or natural lighting are a few examples of critical lighting areas. Strong sidelighting from windows or surface-mounted light fixtures may reveal even minor surface imperfections. Light striking the surface obliquely, at a very slight angle, greatly exaggerates surface irregularities. If critical lighting cannot be avoided, the effects can be minimised by skim coating the Gib Board® surfaces, or by decorating the surface with medium to heavy textures, or by the use of drapes and blinds which soften shadows. In general: gloss and semi-gloss finishes highlight surface defects; textures hide minor imperfections. **Note:** *In complying with the guidelines in*

this document, surface imperfections may still be apparent where critical lighting conditions are experienced with gloss decorative finishes.

Fire Resistant Rated Assemblies Where a fire resistant rating is required for the Gib Board® assembly, details of construction shall be strictly in accordance with the recommendations of Winstone Wallboards Ltd. All joints and interior angles shall have Gib® Reinforcing Tape (Paper) embedded in Gib® Bedding Compound and a MINIMUM of one separate coat of Gib® Bedding Compound applied over all joints, angles, fastener heads and accessories.

Framing Requirements Gib Board® is a flexible sheet lining material and hence will tend to reflect any deviation of the underlying framing into the finished appearance. Framing must comply with the requirements of the relevant building regulations. It is recommended that the framing be of regular dimensions, set plumb, level and in true alignment. Service piping, ducts, outlets and switch boxes should be set within the framing.

To achieve the best finish, as in Levels of Finish 4 and 5, Winstone Wallboards recommends that the moisture content of timber framing should not exceed 16% at the time of lining. For further information on the testing procedure, see 'Gib Board® Fixing and Jointing Instructions 1992.'

For specific designs, liveload deflections should be limited to no more than 0.003 x 'span' (in mm), up to a maximum deflection of 9mm.

For further information on framing requirements, refer to the "Resources" section.

Installation of Gib Board® Horizontal application of Gib Board® on walls is the most effective way of achieving a high quality finish and is recommended particularly for Level of Finish 4 and 5. Horizontal application reduces the length of joint treatment by up to 20%, allows for the strongest dimension of the Gib Board® sheet to run across framing members and provides joints on walls at a convenient height for stopping. Butt joints formed from sheet ends or cut edges should be 'recess back blocked', particularly for Levels of Finish 4 and 5.

The use of thicker Gib Boards® such as 12.5 or 16mm boards or double layer construction also provides a stronger, flatter surface and is an outstanding means of achieving a superior drywall surface.

Joint Areas Typical workmanship standards for Levels 4 and 5 should be such that the crown of a 'stopped' joint is no more than 1mm proud of the adjacent Gib Board® surface over a 300mm width of joint. Where 'butt joints' are encountered, take care to feather out joint compound to a width of approx. 600mm and minimise building up the centre of the joint area.

Joint Compound Each coat of air drying joint compound must be completely dry prior to application of any following coats (approx 24 hours @ 20°C). Allow setting type compounds to fully harden prior to application of any following coats. **Note:** In the case of 'one day' finishing it is important to comply with manufacturer's written recommendations to ensure that joint imperfections are minimised.

Jointing Tapes Whilst paper tape will generally provide superior crack resistance and joint strength, edge bound Fibreglass mesh tapes are also available. Air drying or ready mixed compounds are not recommended for use with the Fibreglass tapes.

Manufacturer Recommendation The recommendations and specifications of individual manufacturers of materials may vary from the suggestions contained in this document.

Tool Marks and Ridges A smooth surface may be achieved by lightly sanding the jointing compound or by wiping 'air dry' type compounds with a dampened sponge. Care shall be exercised to ensure that the nap of the Gib Board® facing paper is not raised during sanding operations.

V Painting/Texturing/Wallpapering

Wallboard Sealer These coatings are generally applied as a first coat to the entire prepared Gib Board® surface with a brush or roller prior to decoration. Before applying the sealer, remove all loose dirt and dust with a soft brush or vacuum cleaner.

(a) **For Finishing Paints:** Water based sealers are typically specified for the walls and ceilings of offices and

be preferred in areas requiring a hard wearing surface such as kitchens, hallways, public rooms or work rooms, where texturing materials are to be applied, or where the Gib Board® has yellowed due to prolonged exposure to sunlight. After the sealer is dry, lightly sand any areas of 'fibre raise' prior to application of top coats.

Note: It is important to assess the standard of the Gib Board® surface finish under adequate lighting conditions. In some situations this may require assessment after the sealer has been applied, as this tends to better highlight any defects. It is highly recommended that the surface finish assessment procedure should be agreed upon between the designer, builder, stopper and painter prior to work commencing.

(b) **For Wall Coverings:** The application of a water based sealer prior to the wall covering is typically specified:

1. To assist with adhesive bonding of the wall covering by preventing excessive absorption of the size or adhesive into the surface of the Gib Board.®
2. To make it easier to strip wall coverings in the event of future redecoration.

After the sealer is dry, lightly sand any areas of 'fibre raise' or 'high sheen' in order to provide a good key for the size and adhesive.

An application of size is usually recommended over the sealer to provide good slip (which assists with on the wall positioning) and to help with adhesion.

Finishing Coats

(a) **Paint** Both water and solvent based systems are available in a wide range of gloss levels. As a guide, gloss paints tend to have good cleanability and burnish resistance, whereas matt or flat paints do not. Oil or solvent based paints are generally preferred in areas requiring a hard wearing surface or where steam, water resistance and cleanability are important.

(b) **Textures** Texture material is applied by brush, roller, spray or trowel, or a combination of these tools, depending on the desired result.

VI Resources Designers and specifiers are encouraged to consult the following related documents:

- BRANZ Information Bulletin No. 271. Changes in Moisture Content in Timber 1989.
 - BRANZ Information Bulletin No. 301. Avoiding Peaking and Popping Problems with Gypsum Plasterboard. Nov. 1992.
 - BRANZ Study Report SR14 (1988). Serviceability Criteria for Buildings.
 - CSIRO Report TR90/1. Illumination and Decoration of Flat Surfaces.
 - Gib Board® Information Bulletin No. 4 July 1992: Skim Coating. Winstone Wallboards Ltd.
 - Gib Board® Information Bulletin No. 5 August 1992: Nail Pops and Peaking. Winstone Wallboards Ltd.
 - Gib Board® Information Bulletin No. 6 August 1992: Glancing Light. Winstone Wallboards Ltd.
 - Gib Board® Fixing and Jointing Instructions 1992. Winstone Wallboards Ltd.
 - Gib Board® Stopping and Finishing Instructions 1992. Winstone Wallboards Ltd.
 - Gib Board® Fire Rated Systems 1992. Winstone Wallboards Ltd.
 - ISO 6308:1980 Gypsum Plasterboard Specification.
 - NZS 7703:1985 The Painting of Buildings.
- Contact one of the following organisations for additional assistance or copies of this recommended specification:

Interior Systems Association P.O. Box 427, Kumeu, Auckland.

NZ Master Builders' Federation (Inc.) P.O. Box 1796, Wellington.

NZ Paint Ink Resin and Adhesives Manufacturers Federation (Inc.) P.O.Box 11-543, Wellington.

Winstone Wallboards Ltd P.O. Box 12-256, Penrose, Auckland

NOTICE All of the statements, opinions, specifications and guidelines on the levels of Gib Board® finish contained in this publication are for general information purposes only and are not intended to imply that these are the only materials, procedures, processes or methods which are available or suitable. The information contained herein is believed to be correct and no liability is accepted for any loss which may be sustained arising from the use of this information.

Project ID: 190638

Date Sent: 2019-07-01 15:00:11

Recipient:

office@pmfireplaces.co.nz, jacqui.soffer@therentshop.co.nz, office@pmfireplaces.co.nz

Sender: Julian Malcolm

Subject: BC190638 Inspection Report

Message:

Our inspection team have carried out a site inspection on the above project today, please find attached the inspectors site notice for your information.

If you have any queries regarding the content of the site notice please contact Tasman District Council on 03 543 8400.

Regards,

Key
* Fire Location
* Smoke Alarms

117 Barnett Ave





**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier 882623
Land Registration District Nelson
Date Issued 10 April 2019

Prior References

623343 NL125/115

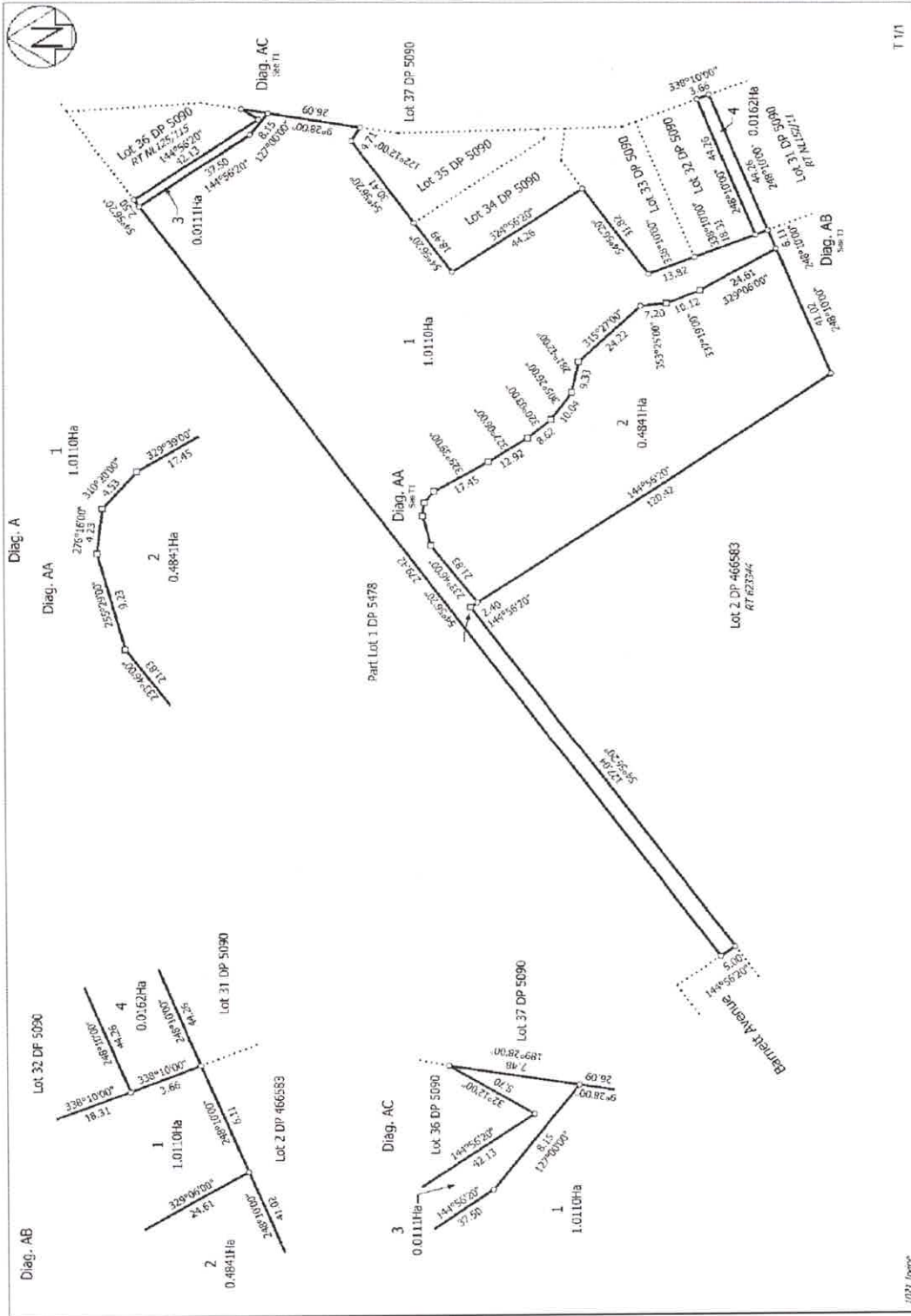
Estate Fee Simple
Area 920 square metres more or less
Legal Description Lot 3 Deposited Plan 533749 and Lot 36
Deposited Plan 5090

Registered Owners

Kursten Dion Ward and Elke Baumann-Ward

Interests

K3023 Building Line Restriction - 21.1.1954 at 3.00 pm (Affects Lot 36 DP 5090)
10381705.3 Mortgage of Lot 36 DP 5090 to ANZ Bank New Zealand Limited - 22.4.2016 at 1:52 pm
Subject to Section 241(2) and Sections 242(1) and (2) Resource Management Act 1991 (affects DP 533749)



<p>Lot 32 DP 5090 1.0110Ha RT 623746</p>	<p>Diag. AB</p>	<p>Lot 31 DP 5090 0.0162Ha RT 623746</p>	<p>Diag. AC</p>	<p>Lot 37 DP 5090 1.0110Ha RT 623746</p>	<p>Diag. AB</p>	<p>Lot 36 DP 5090 0.0111Ha RT 623746</p>	<p>Diag. AC</p>
<p>Part Lot 1 DP 5478</p>							
<p>Lot 2 DP 466583 RT 623746</p>							
<p>Diag. AA</p>							
<p>Diag. AB</p>							
<p>Diag. AC</p>							
<p>Diag. AB</p>							
<p>Diag. AC</p>							

T 1/1

Title Plan
DP 533749

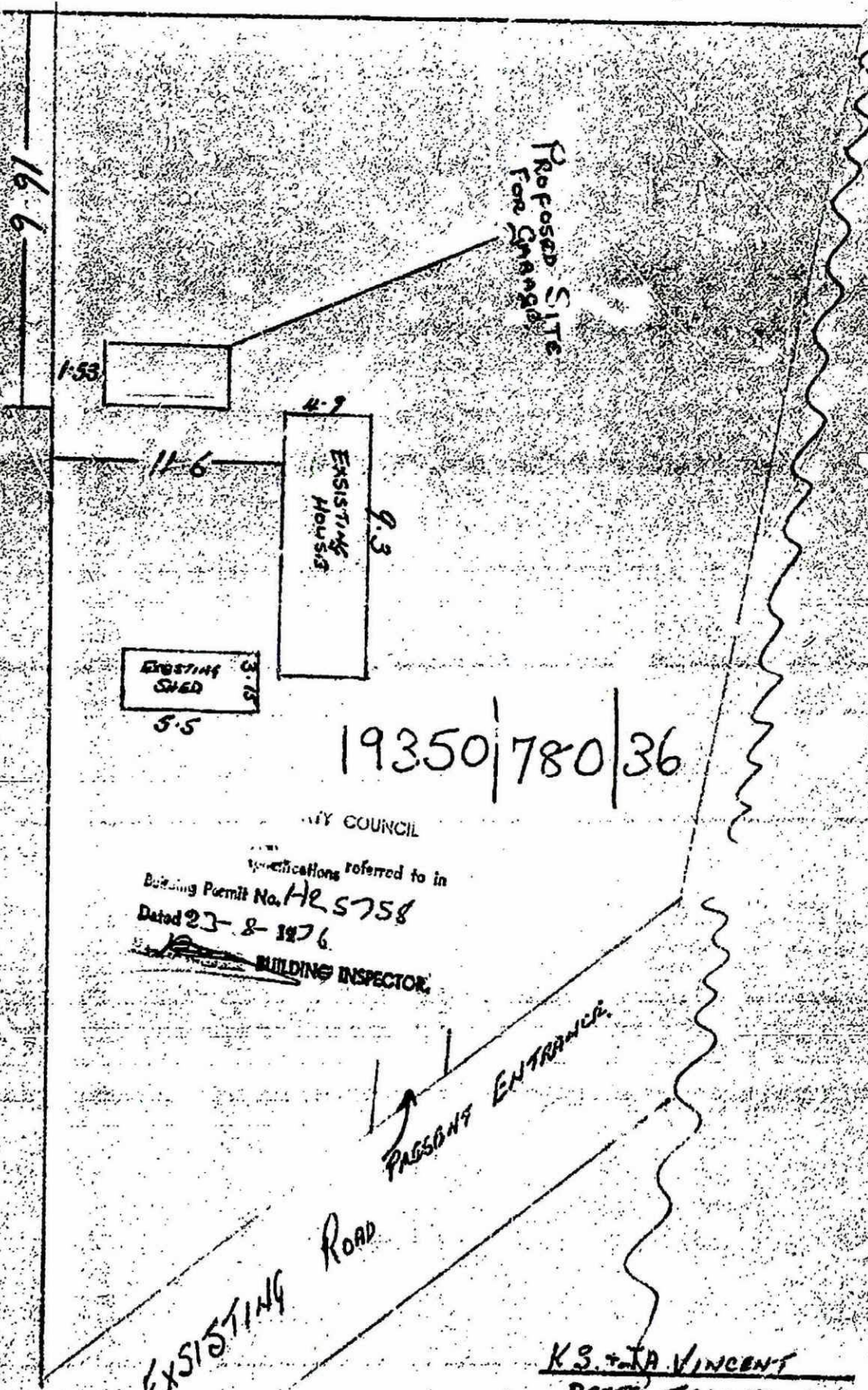
Surveyor: Peter Lewis Newbury
Firm: Planscapes (NZ) Limited (Nelson)

Lots 1-4 Being Subdivision of Lot 1 DP 466583

Digitally Generated Plan
Generated on: 03/05/2019 11:05:49 am Page 3 of 3

Land District: Nelson

Deposited on: 10/04/2019



19350|780|36

...Y COUNCIL

Specifications referred to in
 Building Permit No. **HR 5758**
 Dated **23-8-1976**

BUILDING INSPECTOR

PASSAGE ENTRANCE

EXISTING ROAD

K.S. + J.A. VINCENT
BESTE ISLAND

THE BUILDING INSPECTOR,
 WAIMEA COUNTY COUNCIL,
 P.O. Box 3070,
 RICHMOND.

WAIMEA COUNTY COUNCIL
 These are the plans referred to in
 specifications referred to in
 Building Permit No. 1925758
 Dated 23/8/76
 Alter
 Reinstatement
 Diminish

Sir,
 I hereby apply for permission to Reinstatement

of a car garage on my Boat Island
 in property Road riding
 of H.B. Vincent of 11 Cantley Street Richmond
 (Owner) (Address)

According to the locality plan and detailed plans, elevations, cross sections and specifications of building deposited herewith in duplicate.

Particulars of Lot No 36 Vol 125 folio 115
DP 5090

Section No. 11 S.D. WAIMEA

Area 0.032 Hectares 32 Square Metres
 BUILDING PARTICULARS: Foundations Concrete
 Walls Corrugated Iron
 Roof Corrugated Iron

Total floor area increase 20 x 10 = 200 square feet 18.58 square metres
 Area of existing outbuildings affected by this application m²

Area of existing outbuildings m²

ESTIMATED VALUE OF BUILDINGS:
 Building \$ 200 Plumbing and Drainage \$
 TOTAL: \$ 200

Proposed purposes for which every part of building is to be used or occupied (describing separately each intended use or occupation for a separate purpose)
To be used as a car garage or
to be used as a boat shed

Proposed use or occupancy of other part of building affected by this application (if any)

Nature of ground on which building is to be placed
 Signature of Applicant H.B. Vincent
 Address 11 Cantley Street Richmond

Builders Name and Address:
H.B. Vincent 11 Cantley Street Richmond

NB: The locality plan must show the position of building on section, and distances from road, boundaries, etc.

OFFICE USE ONLY:
 Fees Paid. Building \$ Drainage \$
 Paid By Receipt No. Date

Waimea County Council. 1936

BUILDING PERMIT.

Engineer's Office

19350/780

No. 1726

Nelson, 11th Dec 1936

To Mr. [Handwritten Name]

In pursuance of your application for permit to

on Lot No. [Handwritten] D.P. 279

Section No. [Handwritten]

Blk. No. [Handwritten] S.D., for

Mr. [Handwritten Name]

of [Handwritten Address]

permission is hereby granted you to carry out the work as proposed in your application, and in accordance with the plans, regulations, and other documents submitted to me, such work to be subject at any time during progress to my inspection and to be carried out in strict conformity with all requirements of the Waimea County Council By-law No. 3, dated the first day of May, 1948, and all other By-laws for the time being in force and of all Acts of Parliament and regulations respectively affecting such work and subject to Building Controller's

Permit No. [Handwritten] and subject to Building Emergency Regulations, 1939 and subsequent Building Construction Control Notices.

Dwellings: The location of dwellings must be approved by the Building and Sanitary Inspector before work is commenced.

[Handwritten Signature]

Building Inspector
for Waimea County Council.



GIB

Finishing Systems

Handling and Storage

Gib Board® should be delivered to the site immediately prior to installation to reduce the risk of damage. The sheets should be kept in neat flat stacks clear of the floor with care taken to avoid sagging and damage to ends, edges or surfaces.

If the board is to be stored for any length of time it should be indoors, supported from sagging and fully protected from moisture and direct sunlight.

The quality of the final internal finish can be severely compromised if the Gib Board® is mishandled.

Stacks of board on site should be limited to less than 20 sheets on non concrete floors to minimise the risk of structural damage from point loading.

Sheet Dimensions and Weights

Standard Gib Board® (All sheets 1200mm wide)

— available ex Auckland, Wellington & Christchurch factories

Thickness	Length	Thickness	Length
9.5mm	2400mm	12.5mm	2400mm
9.5mm	2700mm	12.5mm	2700mm
9.5mm	3000mm	12.5mm	3000mm
9.5mm	3300mm	12.5mm	3300mm
9.5mm	3600mm	12.5mm	3600mm
9.5mm	3900mm	12.5mm	3900mm*
9.5mm	4200mm	12.5mm	4200mm*
9.5mm	4800mm	12.5mm	4800mm*

Maximum Weights: 9.5mm Standard Board 6.8kg/m²

12.5mm Standard Board 8.6kg/m²

* Available ex Christchurch from January 1993. Available ex Auckland and Wellington from July 1993.

Levels of Finish

The finish of Gib Board® walls and ceilings for a specific final decorative effect is dependent on a number of factors, including the intended use of the building or room(s) in question, as well as the purely aesthetic. Painted and unpainted surfaces in warehouses and other areas where appearance is normally not critical may simply require the taping of wallboard joints and "spotting" of fastener heads. Blemish-free, smooth, monolithic surfaces often intended for painted and decorated walls and ceilings in habitated structures, ranging from single family dwellings through to high rise buildings, require additional finishing prior to the application of the final decoration.

Other factors to be considered in determining the level of finish of the Gib Board® surface are:-

1. The type and angle of surface illumination (both natural and artificial lighting), and
2. The paint and method of application, or the type and finish of wall covering material specified as the final decoration.

Critical lighting conditions, gloss paints and thin wall coverings require a higher degree of preparatory work than do heavily textured surfaces which are subsequently painted, or surfaces which are to be decorated with heavy grade wall coverings. Once all of the factors have been evaluated, specifications can be written in specific terms and responsible contractors are better prepared to present their most competitive quotation.

*Careful consideration should also be given to the selection of appropriate materials and levels of workmanship and skill required to meet client expectations.
For full details refer to the "Levels of Gib Board® Finish" brochure.*



The following levels of finish are established as a guide for specific final decoration.

Level 0: This level of finish may be useful in temporary construction or whenever the final decoration has not been determined.

Typically no stopping, taping, finishing or accessories are required.

Level 1: For use in plenum areas above ceilings, in attics, in areas where the assembly would generally be concealed, or in building service corridors and other areas not normally open to public view.

Typically joints and interior angles would have tape embedded in joint compound.

Surface should be free of excess joint compound. Tool marks and ridges are generally acceptable, with accessories optional at specifier discretion in corridors and other areas with pedestrian traffic.

Some degree of sound and smoke control is provided.

Level 2: For use in garages, warehouse storage or other similar areas where surface appearance is not of primary concern.

Typically all joints and interior angles would have tape embedded in joint compound and one separate coat of joint compound applied over all joints, angles, fastener heads and accessories. Surface should be free of excess joint compound. Minimal tool marks and edges are generally acceptable.

Level 3: For use in appearance areas which are to receive heavy or medium texture (spray or hand applied) finishes before final painting, or where heavy grade wall coverings are to be applied as the final decoration. *This level of finish is not generally suitable where smooth painted surfaces, or light to medium weight wall coverings, are specified.*

Typically all joints and interior angles would have tape embedded in joint compound and one separate coat of joint compound applied over all joints, angles, fastener heads and accessories. All joint compound should be finished smooth. (Generally this is achieved by scraping off nibs and ridges etc with the edge of a trowel.)

Level 4: For use where light textures or wall coverings are to be applied, or economy is of concern. Also for non-critical lighting areas where flat and low sheen paints are to be applied.

In critical lighting areas, flat paints applied over light textures tend to reduce joint photographing. Gloss and semi-gloss paints are not generally suitable over this level of finish.

The weight, texture and sheen level of wall coverings applied over this level of finish should be carefully evaluated. Joints and fasteners must be adequately concealed if the wall covering material is lightweight, contains limited pattern, has a gloss finish, or any combination of these features is present. Unbacked vinyl wall coverings are not generally suitable over this level of finish.

Typically all joints and interior angles would have tape embedded in joint compound and a minimum of two separate coats of joint compound applied over all joints, angles, fastener heads and accessories. All joint compound should be finished smooth and free of tool marks and ridges.

Note:

- *The number of coats of joint compound required to achieve this level of finish is dependent on the type of compound used and the skill level of the operator.*

Level 5: This level of finish is for use where gloss, semi-gloss, low sheen, or non-textured flat paints are specified or where critical lighting conditions occur.

Typically all joints and interior angles would have tape embedded in joint compound and one separate coat of joint compound applied over all joints, angles, fastener heads and accessories.

A thin skim coat of an air drying joint compound, (or a material manufactured especially for this purpose) should be applied to the entire surface. The surface should be finished smooth and free of tool marks and ridges.

Note:

- *The number of coats of joint compound required to achieve this level of finish is dependent on the type of compound used and the skill level of the operator.*
- *This highest quality finish is the most effective method to provide a uniform surface and minimise the possibility of joint photographing and of fasteners showing through the final decoration.*

Please Photocopy

Wall Bracing Calculation Sheet A

Job Details

box 1

Name <u>C & L. HAWKINS</u>			
Street and Number <u>BESTS ISLANDS</u>			
Lot and DP Number _____			
City/Town/District _____			
Location of Storey: _____		single/upper of two/lower of two	Floor load: 2kPa/3kPa
Building height to apex: <u>3.8</u> m	Roof weight	light/ heavy	
Roof height above eaves: <u>1.0</u> m	Cladding weights:	Subfloor: light/medium/heavy	
Stud height: <u>2.7</u> m	Lower Storey	light/medium/heavy	
Average roof pitch: <u>10°</u>	Upper Storey	light/medium/heavy	
Building length BL = <u>7</u> m	Room in Roof Space	Yes / No	
Building width BW = <u>5</u> m	Gross Building	Plan Area, GPA = <u>35</u> m ²	

Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.
Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone

box 2

Region: R1	0 <input checked="" type="checkbox"/>	Terrain: Inland	0 <input type="checkbox"/>	Exposure: Sheltered	0 <input type="checkbox"/>	Topography: Gentle	0 <input checked="" type="checkbox"/>
R2	1 <input type="checkbox"/>	Coastal	1 <input checked="" type="checkbox"/>	Exposed	1 <input checked="" type="checkbox"/>	Moderate	1 <input type="checkbox"/>
						Extreme	3 <input type="checkbox"/>
Total points <u>2</u>							
Wind Zone: _____ Low (0)		_____ Very high (3)		_____ Medium (1)		_____ Specific Design (4)	
<input checked="" type="checkbox"/> High (2)							

Earthquake Zone

box 3

From figure EQ1 select Earthquake Zone: A B C

BU's required Wind

box 4

From Table W1A/W1B

W along = 53 BU's/m
 W across = 39 BU's/m

Total wind load,
 W ALONG:
 W along x BW = 265 BU's
 W ACROSS
 W across x BL = 273 BU's

BU's required Earthquake

box 5

From Table EQ1/EQ2/EQ3/EQ4/EQ5/EQ6

E = 5.2 BU's/m²

Note: For a room in the roof space use E + 3

Total earthquake load,
 EQ ALONG and EQ ACROSS
 E x GPA BU's = 182 BU's

Please Photocopy

Wall Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
A	70	A1	SP6	1.2	115	138	110	132
B	70	B2	SP6	1.2	115	138	110	132
C								
D								
E								

Totals Achieved		W	276	E	264
From Sheet A Totals Required		W	265	E	182
Wreq/Ereq = *					

*If Wreq/Ereq is 1 or less complete E column only
 If Wreq/Ereq is 1.5 or more complete W column only
 Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
M	50	M3	SP2	0.6	85	51	85	51
N	70	N4	SP5	1.2	115	138	85	102
O	50	O5	SP6	1.2	115	138	110	132
P								
Q								

Totals Achieved		W	327	E	285
From Sheet A Totals Required		W	273	E	182
Wreq/Ereq = *					



Bracing Systems

