

There are smoke alarms installed but they are not long life photoelectric smoke alarms, do they need to be replaced?

- › If the alarms are in the required locations you do not have to replace them until they pass their recommended replacement date or they stop operating.
- › In many cases the replacement date will be listed on the alarm. If there is no replacement date on the alarm, the alarm is more than 8 years old, or you don't know how old the alarm is, you will need to replace the alarm to be certain you are complying with the regulations.

There is a hard wired alarm installed in my rental property, is this okay?

- › Yes, hardwired smoke alarms are an acceptable alternative and the same requirements that apply to photoelectric alarms also apply to hardwired alarms.
- › The hardwired system must have sensors in each bedroom (or boarding room) or within 3 metres of each bedroom door and there must also be at least one smoke alarm installed on each storey or level.

When will landlords have to replace long life photoelectric smoke alarms?

- › According to the manufacturing standard long life photoelectric alarms must have a service life of at least 8 years under normal conditions and have the date of manufacture marked – you should replace the smoke alarms within 8 years of the manufacture date or earlier if recommended by the manufacturer or if the low battery warning sounds.

Where should smoke alarms be placed?

- › The illustrations below from New Zealand Standard 4514 provide a guide on where to place smoke alarms
- › The NZ Fire Service's website, www.fire.org also provides helpful information on the placement of smoke alarms
- › The residential tenancies regulations set out the minimum requirements for smoke alarms. The NZ Fire Service's recommendation to place smoke alarms in each bedroom and within 3 metres of each bedroom door is not a regulatory requirement, but you may wish to consider following this recommendation.

What requirements apply to boarding houses?

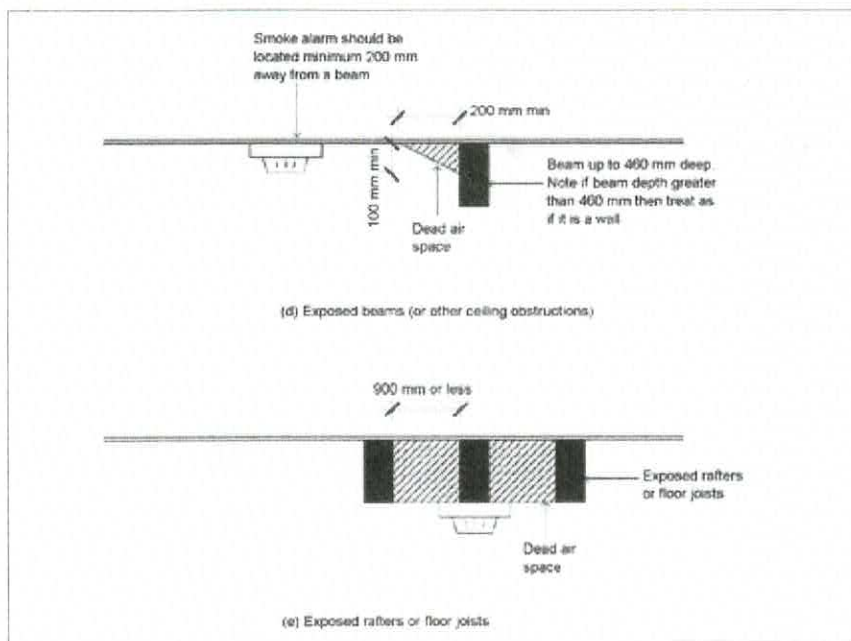
There must be at least one smoke alarm installed in each tenant's boarding room or within 3 metres of the entrance (or main entrance) to each tenant's boarding room.

In addition, a smoke alarm must be installed on each storey or level of the boarding house, even if there isn't a boarding room on that level.

Tenants are responsible for replacing smoke alarm batteries in their rooms.

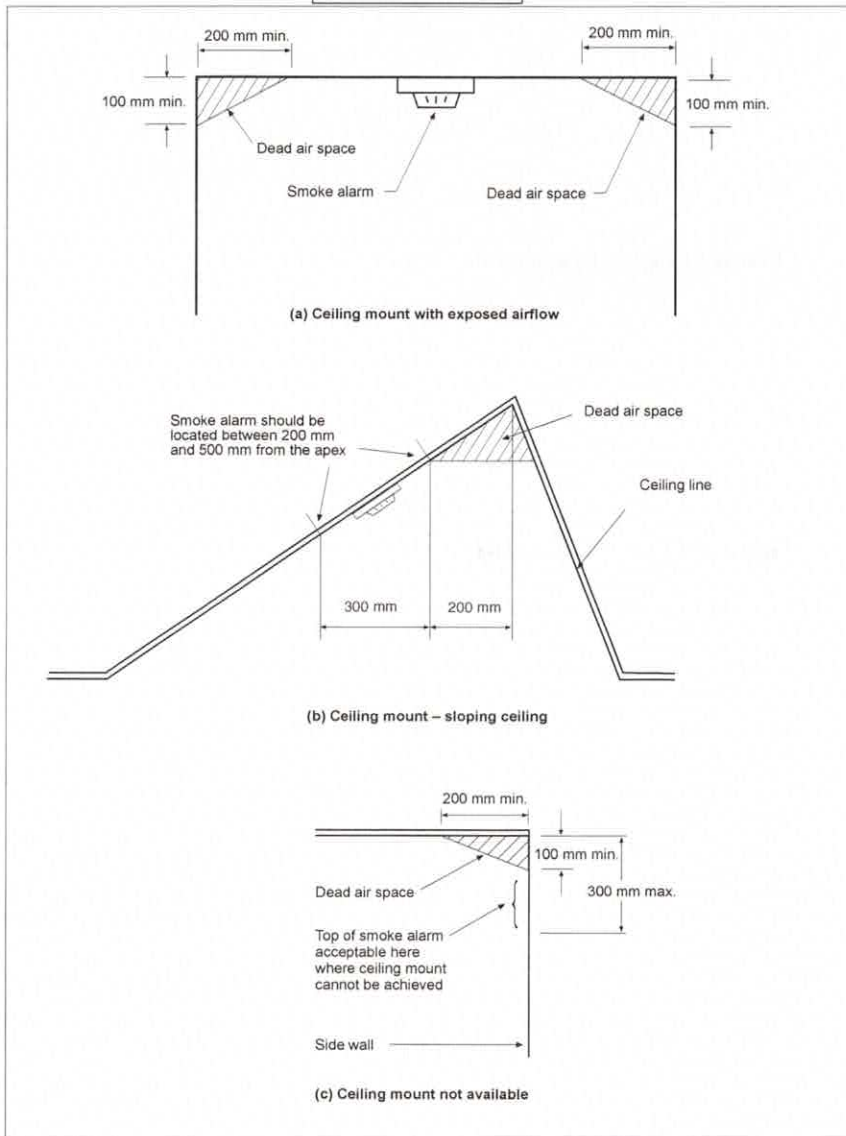
Landlords are responsible for replacing smoke alarm batteries in common areas like hallways and the kitchen.

Illustrations highlighting best practice for installing smoke alarms in homes with particular construction styles



NZS 4514:2009 *Interconnected smoke alarms for houses* © Ministry of Business, Innovation and Employment, administered by the New Zealand Standards Executive. Published with permission from the New Zealand Standards Executive under copyright licence LN001217.

Figure 5.1 Dead air spaces



Tenancy Services



Warmer, drier, safer homes

www.tenancy.govt.nz | 0800 TENANCY (0800 836 262)

MB13712 (13 OCT16)



design features



First and the Best!

To develop a product that is universally accepted as the best on the market Dek's consider every aspect of the Dektite® design: installation, functionality and materials.

Success in this is proven by the performance of the Dektite®. The ingenious shoulder moulding, results in less distortion, which reduces stress on the material, and eliminates ponding with complete water run-off in every situation. The low profile not only looks good but provides a generous internal clearance, so even the steepest roofs are handled with ease.

Installation is easier with the Dektite®.

- The large base area provides more coverage and greater latitude in cut-out size.
- The cone has clearly marked cut lines for different pipe diameters.
- Around the base of the cone a flexible bead reduces stress on the flashing membrane (to which an aluminium flange is bonded), as it is formed over the roof profile.
- Underneath, moulded ribbing increases sealant retention to ensure an effective, weatherproof seal.

FLEXIBLE CONE SLEEVE

Dektite® cone shape eliminates seal breakdown due to vibration or expansion and contraction, while isolation of pipe from sheeting dampens noise levels.

EASILY IDENTIFIED SIZING

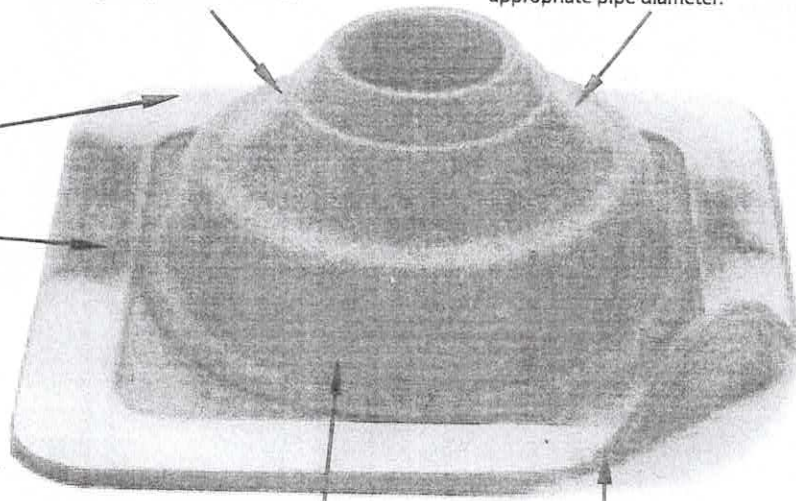
Pipe diameter rings are clearly marked on the cone sleeve (metric and imperial) for cutting to match the appropriate pipe diameter.

LOW PROFILE DESIGN

Sleek, unobtrusive shape is designed to minimise silhouette on roofline, while managing to provide generous internal clearance for steep, angular installations.

STRESS ISOLATION POINTS

Unique to Dektite® two flexible shoulders absorb distortion and stop transfer of stresses from base to cone, as unit is formed over roofing profile.



BONDED ALUMINIUM FLANGE

Corrosion-resistant, malleable flange, evenly distributes fastening pressure and allows ease of hand-shaping on most sheet profiles.

INTEGRITY OF FLASHING SHAPE

Minimal distortion after installation, maintains natural flashing shape and seal around pipe, while water run-off is improved and 'ponding' eliminated.

LARGE BASE AREA

For better coverage of penetration cut-out and improved performance over steep roof pitches and a wider variety of cladding profiles.

IMPROVED WATERPROOFING

Designed to strengthen sealant bond and improve waterproofing, the ribbed base has an angled skirting edge to help shed moisture and contribute to a superior waterproof seal. For even more efficient water run off the Dektite® can be fitted on the Diamond.

BC190638

Tasman District Council - Approved

13/06/2019

NEW ZEALAND HOME HEATING ASSOCIATION (INC)

P O Box 302-486 North Harbour, Auckland 1330

Ground Floor, 2/106 Bush Road, North Harbour, Auckland

Phone: 64-09-414-4300 0800 866 667

Fax: 64-09-414-4593

E-Mail: nzhha@tradesec.co.nz**MEMO**

TO: All Members

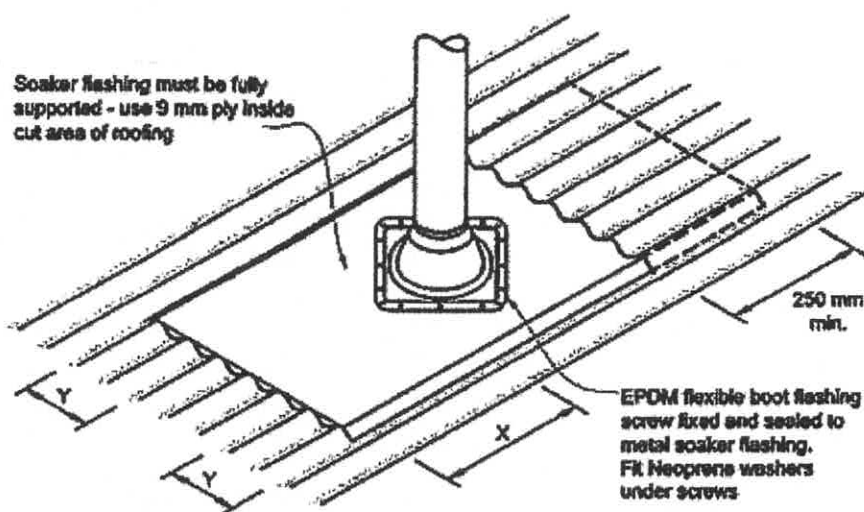
FROM: Ed Hawkes National Secretary

SUBJECT: Soaker Flashings

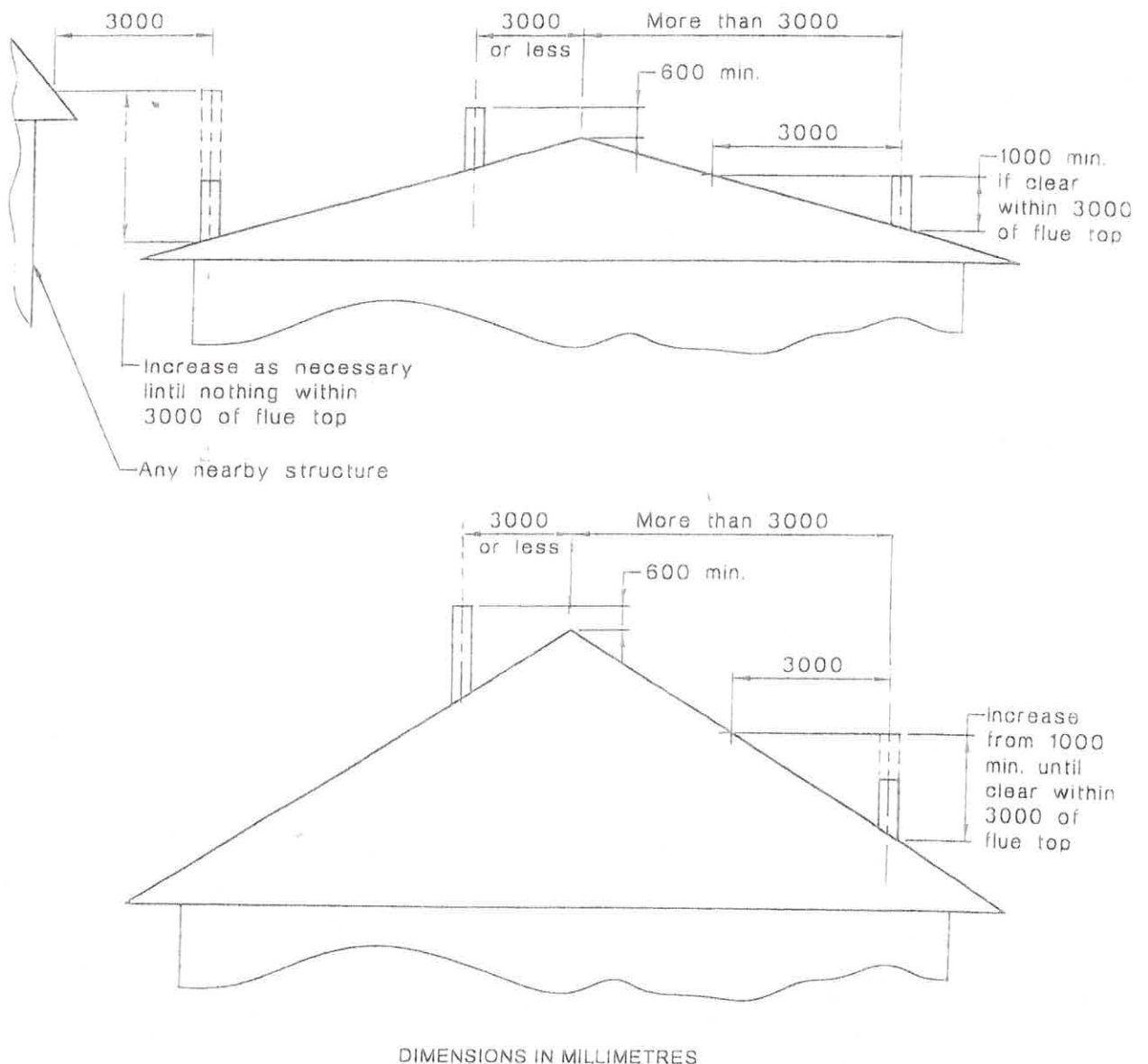
DATE: 3RD May 2005

Department of Building and Housing (DBH) have adjusted Fig 54 (below) to accommodate pipe penetrations up to 500mm diameter. They will also show the roofing sheet above the flat flashing to be a separate sheet rather than a 'slit' sheet as implied in the document to date. This will be published in the reprint of the Building Code June/July, 2005.

(4) Suitable only for roof pitches of 10° or higher.



MINIMUM HEIGHT OF FLUE SYSTEM OUTLET



NOTES:

1. The flue pipe shall extend not less than 4.6m above the top of the floor protector.
2. The flue cowl must be at least 600mm above the highest point of the roof if within 3 metres of it, or 1 metre above the roof penetration if more than 3 metres from the ridge.
3. No part of the building, or any adjacent building may be in or above a circular area of a horizontal radius of 3 metres from the flue exit.

01 July 2019

Kursten Dion Ward and Elke Baumann-ward
 117 Barnett Avenue
 RD 1
 Richmond 7081

Dear Kursten Dion Ward and Elke Baumann-ward

Site Inspection Report

Reference: BC190638

Location: 117 Barnett Avenue, Best Island, Lot 3 DP 533749

Project: Install freestanding Metro wood burner

IR Number: 1

Inspection Results:

FINAL - 01 Jul 2019 @ 14:59 by Julian Malcolm

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

Inspection Summary: Final CCC inspection for free standing fire and smoke alarms. New Fire type METRO R2 Installed as per the stamped consented plans and specifications. Complies AS/NZS 2918-2018, and F7. Pass, CCC can be issued.

Your next inspection will be: **No further inspection required**

Outstanding Required Documents for this Building

History

Inspection Name

Final

Summary

PASS - 01 Jul 2019

Please plan your project ahead of time and allow a minimum of 2 working days' notice when booking all inspections.

Yours sincerely

Julian Malcolm

Building Technical Officer

On behalf of **Tasman District Council**

Notes: Final - Default #1 01/07/19



Notes: Final - Default #2 01/07/19



Notes: Final - Default #3 01/07/19



Notes: Final - Default #4 01/07/19



Notes: Final - Default #5 01/07/19



MAIN BUILDING - R1 - SOLID FUEL BURNING APPLIANCE ONLY - Inspections - AUDIT				
	Pass	User	Date	Notes
Final				
Heater - BC Complexity / Competence (Reg 10 & 18 of BCA Regs 2006): Is inspection of this project within the scope of your assessed competence? Do not select X or N/A. If you are inspecting this project under supervision please ensure that this is recorded here.	Pass	JMm	01/07/2019 09:00 am	Complexity is correctly assigned. I have the appropriate level of competence OR I am undertaking this under supervision - my supervisor is ..
	Pass	JMm	01/07/2019 09:01 am	Complexity is correctly assigned. I have the appropriate level of competence
Heater - F5: Construction and Demolition Hazards: Is site safety properly managed with work-site hazards identified and mitigated?	Pass	JMm	01/07/2019 09:01 am	No obvious work site hazards were observed during the course of this inspection.
Heater - Act Provisions: Are all Building Act legislative requirements satisfied? Heater - Act Provisions - Prompt List:	Pass	JMm	01/07/2019 09:02 am	
1. s26 - 28: In terms of section 28 of the Building Act, can the building consent authority exercise its powers to issue building consent and code compliance certificate for the building work relating to this building consent? DO NOT select N/A for this question.	PASS	JMm	01/07/2019 09:01 am	No warning or bans issued.
2. s37: Have all resource consent conditions been satisfied? select N/A if there are no conditions	N/A	JMm	01/07/2019 09:02 am	This question does not apply to this consent.
3. s92: Has a correctly completed Application for Code Compliance Certificate been received?	PASS	JMm	01/07/2019 09:02 am	Application for CCC received.
Domestic Solid Fuelburning Appliances: Is the completed installation of the solid fuel burning appliance in accordance with the building consent? Domestic Solid Fuelburning Appliances - Prompt List:	Pass	JMm	01/07/2019 09:14 am	
1. Type / Location: Is the appliance type, installation and location compliant?	PASS	JMm	01/07/2019 09:17 am	Appliance type METRO R2/ location and installation is compliant.
2. Floor Protector: Is installation compliant?	PASS	JMm	01/07/2019 09:04 am	Floor protector installation is compliant. Existing Fire hearth. Built up, concrete base on wooden floor
3. Flue Assembly: Is this compliant? (Check - fixings, clearances from combustible surfaces and insulation and building wrap, support, bracing, height and location above roof level)	PASS	JMm	01/07/2019 09:06 am	Flue assembly, fixing, clearances, support and height are compliant.
4. Means of Escape: Is this compliant? (Check - travel distances, free from obstructions)	PASS	JMm	01/07/2019 09:06 am	Means of escape complies with building consent.
5. E2: Are penetrations through the building envelope correctly flashed and compliant?	PASS	JMm	01/07/2019 09:07 am	Penetrations through the building envelope are correctly flashed and compliant
6. F7: Is the location & type of smoke detectors compliant?	PASS	JMm	01/07/2019 09:14 am	The location and type of smoke detectors is compliant. 6 working smoke alarms. new batteries confirmed by tenant on site
7. G4: Does ventilation comply with the building consent?	PASS	JMm	01/07/2019 09:14 am	Ventilation is compliant
8. Records: Has the appliance serial number been recorded?	N/A	JMm	01/07/2019 09:14 am	Not able to record serial number
9. B2: Have durability requirements been satisfied?	PASS	JMm	01/07/2019 09:14 am	Durability provisions satisfied.
10. Installer/ Required Documents: Has the installer qualifications and details been recorded and has the required quality assurance documentation been obtained.	PASS	JMm	01/07/2019 09:14 am	Installer details and quality assurance documentation has been provided. P&M fire installers
Domestic Solid Fuelburning Appliances: Is the completed installation of the solid fuel burning appliance in accordance with the building consent? Domestic Solid Fuelburning Appliances - Prompt List:	Pass	JMm	01/07/2019 02:58 pm	
1. Type / Location: Is the appliance type, installation and location compliant?	PASS	JMm	01/07/2019 02:58 pm	Appliance type METRO R2/ location and installation is compliant.
2. Floor Protector: Is installation compliant?				
3. Flue Assembly: Is this compliant? (Check - fixings, clearances from combustible surfaces and insulation and building wrap, support, bracing, height and location above roof level)				

MAIN BUILDING - R1 - SOLID FUEL BURNING APPLIANCE ONLY - Inspections - AUDIT	Pass	User	Date	Notes
4. Means of Escape: Is this compliant? (Check - travel distances, free from obstructions)				
5. E2: Are penetrations through the building envelope correctly flashed and compliant?				
6. F7: Is the location & type of smoke detectors compliant?				
7. G4: Does ventilation comply with the building consent?				
8. Records: Has the appliance serial number been recorded?				
9. B2: Have durability requirements been satisfied?				
10. Installer/ Required Documents: Has the installer qualifications and details been recorded and has the required quality assurance documentation been obtained.				

Decision To Issue CCC: Julian Malcolm at 01/07/2019 03:31 pm

01 July 2019

Kursten Dion Ward and Elke Baumann-ward
 117 Barnett Avenue
 RD 1
 Richmond 7081

Dear Kursten Dion Ward and Elke Baumann-ward

Site Inspection Report

Reference: BC190638

Location: 117 Barnett Avenue, Best Island, Lot 3 DP 533749

Project: Install freestanding Metro wood burner

IR Number: 1

Inspection Results:

FINAL - 01 Jul 2019 @ 14:59 by Julian Malcolm

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

Inspection Summary: Final CCC inspection for free standing fire and smoke alarms. New Fire type METRO R2 Installed as per the stamped consented plans and specifications. Complies AS/NZS 2918-2018, and F7. Pass, CCC can be issued.

Your next inspection will be: **No further inspection required**

Outstanding Required Documents for this Building

History

Inspection Name

Final

Summary

PASS - 01 Jul 2019

Please plan your project ahead of time and allow a minimum of 2 working days' notice when booking all inspections.

Yours sincerely

Julian Malcolm

Building Technical Officer

On behalf of **Tasman District Council**





BC100633

Page 104



-BC190638

Page 5 of 7



-BC190638

Page 6 of 7



BC190638

Page 7 of 7

Building: Main Building
Inspection: Final
Question: Is the completed installation of the solid fuel burning appliance in accordance with the building consent?
Inspector: Julian Malcolm
Timestamp: 2019-07-01 11:35:29
Comment: Final - Default #1 01/07/19



Building: Main Building
Inspection: Final
Question: Is the completed installation of the solid fuel burning appliance in accordance with the building consent?
Inspector: Julian Malcolm
Timestamp: 2019-07-01 11:35:29
Comment: Final - Default #2 01/07/19



Building: Main Building
Inspection: Final
Question: Is the completed installation of the solid fuel burning appliance in accordance with the building consent?
Inspector: Julian Malcolm
Timestamp: 2019-07-01 11:35:29
Comment: Final - Default #3 01/07/19



Building: Main Building
Inspection: Final
Question: Is the completed installation of the solid fuel burning appliance in accordance with the building consent?
Inspector: Julian Malcolm
Timestamp: 2019-07-01 11:35:29
Comment: Final - Default #4 01/07/19



Building: Main Building
Inspection: Final
Question: Is the completed installation of the solid fuel burning appliance in accordance with the building consent?
Inspector: Julian Malcolm
Timestamp: 2019-07-01 11:35:29
Comment: Final - Default #5 01/07/19



FORM OF PRODUCER STATEMENT PS3 – CONSTRUCTION

At project completion, this form shall be completed by the building contractor and supplied to the Engineer.

ISSUED BY: P e m fireplaces
(Building Contractor)

TO: Kursten Dion Ward and Elke Baumann-Ward
(Owner/Principal)

IN RESPECT OF: Installation of metro R2 Wood Burner
(Description of Contract Works)

AT: 117 Barnett Avenue, Best Island
(Address)

T/A: TOC **BUILDING CONSENT No.:** 190638
(Territorial Authority / Building Consent Authority)

The above Building Contractor has contracted to the above Owner/Principal to carry out and complete certain building works in accordance with the contract, titled

Installation of wood burner ("the contract")
(Title of building contract)

I Wayde Sinclair a duly authorised representative of the
(Builder's Authorised Agent)

above building contractor, believe on reasonable grounds that the above building contractor has carried out and completed

All Part only as specified in the attached particulars

of the building works in accordance with the contract.

Wayde
(Signature of Authorised Agent on behalf of the Building Contractor)

20.6.19
(Date)

129 Tahunanui Drive
Tahunanui 7011
(Address)

This producer statement is confirmation by the builder(s) that they have carried out the building work in accordance with the drawings, specifications (and site amendments) that are part of the contract / building consent documents.

Work covered by this statement should have been supervised and checked by suitably qualified tradespersons.

The Engineer requires this producer statement and a copy of the T/A's building consent conditions, to confirm that items of the contract that he has not personally examined, have in fact been built according to the documents, so that the Engineer may issue appropriate documents to the T/A for it to release the Code Compliance Certificate.

Main Building

C: Solid fuel heater - Installers Declaration (Final)

PASS

Accepted Documents:

- PS3.pdf (317.20kB)
Accepted Date: 1 Jul 2019 14:50:09 - Monday
Accepted By: Julian Malcolm

Historical Notes

[PASS @ 01 Jul 2019 14:50:51] Julian Malcolm:

PS3 has been provided

[01 Jul 2019 14:50:09] Julian Malcolm:

Accepted Document: PS3.pdf (renamed to CSolidfuelheater-InstallersDeclaration-001.pdf). Reasons / Notes: PS3 provided

Miscellaneous documents

- {no file(s) uploaded}

Minor variations

- {no file(s) uploaded}

Date Submitted: Thursday, 20 June 2019



Form 6

Application for code compliance certificate

Section 92, Building Act 2004

The building consent

Building consent number: BC190638
 Issued by: Tasman District Council

Agent

Name of agent: MURRAY SINCLAIR LIMITED
 Contact person: Haidee Doyle
 Mailing address: 128 Tahunanui Drive
 Tahunanui
 7011

Street address/registered office:
 Phone number: Landline: 035485742
 Daytime: Landline: 035485742
 After hours: Landline: 035485742
 Facsimile number: No information provided
 Email address: office@pmfireplaces.co.nz
 Website: No information provided
 Relationship to owner: Application made on owners behalf
 First point of contact for communications with the building consent authority:
 Full name: MURRAY SINCLAIR LIMITED
 Mailing address: 128 Tahunanui Drive
 Tahunanui
 Nelson 7011
 Phone number(s): 035485742
 Facsimile number(s): N/A
 Email address(es): office@pmfireplaces.co.nz

Application

All building work to be carried out under the building consent specified on this form was completed on:

20 June 2019

The licensed building practitioner(s) who carried out or supervised the restricted building work is/are as follows:

No Licensed Building Practitioners have been provided.

The personnel who carried out building work other than restricted building work are as follows:

Name	P & M Fireplaces
Address	No information provided
Phone number	035485742
Registration number	NZHHA
Licensed building practitioner number	N/A

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

There are no specified systems associated with this project.

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

The code compliance certificate should be sent to:

Agent: 128 Tahunanui Drive, Tahunanui 7011

Signature of agent on behalf of and with the authority of the owner:

HAIDEE DOYLE

Name of person signing: MURRAY SINCLAIR LIMITED

Date: 20 Jun 2019

Attachments

The following documents are attached to this application:

No attachments

Form 7

Code compliance certificate

Section 95, Building Act 2004

The building

Street address of building: 117 Barnett Avenue, Best Island
 Legal description of land where building is located: Lot 3 DP 533749
 Building name: N/A
 Location of building within site/block number: 117 Barnett Avenue, Best Island
 Level/unit number: N/A
 Current, lawfully established, use: 2.0 Housing: 2.0.2 Detached Dwelling
 Year first constructed: 1950-1960

The owner

Name of owner: Kursten Dion Ward and Elke Baumann-ward
 Contact person: Jacqui Soffer (property Manager)
 Mailing address: 117 Barnett Avenue, RD 1, Richmond
 Street address/registered office: N/A
 Phone number: Landline: N/A Mobile: 0210768617
 Daytime: Landline: N/A Mobile: 0210768617
 After hours: Landline: N/A Mobile: 0210768617
 Facsimile number: No information provided
 Email address: jacqui.soffer@therentshop.co.nz
 Website: No information provided
 First point of contact for communications with the council/building consent authority:
 Kursten Dion Ward and Elke Baumann-ward; Mailing Address: 117 Barnett Avenue
 RD 1
 Richmond 7081; Mobile: 0210768617; Email: jacqui.soffer@therentshop.co.nz

Building work

Building consent number: BC190638
 Description: Install freestanding Metro wood burner
 Issued by: Tasman District Council

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that -
 the building work complies with the building consent.

Julian Malcolm

Signature: Julian Malcolm

Position: Building Technical Officer

On behalf of: Tasman District Council

Date: 01 July 2019

**Email #8647: BC190638**

Project ID: 190638
Date Received: 2019-06-20 14:40:03
Sender: no-reply@abcs.co.nz
Checked By: Sally Blain
Accepted By: Sally Blain
Subject:
Information Received Via Email: BC190638: New Documents Uploaded

Message:

Attention: BC190638 Assigned Staff

There are new document(s) that have been uploaded on BC190638 and these are:

PS3.pdf

To view these documents, click the "Documents" button and accept them from there.

Generated by: AlphaOne Building Consent System www.abcs.co.nz | www.alphaonebuildingconsent.com Date & Time: 20 June 2019, 2:35 pm - Thursday | Signature Hash:

c3e581c04d3837b624d326e4431a228baf89d356 ATTENTION: Please do not reply to this email as the mailbox is unattended.

DISCLAIMER

This message is for the designated recipient(s) only, and may contain confidential and/or privileged information.

If you have received it in error, please delete it and advise the sender immediately.

You should not copy or use it for any other purpose, nor disclose its contents to any other person.

Designated Recipient(s): 190638@tasman.abcs.co.nz

Sent From: AlphaOne Building Consent System

Sent Date: 20 June 2019 14:35 - Thursday

**Email #8737: BC190638**

Project ID: 190638
Date Received: 2019-06-24 10:25:02
Sender: jacqui.soffer@therentshop.co.nz
Checked By: Krystle Bang
Accepted By: Krystle Bang
Subject:
Information Received Via Email: RE: BC190638: 117 Barnett Avenue, Best Island

Message:

Hi Krystle

The owners live over in Europe so access will have to be via me or the tenant. To make it easier it would be best if the inspector can call me a couple of hours prior so I can get there because I wont have time to wait at the house for a long time.

Jacqui 021 02959044

Kind Regards

Jacqui Soffer
Property Manager
The Rent Shop Ltd

Phone: 021 029 59044

[cid:image006.png@01D4D35B.B7743D00]

From: Tasman District Council <190638@tasman.abcs.co.nz>
Sent: Friday, 21 June 2019 11:20 a.m.
To: Jacqui Soffer <jacqui.soffer@therentshop.co.nz>
Subject: BC190638: 117 Barnett Avenue, Best Island

Good Morning Jacqui

The final inspection for BC190638 is booked for the earliest date available that being the 1st of July, if you could please pass this email on to the owners as we have no email address listed for them and the agent has asked that they be contacted, They will receive a text message the business day prior with an approximate time to meet with the building inspector.

Kind regards
Krystle Bang
Customer Service Officer - Takaka
Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: bc.admin@tasman.govt.nz<mailto:bc.admin@tasman.govt.nz> | W: <http://www.tasman.govt.nz>

DISCLAIMER

This message is for the designated recipient(s) only, and may contain confidential and/or privileged information. If you have received it in error, please delete it and advise the sender immediately. You should not copy or use it for any other purpose, nor disclose its contents to any other person.

Designated Recipient(s): jacqui.soffer@therentshop.co.nz<mailto:jacqui.soffer@therentshop.co.nz>

Sent From: AlphaOne Building Consent System

Sent Date: 21 June 2019 11:19:41 am - Friday

REJECTED ATTACHMENT(S):

Note: The listed file(s) below were rejected because they were not in PDF format.

- image001.png

**Email #31739: BC190638**

Project ID: 190638
Date Sent: 2019-05-24 09:00:04
Recipient: office@pmfireplaces.co.nz
Sender: AlphaOne System
Subject: Building Consent Application Accepted
Message:

Dear Sir/Madam,

Your application for Building Consent only with reference code BC190638 has passed vetting and has been accepted by Tasman District Council for processing.

If you entered an electronic application you can track its progress on the customer portal <https://consents-topofthesouth.abcs.co.nz/>.

Please pay your deposit using the consent number listed above as your reference. For payment methods please see our website <https://www.tasman.govt.nz/do-it-online/payment/>

For all applications, the deposit is \$550.00, with the following exceptions:

For applications for PIM onlys, the deposit is \$300.00

For applications for woodburners only, the deposit is \$350.00

For applications for a Certificate of Acceptance, the deposit is \$800.00

For applications for amendments to current Building Consents, the deposit is \$250.00

If your total fee at the end of the process is less than the deposit you have paid, a refund will be processed.

The deposit should be paid directly to the following bank account:

Name: Tasman District Council

Bank: ASB Bank, Richmond

Account: 12-3193-0002048-03 (or -003 if your bank requires a three digit suffix)

Reference: Please use your consent number listed above "BC_ _ _ _ _\".

Without this reference we will not be able to identify which application you are paying for. Alternatively, you can make the payment at any Tasman District Council Office.

Regards,

Tasman District Council



Email #31780: BC190638

Project ID: 190638
Date Sent: 2019-05-24 11:09:57
Recipient: shane.kelly@tasman.govt.nz
Sender: Helen Lawton
Subject: BC190638: A new job for you
Message:

Hello Shane Kelly,

BC190638 has been allocated to you. Please check and take appropriate action.

<https://tasman.abcs.co.nz/jobs/190638>

— AlphaOne System

**Email #34586: BC190638****Project ID:** 190638**Date Sent:** 2019-06-13 14:19:52**Recipient:**

jacqui.soffer@therentshop.co.nz, office@pmfireplaces.co.nz

Sender: Sally Blain**Subject:**

BC190638.1 Form 5: Building Consent - 117 Barnett Avenue, Best Island

Message:

Dear Sir/Madam,

Please find attached the copy of your granted Form 5: Building Consent and BC invoice which has been paid in full.

Your building consent documents are available to download from our customer portal. To access these:

- 1) click link, or enter the following link into your internet web browser: <https://consents-topofthesouth.abcs.co.nz/>
- 2) click on the BC section of your consent applications progress bar
- 3) on the blue menu bar, click on Documents, then View Documents Issued
- 4) click on BC190638.pdf, select Save File
- 5) select where you would like to save this documentation to, and then click on save

Your files will be downloaded and available for you to save locally and use.

Regards,

Sally Blain

Building Support Officer - Building Assurance

Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: bc.admin@tasman.govt.nz | W: <http://www.tasman.govt.nz>



Email #35826: BC190638

Project ID: 190638
Date Sent: 2019-06-21 11:19:43
Recipient: jacqui.soffer@therentshop.co.nz
Sender: Krystle Bang
Subject: BC190638: 117 Barnett Avenue, Best Island

Message:

Good Morning Jacqui

The final inspection for BC190638 is booked for the earliest date available that being the 1st of July, if you could please pass this email on to the owners as we have no email address listed for them and the agent has asked that they be contacted, They will receive a text message the business day prior with an approximate time to meet with the building inspector.

Kind regards

Krystle Bang

Customer Service Officer - Takaka

Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: bc.admin@tasman.govt.nz | W: <http://www.tasman.govt.nz>



Email #35988: BC190638

Project ID: 190638
Date Sent: 2019-06-24 10:25:03
Recipient: jacqui.soffer@therentshop.co.nz
Sender: AlphaOne System
Subject: RE: RE: BC190638: 117 Barnett Avenue, Best Island
Message:

Hello

Thank you for your message regarding your Building Consent application with Tasman District Council. This is an automated response to confirm your message has been received by the assigned officer for review.

Below is a list of the accepted and rejected attachments. We accept email attachments in PDF, JPG and PNG format.

REJECTED ATTACHMENTS:

- image001.png (9.92kB)

The rejected attachment(s) may be from your signature. If not, please contact the AlphaOne Support Team on (06) 280 2734.

For further information or enquiries please email 190638@tasman.abcs.co.nz.

Kind regards

Tasman District Council
189 Queen Street
Richmond 7020
<http://www.tasman.govt.nz>



Email #36038: BC190638

Project ID: 190638
Date Sent: 2019-06-24 11:59:16
Recipient: Krystle.Bang@tasman.govt.nz
Sender: Debbie Yarrall
Subject: BC190638: A new email has been allocated to you
Message:

Hello Krystle Bang,

A new email for BC190638 has been allocated to you. Please check and take appropriate action.

<https://tasman.abcs.co.nz/jobs/190638/communication/?optilbox>

— AlphaOne System



Email #36175: BC190638

Project ID: 190638
Date Sent: 2019-06-25 08:20:44
Recipient: jacqui.soffer@therentshop.co.nz
Sender: Krystle Bang
Subject: BC190638: 117 Barnett Avenue, Best Island

Message:

Good Morning Jacqui

Thank you for response, your details have been updated as first point of contact for the inspector. He will be in touch with an inspection time.

Kind regards

Krystle Bang

Customer Service Officer - Takaka

Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: bc.admin@tasman.govt.nz | W: <http://www.tasman.govt.nz>

=====

Hi Krystle

The owners live over in Europe so access will have to be via me or the tenant. To make it easier it would be best if the inspector can call me a couple of hours prior so I can get there because I wont have time to wait at the house for a long time.

Jacqui 021 02959044

Kind Regards

Jacqui Soffer

Property Manager

The Rent Shop Ltd

Phone: 021 029 59044

[cid:image006.png@01D4D35B.B7743D00]

From: Tasman District Council

Sent: Friday, 21 June 2019 11:20 a.m.

To: Jacqui Soffer
Subject: BC190638: 117 Barnett Avenue, Best Island

Good Morning Jacqui

The final inspection for BC190638 is booked for the earliest date available that being the 1st of July, if you could please pass this email on to the owners as we have no email address listed for them and the agent has asked that they be contacted, They will receive a text message the business day prior with an approximate time to meet with the building inspector.

Kind regards
Krystle Bang
Customer Service Officer - Takaka
Tasman District Council
189 Queen Street, Richmond 7020
P: 03 543 8400 | E: bc.admin@tasman.govt.nz | W: <http://www.tasman.govt.nz>

DISCLAIMER

This message is for the designated recipient(s) only, and may contain confidential and/or privileged information. If you have received it in error, please delete it and advise the sender immediately. You should not copy or use it for any other purpose, nor disclose its contents to any other person.

Designated Recipient(s): jacqui.soffer@therentshop.co.nz
Sent From: AlphaOne Building Consent System
Sent Date: 21 June 2019 11:19:41 am - Friday

REJECTED ATTACHMENT(S):

Note: The listed file(s) below were rejected because they were not in PDF format.
- image001.png



Email #37133: BC190638

Project ID: 190638

Date Sent: 2019-07-01 15:00:11

Recipient:

office@pmfireplaces.co.nz, jacqui.soffer@therentshop.co.nz, office@pmfireplaces.co.nz

Sender: Julian Malcolm

Subject: BC190638 Inspection Report

Message:

Our inspection team have carried out a site inspection on the above project today, please find attached the inspectors site notice for your information.

If you have any queries regarding the content of the site notice please contact Tasman District Council on 03 543 8400.

Regards,



Email #37150: BC190638

Project ID: 190638

Date Sent: 2019-07-01 15:32:28

Recipient:

jacqui.soffer@therentshop.co.nz, office@pmfireplaces.co.nz

Sender: Julian Malcolm

Subject:

BC190638.1 Form 7: Code Compliance Certificate - 117 Barnett Avenue, Best Island

Message:

Dear Sir/Madam,

Please find attached a copy of your code compliance certificate for BC190638.

If you have any questions please contact Tasman District Council on 03 543 8400.

Regards

Julian Malcolm

Building Technical Officer

Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: bc.admin@tasman.govt.nz | W: <http://www.tasman.govt.nz>

Blog ID: 151986

Author: Natural Hazards

Created: 2019-06-06 13:35:46

Notes: Assets Input:Council has no natural hazards concerns with this proposal as it is for the installation of a fire only

Blog ID: 152668

Author: Shane Kelly

Created: 2019-06-13 09:40:27

Notes: Shane Kelly added 'BC Issue Awaiting Invoice' block for the following reason: Invoice Due

Blog ID: 152669

Author: Shane Kelly

Created: 2019-06-13 09:40:27

Notes: Shane Kelly added 'CCC Issue Other' block for the following reason: CCC Not Ready

Blog ID: 152670

Author: Shane Kelly

Created: 2019-06-13 09:40:27

Notes: Shane Kelly added 'Inspections BC Not Granted/Issued' block for the following reason: BC decision to grant has occurred but the BC has not yet been granted/issued. This block will automatically be removed when the BC is granted/issued.

Blog ID: 152730

Author: Sally Blain

Created: 2019-06-13 14:17:32

Notes: Sally Blain removed 'BC Issue Awaiting Invoice' block for the following reason: Invoice 75033 - paid in full - issued

Blog ID: 152731

Author: Sally Blain

Created: 2019-06-13 14:19:10

Notes: Sally Blain removed 'Inspections BC Not Granted/Issued' block for the following reason: BC is now granted and issued

Blog ID: 153516

Author: Krystle Bang

Created: 2019-06-21 11:20:07

Notes: Krystle Bang removed 'CCC Issue Other' block for the following reason: CCC application received

Blog ID: 154383

Author: Julian Malcolm

Created: 2019-07-01 15:31:25

Notes: Julian Malcolm added 'CCC Issue Awaiting Invoice' block for the following reason: Invoice Due

Blog ID: 154384

Author: Julian Malcolm

Created: 2019-07-01 15:31:45

Notes: Julian Malcolm removed 'CCC Issue Awaiting Invoice' block for the following reason: No outstanding fees

Blog ID: 183341

Author: System

Created: 2020-03-19 02:32:43

Notes: API added 'Project at End Other' block for the following reason: System set this project as read-only as the project is at end.

Blog ID: 193445

Author: System

Created: 2020-04-25 03:21:23

Notes: Covid-19 Site Inspection Check

- If you are feeling unwell - do not attend site.
- Sanitise Hands
- Put on PPE
- Clean Equipment that is to be taken on site
- Upon Request Provide Site Manager with your Covid-19 Plan
- Sign the Site Register - All people entering the site must do this (tip - photograph site register)
- Complete Site Induction
- Follow Site Protocols maintaining Physical Distancing at all times
- While on site consider the Durability of Exposed Materials
- On completion Sign Out and Sanitise Hands
- Clean Equipment on completion of inspection
- To assist tracking Maintain a Record of Daily Contacts.

<https://www.building.govt.nz/covid-19/get-prepared-for-working-at-alert-level-3>

Blog ID: 321572

Author: System

Created: 2022-09-21 08:36:13

Notes: API removed 'Project at End Other' block for the following reason: Unarchived to recompile project documents (2022-09-21 08:36:13).

Blog ID: 321914

Author: System

Created: 2022-09-22 02:47:04

Notes: API added 'Project at End Other' block for the following reason: System set this project as read-only as the project is at end.

Form 7 Code compliance certificate

Section 95, Building Act 2004

The building

Street address of building: 117 Barnett Avenue, Best Island
Legal description of land where building is located: Lot 3 DP 533749
Building name: N/A
Location of building within site/block number: 117 Barnett Avenue, Best Island
Level/unit number: N/A
Current, lawfully established, use: 2.0 Housing: 2.0.2 Detached Dwelling
Year first constructed: 1950-1960

The owner

Name of owner: Kursten Dion Ward and Elke Baumann-ward
Contact person: Jacqui Soffer (property Manager)
Mailing address: 117 Barnett Avenue, RD 1, Richmond
Street address/registered office: N/A
Phone number: Landline: N/A Mobile: 0210768617
Daytime: Landline: N/A Mobile: 0210768617
After hours: Landline: N/A Mobile: 0210768617
Facsimile number: No information provided
Email address: jacqui.soffer@therentshop.co.nz
Website: No information provided
First point of contact for communications with the council/building consent authority:
Kursten Dion Ward and Elke Baumann-ward; Mailing Address: 117 Barnett Avenue
RD 1
Richmond 7081; Mobile: 0210768617; Email: jacqui.soffer@therentshop.co.nz

Building work

Building consent number: BC190638
Description: Install freestanding Metro wood burner
Issued by: Tasman District Council

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that -
the building work complies with the building consent.

Julian Malcolm

Signature: Julian Malcolm

Position: Building Technical Officer

On behalf of: Tasman District Council

Date: 01 July 2019

Project ID: 190638

Date Sent: 2019-06-13 14:19:52

Recipient:

jacqui.soffer@therentshop.co.nz, office@pmfireplaces.co.nz

Sender: Sally Blain

Subject:

BC190638.1 Form 5: Building Consent - 117 Barnett Avenue, Best Island

Message:

Dear Sir/Madam,

Please find attached the copy of your granted Form 5: Building Consent and BC invoice which has been paid in full.

Your building consent documents are available to download from our customer portal. To access these:

- 1) click link, or enter the following link into your internet web browser: <https://consents-topofthesouth.abcs.co.nz/>
- 2) click on the BC section of your consent applications progress bar
- 3) on the blue menu bar, click on Documents, then View Documents Issued
- 4) click on BC190638.pdf, select Save File
- 5) select where you would like to save this documentation to, and then click on save

Your files will be downloaded and available for you to save locally and use.

Regards,

Sally Blain

Building Support Officer - Building Assurance

Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: bc.admin@tasman.govt.nz | W: <http://www.tasman.govt.nz>

Application for Building Consent

This application is made under Section 33 of the Building Act 1991

To: Tasman District Council

Building Consent No: 011447

Mr Hawkins 544 9985

Date Issued: 7/12/01

APPLICATION DETAILS

Owner Details*

MR C + MRS L HAWKINS

Family name(s)

Contact Name and Address for Service (Name and Address to which documentation will be sent)

ROB SILLOCK

Contact Name

5 HOLLOWAY GROVE RICHMOND

Postal Address

Phone 544 5446 Fax SAME

Project Location and Legal Description

Street Address

BESTS ISLAND

Legal Description (Please attach a certificate of title if possible)

1938093400.

Valuation Number

This Application is for:

- Building Consent only,
- Both building consent and a project information memorandum.

Project Description

- Dwelling
- Alteration
- Heating
- Commercial/Industrial
- Plumbing and/or Drainage
- Other _____

FILE

Indicate clearly details of building work,

e.g. New dwelling with internal garage and installation of wood burner.

Intended Use

Roundup plans - with no longer be self contained

NEW SELF CONTAINED BED-SIT

FOR HOMESTAY ETC.

Intended Life

- Indefinite life but not less than 50 years.
- Specified as _____ years
- Demolition

FILE

Being Stage ONE of ONE stages

Value of Work

Total (Inc. GST) \$ 43,000-

Other Project Details

Floor Area 35 m²

No of Dwellings ONE

No of Storeys _____

No of Toilets ONE

FILE

*Under Section 33 of the Building Act, the applicant must be the owner of the land on which building work is contemplate or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or an leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

KEY PERSONNEL

	Name and Address	Phone	Regn. No.
Builder(s)	Rob Silcock	025 221 8978	
Registered Drainlayer	THE DRAINMAN		
Craftsman Plumber	ANDY RAE PLUMBING		
Building Certifier			
Designer			

Note: The Craftsman Plumber/Registered Drainlayer are to complete a separate advisory sheet. This advisory sheet is to be returned to Council prior to work commencing.

CONFIDENTIALITY

Section 27 of the Building Act states that the application details shall be made available for public inspection. Subsection 3, however, allows an owner to mark plans and specifications as confidential due to copyright or security reasons. Do you wish to mark plans and specifications as confidential? Yes/No

RETICULATED WATER AND SEWERAGE SCHEMES

Depending on the area in which you build, and if you are connecting to the Council's sewerage or water schemes, a connection fee may be payable. For further information, please refer to the "Guide to Building Consents".

DEVELOPMENT IMPACT LEVY

For building work with assessed value greater than \$50,000 (first dwellings exempt) a development impact levy is payable.

PROJECT DETAILS

The project involves the following matters (Cross each application box, if any, and attach relevant information to the duplicate):

- Location in relation to legal boundaries, and external dimensions of new, relocated or altered buildings.
- New provision to be made for vehicular access, including parking.
- Provisions to be made in building over or adjacent to any road or public place.
- New provisions to be made for disposing of stormwater and wastewater.
- Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity of wells or watermains.
- New connections to public utilities.
- Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- Any cultural heritage significance of the building or building site, including whether it is on a marae.

Signed: by/for and on behalf of owner: _____

C. Silcock

Position: _____

Builder

Date: _____

12-9-01

Please use the following check sheet to assist you in lodging a complete building consent application and to avoid delays in processing. Please attach 2 copies of the information. Tick each box which is relevant and ensure you attach the information. If it is not relevant, please write NA across the box.

INFORMATION TO BE SUPPLIED WITH A BUILDING CONSENT

Project (Description of work): _____
 Site Address: _____
 Building Consent No. (office use): _____

OWNER USE	APPLICATION DETAILS	COUNCIL USE
	1. Consent fee (and levies) paid.	
	2. Building Consent application, fully completed.	
	3. Recent copy of Certificate of Title for building site.	
	4. Copy of any Resource Consent for building site.	

PLANS AND SPECIFICATIONS - 2 COPIES REQUIRED

	1. Fully detailed and dimensioned SITE PLAN including location in relation of streets or landmarks, position of north, site levels, floor height above finished ground level and proposed and existing buildings	
	2. Fully detailed and dimensioned Floor Plans, Elevations, Cross Sections & Construction Details . Show position of all Sanitary Fittings and provide Layout Plan of water supply pipes, waste pipes and soil pipe installations.	
	3. Detailed Specification covering the building, plumbing and drainage works in accord with the Building Code.	
	4. Fully detailed Schedule of Materials confirming durability expectations.	
	5. Roof Truss layout plan and design details from an approved manufacturer.	
	6. Wall & Subfloor Bracing calculations, schedule and layout plan in accordance with NZS 3604:1990. (NB: Subfloor bracing only for piled foundations.)	
	7. Fully detailed Drainage Plan with discharge points, i.e. sewer and stormwater, including gutter and downpipe size and location. In rural areas provide Design Details of Septic Tank and effluent disposal system, including well location. Refer "On-site Waste Water Disposal" booklet.	
	8. Water Supply , indicate on the plans the water supply proposed (e.g. piped from Council supply or private supply). If a private supply is proposed please indicate the method of collecting and storing potable water. Council may require test results to confirm potable supply for systems other than rainwater collection.	
	9. Supply an "as built" plan of reticulated service(s) relevant to questions 7 and 8.	
	10. Hot Water System details: type, storage, capacity, location (on floor plan) and tempering valve detail.	
	11. Producer Statements - if this application for consent relies on any producer statements certifying compliance with the New Zealand Building Code Handbook, a copy must be attached with the application.	
	12. Details of Proposed Storage of hazardous substances and/or processes.	
	13. Fire Safety Design Summary and/or specific fire engineering design.	
	14. Log Fire installation instructions including flue details.	
	15. Compliance Schedule Items . Indicate if any systems it features listed under Section 44 of the Building Act are present.	

For Council Use Only

Checked by:	Initials	Date
Plumbing & Drainage		
Building		
Health		
Land Use		

Fees Payable (GST incl):

Resource Consent - Minor	\$ _____
Building / Plumbing / Drainage	\$ _____
BRANZ Levy	\$ _____
BIA Levy	\$ _____
Temporary Accommodation Bond	\$ _____
Compliance Schedule	\$ _____
Sewer Connection	\$ _____
Stormwater Connection	\$ _____
Water Connection	\$ _____
Development Impact Levy	\$ _____
TOTAL	\$ _____

Approved for Issue of Building Consent:

Technical Officer *[Signature]*

Date: 9/11/01

Tax Invoice Sent/...../.....

Receipt No.

TASMAN DISTRICT COUNCIL OFFICES

MAIN OFFICE	MOTUEKA SERVICE CENTRE	GOLDEN BAY SERVICE CENTRE	MURCHISON SERVICE CENTRE
189 Queen Street Private Bag 4, Richmond 7031 Ph: (03) 544-8176 Fax (03) 544-7249	7 Hickmott Place P O Box 123, Motueka Ph: (03) 528-7700 Fax: (03) 528-9751	78 Commercial Street P O Box 74, Takaka Ph: (03) 525-9516 Fax: (03) 525-9972	92 Fairfax Street Ph: (03) 523-9004 Fax: (03) 523-9004

Reference :

Vol. 58 , Folio 55
Transfer No. 52446
Order for N/C No.



Vol. 125 , folio 115

NEW ZEALAND

OUTSTANDING DUPLI

COPY

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate, dated the Twenty-second day of March, one thousand nine hundred and fifty-five under the hand and seal of the District Land Registrar of the Land Registration District of Nelson with EVELINE GRACE CROUCHER of Nelson Married Woman

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens and interests as are notified by memorandum written or endorsed hereon subject also to any existing right of the Crown to take and lay off roads under the provisions of any Act of the Assembly of New Zealand) in the land hereinafter described, as the same is delineated by the plan hereon bordered green, be admeasurements a little more or less, that is to say: All that parcel of land containing Thirty-two (32) perches more or less in Block II Waimea Survey District being Lot 36 Deposited Plan 5090 (Town of Islandest) and being Island No. 1 (Bests) District of Waimea Islands



K. Adam
District Assistant Land Registrar.

E. 3023 pursuant to Section 5 (4) Land Subdivision in Counties Act 1946 the abovescribed land subject to a restriction as to building since 21.1.1954 at 3 o'clock.

Agreement as to fencing contained in Transfer

Mortgage 42366 Eveline Grace Croucher to Mar Chapman, Eva Mackenzie and James Stewart Chapman 22.3.1955 at 11/6/55

Transfer 54349 Eveline Grace Croucher to Roy & Waimea West Orchardist produced 26/6/55 at 2.4.30c

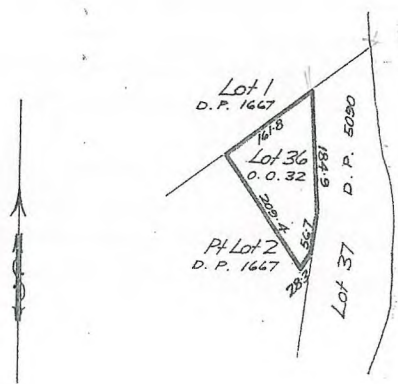
Mortgage 44049 Lloyd Cederman to Kenneth & Agnes Jane and Herbert John Pratt produced 26/6/55 at 1/4.50c

78483 Mortgage Lloyd Cederman to Agnes Jane and Herbert John Pratt produced 9.5.1961 at 1/2.50c

88059 Mortgage Lloyd Cederman to Reginald Lough produced 21.3.1963 at 10/6/63

92073 Mortgage Lloyd Cederman to Australian Provident Society produced 17.12.1963 at 2/6/63

BLK II WAIMEA S. D.



Scale: 2 Chains to an inch.
Ed. Lamb

DISCHARGED stamps and handwritten signatures/initials over the mortgage and transfer entries.

11124.7 Transfer to Robbie Graham
Valentine Dyce of Nelson Company
Secretary - 14.7.1967 at 10.54.05
D.L.R.

Y9103

171651.1 Transfer to Keith Bernard Vincent of Richmond,
Watersider and Janine Andrea Vincent, his wife - 28.4.1976
at 10.01 a.m.
D.L.R.

326632.1 Transfer to Nicholas Alan Herron, Plasterer and
Rachel Ann McRae-Herron, Manager, both of Richmond -
27.4.1993 at 11.06 o'clock.
S. Small
A.L.R.

326632.2 Mortgage to Westland Bank Limited - 27.4.1993 at
11.06 o'clock.
S. Small
A.L.R.

DISCHARGED
5/3/96
S. Small
A.L.R.

356269.6 Transfer to Nicholas Alan Herron, Plasterer of
Richmond - 5.3.1996 at 10.57 o'clock.
S. Small
A.L.R.

356269.7 Transfer to Christopher Neil Hawkins, Self Employed
and Lynette Marcia Hawkins, Homemaker, both of Richmond -
5.3.1996 at 10.57 o'clock.
S. Small
A.L.R.

356269.8 Mortgage to Westpac Bank New Zealand Limited -
5.3.1996 at 10.57 o'clock.
S. Small
A.L.R.

DISCHARGED
10/5/96
S. Small
A.L.R.

379301.1 Variation of Mortgage 356269.8 - 24.7.1998 at 11.00.
S. Small
for DLR

405547.2 Transfer to Christopher Neal Hawkins, Lynette Marcia
Hawkins and Brian Richard Smythe - 28.3.2001 at 9.00.

405547.2 Transfer to Christopher Neal Hawkins, Lynette Marcia
Hawkins and Brian Richard Smythe - 28.3.2001 at 9.00.

405547.3 Mortgage to Westpac Banking Corporation - 28.3.2001
at 9.00.
S. Small
for RGL

C & L HAWKINS
 C/- ROB SILCOCK
 5 HOLDAWAY GROVE
 RICHMOND

GST REG No. 51076806
 Cust No. BC011447
 16/11/01

Tax Invoice 14508

011447 : BARNETT AVE, BEST ISLAND
 TO BUILD SELF CONTAINED BED SIT FOR HOME STAY

Qty	Description	Rate	Amount	
	Building consent fee	500.	740.00	*
	BRANZ levy		43.00	*
	BIA LEVY		27.95	*
(* Incl Gst \$90.11)		Total	\$810.95	

510.95

This is an invoice - NOT your building consent

** PLEASE NOTE - YOUR CONSENT WILL NOT BE ISSUED **
 ** UNTIL THIS INVOICE HAS BEEN PAID **

Any enquiries should be directed to Lynda Cross - Richmond
 Linda Askew - Motueka, Kath Riley - Golden Bay.

□ **Main Office**
 189 Queen Street
 Private Bag 4,
 Richmond 7031 N.Z.
 Tel (03) 544-8176
 Fax (03) 543-9524

□ **Murchison Service Centre**
 92 Fairfax Street
 Murchison
 Tel (03) 523-1013
 Fax (03) 523-1012

□ **Motueka Service Centre**
 7 Hickmott Place
 P.O. Box 123, Motueka
 Tel (03) 528-7700
 Fax (03) 528-9751

□ **Golden Bay Service Centre**
 78 Commercial Street
 P.O. Box 74, Takaka
 Tel (03) 525-9516
 Fax (03) 525-9972

C & L HAWKINS
 C/- ROB SILCOCK
 5 HOLDAWAY GROVE
 RICHMOND

GST REG No. 51076806
 Cust No. BC011447
 23/11/01

Tax Invoice 14754
 =====

Qty	Description	Rate	Amount
	Building consent fee FEE ALTERED AS CONSENT CHANGED TO ALTERATIONS		500.00 *
(* Incl Gst	\$55.56)	Total	\$500.00 =====

□ **Main Office**
 189 Queen Street
 Private Bag 4,
 Richmond 7031 N.Z.
 Tel (03) 544-8176
 Fax (03) 543-9524

□ **Murchison Service Centre**
 92 Fairfax Street
 Murchison
 Tel (03) 523-1013
 Fax (03) 523-1012

□ **Motueka Service Centre**
 7 Hickmott Place
 P.O. Box 123, Motueka
 Tel (03) 528-7700
 Fax (03) 528-9751

□ **Golden Bay Service Centre**
 78 Commercial Street
 P.O. Box 74, Takaka
 Tel (03) 525-9516
 Fax (03) 525-9972

PIM/Building Consent Screening

FORM NUMBER: BC6

DATE: MAY 2001

Name: C + L Hawkins BC: 011447
Address: Beato Island RM:
Richmond Valuation Roll No. 1938093406

Property Enquiry ("G") for new dwellings and commercial.

Building

Is this property subject to any hazard? Yes No

Is there any Section 44 Systems (e.g. fire alarms, emergency lighting, etc.)? If Yes: BG35

A01	<u>BG01</u>	<u>BG07</u>	BG13	<u>BG20</u>	BG26	BG32	BG38
A02	BG02	BG08	BG15	BG21	BG27	BG33	
A03	<u>BG03</u>	<u>BG09</u>	BG16	<u>BG22</u>	BG28	BG34	
A04	<u>BG04</u>	BG10	BG17	<u>BG23</u>	BG29	BG35	
A05	BG05	BG11	BG18	BG24	BG30	BG36	
A06	<u>BG06</u>	BG12	BG19	BG25	BG31	BG37	

- Stucco scratch coat to be continuous behind pergola rafter saddle flashings.
- R2.2 wall batts and R2.6 ceiling insulation

Plumbing and Drainage

<u>PD01</u>	PD04	PD05	<u>PD06</u>	<u>PD07</u>	PD08	PD09	PD10	PD11	PD12
-------------	------	------	-------------	-------------	------	------	------	------	------

Toilet Pans: (Number)

Is there a connection to Council services? Water Yes No
Sewer Yes No

Is connection in an area where a connection fee is payable? Yes No

↓
 PD14 ⇒ Generate Invoice

Signed: [Signature]

Date: 9/11/01

Health

Signed: _____

Date: _____

Other

Signed: _____

Date: _____

Building Checklist

- | | |
|--|--|
| <input type="checkbox"/> Foundations | <input type="checkbox"/> Bearers and joists |
| <input type="checkbox"/> Insulation | <input type="checkbox"/> Wall bracing |
| <input type="checkbox"/> Lintels | <input type="checkbox"/> Second floor joists |
| <input type="checkbox"/> Cantilever lintels | <input type="checkbox"/> Purlins |
| <input type="checkbox"/> Rafters | <input type="checkbox"/> Log burner |
| <input type="checkbox"/> Garage beam | <input type="checkbox"/> Daylight angle |
| <input type="checkbox"/> Producer statements | <input type="checkbox"/> Building height |
| <input type="checkbox"/> Sub-floor bracing | <input type="checkbox"/> Setbacks |

Plumbing and Drainage Checklist

- Sewage disposal
- Stormwater disposal
- Water supply

Planning Checksheet for Building Consents

FORM NUMBER: BC5

Col Hawkins

DATE: MAY 2001

Application Details

Building Consent No.: *011447*

PIM No.:

Property File Ref: *1938093400*

New Subdivision: RM

Proposed Building:

Proposed Use: *New self contained Bed-sit for Homestay etc.*


Building is:

Permitted

Controlled

Discretionary

Non-Complying




Activity is:

Permitted

Controlled

Discretionary

Non-Complying



Check

Zone: *Residential.*

Area: *Special domestic water disposal area/coastal*

Designations: *n/a*

Features (e.g. heritage): *n/a env. area.*

Roading Hierarchy:

Consent Notice:

Coverage (%)

Outdoor Living Space

Setbacks

Walls

Balcony

Parking Requirement: ___ parks

Building Envelope/Daylight

Height

Access/Loading/Turning

Forestry Plantation/Orchard Setback

Natural Hazards (Flooding, Instability, etc.)

Special Domestic Wastewater Disposal Area

Discharges *SWDA*

Hazardous Facilities (HFSP)

Coastal Environment Area Rules

Requirements and Conditions

Resource Consent required because

Other Consents required:

Applicant advised by:

Phone Letter

Fax In Person

on _____ (date)

Existing Resource Consent Reference
(for this activity/building)

RM

Conditions to be imposed on building consent (PTO)

Comments: *FI sought 21.09.01 - See fax*

10.10.01 fax

26.10.01 letter

2.11.01 letter

Discussed with applicant - will have new septic tank as opposed to pump to old existing one

Planner: *Debie*

Date: *9/11/01*



Advice of Completion of Building Work

Section 43(1), Building Act 1991

To: TASMAN DISTRICT COUNCIL

Consent Details

C & L HAWKINS	No.	011447
C/- ROB SILCOCK	Issue date	7/12/01
5 HOLDAWAY GROVE	Application date	21/09/01
RICHMOND		

Project

Description	NEW CONSTRUCTION BEING STAGE 1 OF AN INTENDED 1 STAGES ALTERATIONS TO HOUSE, NEW BEDROOM ENSUITE
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	BEDROOM ENSUITE FACILITY
Estimated Value	\$43,000
Location	BARNETT AVE, BEST ISLAND
Legal Description	LOT 36 DP5090 BLK II WAIMEA SD
Valuation No.	1938093400

You are hereby advised that

- All
- Part only as specified in the attached particulars

of the building work under the above building consent is believed to have been completed to the extent required by that building consent.

You are requested to issue

- A final
- An interim

code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

- Building certificates
- A code compliance certificate issued by a building certifier
- Producer statements

Signed by or for and on behalf of the owner:

Name: Rob Silcock

Position: Builder

Date: 15-5-02

Business hours contact phone no.: 027 221 8978

- Main Office**
189 Queen Street
Private Bag 4,
Richmond 7031 N.Z.
Tel (03) 544-8176
Fax (03) 543-9524
- Murchison Service Centre**
92 Fairfax Street
Murchison
Tel (03) 523-1013
Fax (03) 523-1012
- Motueka Service Centre**
7 Hickmott Place
P.O. Box 123, Motueka
Tel (03) 528-7700
Fax (03) 528-9751
- Golden Bay Service Centre**
78 Commercial Street
P.O. Box 74, Takaka
Tel (03) 525-9516
Fax (03) 525-9972

CODE COMPLIANCE CERTIFICATE

To avoid delays and assist the Tasman District Council in issuing a Code Compliance Certificate, please have the tradesmen used on your building project sign the following:

- "The building work has been carried out in accordance with the building consent and the Building Code."

<u>TRADE</u>	<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>	<u>DATE</u>
Builder				
Craftsman Plumber				
Registered Drainlayer (As-built plan submitted - YES/NO)				
Plasterer or Blocklayer				
Roofing and Spouting				
Heating installation				
Other (please state)				

Site Inspection

Consent No: 011447 - Builder: C&L Hawkins

Address: Barnett Ave, Best Island

With reference to my inspection on 27 / 5 / 02

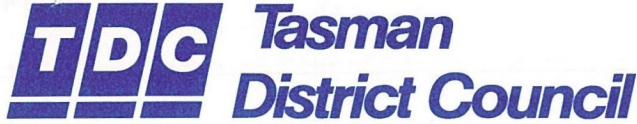
Job now complete, Geo hot water.
outer wall tiles in bathroom are
tanked underneath with easy clean
waste. Good paint system on outside
Bay window has membrane under
stucco

floor level fine above ground

fine for CCC

Inspector: *G Beal*

Please phone for reinspection



Site Inspection

Consent No: 01447 Builder: Rob Silcock

Address:

With reference to my inspection on 3/12/01

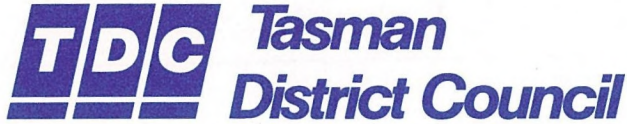
Floor slab check.

Rib raft system all in place
and as per plan.

Firth's documents to come

Date: Inspector: [Signature]

Please phone for reinspection



Site Inspection

Consent No: 011447 Builder: R. Silcock
Address: Hawks / Best island.
With reference to my inspection on 12 / 2 / 02

Pre line check

Framing all OK

m.c. 12-14%

bracing OK (12mm ply sheathing on all ext. walls)

OK to line. / batts installed.

ext. not quite ready for stucco

window flashings to come and parapet cap flashings only loosely fitted.

Date: Inspector: *K. M.*

Please phone for reinspection

FILE

Reference:

ALL

BUILDING CONSENT SUMMARY

Applicant

C & L HAWKINS
C/- ROB SILCOCK
5 HOLDAWAY GROVE
RICHMOND

Consent Details

Consent/PIM No.: 011447
Date issued: 7/12/01
Valn No: 1938093400
Phone No: 5445446

Project Descrn: NEW CONSTRUCTION
BEING STAGE 1 OF AN INTENDED 1 STAGES
ALTERATIONS TO HOUSE, NEW BEDROOM ENSUITE

Intended Life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended Uses: BEDROOM ENSUITE FACILITY

Project Location: BARNETT AVE, BEST ISLAND

Legal Description: LOT 36 DP5090 BLK II WAIMEA SD

Estimated Value: \$ 43,000

Contractor: ROB SILCOLK 5 HOLDAWAY GROVE

INSPECTION DETAILS:

SIGNED _____ **DATE:** _____ **Golden Bay**
Main Office **Service Centre** Service Centre
189 Queen Street 92 Fairfax Street 7 Hickmott Place 78 Commercial Street
Private Bag 4, Richmond 7031 N.Z. Murchison P.O. Box 123, Motueka P.O. Box 74, Takaka
Tel (03) 544-8176 Tel (03) 523-1013 Tel (03) 528-7700 Tel (03) 525-9516
Fax (03) 543-9524 Fax (03) 523-1012 Fax (03) 528-9751 Fax (03) 525- 9972

CONDITIONS OF CONSENT 011447

- 1 Stucco scratch coat to be continuous behind pergola rafter saddle flashings
- 2 R 2.2. wall batts and R 2.6 ceiling insulation .
- 3 The owner or person undertaking the building work shall advise of completion of work by returning the "Advice of Completion of Building Work" form which accompanied the consent.
- 4 A copy of this consent is to remain on site at all times and you should ensure that a copy is given to any tradesmen e.g. your builder, plumber and drainlayer..
- 5 All Building Work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur on the Drawings and Specifications.
- 6 This consent will expire if building work is not commenced within 6 months from the date of issue unless a written extension of time is obtained from the Building Inspector.
- 7 The building inspector is to be notified at least one working day prior to the pouring of concrete on site or the laying of flooring.
- 8 The Building Inspector is to be notified at least one working day before placing any insulation and interior linings to enable a "pre-lining" inspection.
- 9 Construction and wall bracing to comply with NZS3604.
- 10 All glass to comply with NZS 4223.
- 11 The owner or person undertaking the building work shall advise of completion of work by returning the "Advice of Completion of Building Work" form which accompanied the consent.
- 12 The Building Inspector is to be notified at least one working day prior to plastering work to enable inspection of netting fixture. Stucco is not impervious to the passage of water and needs (immediately following curing) an approved paint system to keep wind-driven rain, garden hosing and sprinklers from damaging the external wall system of your building.

□ **Main Office**

189 Queen Street
Private Bag 4,
Richmond 7031 N.Z.
Tel (03) 544-8176
Fax (03) 543-9524

□ **Murchison
Service Centre**

92 Fairfax Street
Murchison
Tel (03) 523-1013
Fax (03) 523-1012

□ **Motueka
Service Centre**

7 Hickmott Place
P.O. Box 123, Motueka
Tel (03) 528-7700
Fax (03) 528-9751

□ **Golden Bay
Service Centre**

78 Commercial Street
P.O. Box 74, Takaka
Tel (03) 525-9516
Fax (03) 525-9972

SUMMARY 011447 [Continued]

- 13 No deviation from the original plans and specifications is permissible without written approval from the Building Inspector.
- 14 The owner and the Builder are responsible for the correct siting of the Building work as specified on the approved plans.
- 15 The owner or person undertaking the building work shall give at least one working day's notice to cover up or close in of any Drainage system.
- 16 Installation of Plumbing and Drainage for New Dwelling to comply to the Building Code and connection to be to the Local Body Sewerage Scheme.
- 17 On the completion of all drainage work an Engineer's as built plan to scale is to be submitted to the Tasman District Council.

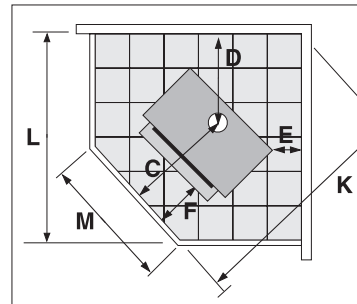
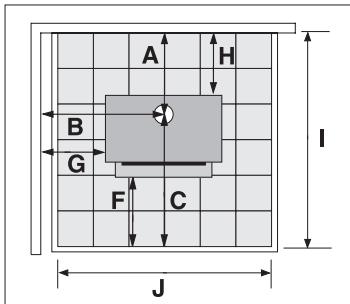
□ **Main Office**
189 Queen Street
Private Bag 4,
Richmond 7031 N.Z.
Tel (03) 544-8176
Fax (03) 543-9524

□ **Murchison
Service Centre**
92 Fairfax Street
Murchison
Tel (03) 523-1013
Fax (03) 523-1012

□ **Motueka
Service Centre**
7 Hickmott Place
P.O. Box 123, Motueka
Tel (03) 528-7700
Fax (03) 528-9751

□ **Golden Bay
Service Centre**
78 Commercial Street
P.O. Box 74, Takaka
Tel (03) 525-9516
Fax (03) 525- 9972

Wood Fire Installation & Owner's Operation Manual



metrofires

Freestanding Wood Fires

Important information.....	2	Optional wetbacks.....	9
Assembling your Metro fire.....	2	Getting to know your Metro fire.....	10
Floor protector	4	Operating your Metro fire.....	10
Flue installation.....	5	Cleaning and maintenance	11
Wetback installation	6	Troubleshooting	12
Clearances and specifications	7	Metro Fires warranty	13
Important operation information	8	Replacement parts	14-15
Where to install a Metro fire in your home.....	9	Heating accessories.....	16



19 Oropuriri Road // New Plymouth 4312
 info@metrofires.co.nz // www.metrofires.co.nz

⚠️ WARNING! Important Information

- **WE HIGHLY RECOMMEND YOU READ THIS ENTIRE MANUAL AS INCORRECT OPERATION, MISUSE AND/OR LACK OF MAINTENANCE WILL VOID THE WARRANTY**
- The appliance and flue-system shall be installed in accordance with AS/NZS2918 and the appropriate requirements of the relevant building code or codes
- Any modification of the appliance that has not been approved in writing by the testing authority is considered to be in breach of the approval granted for compliance with AS/NZS4013 and will void the warranty
- The appliance must be installed correctly. We recommend a competent and suitably qualified NZHHA installer

⚠️ CAUTION! Important Information

- Mixing of appliance or flue-system components from different sources or modifying the dimensional specification or components may result in hazardous conditions. Where such action is considered, the manufacturer should be consulted in the first instance
- Do not install a Metro fire if there is any sign of visible damage to the product
- This appliance must be regularly maintained.
- Use authorised Metro replacement parts only. The use of unauthorised parts may void the warranty
- This manual **MUST** be left with the home owner

All Metro wood fires comply with AS/NZS2918:2001 when installed in accordance with this manual. Please ensure you are fully conversant with the relevant standard and the contents of this manual. Correct installation is critical to the safe operation and performance of this wood fire.

Please take particular note of the following:

- It is recommended that Metro fires be installed with a Metro ECO flue system which has been developed to enhance the performance of Metro wood fires. Any alternative flue system must have a minimum flue pipe length of 4.2 metres of 150mm diameter flue pipe & have been tested to AS/NZS2918:2001
- The 150mm active flue pipe must be fully encased from the ceiling to the underside of the flashing cone at the top of the flue system, (i.e. there must not be any 150mm flue pipe exposed)

- All flue pipe joints must be sealed and riveted. The bottom of the flue pipe in particular **MUST** be fully sealed into the flue outlet of the Metro fire
- In New Zealand, the Metro fire must be bolted through the floor protector into the floor to comply with the seismic restraint provisions of AS/NZS2918:2001
- All Metro's are extremely heavy, varying in weight from 75kgs up to 185kgs. During the installation process do not lift the appliance by yourself, and take care not to damage the panel coating
- Please take care when lifting the Metro fire into place onto the hearth or floor protector as point loading may break tiles and/or scratch surfaces.

Assembling your Metro wood fire

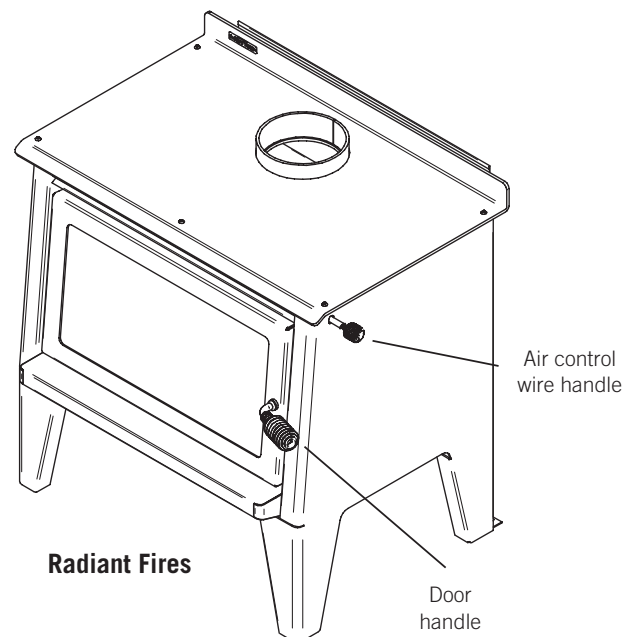
Please note: You should only assemble this wood fire if you are suitably experienced in wood fire assembly and installation. The Metro carton shows the model Metro you are about to install, enabling you to select the appropriate model's assembly instructions.

All Metro wood fires are packed in a single heavy-duty carton, and tek screwed to a wooden pallet. Having removed the packaging and located this manual, familiarise yourself with the illustrations on pages 2 & 3, and proceed as follows.

Metro radiant fires

These Metro's are supplied virtually fully assembled. Packed inside the firebox you will find bricks in a cardboard wrapper, a wire door handle and the air control wire handle.

- Remove the two tek screws located at the base of each rear leg which secure the Metro to the wooden pallet, and carefully 'walk' the Metro off the pallet
- Open the door fully and fit the side bricks to each side of the firebox. Location lugs are fitted to the base and rear wall of the firebox to retain the side bricks in position. Refer to Diagram 2
- Attach the door handle to the door latch assembly by screwing it on clockwise
- Attach the air control wire handle by screwing it on clockwise.



Assembling your Metro wood fire

Please note: You should only assemble this wood fire if you are suitably experienced in wood fire assembly and installation.

Metro pedestal and base model fires

To eliminate freight damage, the pedestal base has been packaged inside the firebox. To safely assemble your Metro, please proceed as follows:

- Lift off the top grill (convection models only) and place somewhere safe. Be careful not to chip the enamel coating or damage paint
- Open the door 45 degrees and lift the door off the hinge and place somewhere safe. Be careful not to damage the finish
- Remove the pedestal packed in a cardboard wrap
- Remove, rotate and re-fix the mount plate to the pedestal.

Note: The pedestal mount plate is fixed to the back of the pedestal base with 4x screws. This mounting plate must be removed, rotated and re-fixed to the pedestal as detailed on page 4 in diagrams 3 and 3A. The return fold must face back the opposite way to create the mount plate and fixing points for seismic restraint of the wood fire.

- Remove the pedestal heat shield

Note: For some models the pedestal heat shield may be taped to the rear heat shield. The ECO Tiny Ped's pedestal heat shield is pre-fitted.

- Remove the side bricks, door handle and the bolt bag
- Remove the 2 tek screws at the base of the inside of the firebox that fix the wood fire to the pallet.

It is recommended that 2 people work together with the next step:

- Grab the underneath top of the firebox door opening with one hand, holding the flue spigot with the other, slowly lift the front of the wood fire all the way back and rest the wood fire on its rear heat shield on the floor. Remove the packaging pallet.
- Fit the pedestal heat shield over the 4 bolts as shown in Diagram 1, with the open edge facing the front of the Metro (up)
- Position the pedestal with its front facing over the 4 bolts and fit the washers and nuts supplied, check to ensure the pedestal is correctly aligned and securely tighten the nuts.

It is recommended that 2 people work together with the next step:

- Grab the flue spigot with one hand and the other hand underneath the top of the firebox door opening, lift upwards standing the wood fire onto its pedestal
- Fit the side bricks to each side of the fire box. Location lugs are fitted to the base and rear wall of the firebox to retain the side bricks in position. Refer to Diagram 2. (Classic Rad also features two side rear bricks).
- Re-fit the door and top grill (Convection models only)

All Metro models

Check to ensure the top baffle is in its correct position in the top chamber of the firebox. It should be resting on four support lugs (two on each side of the firebox). The baffle must be hard back against the rear of the firebox with the "promet extension" (white board) or return front steel edge of the baffle facing forward as illustrated in Diagram 2.

Note: Some models feature a two-piece top baffle.

Diagram 1

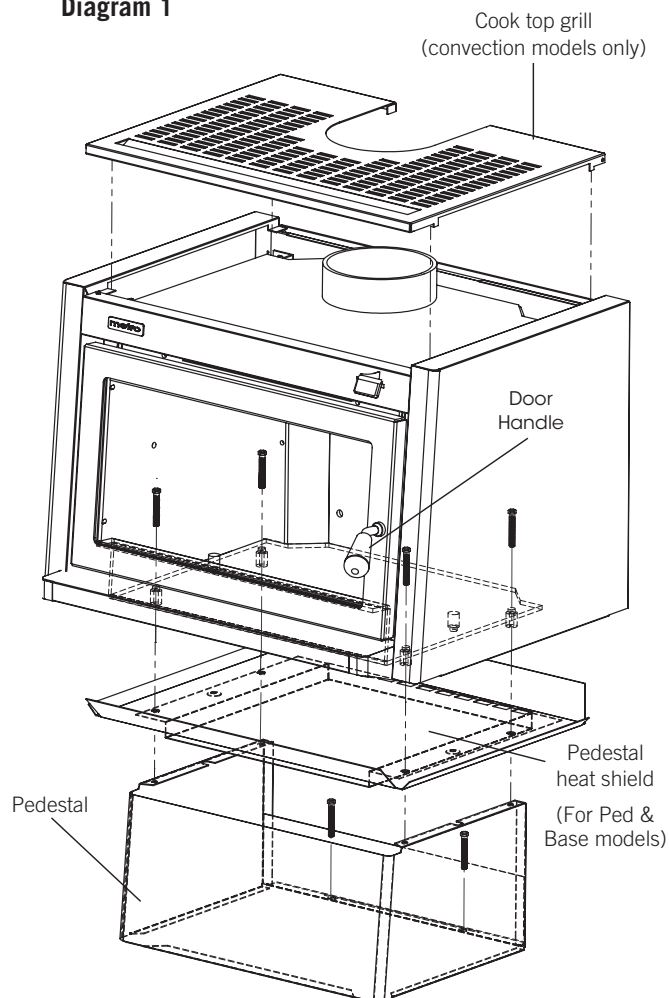
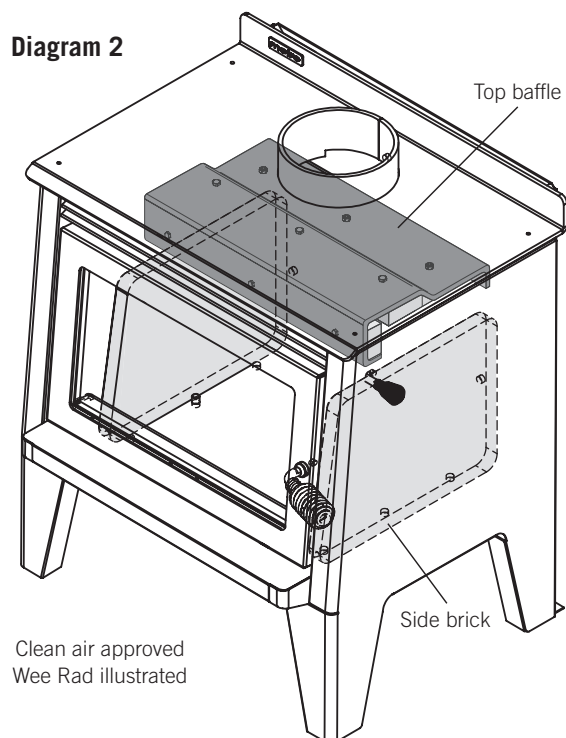


Diagram 2



Floor protector size, construction and fitting

Pioneer manufacture an extensive range of Pioneer 'Ash Floor Protectors' which comply with the minimum floor protector requirements of AS/NZS2918:2001, and can be installed with any freestanding Metro wood fire. Metro freestanding wood fires do not require an insulated floor protector as they comply with the minimum floor protector requirements of AS/NZS2918:2001. These minimum floor protector requirements are;

- They must be of adequate size to give appropriate wall, rear and front clearances/projections as detailed below and in the chart illustrated on page 7. Note;
- The floor protector must extend 200mm horizontally to the rear and each side directly below the door opening, and 300mm forward of the door opening
- The upper surface of the floor protector must be made of non-combustible material.

A suitable floor protector for a Metro freestanding wood fire is therefore any non-combustible material which could include;

- Ceramic tiles with grouted joints fixed directly to a hard base over timber flooring
- A sheet of toughened glass, panel steel etc. laid directly onto a wooden or other combustible floor.

Metro radiant fires

Lift the Metro fire onto the floor protector and using a suitable measuring device, ensure that the minimum wall clearances and front floor protector projections as detailed in the chart on page 7 are met or exceeded. Once the Metro's location on the floor protector is established and if the installation is within New Zealand, seismic restraint is required.

Using masonry anchors if the floor protector is on a concrete floor or coach bolts if a wooden floor, secure through the holes provided at the base, behind both rear legs.

Note: The anchors must pass through the floor protector and securely anchor the Metro to the floor.

Metro pedestal and base model fires

Prior to lifting the Metro fire onto the floor protector, ensure you have removed, rotated and re-assembled the mount plate from the back of the pedestal base as detailed in diagrams 3 & 3A above. This rear panel must be rotated with the return fold facing back the opposite way to create the mount plate and fixing points for seismic restraint of the wood fire.

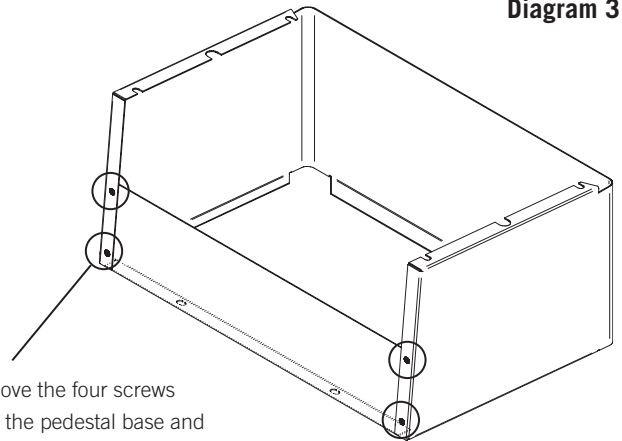
Lift the Metro fire onto the floor protector and using a suitable measuring device, ensure that the minimum wall clearances and front floor protector projections as detailed in the chart on page 7 are met or exceeded.

Once the location of the fire is established, you can then secure the Metro through the floor protector into the floor using the two seismic restraint holes in the rear edge of the mount plate. Use masonry anchors if the floor protector is on a concrete floor or coach bolts if a wooden floor

Note: The anchors must pass through the floor protector and securely anchor the Metro to the floor.

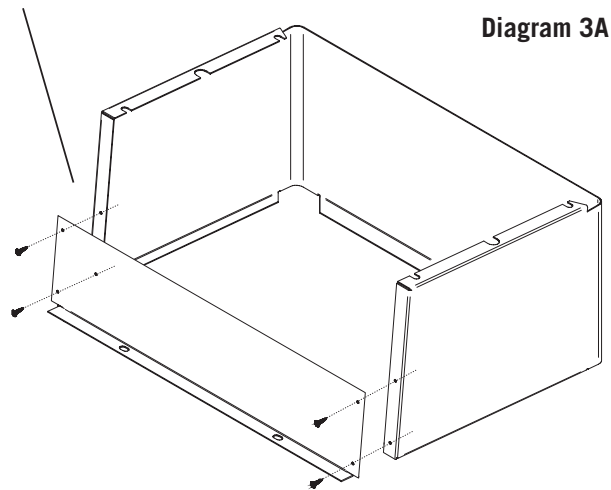
Preparing the mount plate

Diagram 3

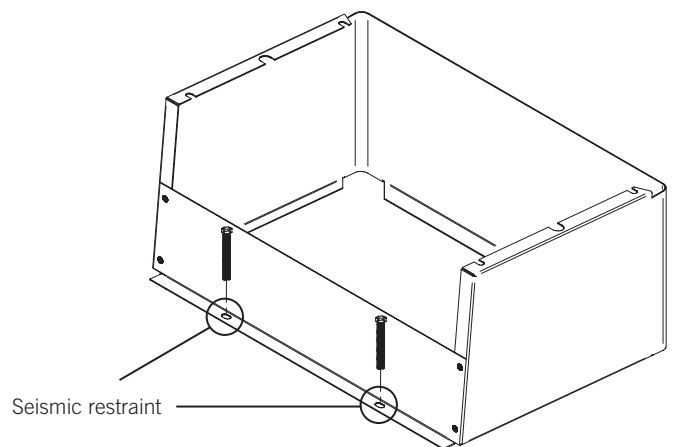


Remove the four screws from the pedestal base and rotate the mount plate so the return fold faces back the other way. Refix in place.

Diagram 3A



Correct mount plate position



Flue installation

It is recommended that all Metro freestanding wood fires be installed with the energy efficient ECO Flue System which comes complete with a detailed installation manual. This installation manual must be presented with your application to gain consent with your local council.

A copy of the ECO Flue System installation manual can be downloaded from metrofires.co.nz, or a copy can be obtained from your Metro retailer. Any alternative flue system must comply with and be installed as detailed in AS/NZS2918:2001, and a copy of the installation manual must also be presented with your application to gain consent with your local council.

All Metro fires require a 150mm diameter flue. Please note:

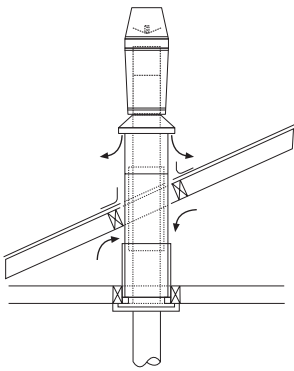
- Metro ECO flue systems must be installed to allow unrestricted air supply from either the ceiling cavity for an ECO Flue Kit, or above the roof line if the ECO Flue Kit and ECO Option Kits are both installed
- The ECO Flue system must be installed into a 'vented' flat ceiling cavity, or have an ECO Option Kit added to the flue system to provide an external air supply

- ECO Flue systems shall be installed in accordance with AS/NZS2918:2001 and the appropriate requirements of the relevant building codes
- Any modification to this flue system that has not been approved in writing by the testing authority is considered to be in breach of all approvals granted
- The flue systems 150mm diameter flue pipe must terminate a minimum of 4.6 metres above the top surface of the floor protector
- All joints in the flue pipe must be sealed with Pioneer fire cement (or similar) and riveted. The base of the flue pipe must also be sealed into the Metro fires flue outlet. This is critical for optimum operation.

All Metro fires have been tested with a Pioneer double flue shield. For the Metro fire to be installed with minimal clearances as the clearance table on page 7 states, only the Pioneer double flue shield can be used. All other flue shields will invalidate the installation.

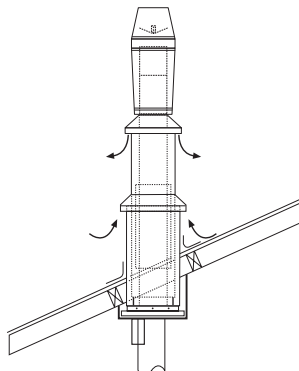
Detailed below are the more common installation methods for installing Metro ECO Flue Systems. To ensure a safe and efficient installation, this flue system must be installed as detailed below by either a registered installer, or someone competent in installing solid fuel appliances.

Single Storey Installations



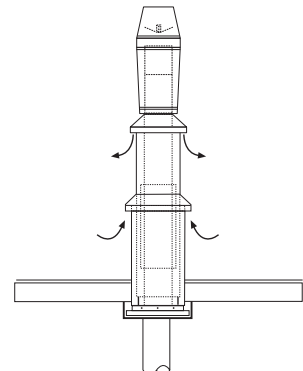
Flat Cavity Ceiling

ECO Flue Kit only required as air is drawn into the flue system direct from the ceiling cavity.



Sloping Ceiling

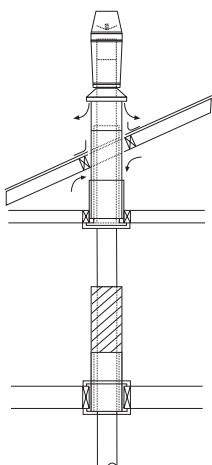
Both the ECO Flue Kit and ECO Option Kit are required to enable air to be drawn from outside the home.



Flat Ceiling/Roof

Requires both ECO Flue Kit and ECO Option Kit as per sloping ceiling unless a vented ceiling cavity exists.

Two Storey Installations



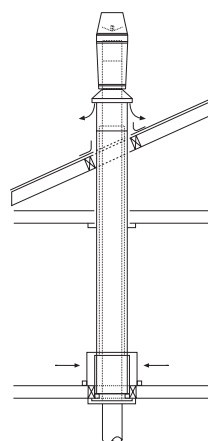
2nd Floor - Exposed Flue pipe

Requires an ECO Flue Kit only with additional lengths of flue pipe.

Additional components below are not supplied by Metrofires but are also required for this installation*

- A floor penetration kit
- 1x 1200mm long mesh/screen

*In accordance with AS/NZS2918:2001



2nd Floor - Enclosed Flue pipe

Requires an ECO Flue Kit only with additional lengths of flue pipe.

Additional components below are not supplied by Metrofires but are also required for this installation*

- 200mm & 250mm inner/outer combination liners.
- 2nd floor vent cover and an additional ceiling plate with a 250mm diameter hole

*In accordance with AS/NZS2918:2001

Wetback installation

WARNING! Important Information

- **DO NOT** connect to an unvented hot water system
- Install in accordance with AS 3500.4.1 or NZS 4603 and the appropriate requirements of the relevant building code or codes.

CAUTION! Important Information

- Wetbacks must be connected with water before operating the fire and available to the wetback while the fire is in operation
- Wetback systems are not suitable for use in locations where the water supply has lime content. Lime build up inside the coil will eventually block the coil causing the wetback to fail
- Rainwater collection tanks installed lower than the wetback that use a water pump to supply the home, can cause problems if the pump is not operational. In these situations either the type of wetback or a roof header tank should be considered

Wetback	Suitable for models:
2kW Wetback 	<ul style="list-style-type: none"> • ECO Tiny Rad • ECO Tiny Ped
Side Wetback 	<ul style="list-style-type: none"> • Tiny Rad Woody • Wee Rad & Wee Rad Base • Wee Rad Woody • Wee Ped • Classic Rad
3kW Wetback 	<ul style="list-style-type: none"> • Xtreme Rad & Xtreme Rad Base • Xtreme Rad Woody • Xtreme Ped • Mega Rad • All LTD rural models
4kW Wetback 	<ul style="list-style-type: none"> • All LTD rural models

The R1 and R2 models cannot be fitted with a wetback.

Water heating is another key feature of your Metro wood fire; nearly all Metro models can be fitted with a wetback, which are designed to give maximum output with minimal effect on the operation of the fire. Only the Pioneer cast jacket wetback system should be fitted to your Metro; alternative wetbacks will void the Metro's emission approvals and may seriously affect the performance of the appliance and void its warranty.

Wetback connections are as follows, taken facing the Metro/wall; the return pipe connection is directly above the inlet connection. Heights for all models are illustrated and detailed opposite on page 7.

- ECO Tiny Ped and ECO Tiny Rad models are 92mm left of the flue centre
- The Tiny Rad Woody model is 184mm left of the flue centre
- Wee Series models are 226mm left of the flue centre
- The Classic Rad model is 184mm left of the flue centre
- All other models are 140mm left of the flue centre

All wetbacks are fitted to the inside rear wall of the firebox, with the exception of the Tiny Rad Woody, clean air Wee Series models and the Classic Rad model. Side wetback position for these models is to the outside left hand firebox wall. Please see the specific installation instructions in the 'Side Wetback' box for installation of a wetback into these appliances.

It is recommended the return pipe has a minimum rise of 1 in 12; performance will reduce as the distance to the storage cylinder increases.

To fit the wetback proceed as follows

1. Remove the rear panel of the Metro by removing the four pozi drive screws. Remove the two pre-punched knockouts from this panel.
 2. Two further knockouts will be visible on the inner rear heatshield, remove these also. Once these are removed 6mm nuts will be visible through the knockout holes.
 3. Open the Metro's door and locate two bolts securing the pressed washers which are visible on the left hand side of the firebox for both inlet and outlet connection points.
 4. A further three bolt heads will also be visible on the inside rear wall of the firebox; these are threaded into the 6mm thick firebox. Remove all three.
 5. Using the tube of sealant supplied with the wetback, apply a liberal bead of sealant around both the two connection pipes and also the outer circumference of the wetback which will face and press against the inside rear wall of the firebox. This will completely seal the wetback to the inside rear wall of the fire on installation.
- Ensure there is no gap between pipe and rear wall access holes. This cement must fully cure before appliance use.
6. Fit the wetback into the firebox and carefully pass the connection pipes through the holes in the rear of the firebox. Securely attach the wetback using the three bolts previously removed from the rear face of the firebox, fitting them through the slots provided in the wetback's jacket.
 7. The wetback is now ready for connection to the storage cylinder by a registered plumber.

Metro clearances and specifications (Minimum clearances shown are in mm, with a Pioneer double flue shield fitted)

Minimum clearances

All Metro wood fires comply with AS/NZS2918:2001. Minimum clearances shown below are detailed in millimetres, with a Pioneer double flue shield fitted to the appliance. Measurements are taken from the following reference points as illustrated:

- From the nearest combustible wall or surface (A, B, D, E, G, H)
- From the Metro's flue centre (A, B, C, D)
- From the Metro's cabinet/heatshield outermost point (E, F, G, H)
- To the edge of the ash floor protectors non-combustible surface (C, F, I, J, K, L, M)

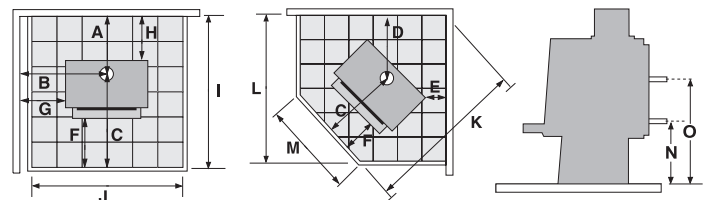
AS/NZS2918:2001 allows for a reduction in minimum clearances as detailed in Section 3, tables 3.1 and 3.2 of the standard.

Some Metro models have undergone additional testing which allows for reduced clearances. Please see the footnotes below the clearance table for the applicable models.

Wetback connections (taken facing the Metro/wall)

- ECO Tiny Ped and ECO Tiny Rad models are 92mm left of the flue centre
- The Tiny Rad Woody model is 184mm left of the flue centre
- Wee Series models are 226mm left of the flue centre
- The Classic Rad model is 184mm left of the flue centre
- All other models are 140mm left of the flue centre

Specifications were correct at the time of printing, but may alter and those detailed within should be used only as a guide. If in doubt, please consult your Metro retailer or metrofires.co.nz.



Clean air models	Minimum installation clearances with a Pioneer double flueshield fitted (mm)													Wetback		Dimensions		
	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	Width	Depth	Height
ECO Tiny Ped	210	430	580	290	25	200	185	60	790	650	990	875	250	280	470	490	530	665
ECO Tiny Rad	225	552	580	420	150	200	300	75	805	650	1165	925	250	280	470	505	530	665
Tiny Rad Woody	251	568	580	382	110	230	310	100	831	650	1120	880	250	365	555	515	498	758
R1	243	774	586	554	280	244	530	100	829	825	1370	1118	425	N/A	N/A	488	485	668
R2	246	858	626	582	275	235	570	100	872	905	1449	1203	505	N/A	N/A	575	537	690
Wee Rad ¹	251	568	580	455	150	230	260	100	831	825	1224	1015	425	295	485	615	501	688
Wee Rad Base	271	678	580	489	180	230	370	120	851	825	1270	1049	425	295	485	615	501	691
Wee Rad Woody	271	708	580	509	200	230	400	120	851	825	1285	1069	425	365	555	615	501	758
Wee Ped ²	263	651	580	490	170	230	350	110	843	825	1274	1050	425	295	485	602	503	665
Classic Rad ³	257	695	780	500	220	229	430	100	1037	728	1487	1168	328	393	583	530	707	680
Xtreme Ped	251	624	630	441	110	227	280	100	881	907	1254	1065	507	312	502	688	554	721
Xtreme Rad	251	650	630	458	100	227	280	100	881	907	1277	1077	507	312	502	740	554	743
Xtreme Rad Base	251	650	630	458	100	227	280	100	881	907	1277	1077	507	312	502	740	554	743
Xtreme Rad Woody	251	680	630	478	120	227	310	100	881	907	1292	1097	507	382	572	740	554	813
Mega Rad	285	720	728	497	100	224	300	130	1013	1006	1431	1227	606	300	490	840	659	744
LTD rural models	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	Width	Depth	Height
LTD Wee Rad	251	548	580	425	120	230	240	100	831	825	1180	985	425	295	485	615	501	688
LTD Wee Rad Base	251	658	580	489	180	230	350	100	831	825	1270	1049	425	300	490	615	501	691
LTD Wee Rad Woody	271	708	580	509	200	230	400	120	851	825	1285	1069	425	360	550	615	501	758
LTD Xtreme Rad	251	650	630	458	100	227	280	100	881	907	1277	1081	507	350	540	740	554	743
LTD Xtreme Rad Base	251	650	630	458	100	227	280	100	881	907	1277	1081	507	350	540	740	554	743
LTD Xtreme Rad Woody	251	680	630	478	120	227	310	100	881	907	1292	1097	507	420	610	740	554	813
LTD Mega Rad	285	720	728	497	100	224	300	130	1013	1006	1431	1227	606	300	490	840	659	744

The Wee Rad installed with a Pioneer double flue shield with the Wee Rad corner wing shields fitted allows for reduced clearances as follows:

¹ Wee Rad corner clearance (E) can be reduced to 120mm. This in turn also reduces clearances (D) to 425mm, (K) to 1180mm and (L) to 985mm. When fitting the corner wing shields, the Wee Rad itself must be installed to a corner clearance (E) of 120mm. The corner wing shields are then fitted which gives a wall to shield corner clearance of 100mm.

The following models installed with a Pioneer double flue shield with the side extensions fitted allows for reduced clearances as follows:

² Wee Ped corner clearance (E) can be reduced to 115mm. This in turn also reduces clearances (D) to 436mm, (K) to 1197mm and (L) to 996mm.

³ Classic Rad corner clearance (E) can be reduced to 180mm. This in turn also reduces clearances (D) to 460mm, (K) to 1430mm and (L) to 1127mm.

WARNING! Important Information

• **WE HIGHLY RECOMMEND YOU READ THIS ENTIRE MANUAL AS INCORRECT OPERATION, MISUSE AND/OR LACK OF MAINTENANCE WILL VOID THE WARRANTY**

- Any modification of the appliance that has not been approved in writing by the testing authority is considered as breaching AS/NZS 4013 and will void the warranty
- Do not use flammable liquids or aerosols in the vicinity of this appliance when it is operating
- Never operate your Metro with the top grill removed
- Do not dry clothes on or near this appliance
- Do not use flammable liquids or aerosols to start or rekindle the fire OR store fuel within the Metro's specified installation clearances
- Never operate your Metro with the door ajar, except on initial start up
- Open the air control fully before opening the Metro's door.

CAUTION! Important Information

- This appliance should be maintained & operated at all times in accordance with this instruction manual
- This appliance should not be operated with cracked door glass, over worn, faulty or missing door seals
- Do not use driftwood, treated or unseasoned (wet) fuel, the use of most types of preservative treated wood as fuel can be hazardous and will damage your appliance
- Burning unseasoned (wet) fuel or incorrect operation on extended low burn cycles will cause excessive creosote to form. Creosote is very corrosive and excessive buildups will result in the flue pipe, flue spigot and upper burn chamber failing. Failure of the appliance and/or flue system due to creosote damage is not covered under warranty. The formation of such is not an appliance issue it is a fuel and operational issue
- This appliance must be regularly maintained and replacement parts must be authorised Metro parts only
- Do not empty ash into a combustible container.

Congratulations on the purchase of your Metro wood fire

This slow combustion appliance is designed to give you many years of warmth and service, subject to the following key factors. These key factors, if not adhered to are the major causes of unsafe installation, poor performance and flue blockages and potential product failure.

1. Your Metro wood fire must be installed correctly. Metro recommend a competent and suitably qualified NZHHA installer.
2. The only fuel to be used in this appliance shall be wood that meets the following criteria.
 - Less than 25% moisture content
 - Has not been treated with preservatives or impregnated with chemicals or glue,
 - Is not chipboard, particle board, or laminated board,
 - Is not painted, stained or oiled
 - Is not driftwood or other salt impregnated wood
3. The appliance shall be operated at all times in accordance with the "Installation and Operating Instructions" supplied with each appliance.
4. It is preferable that Metro wood fires should be installed with a Metro ECO Flue System.
5. Coal must not be used as a fuel.

Please also note the following important points:

- In New Zealand a building consent is required from your local building authority. The homeowner is responsible for obtaining this consent
- As correct installation is critical to the performance and safe operation of your Metro, it is recommended your Metro be installed by a NZHHA registered installer or a person suitably qualified in the installation of wood fires. Your Metro retailer will be able to arrange professional installation for you
- During the very first fire your Metro will give off an odour and fumes as the firebox paint cures. Do not be alarmed; open all windows and externally opening doors in that room and close any internally opening doors. This curing process will last for approximately one hour and is likely to happen this one time

- Properly seasoned (dry) timber is necessary for the Metro to operate efficiently; firewood that contains a high moisture content will result in flue pipe blockages, reduce heat output and create other issues.

Note: Once split, Softwood usually takes 12 months to season - Hardwood can take up to 24 months to season - Wood must be stored in a location that enables air circulation. Unseasoned wood stored in a closed woodshed without air circulation will still be unseasoned 12 months later.

- It is critical that the fire not be operated with over worn, faulty or missing door seals. Door seals will harden over time and become over-worn (3-4 year's) this will cause air to leak into the fire, causing the appliance to 'over fire'
- It is critical that the fire not be operated with over worn, faulty or missing bricks, baffle plate, promet extension (white board on the baffle plate)
- It is critical that the fire not be operated with cracked or broken door glass.

Please note, the above 3 points require regular inspection/maintenance (every time the ash bed is cleaned out, generally 3-5 times a season) and if not maintained will void the firebox warranty. A glowing firebox or lower fluepipe is just one sign you are over firing your appliance. Please ensure you keep your proof of purchase/receipt on any parts you purchase.

- For optimum performance fuel must be loaded so the logs lay "front to rear" in preference to laying across the width of the firebox. Spaces should be left between the logs to enable oxygen to get to as much of the surface of the fuel as possible
- A small hot fire loaded frequently is more efficient than a large fire burning on a low setting
- Your Metro is covered by a full unconditional 12 month warranty on replacement parts, and a 10 year firebox warranty.

Where to install a Metro wood fire in your home

Wood fires are usually installed in the main living area, which is the section of the home that is usually kept the warmest, being the area in the home most frequently occupied. However, before deciding on the best location for your Metro wood fire you may wish to consider:

- Water heating. If you are intending to have a wetback it is important that the wood fire is as close as practically possible to the water storage cylinder
- Split level homes are best heated when the wood fire is installed on the lower level, as the heated air will rise to the higher levels
- Building construction is another consideration. Specified clearances from walls, curtains etc must be maintained and you need to ensure no structural beams or internal gutters etc are directly above your preferred site. If you have a two storey dwelling you need to consider the second storey to ensure you don't have the flue directly outside a second storey window.

Generally, you can install your Metro in your home anywhere that suits you; Pioneer offer various fan systems to transfer heat to other sections of the home that are not heated sufficiently. It is necessary if using a fan system that the Metro you have purchased has sufficient output to heat the total area you wish to heat. Your Metro retailer or installer will be able to advise if you are uncertain.

Optional wetbacks

Water heating is another key feature of your Metro wood fire; nearly all Metro models can be fitted with a wetback, which are designed to give maximum output with minimal effect on the operation of the fire. Only the Pioneer cast jacket wetback system should be fitted to your Metro; alternative wetbacks will void the Metro's emission approvals and may seriously affect the performance of the appliance and void its warranty.

Other considerations are:

- Distance from your Metro to the storage cylinder will affect the amount of hot water produced
- Your climate & the manner in which you will 'fire' your Metro will determine the amount of hot water produced.

Note: Wetbacks are not suitable for use in locations where the water supply has lime content. Lime build up inside the coil will eventually block the coil causing the wetback to fail.

Cost Savings

Wetbacks can enable substantial power savings, dependent on the climate in the area in which you live. If you live in a cold climate you are likely to use your Metro for many months of the year, in which case a Pioneer wetback will reduce or even eliminate your water heating costs over those months. If however you live in a warmer climate and use your Metro for only a few hours a day over the colder months, electricity savings will be considerably less.

Water Pressure

A common misconception is that you must have a low-pressure system to have a wetback; this is not true. You must have a 'vented' system and high-pressure cylinders are usually not vented. However you can install an 'indirect' cylinder which contains a secondary coil inside the storage cylinder, enabling you to have a wetback while retaining a high-pressure system.

Wetback	Suitable for models:
2kW Wetback 	<ul style="list-style-type: none"> • ECO Tiny Rad • ECO Tiny Ped
Side Wetback 	<ul style="list-style-type: none"> • Tiny Rad Woody • Wee Rad & Wee Rad Base • Wee Rad Woody • Wee Ped • Classic Rad
3kW Wetback 	<ul style="list-style-type: none"> • Xtreme Rad & Xtreme Rad Base • Xtreme Rad Woody • Xtreme Ped • Mega Rad • All LTD rural models
4kW Wetback 	<ul style="list-style-type: none"> • All LTD rural models

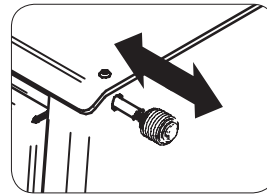
The R1 and R2 models cannot be fitted with a wetback.

Getting to know your Metro wood fire

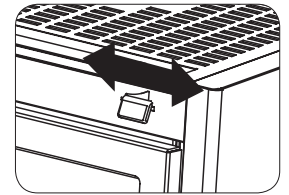
Operating your Metro fire is simple and you will quickly learn how to get the best from it. First take a minute to familiarise yourself with your new Metro.

- Raise the door handle anti-clockwise until the latch releases, and then slowly pull the door open. You will note that if you let the door go before it is at 90° to the appliance, it will fall closed. This is a safety feature that ensures the door cannot fall open if it is not latched securely. For the door to remain open, you must open it fully
- There is a single air control making your Metro fire easy to adjust. This control moves from left to right, which is 'low to high'.

All Metro radiant fires have a wire air control handle located at the upper right hand side of the appliance. Simply pull out to increase burn rate or push in to reduce burn rate.



Radiant fires air control



All other fires air control

All other Metro fires have an air control knob located on the upper front panel of the appliance.

Slide this control knob gently from right to left until you reach a stop. This is a pre-set 'low' position. Your Metro fire must not be operated at a lower burn rate than this pre-set low allows.

Operating your Metro wood fire

If your Metro has only been installed within the past few days, the fire cement seal at the base of the flue will not be fully cured. To ensure the cement sets without blistering it is recommended you burn 2-3 sheets of loosely crumpled newspaper at a time, approximately once every hour over a 6-8 hour period.

During the very first fire your Metro will give off an odour and fumes as the firebox paint cures. Do not be alarmed. Open all windows and externally opening doors in that room and close any internally opening doors. This curing process will last for approximately one hour and is likely to happen this one time.

Start up

Place a quantity of loosely crumpled newspaper on the base of the firebox until it is approximately half full of paper, or place firelighters on the base of the firebox. Add dry kindling and move the air control knob fully to the right, being the 'full open' position.

Light the paper at two or three locations across the front of the door opening and leave the door slightly ajar resting on the latch pin if necessary for a few minutes while the fire establishes. Once the kindling is burning well, open the door and add 2-3 small logs at a time until you have a well-established fire. Usually this will take approximately 30 minutes, during which time the air control should be set on "high" and the door should be closed, except for the initial few minutes and when fuel is being added.

Normal operation

Once the fire is well established, regulate the air control to achieve the desired burn rate and heat output. As you move the air control to the right, burn rate, firebox temperature and heat output will increase, if you move the control to the left they will decrease. Please note:

- Always open the air control fully prior to opening the door, then open the door slowly. Every time you refuel, leave the air control on 'high' for a minimum of 20-25 minutes
- When loading logs, place them end-on, 'front to back'; air spaces should be left between the logs to enable oxygen to get to as much of the surface of the fuel as possible
- Never use the door to force wood into the firebox, as this is likely to break the glass.

Extended burning (rural models only)

It is most important if your Metro is to be refuelled and turned down for an extended period, such as an overnight burn that you operate it correctly:

- The wood used as fuel for extended burning **MUST BE FULLY SEASONED (DRY)**. Once the fuel is loaded, the appliance must be operated on high for a period of at least 20 minutes to drive out residual moisture from the fuel (dry wood is usually 20% water content) and ensure surface area combustion.
- Do not turn the air control down lower than you need to, if you want the Metro to burn overnight, endeavour to obtain an 8 hour burn time, not 12 hours. It will take a few burns to find the correct location of your Metro's air control setting to achieve the length of burn cycle you desire as this setting is affected by several variables including fuel density, flue length and outside wind velocity.
- A smouldering fire over a long time frame is likely to deposit corrosive elements into your system which could be detrimental to your Metro.

⚠ CAUTION! Important Information

- If not operated correctly on extended burn cycles, your Metro is likely to incur flue blockages, corrosion of the upper baffle, lower flue pipe and firebox flue spigot. As these are not covered under warranty if they fail through improper use, it is important you operate your Metro correctly.

Cooking

All Metro's are designed to enable cooking of soups, stews and casseroles etc, and your Metro will easily boil a flat bottom stainless steel kettle. The Radiant Series have a dedicated cooking top enabling large pots to be placed on the cook top, while all other models have a lift-off grill.

Note: Metro's supplied with a lift-off top grill have this feature to enable the grill to be removed for cleaning if you have a spill. The lift-off top grill must be left on when cooking, because if removed the wall temperatures next to the appliance may become excessive and the top of the firebox is generally too hot to cook on directly.

Cleaning and maintenance for your Metro wood fire

Your Metro fire will give you many years of efficient service with minimal maintenance if operated correctly using seasoned fuel. Your Metro fire must be regularly maintained and replacement parts must be authorised Metro fires parts only.

The Metro radiant fires are painted wood fires and coated with 'Pioneer Metallic Black' high temperature paint and will require periodic repainting to keep them looking their best.

All other Metro fires are coated with vitreous enamel. Vitreous enamel is extremely durable and designed to last the life of the appliance. As vitreous enamel is glass, a solid or heavy object dropped or banged against a panel could chip the enamel surface.

All model Metro fires can be cleaned with a soft cloth when the appliance is not in operation.

Door glass

Providing your fuel is properly seasoned, under normal operating conditions the air-wash design of the Metro's firebox will keep the door glass clear. If the glass requires cleaning you may use either a razor blade scraper or crumpled wetted newspaper dipped in wood ash rubbed over the glass.

If your door glass breaks it must be replaced with 5mm thick ceramic glass which is available from your local Metro retailer.

Door seals

Over time, usually 3-4 years, the door and glass seals will become hard and cause air to leak into the firebox, causing the appliance to 'over fire'. Your Metro retailer stocks replacement woven fibreglass door and glass seals, which need replacing when they become hard and over worn.

The door of your Metro is easily removed. Hold it in both hands and lift the hinge end of the door up and over the top hinge pin, then lower the door from the bottom hinge pin.

Side bricks

Hair-line cracks are not uncommon and are a result of the intense heat within the Metro's firebox, coupled with mechanical damage caused by accidental impact when fuel is being loaded. However if the side bricks become cracked to the extent that they start to break up, they must be replaced.

Door adjustment

Provision is available on both sides of the door for adjustment.

To adjust the hinge end of the door, open the door fully, loosen the top hinge nut and slightly lift the latch end of the door; you will see the hinge assembly move back 1-2mm which will usually be sufficient. Retighten, then repeat by loosening the lower hinge nut, this time applying a slight downwards pressure onto the door to move the lower hinge assembly back a similar distance, then retighten.

The door latch is also adjustable, as the latch pin on the right side of the firebox is fitted through a slot which enables the latch pin to be loosened, moved back and re-tightened.

Ash removal

Over a period of time ash will build up in the base of the Metro's firebox and require removal. The time this build-up takes depends on the density and cleanliness of your fuel.

To remove the excess ash your Metro should not be operating.

- Open the door, and using a hearth shovel or similar, empty the excess ash directly into a steel or non-combustible container.
- If the ash is not disposed of immediately, be careful where you store it, as the ash can retain heat for many days and become a fire hazard.
- You must leave a bed of ash in the base of the firebox approximately 10mm deep; this insulates the base of the firebox and improves combustion.

Top baffle

This is a 'sacrificial' wear part of the firebox and should be checked monthly. Usually only the promet (white board) front/underneath section needs to be replaced when it starts to disintegrate.

Note: Cracks in the promet are not uncommon and have no adverse effect on the operation of your Metro. These cracks are the result of intense heat coupled with expansion and contraction. Burning wood which is not properly seasoned, i.e. 25% moisture content or more, will over time cause the promet to disintegrate and require replacement.

Flue systems

Should be checked annually, particularly the bottom end of the lower flue section at its rear lock formed joint. If deterioration is noticed contact your Metro retailer or installer.

The flue pipe should also be swept a minimum of once a year, or as required during the winter season. If smoke enters the room when you open the Metro's door this usually indicates the flue pipe is becoming restricted and needs cleaning. The frequency of flue pipe cleans depends on many factors, with the main variables being:

- The seasoning of the wood. If not properly seasoned you will require frequent flue pipe cleans.
- The density of the wood. Softwoods generally result in more deposits building up in the flue pipe.

To clean the flue pipe of your Metro, proceed as follows:-

- Open the Metro's door fully, reach inside with the palm of your hand face-up and extended, lift the top baffle approximately 20mm, then lift it forward out through the door opening, placing it on a sheet of newspaper you have placed on the front of the floor protector. To prevent jamming, removal and replacement of the top baffle is best performed using both hands.

Note: Some appliances have a two piece top baffle.

- Close the door and slide the air control to the left.
- Once on the roof, remove the cowl from the top of flue system and sweep the flue pipe using a 150mm-diameter flue pipe brush as detailed in the instructions provided with the fluebrush.
- Once the flue pipe is clear, clean and refit the cowl. Remove the excess soot which has fallen into the firebox, leaving a layer of ash 10mm deep on the base of the firebox, then refit the top baffle.

Note: The baffle must be fitted so its rear is touching the back of the firebox; if uncertain refer to page 3 in the installation section at the front of this manual, which shows illustrations of the baffle location.

Troubleshooting your Metro wood fire

If your Metro is installed correctly, your fuel is dry and you operate your fire correctly, you will find it to be a pleasure to use. Metro's many years of experience within the wood heating industry has shown that dissatisfaction is mainly due to:

- unseasoned fuel
- faulty installation
- operational error
- or a combination of the above 3 points.

Correct operation

Modern day wood fires need to be operated hard and fast, more so than low and lazy to ensure the firebox and flue pipe runs hot and efficiently. If the fire and flue pipe is up to temperature it will perform extremely well, the smoke will draw up the flue pipe with ease, and the fire will produce good amounts of heat.

If the fire is operated on low a lot of the time, the door glass will run black, the flue pipe will tend to block up more frequently and the fire will end up smoking into the room when reloading. It's better to have a small fire running hard and fast, rather than a big fire running low and lazy.

The following may be of assistance if you are experiencing any problems with the operation of your Metro Fire.

Smoke enters the room when the Metro's door is ajar

(possible reasons and solutions)

Check flue pipe joins

If the flue pipe joins are not sealed correctly, the flue pipe will not draw as well as it should. The flue pipe join connecting into the flue spigot on top of the Metro is most critical, if this is not sealed correctly, smoke will enter the room when the door is ajar. To check this join is sealed correctly, run a match or lighter flame around the join. If the flame is sucked into the spigot then it is not sealed correctly. This check needs to be done when the fire is not going. Ensure you check the rear of the flue pipe/spigot join, as due to the seam in the flue pipe, this is the most common area for not being sealed correctly.

Ensure the fuel you are using is correctly seasoned

If you are burning unseasoned fuel (wet), the fire will cause nothing but problems. The Metro won't deliver much heat, it will be lazy, smoke will enter the room when the door is ajar, and the door glass will run black. Unseasoned fuel is the main contributor to excessive creosote deposits which can be corrosive to your appliance and flue system.

Flue pipe length is too short

Add more flue pipe as the longer the flue system, the better the draw of the flue pipe. Please note, if you did not purchase the Metro ECO Flue System, you will not have the ECO Cowl which increases draw. We highly recommend the Metro ECO Cowl is fitted as this will increase the draw. If you already have an ECO Cowl and smoke is still entering the room, please add another 600mm length of flue pipe.

Downdraft/Turbulence blockage

If you have checked all of the previous factors and the fire is still smoking into the room, it's possible there may be a down draft issue. Down draft is environmental and can be caused by many variables, and it is purely trial and error to ascertain the cause.

Air turbulence and/or negative air pressure influences around the flue termination can be caused by too close or overhanging trees or natural/artificial ridges etc. Address these where possible or look to extend the flue above the roofline.

Other options may be:

- 'H' Cowl, designed purely for downdraft issues, but if you have an ECO Cowl fitted as standard, you will also need to add another 600mm of flue pipe to compensate as the H Cowl is shorter in length
- Directional Cowl, designed for high wind areas.

Air control setting

Ensure the air control setting is on high before opening the door to reload, as this increases the draw up the flue pipe. Open the door slowly.

If your Metro did not smoke, but its starting too and is getting worse:

The flue pipe is in need of a clean. It is recommended that the flue pipe be cleaned every season, however if you are burning the fire on low a lot, or are using unseasoned fuel, flue pipe cleans will be required more frequently.

Other issues you may experience

I can smell smoke in the room after a low burn cycle

The smell is creosote that will be seeping through the flue pipe join or out of the flue spigot onto an external surface, thus creating the smell in your room. The cause will be either unseasoned fuel, fuel mass too large, incorrect operation on low burn cycles or a combination. Creosote is very corrosive and excessive buildups will result in the flue pipe and potentially the flue spigot and upper burn chamber failing. The formation of excessive creosote is not an appliance issue, it is a fuel and operational issue. Failure of flue pipe or firebox due to creosote build up is not covered under warranty as excessive creosote build up is only possible from either unseasoned fuel or incorrect operation.

The Metro is noisy as it heats up and cools down

There will always be some expansion and contraction noise as the Metro heats and cools. This can usually be reduced by loosening three nuts at the rear of the appliance. To remedy, locate the 25mm deep cavity at the rear of your Metro between the 'rear panel' and the 'inner rear heat shield'. You will see a 6mm nut and two 6mm bolt heads in this cavity. Using a 10mm ring or open ended spanner, loosen all three so they are finger tight only.

On all Metro freestanding fires the air channel that allows the combustion air to enter the fire is fitted to the top underneath of the door opening. It is fitted with two M6 bolts. Slightly loosen both of these bolts.

The Metro won't turn down as much as it did

The door itself may need readjusting, the hinge and latch is slotted and allows for movement. Loosening the hinge and moving it back a few mm will make the door seal tighter and stop air leaking into the fire. The door and glass seals may be in need of replacing, which is generally required every 3-4 years.

Familiarise yourself with the instructions on page 10 before proceeding with this maintenance.

Warranty details for your Metro wood fire

Metro wood fires are manufactured in New Zealand, using the highest quality of materials, workmanship and the latest manufacturing techniques, which is why we offer a full 10 year firebox warranty and a 1 year parts warranty for your peace of mind.

Metro Warranty

(NZ Consumer laws apply to this warranty)

Pioneer Manufacturing Limited (Pioneer) warrants the steel firebox against defective materials and workmanship which would render it unfit for normal domestic use, from the date of purchase by the original consumer, for a period of 10 years.

Components including panel coating, door retainers, door seals, glass, trim, baffle & bricks are warranted for a period of 1 year from the date of original purchase for normal domestic use against defective materials and workmanship.

All associated accessories including, but not limited to, fans, flue systems, flue shields, wetbacks, tool sets, ash pots etc, are covered by a 1 year warranty against defective materials and workmanship.

It is recommended, but not a condition of this warranty, that a full service/inspection of the Metro fire be carried out at the end of each winter season.

Warranty Conditions

- The Metro fire must be installed, operated and maintained strictly in accordance with the building code and this installation and operation manual
- The Metro fire must be installed and used in a domestic application
- This warranty covers appliance like for like replacement or repair at the manufacturer's discretion but excludes freight, travel, installation, labour and/or any other associated costs
- Pioneer or their agents are not liable for any loss or expense direct or indirect arising from the failure of any part or operation of the appliance
- Operation of this appliance in violation of the warnings in this operation and installation manual will void this warranty
- Your Metro fire must be regularly maintained and we recommended it is also serviced annually. Proof of servicing may be required. If a wood fire is not regularly maintained and serviced, the life span will be reduced. If your Metro wood fire has been neglected, by not being regularly maintained and serviced, warranty may be declined

CAUTION! Important Information

Note: The following 3 points require regular inspection/maintenance (every time the ash bed is cleaned out, generally 3-5 times a season) and if not maintained will void the firebox warranty. Please ensure you keep your proof of purchase/receipt on any parts you buy.

- It is critical the fire not be operated with over worn, faulty or missing door seals. Door seals will harden over time and become over-worn (3-4 year's) and will cause air to leak into the fire, causing the appliance to 'over fire'. Do not operate the fire with cracked, or broken door glass
- It is critical the fire not be operated with over worn, faulty or missing bricks, baffle plate or baffle extension (white board on or under the baffle plate)
- A claim under this warranty should be directed to the retailer who supplied the Metro fire. If this is not possible write directly to the manufacturer stating details of fault, model, serial number of your Metro, dated proof of purchase and name of retailer purchased from.

Warranty Exclusions

(This manufacturer's warranty does not cover)

- Service calls which are not related to any defect in the product (i.e. operational, installation or fuel issues). The cost of a service call will be charged if the problem is not found to be a product fault
- Defects caused by factors other than normal domestic use or use in accordance with the product's operation manual
- Defects caused through the product being operated in an 'over-fired' manner resulting in sections of the firebox operating excessively hot to the point that sections glow red. (Note – This will result in distortion of the firebox)
- Defects to the product caused by accident, neglect, misuse or act of God
- The cost of repairs carried out by non-authorized repairers or the cost of correcting such unauthorised repairs
- Required maintenance as set out in this manual.

Service under this manufacturer's warranty must be provided by a repairer authorised by Pioneer Manufacturing Ltd. Such service shall be provided during normal business hours.

IMPORTANT! Complete and retain these details at time of purchase:

Purchase Date

Serial Number

Model

Colour

Retailer



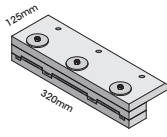
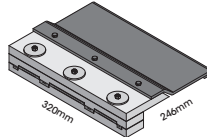

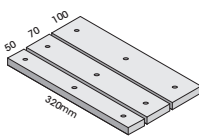
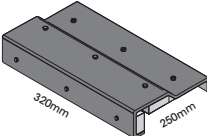

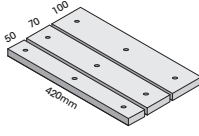
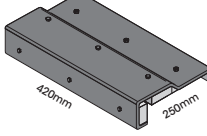
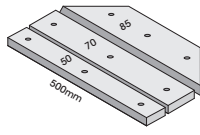
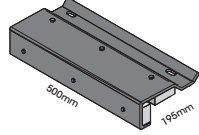
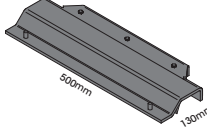
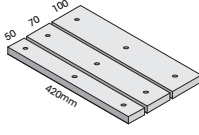
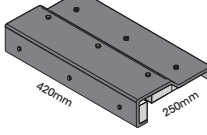

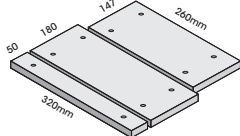
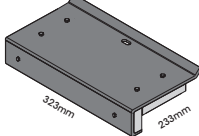
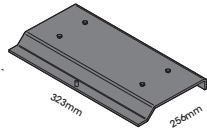

Parts guide for your Metro – Promet, baffles and wetback options

Your Metro wood fire must be regularly maintained and we recommended it is also serviced annually. If a wood fire is not regularly maintained and serviced, the life span will be reduced.

If your Metro wood fire has been neglected, by not being regularly maintained and serviced, with authorised Metro parts replaced as required, your warranty may be declined.

Listed below are the parts and product codes for your Metro wood fire. The promet/baffle should be regularly checked and must always be in place during the operation of your fire.

The baffle should be resting on four support lugs (two on each side of the firebox). It must be hard back against the rear of the firebox with the 'promet extension' (white board) or return front steel edge of the baffle facing forward.

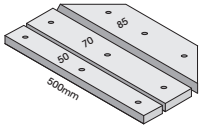
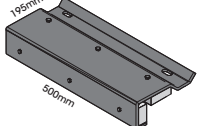
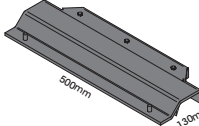

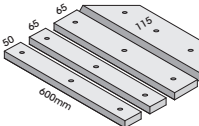
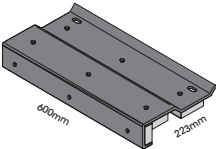
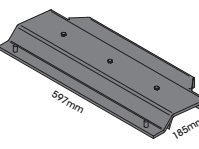

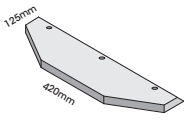
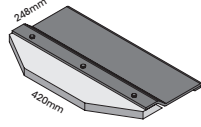

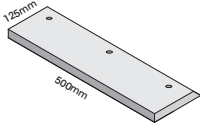
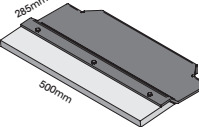

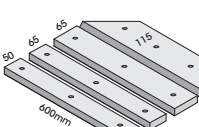
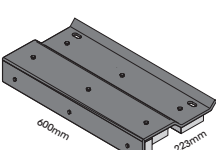
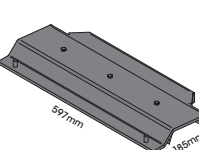

Model	Type of promet required / Type of steel baffle(s) required			Wetback options
<ul style="list-style-type: none"> • ECO Tiny Ped • ECO Tiny Rad 	ECO Tiny Promet 500-1550 	ECO Tiny Baffle 500-2050 	ECO 2kW Booster 450-0050 	
<ul style="list-style-type: none"> • Tiny Rad Woody 	Tiny Woody Promet Set 500-2004 	Tiny Woody Baffle 500-2504 	Side Wetback 450-0275 	
<ul style="list-style-type: none"> • R1 	Wee/R1 Promet Set 500-2005 	Wee/R1 Baffle 500-2505 	No wetback can be fitted to this appliance	
<ul style="list-style-type: none"> • R2 	Xtreme/R2 Promet Set 500-2010 	Xtreme/R2 Front Baffle 500-2510 	Xtreme/R2 Rear Baffle 500-2515 	No wetback can be fitted to this appliance
<ul style="list-style-type: none"> • Wee Rad • Wee Rad Base • Wee Rad Woody • Wee Ped 	Wee/R1 Promet Set 500-2005 	Wee/R1 Baffle 500-2505 	Side Wetback 450-0275 	
<ul style="list-style-type: none"> • Classic Rad 	Classic Rad Promet Set 500-2015 	Classic Rad Front Baffle 500-2520 	Classic Rad Rear Baffle 500-2525 	Side Wetback 450-0275 

Parts guide for your Metro – Promet, baffles and wetback options

Hairline cracks in the promet extension are not uncommon and will have no adverse effect on the operation and performance of your Metro wood fire. These cracks are the result of intense heat coupled with expansion and contraction and is normal wear and tear.

If the promet extension starts to break up and pieces fall into the firebox it must be replaced.

Note: Impact damage when loading wood and burning wood which is not properly seasoned, i.e. 25% moisture content or more, will cause the promet to disintegrate and require replacement. Always burn dry well seasoned wood and take care when loading wood into the firebox.

Model	Type of promet required / Type of steel baffle(s) required			Wetback options
<ul style="list-style-type: none"> • Xtreme Rad • Xtreme Rad Base • Xtreme Rad Woody • Xtreme Ped 	<p>Xtreme/R2 Promet Set 500-2010</p> 	<p>Xtreme/R2 Front Baffle 500-2510</p> 	<p>Xtreme/R2 Rear Baffle 500-2515</p> 	<p>3kW Wetback 450-0100</p> 
<ul style="list-style-type: none"> • Mega Rad 	<p>Mega Rad Promet Set 500-2020</p> 	<p>Mega Rad Front Baffle 500-2530</p> 	<p>Mega Rad Rear Baffle 500-2535</p> 	<p>3kW Wetback 450-0100</p> 
<ul style="list-style-type: none"> • LTD Wee Rad • LTD Wee Rad Base • LTD Wee Rad Woody 		<p>LTD Small Promet 500-1700</p> 	<p>LTD Small Baffle 500-2600</p> 	<p>3kW Wetback 450-0100 or 4kW Wetback 450-0150</p> 
<ul style="list-style-type: none"> • LTD Xtreme Rad • LTD Xtreme Rad Base • LTD Xtreme Rad Woody 		<p>LTD Large Promet 500-1850</p> 	<p>LTD Large Baffle 500-2650</p> 	<p>3kW Wetback 450-0100 or 4kW Wetback 450-0150</p> 
<ul style="list-style-type: none"> • LTD Mega Rad 	<p>Mega Rad Promet Set 500-2020</p> 	<p>Mega Rad Front Baffle 500-2530</p> 	<p>Mega Rad Rear Baffle 500-2535</p> 	<p>3kW Wetback 450-0100 or 4kW Wetback 450-0150</p> 

Metro wood fire specifications

Metro have a Specifications Brochure available which details relevant compliance data for every model. This brochure is updated annually and details the minimum clearances and specifications for all models, which is generally required when applying for a building consent. See your Metro retailer to obtain a copy, or visit www.metrofires.co.nz

metrofires.co.nz

Visit the Metro website: metrofires.co.nz to view Metro's 'video demos' showing the latest in wood fire technology energy saving options. You can view the entire Metro product range, find out where your nearest Metro retailer is located or simply check out the latest specifications, installation requirements and emission and efficiency data for the Metro of your choice.



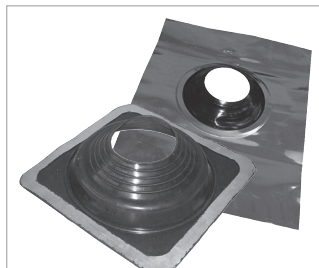
Pioneer heating accessories

Pioneer/Metro Fires offer a range of heating accessories designed to compliment your Metro wood fire. See below for some of the products within our heating accessory range. The range of accessories includes floor

protectors, heat transfer systems, child guards, baffles, bricks and more. For further details ask your Metro retailer for a copy of the Pioneer/Metro Fires heating accessories brochure, or visit www.metrofires.co.nz



ECO Flue Systems



Flashrites and Versatiles



Wetbacks



High Temperature Paint



Child Guards



Heat Transfer Systems



Universal Door Seal Kits



Fire Cement And Silicone



Corner and Wall Floor Protectors



Glass Tape



Door Seal Rope



Chubb Smoke Detectors

**LETTER 7A
RM960509**

21 October 1996

C N Hawkins
Barnett Ave
Best Island
R D 1
Richmond

Dear Sir/Madam

RE: RESOURCE CONSENT APPLICATION NO.RM960509

In accordance with Section 114 of the Resource Management Act 1991, I enclose a copy of the Council's decision made under delegated authority on the above application.

The applicant or any person who has made a submission has the right of review to the Council against the decision as provided for in section 357 of the Resource Management Act 1991.

Any such appeal must be made to the Council within fifteen working days from the date of receipt of this notice.

In terms of Section 125 of the Resource Management Act 1991, this consent shall expire two years after the date of consent (by this Council or, if relevant, the Planning Tribunal) unless:

- (a) The person to whom it was granted has within that period given effect to that consent; or
- (b) The Council has, on application made within three months after the expiry of that period, satisfied itself that the circumstances in Section 125(b) apply.

Yours faithfully

M D Morris
RESOURCE PLANNER

Enc

DOCUMENT 3
RM960509

In the matter of the Resource Management Act 1991

and

In the matter of the application lodged by

C N & L M Hawkins

for a Resource Consent for a **Discretionary Activity** under the provisions of Sections 104 and 105 of the aforesaid Act.

PROPOSAL:

To extend an existing dwelling in the Coastal Environment Area that encroaches into the side and front yards at Barnett Ave, Best Island being Lot 36 DP 5090 BEST ISLAND WAIMEA INLET.

DECISION:

That pursuant to the provisions of Section 105 of the Resource Management Act 1991, acting under authority delegated by the Council, the District Planner considered the Resource Management Act 1991 and resolved that the application be consented to, subject to the following conditions:

1. The development is undertaken in accordance with the attached Plan, and the amended garage siting plan submitted on 16/10/96.
2. That the height of the proposed dwelling shall be no more than 4.5 metres in height.

NOTATION 1: The applicant must meet the requirements of Council with respect to all building and health bylaws, regulations and acts.

NOTATION 2: The present site does not have legal formed access, and instead has access through a neighbouring property. At the time of writing the Council was negotiating (as yet not finalised) with the Best Island landowners to provide road access to the Best Island properties including the above property.

REASONS FOR THE DECISION:

1. The applicant's site is of difficult shape that make compliance with the existing planning rules difficult. The present dwelling is already very close to the boundary so it was inevitable that any extensions would also encroach into the side and front yards.
2. The site is also unusual in that the site does not have a legal formed road access, but the proposed garage is sited so that it can readily access the proposed new roading development that is being planned for Bests Island.
3. Directly affected parties have given their consent.

Dated in Richmond this day of Oct

Yes Just file AS WGI 20/12/96

1938093400

Carters Nelson

Page: EngSum - 1

Job: 9612-616

Client: Chris Hawkins

Site: Lot 36 Best Island

Description: Additions

Phone:

Phone:

FILE

MiTek 2000 2.100 g3

Gang Nail Group Ltd.

Thu Dec 19 13:10:21 1996

PRODUCER STATEMENT
MiTek 2000(tm) ROOF TRUSS DESIGN

Certification of Mitek 2000(tm) Design Program

The MiTek 2000(tm) roof truss design program has been developed by Gang-Nail NZ Ltd for the design of Gang-Nail timber roof trusses in New Zealand. The truss designs computed by this program are prepared using sound and widely accepted engineering principles, and in accordance with NZS 4203, NZS 3603 and NZS 3604 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1:Structure of the Building Regulations 1992. This computer design for the proposed building complies with the relevant provisions of the NZ Building Code. This is subject to all proprietary products meeting their performance specification requirements, the provision of adequate bracing, fixings and the correct input of design data carried out by suitably trained personnel.

Summary of MiTek 2000(tm) Design Data and Output

The MiTek 2000(tm) computer design output for this job titled and located at the site identified on the top of this page is based on the following parameters entered into the program. The owner must ensure that the following job details below are current and relevant to the project before fabrication and erection of the Gang-Nail trusses.

Job Details

Roof Pitch:	3.00 deg	Timber Inventory:	45laser	Building Wind Zone:	High
Roof Material:	Galv Iron .5mm	Ceiling Material:	Standard	Design Wind Speed:	44.0 m/s
TC Dead Load:	0.210 kPa	BC Dead Load:	0.200 kPa	Pressure Coefficient:	Cpe = -0.9
TC Restraints:	900 mm centres	BC Restraints:	400 mm centres		Cpi = 0.3
Roof Live Load:	Lu = 0.250 kPa	Truss Spacing:	900 mm	Snow Load Zone:	Zone 3
	Lc = 1.0 kN	Standard Overhang:	0 mm	Altitude:	10 m
				Snow Load@3deg:	0.160 kPa

These trusses must be fabricated and erected in accordance with the Gang-Nail manual. Proper erection bracing must be installed to hold the components true and plumb and in a safe condition until permanent bracing is fixed. All permanent bracing and fixing must be installed before any loads are applied. The specifications for timber shall be as shown on the output. The timber shall be standard gauged and treated to the requirements of NZMP 3640.

Truss List

Legend: *: detail only, ?: input only, ✕: failed design, Unmarked trusses: designed successfully

Truss	Span (mm)	Pitch (deg)	Spacing (mm)
GAR1	5700	3.00	900
GAR1A	5700	3.00	900



The computer design input has been carried out by:

Signed: *[Signature]*

Date: 19 DEC 1996

Name of Computer Operator: Don Bate

Qualifications and Title: Pre-cut Supervisor

Company: Carters Nelson



Verification / Acceptance of Input Data:

I have checked the input data against the construction drawings and specifications and verify that they are correct and suitable for this job.

Signed:

Date:

Name:

Company:

Job: 9612-616 Qty: 3 Client: Chris Hawkins
 Truss: GAR1 Ply: 1 Phone:
 Description: Additions

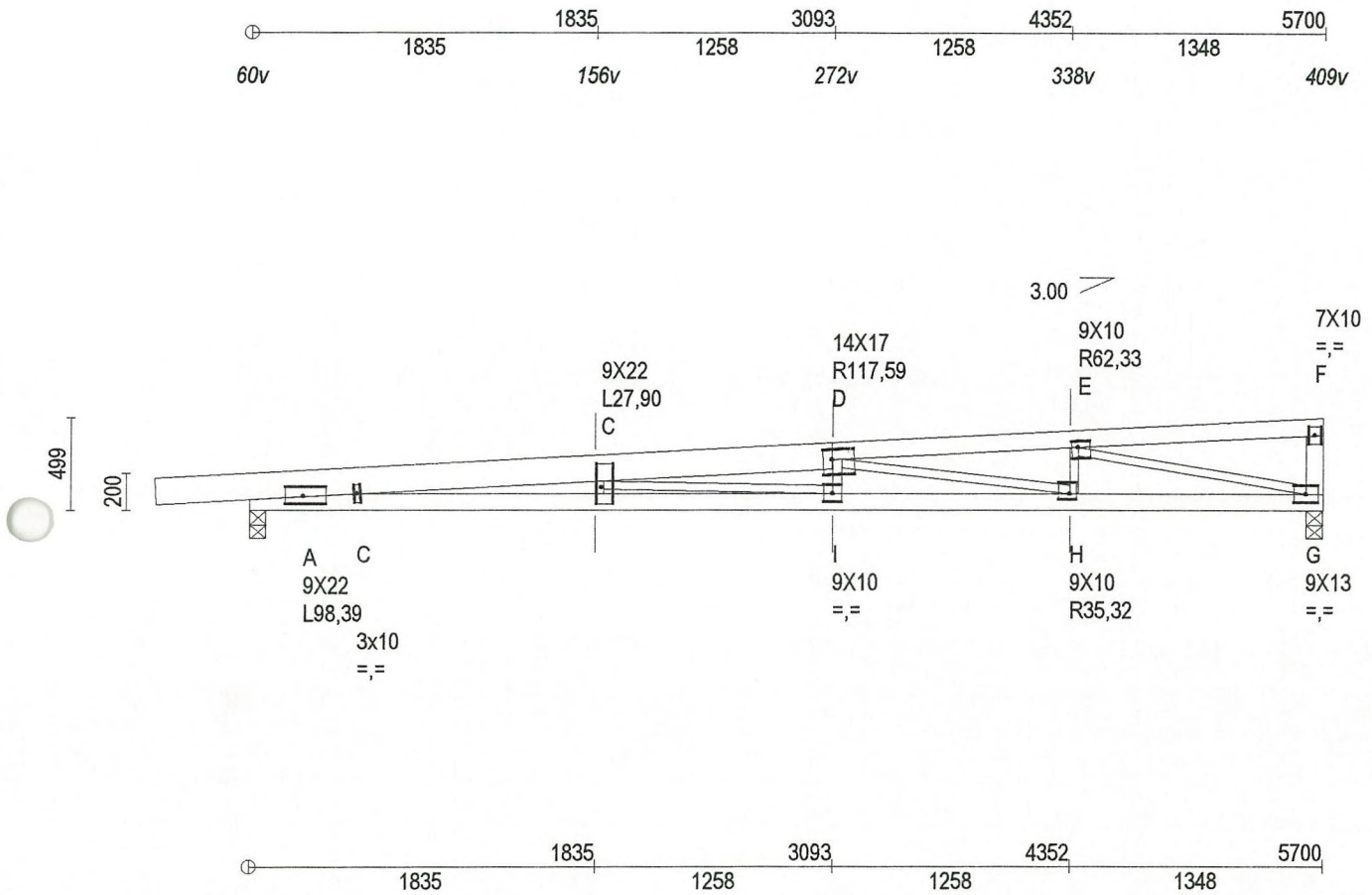
Site: Lot 36 Best Island

Phone:

MiTek 2000 2.100 g3

Gang Nail Group Ltd.

Thu Dec 19 13:10:23 1996



Designed with warnings

Fabricator adjusted camber at joint J = 16 mm.
 Overall Truss Height: 499

====<<<< CHORDS >>>>====(Sq.Cut=0)		====<<<< WEBS >>>>====(Sq.Cut=0)	
PIECE: G-F 90x45 F5 DDP 3 OFF TS: 314 OL: 319 BS: 319		PIECE: J-C 45x45 F5 DDP 3 OFF TS: 66 OL: 68 BS: 68	
PIECE: F-D 90x45 F5 DDP 3 OFF TS: 2613 OL: 2618 BS: 2613		PIECE: I-D 45x45 F5 DDP 3 OFF TS: 182 OL: 184 BS: 184	
PIECE: G-A 90x45 F5 DDP 3 OFF TS: 5124 OL: 5700 BS: 5700		PIECE: H-E 45x45 F5 DDP 3 OFF TS: 248 OL: 250 BS: 250	
PIECE: D-A 140x45 F5 DDP 3 OFF TS: 3602 OL: 3602 BS: 3595		PIECE: C-I 45x45 F5 DDP 3 OFF TS: 1214 OL: 1215 BS: 1214	
		PIECE: D-H 45x45 F5 DDP 3 OFF TS: 1221 OL: 1227 BS: 1221	
		PIECE: E-G 45x45 F5 DDP 3 OFF TS: 1231 OL: 1238 BS: 1231	

Job: 9612-616 Qty: 4 Client: Chris Hawkins
 Truss: GAR1A Ply: 1 Phone:
 Description: Additions

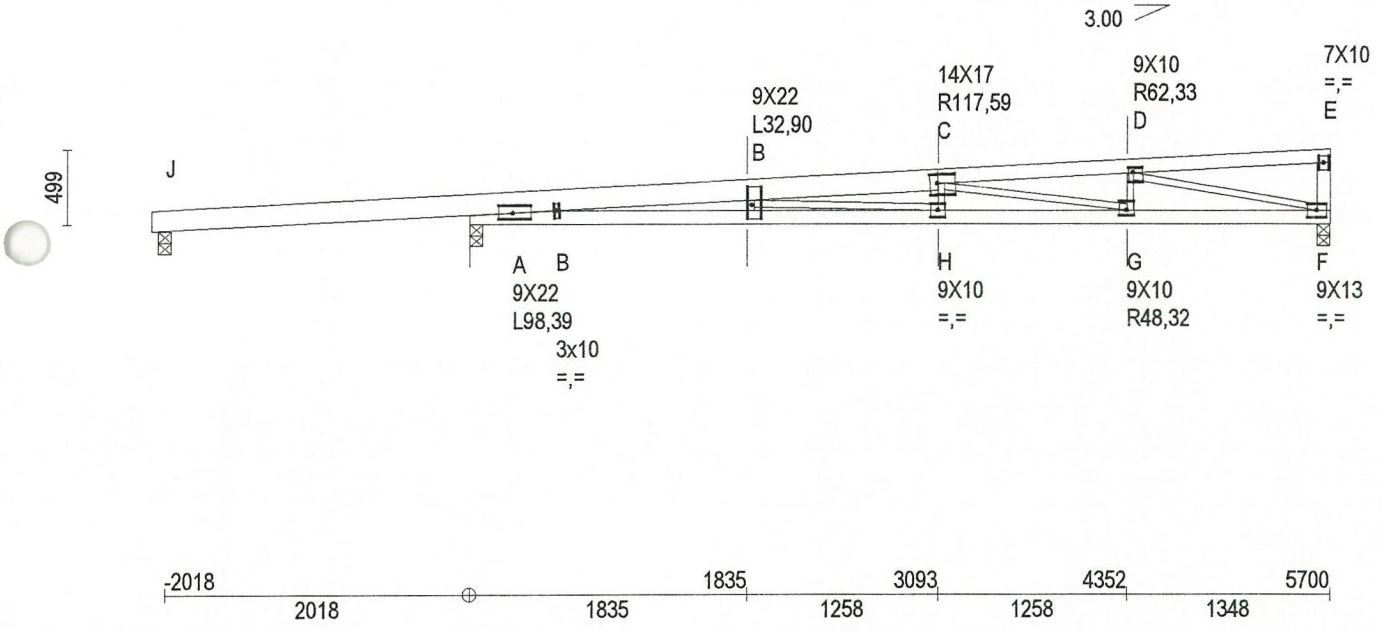
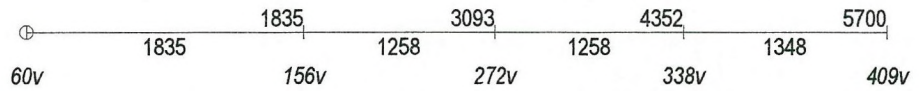
Site: Lot 36 Best Island

Phone:

MITek 2000 2.100 g3

Gang Nail Group Ltd.

Thu Dec 19 13:10:25 1996



Designed

Fabricator adjusted camber at joint H = 11 mm.
 Overall Truss Height: 549

====<<<< CHORDS >>>>====(Sq.Cut=0)		====<<<< WEBS >>>>====(Sq.Cut=0)	
PIECE: F-E	90x45 F5 DDP 4 OFF	PIECE: I-B	45x45 F5 DDP 4 OFF
TS: 314	0.0 3.0 5	TS: 66	0.0 3.0 2
OL: 319		OL: 68	
BS: 319		BS: 68	
PIECE: E-C	90x45 F5 DDP 4 OFF	PIECE: H-C	45x45 F5 DDP 4 OFF
TS: 2613	3.0 5	TS: 182	0.0 3.0 2
OL: 2618	3.0	OL: 184	
BS: 2613	5	BS: 184	
PIECE: F-A	90x45 F5 DDP 4 OFF	PIECE: G-D	45x45 F5 DDP 4 OFF
TS: 5124	0.0 87.0 576 30 60	TS: 248	0.0 3.0 2
OL: 5700		OL: 250	
BS: 5700		BS: 250	
	576 30 60	PIECE: B-H	45x45 F5 DDP 4 OFF
		TS: 1214	1.1 1
		OL: 1215	1.1
		BS: 1214	
PIECE: C-J	140x45 F5 DDP 4 OFF	PIECE: C-G	45x45 F5 DDP 4 OFF
TS: 5204	3.0 7	TS: 1221	6.5 5
OL: 5212	3.0	OL: 1227	6.5
BS: 5204	7	BS: 1221	5
		PIECE: D-F	45x45 F5 DDP 4 OFF
		TS: 1231	9.6 8
		OL: 1238	9.6
		BS: 1231	8

Please Photocopy

Wall Bracing Calculation Sheet A

Job Details box 1

Name Chris & Lynne Hawkins

Street and Number _____

Lot and DP Number _____

City/Town/District BEST ISLAND

Location of Storey: single/upper of two lower of two

Building height to apex 3.4 m Roof weight light heavy

Roof height above eaves .80 m Cladding weight light heavy

Stud height 2.7 m Room in roof space n

Average roof pitch 30

Building length BL = 6.7 m Gross Building

Building width BW = 5.1 m Plan Area, GPA = 34 m²

Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.

Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone box 2

Region: R1 0 Inland 0 Sheltered 0 Topography: Gentle 0

R2 1 Coastal 1 Exposed 1 Moderate 1

Extreme 3

Total points 2

Wind zone: Low (0) Very high (3)

Medium (1) Specific Design (4)

High (2)

Earthquake zone box 3

From figure EQ1 select Earthquake Zone: A B C

BUs required Wind box 4

From Table W1/AW1B

W along = 44 BU/s/m

W across = 35 BU/s/m

Total wind load,

W ALONG:

W along x BW = 250 BU

W ACROSS:

W across x BL = 236 BU

BUs required Earthquake box 5

From Table EQ1

E = 4.6 BU/s/m²

Note: For a room in the roof space use E+1

Total earthquake load,

EQ ALONG and EQ ACROSS:

E x GPA BU = 156 BU



Please Photocopy

Wall Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 EQ	7 EQ
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (EU/m x L) W	Rating BU/m EQ	BUs Achieved (EU/m x L) EQ
A	100	A1	RB4	0.6	96	57	96	57
		A2	RB4	0.9	96	86	96	86
B	70	ER	RB4	1.2	121	121	121	90
C								
D								
E								

2.7 wall

Totals Achieved		W	264	EQ	214
From Sheet A	Totals Required	W	250	EQ	156
Wreq/EQreq =					

*If Wreq/EQreq is 1 or less complete EQ column only
 If Wreq/EQreq is 1.5 or more complete W column only
 Otherwise complete both W and EQ

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 EQ	7 EQ
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (EU/m x L) W	Rating BU/m EQ	BUs Achieved (EU/m x L) EQ
M	100	M4	RB4	0.6	96	57	96	57
		M5	RB4	0.6	96	57	96	57
N	100	N6	HB4	3.0	42	276	10	210
O								
P								
Q								

2.7 wall

6mm handbacked Bracing

Totals Achieved		W	390	EQ	310
From Sheet A	Totals Required	W	230	EQ	156
Wreq/EQreq =					

Please Photocopy

Wall Bracing Calculation Sheet A

Job Details

box 1

Name Chris & Lynn Hawkins
 Street and Number _____
 Lot and DP Number _____
 City/Town/District BART ISLAND
 Location of Storey: single/upper of two/lower of two
 Building height to apex 3.0 m Roof weight light/heavy
 Roof height above eaves 0.60 m Cladding weight light/heavy
 Stud height 2.4 m Room in roof space y/n
 Average roof pitch 3°
 Building length BL = 7.7 m Gross Building _____
 Building width BW = 6.1 m Plan Area, GPA = 42 m²

Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.
Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone

box 2

Region: 0 Terrain: Inland Exposure: 0 Topography: Gentle
 R1 0 Inland 0 Sheltered 0 Gentle 0
 R2 1 Coastal 1 Exposed 1 Moderate 1
 Extreme 3
 Total points 2
 Wind zone: 1 Low (0) 1 Medium (1) 0 Very high (3) 0 Specific Design (4)
0 High (2)

Earthquake zone

box 3

From figure EQ1 select Earthquake Zone: A B C

BU's required Wind

box 4

From Table W1A/W1B
 W along = 49 BU's/m
 W across = 35 BU's/m
 Total wind load,
 W ALONG:
 W along x BW = 299 BU's
 W ACROSS:
 W across x BL = 270 BU's

BU's required Earthquake

box 5

From Table EQ1
 E = 4.6 BU's/m²
 Note: For a room in the roof space use E+1
 Total earthquake load,
 EQ ALONG and EQ ACROSS:
 E x GPA BU's = 193 BU's

Please Photocopy

Wall Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 EQ	7 EQ
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m EQ	BUs Achieved (BU/m x L) EQ
A	70	A13	BR5	1.2	115	138	85	102
B	70	B14	BR5	1.2	115	138	85	102
C	62	C15	BR9	0.6	110	66	95	57
		C16	BR9	0.6	110	66	95	57
D								
E								

Totals Achieved		W	408	EQ	318
From Sheet A Totals Required		W	299	EQ	193
Wreq/EQreq =					

*If Wreq/EQreq is 1 or less complete EQ column only
 If Wreq/EQreq is 1.5 or more complete W column only
 Otherwise complete both W and EQ

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 EQ	7 EQ
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m EQ	BUs Achieved (BU/m x L) EQ
M	62	M17	BR5	1.2	115	138	85	102
N	70	N18	BR5	1.2	115	138	85	102
O	31	O19	BR9	1.0	110	110	95	95
P								
Q								

Totals Achieved		W	386	EQ	299
From Sheet A Totals Required		W	270	EQ	193
Wreq/EQreq =					

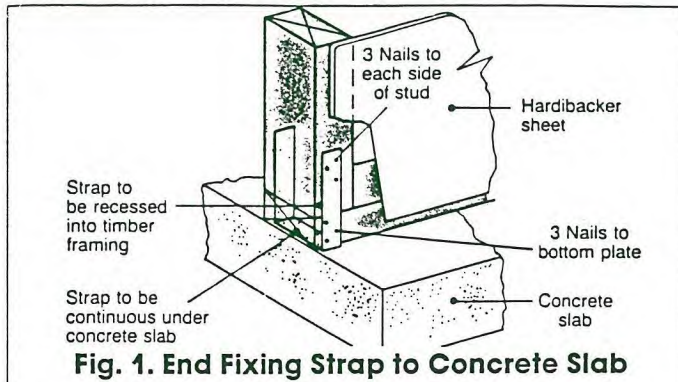


Fig. 1. End Fixing Strap to Concrete Slab

NOTE

1. Straps to be 25mm x 1mm galvanised steel or a proprietary system of 6kn capacity.
2. Nails to be 30mm x 3.15mm diam galvanised.

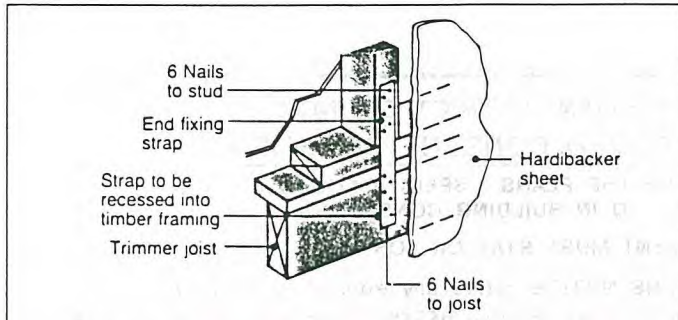


Fig. 2. End Fixing Strap to Timber Floor

NOTE

1. Straps to be 25mm x 1mm galvanised steel or a proprietary system of 6kn capacity.
2. Nails to be 30mm x 3.15mm diam galvanised.

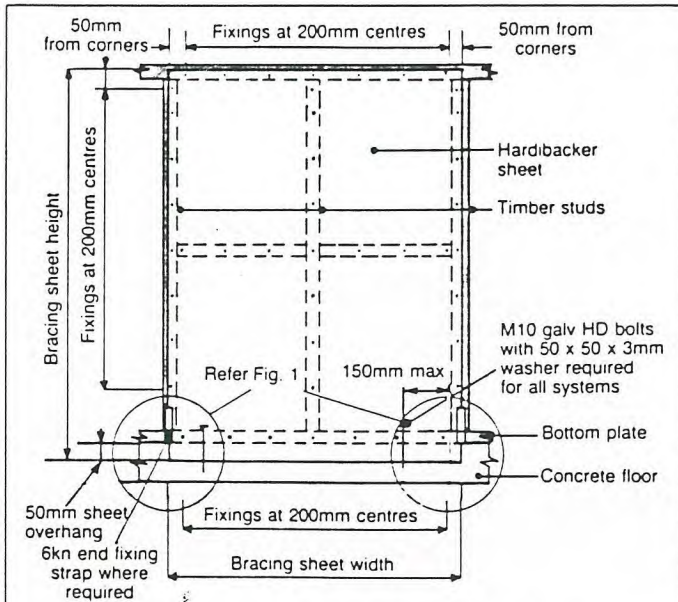


Fig. 3. Hardibacker to Concrete Slab with and without Straps

NOTE

1. For Hardibacker bracing ratings refer Table 1.
2. Systems without end straps HBK1, HBK2 and HBK3 refer Table 1.
3. Systems with end straps HBK4 refer Table 1.

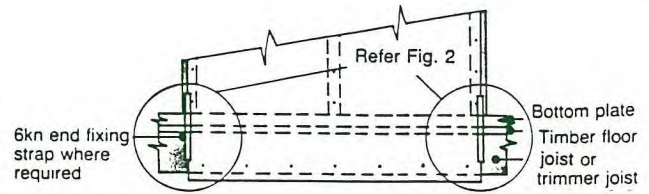


Fig. 4. Hardibacker to Timber Floor with and without Straps

NOTE

1. All fixings centres to be similar to Fig. 3.
2. Systems without end straps HBK1, HBK2 and HBK3 refer Table 1.
3. Systems with end straps HBK4 refer Table 1.

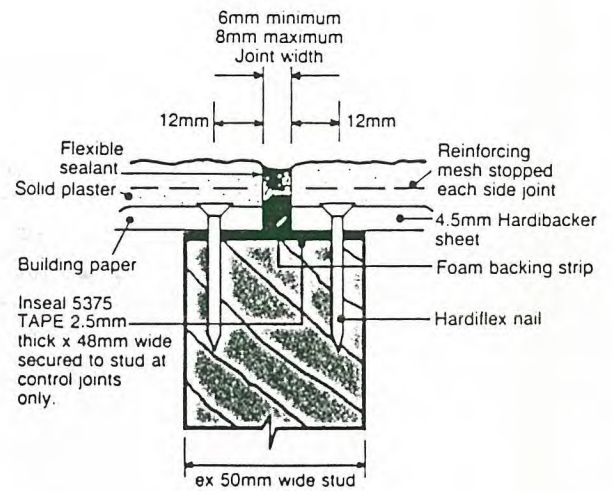


Fig. 5. Vertical Solid Plaster Control Joint

NOTE

1. Seal control joints with good quality flexible paintable silicone sealant such as "EXPANDITE SILAFLEX MS".
2. Clean and prime the joints and apply strictly in accordance with the sealant manufacturer's instructions.

TABLE 1: Bracing Ratings for HARDIBACKER 4.5mm thick

System Number	Bracing Element Length	Figure Reference	NZS 3604: 1990 Rating in bracing units per metre of element length	
			Wind	Earthquake
HBK1 HBK2 HBK3	1200mm) 1800mm) 2400mm) or more	Refer Figs. 3 and 4 End straps not required.	85 90 105	70 75 80
HBK4	900mm) or more	Refer Figs. 3 and 4 End straps required. Refer Figs. 1 and 2.	110	85

**TASMAN DISTRICT COUNCIL
APPROVED CONSENT DOCUMENT**

THESE ARE THE PLANS / SPECIFICATIONS
REFERRED TO IN BUILDING CONSENT No: 961906

- THIS DOCUMENT MUST STAY ON JOB UNTIL COMPLETION
- GIVE 24 HOURS NOTICE before any work is covered up
- Council inspections are required BEFORE any:
concrete, masonry infill, grouting, placement, lining, cladding,
roof fixing, structural frame enclosure, trim fixing, lining stopping,
plumbing, drainlaying, covering.
- Deviations from this Document require further approval
- Consent holder is responsible and liable for any damage as a
result of this work being carried out.
- Date: 13-12-96 Building Consent No. 961906

SIGNED: 

Project ID: 190638
Date Sent: 2019-06-21 11:19:43
Recipient: jacqui.soffer@therentshop.co.nz
Sender: Krystle Bang
Subject: BC190638: 117 Barnett Avenue, Best Island

Message:

Good Morning Jacqui

The final inspection for BC190638 is booked for the earliest date available that being the 1st of July, if you could please pass this email on to the owners as we have no email address listed for them and the agent has asked that they be contacted, They will receive a text message the business day prior with an approximate time to meet with the building inspector.

Kind regards

Krystle Bang

Customer Service Officer - Takaka

Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: bc.admin@tasman.govt.nz | W: <http://www.tasman.govt.nz>

DRAINLAYING FIRM T Vatabua

BUILDING CONSENT No. _____

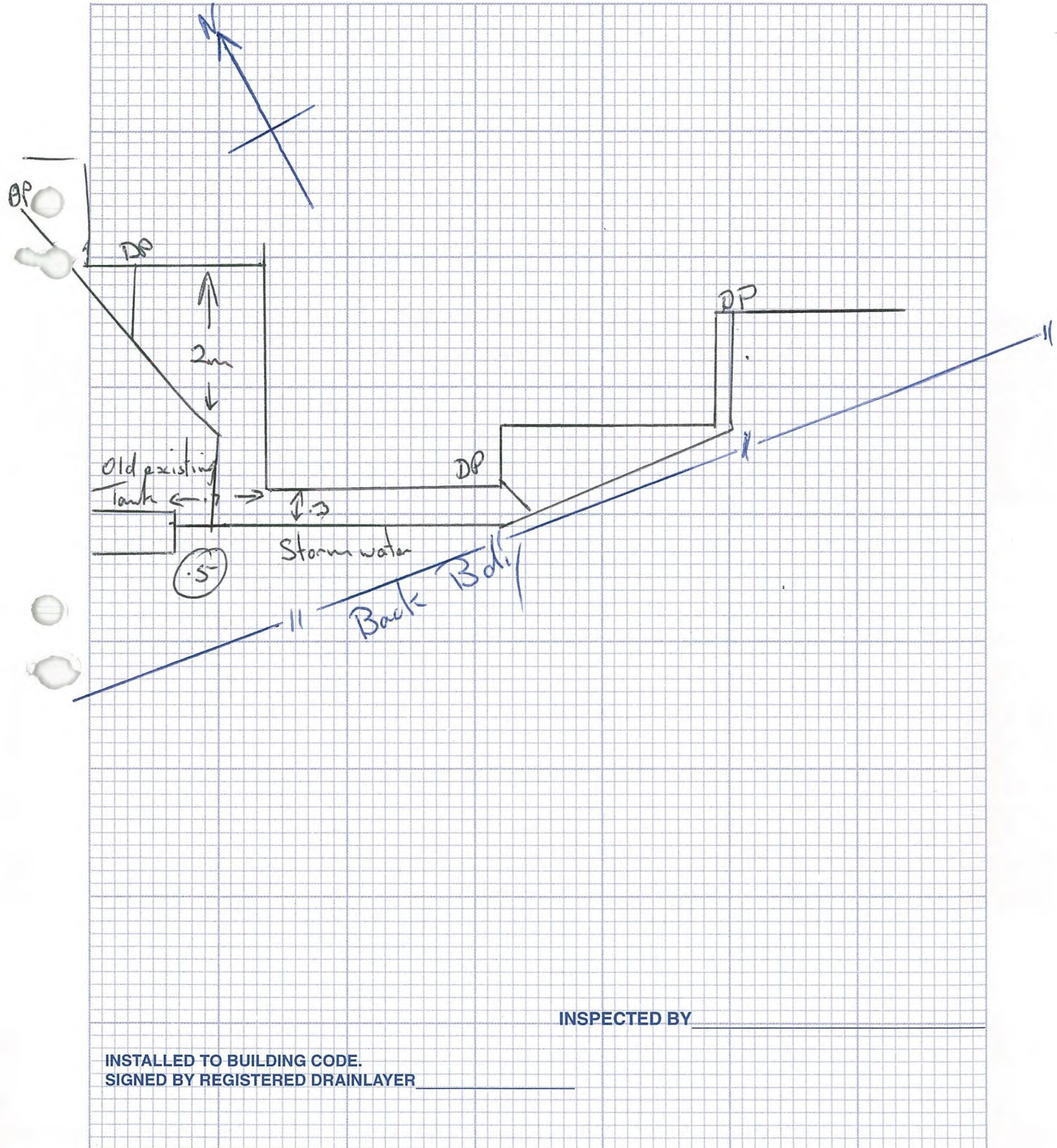
PROPERTY OWNER Hawkins

LOCATION/STREET Best Island

DATE _____

TOWNSHIP Richmond

DRAINAGE PLAN



INSPECTED BY _____

INSTALLED TO BUILDING CODE.
SIGNED BY REGISTERED DRAINLAYER _____

plan sent 13/03/02

1938093400

DRAINLAYING FIRM Drainman Hd

BUILDING CONSENT No. 011447

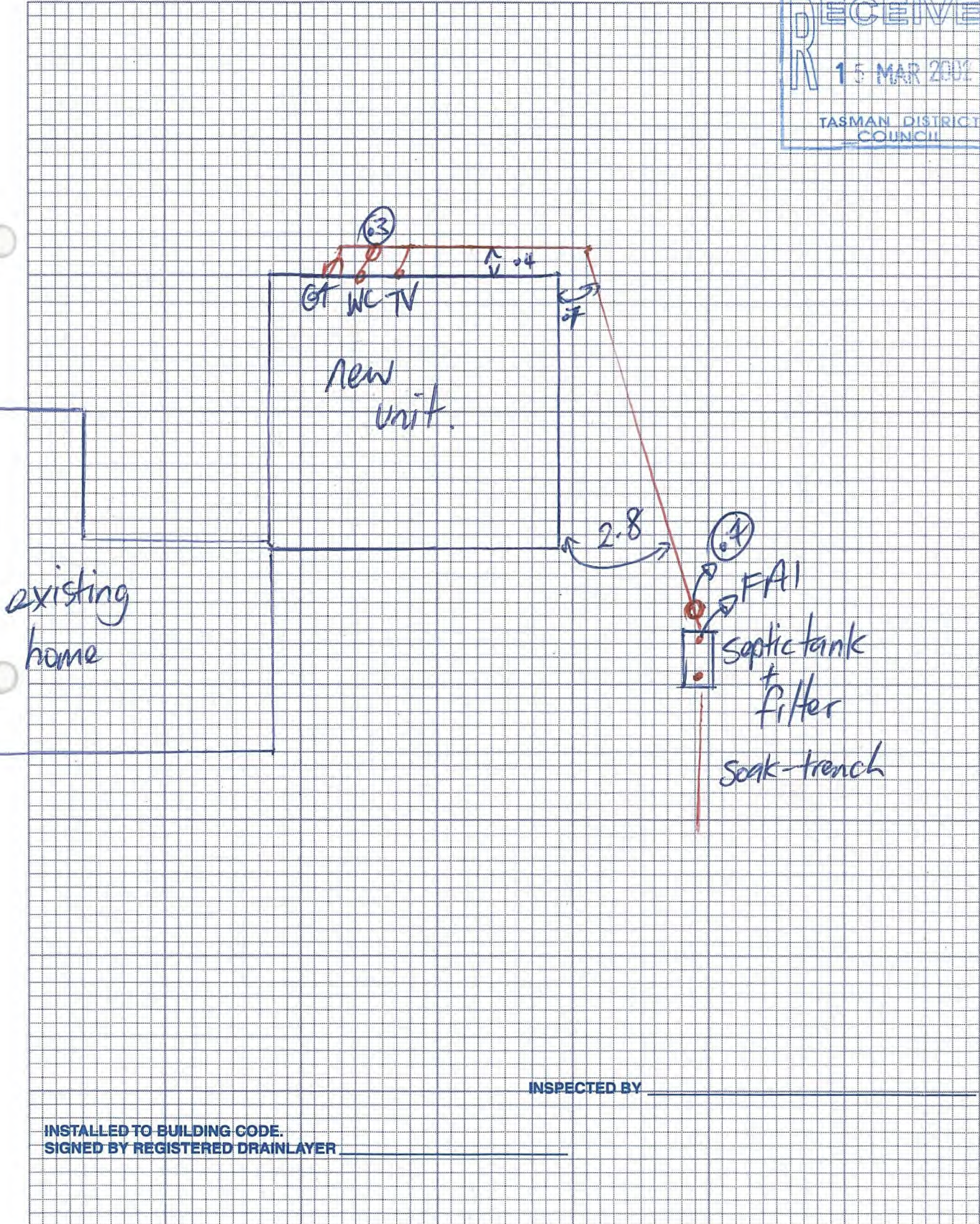
PROPERTY OWNER Chris Hawkins

LOCATION/STREET Bests Island

DATE 8-3-02

TOWNSHIP Richmond

DRAINAGE PLAN



INSPECTED BY _____

INSTALLED TO BUILDING CODE.
SIGNED BY REGISTERED DRAINLAYER _____

DRAINLAYING FIRM T Vatahan

BUILDING CONSENT No. 961906

PROPERTY OWNER C Hawkin

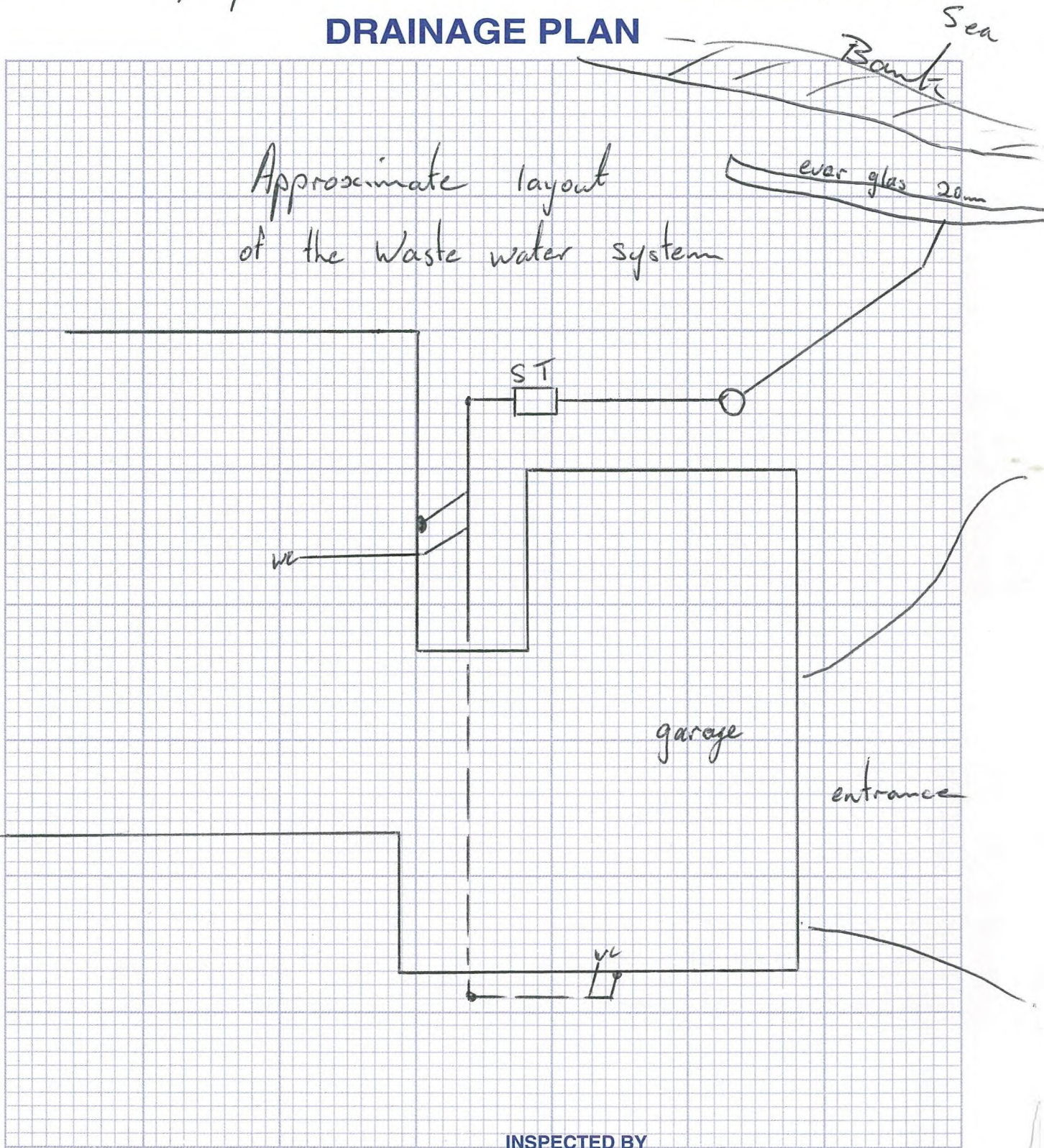
LOCATION/STREET Lot 36 DPS090

DATE 19/12/96

TOWNSHIP Best Island

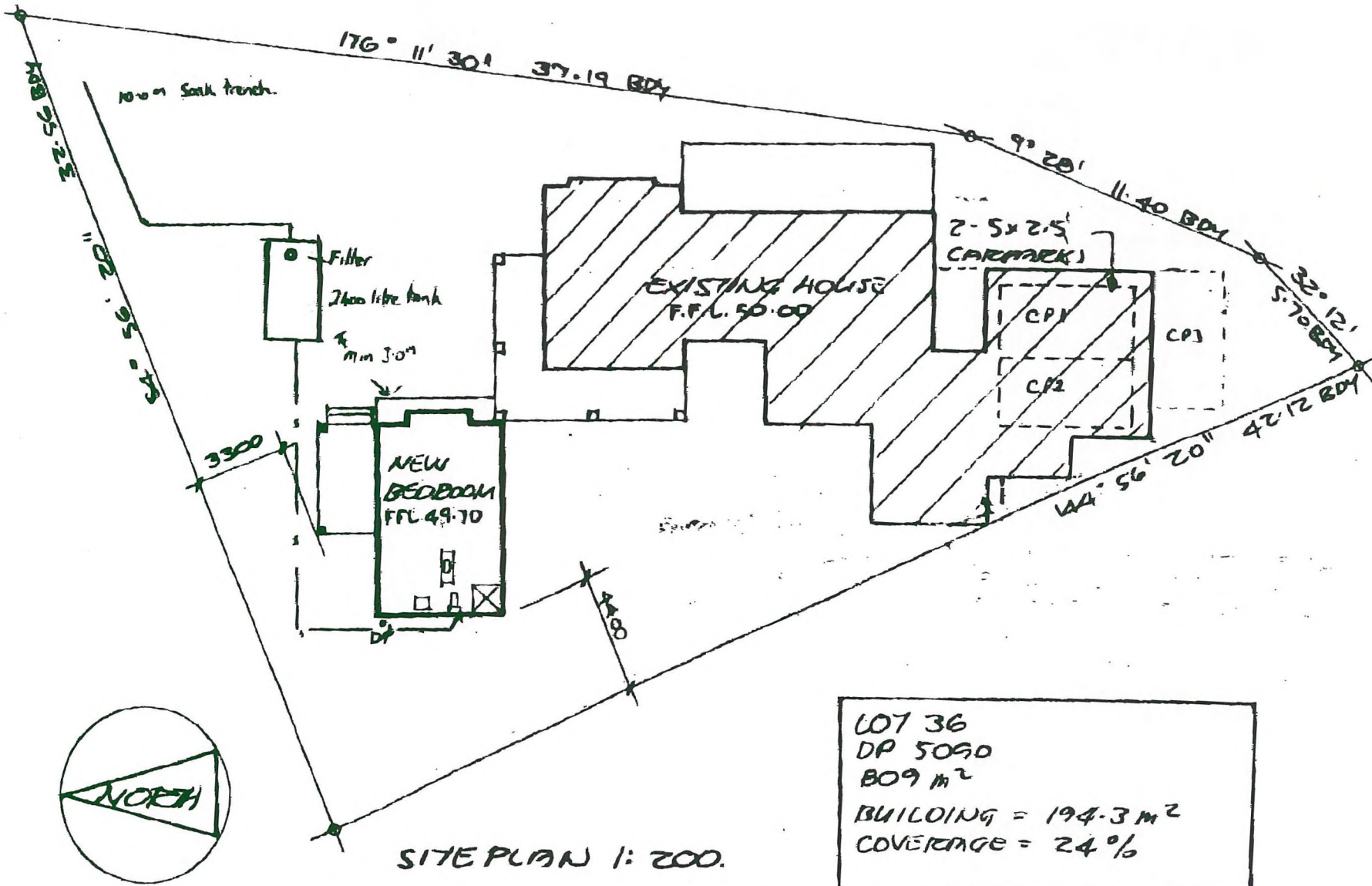
DRAINAGE PLAN

Approximate layout
of the waste water system



INSPECTED BY _____

INSTALLED TO BUILDING CODE.
SIGNED BY REGISTERED DRAINLAYER _____



LOT 36
 DP 5090
 809 m²
 BUILDING = 194.3 m²
 COVERAGE = 24%

AMENDMENT TO DRAWS



MENZIES DESIGNS LIMITED
 ARCHITECTURAL: MECHANICAL
 DRAUGHTING AND DESIGN

PO BOX 2136
 STONE, MELBOM
 PH (03) 5390603
 FAX (03) 5390604

EXTENSIONS TO HOUSE



**Brian Parkinson
52 Atawhai Drive
Nelson**

Reg'd Drainer's

Ltd ...

Phone 03 5456910

Fax 03 5489272

Mobile 025 387 945

5-Sep

Carl Van Hoppe
TDC
Fax 5447249

Dear Carl

**RE: Chris Hawkins Lot 36 Beets Islands new unit
Separate septic tank system for unit**

SOIL TYPE = 1 Gravels and Sand (absorption Rate =35mm/day)

DWELLING = 1 Bedroom

2 people at a consumption rate of 180 litres/person/day.

TANK SIZE (180litres*2 people*2.5days =900Ltrs)= 2400ltr Tank

Goulds GT1500 Filter improved effluent treatment before soak trench.

TRENCH AREA (180*2/(35*1) = 10metres, Laser lined 1 metre wide

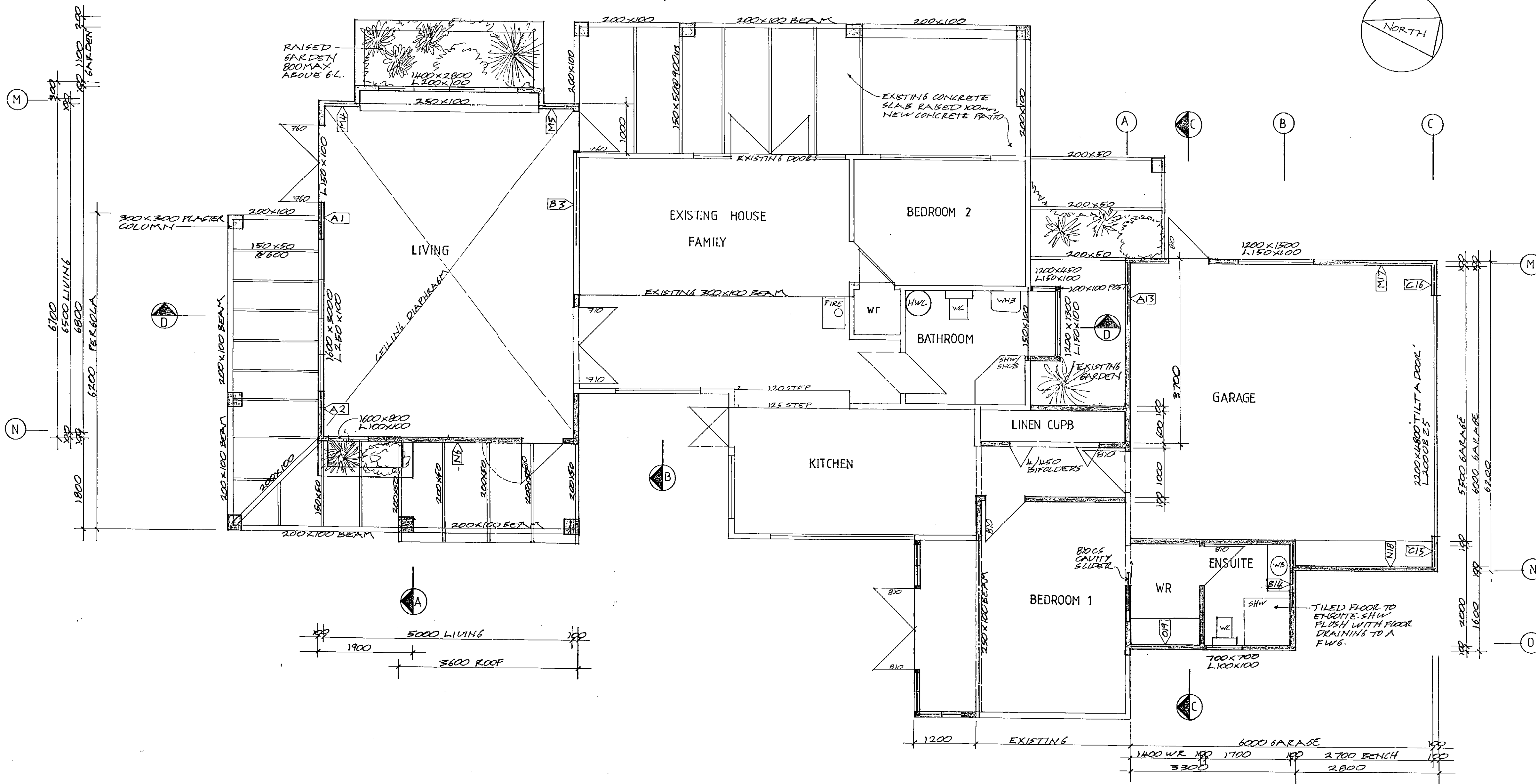
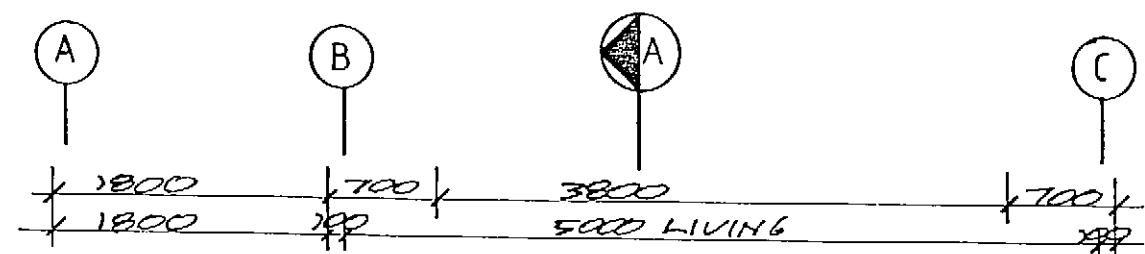
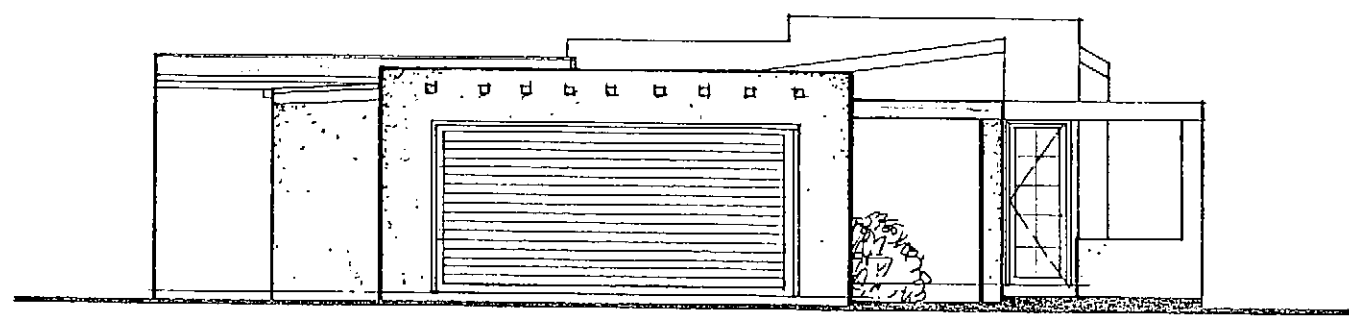
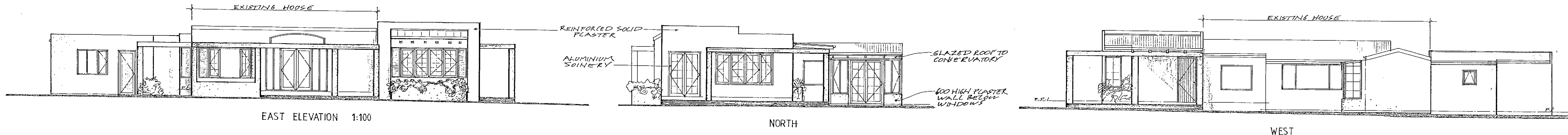
**TRENCH DESIGN = 1 X 15 metre trenches 1 metre wide nova flow
and filter cloth.**

There is an area available for future soak trenches if needed.

Stormwater to soak pits.

Yours sincerely,

**Brian Parkinson
The Drainman Ltd.**



LEGEND

(A) —	BRACE LINE
—	WALL BRACE
(B3) >	BRACE NO°
1400x1200	WINDOW SIZE HTxWIDTH
1150x100	LINTEL SIZE

- NOTES**
- 1) LOCATE ALL BOUNDARIES ON SITE PRIOR TO CONSTRUCTION.
 - 2) CHECK FOUNDATION DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF PRE-NAILED FRAMES.
 - 3) CHECK DIMENSIONS OF FRAMES ON SITE PRIOR TO CONSTRUCTION OF WINDOWS & FITTINGS.
 - 4) ALL GLAZING TO COMPLY WITH NZS 4223.

FLOOR PLAN 1:50

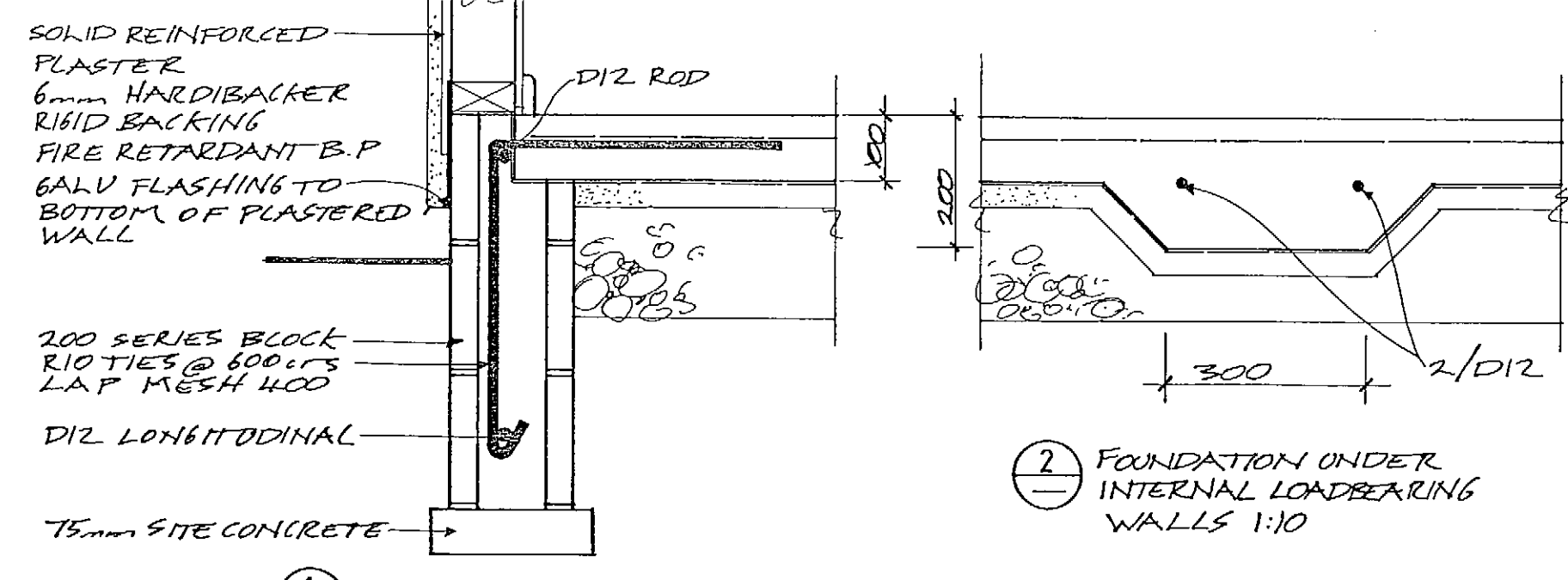
——— EXISTING WALLS
 - - - - - WALLS REMOVED
 = = = = = NEW WALLS

AMENDED, DEC 10 / 1996

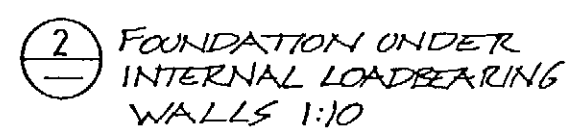
MENZIES DESIGNS LIMITED
 ARCHITECTURAL, MECHANICAL
 DRAUGHTING AND DESIGN
 2 HONEY TYE WAY
 STOKE,
 NELSON
 PH (03) 547 4018
 FAX (03) 547 4018

PROPOSED HOUSE EXTENSIONS LOT 36 BEST ISLAND FOR CHRIS & LYNNE HAWKINS

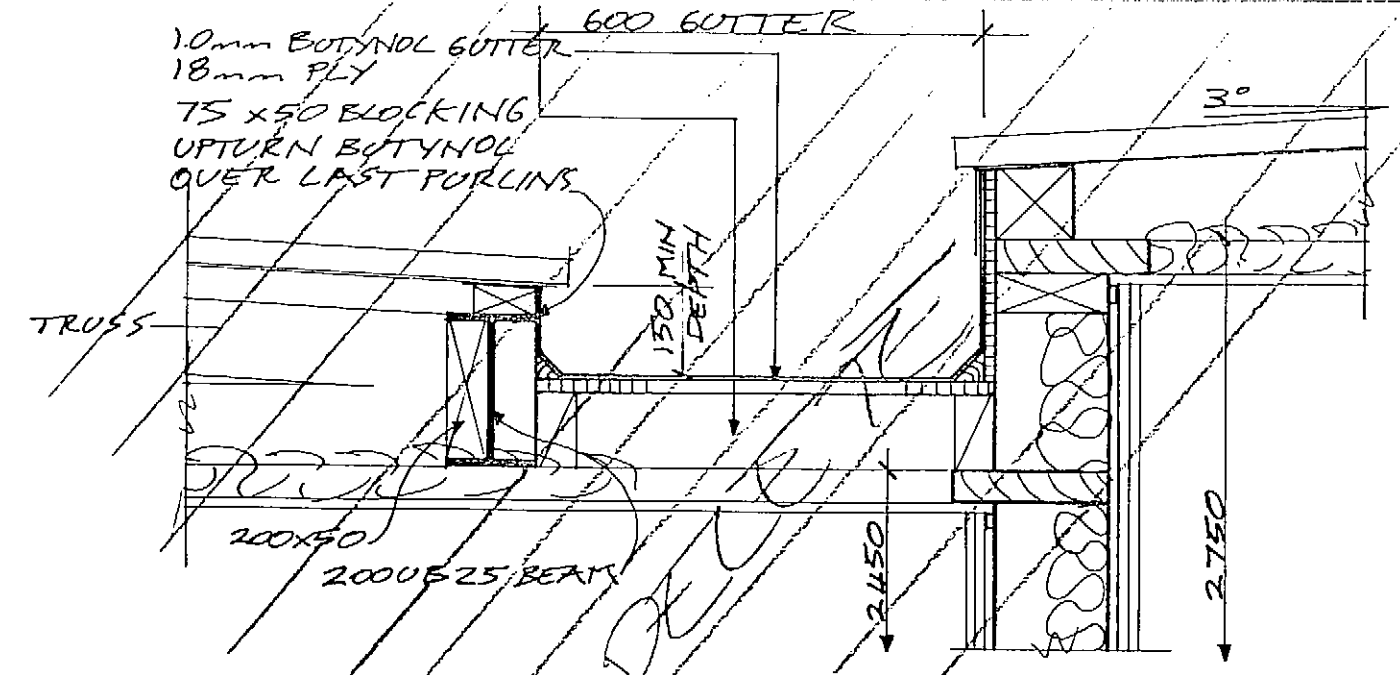
FLOOR PLAN ELEVATIONS		SHEET 1	
DRAWN T.G.	CHECKED	SCALES 1:50	SERIES OF 4
TRACED	DATE 25 OCT 96	1:100	REF A96293



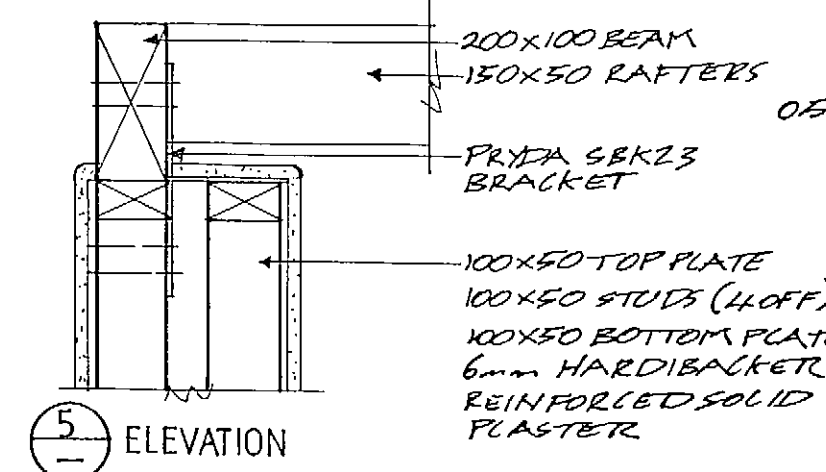
1 TYPICAL FOUNDATION DETAIL 1:10



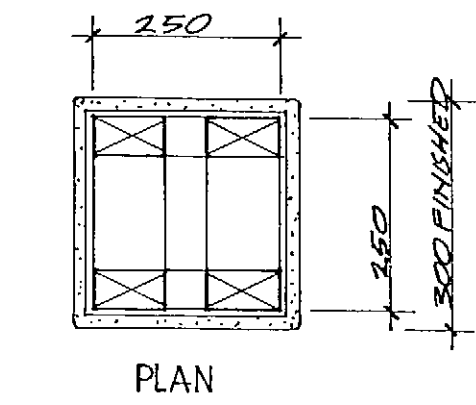
2 FOUNDATION UNDER INTERNAL LOADBEARING WALLS 1:10



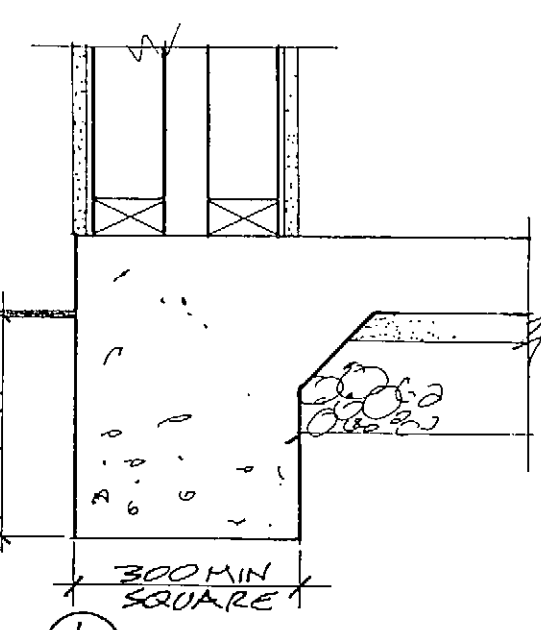
3 INTERNAL GUTTER 1:10



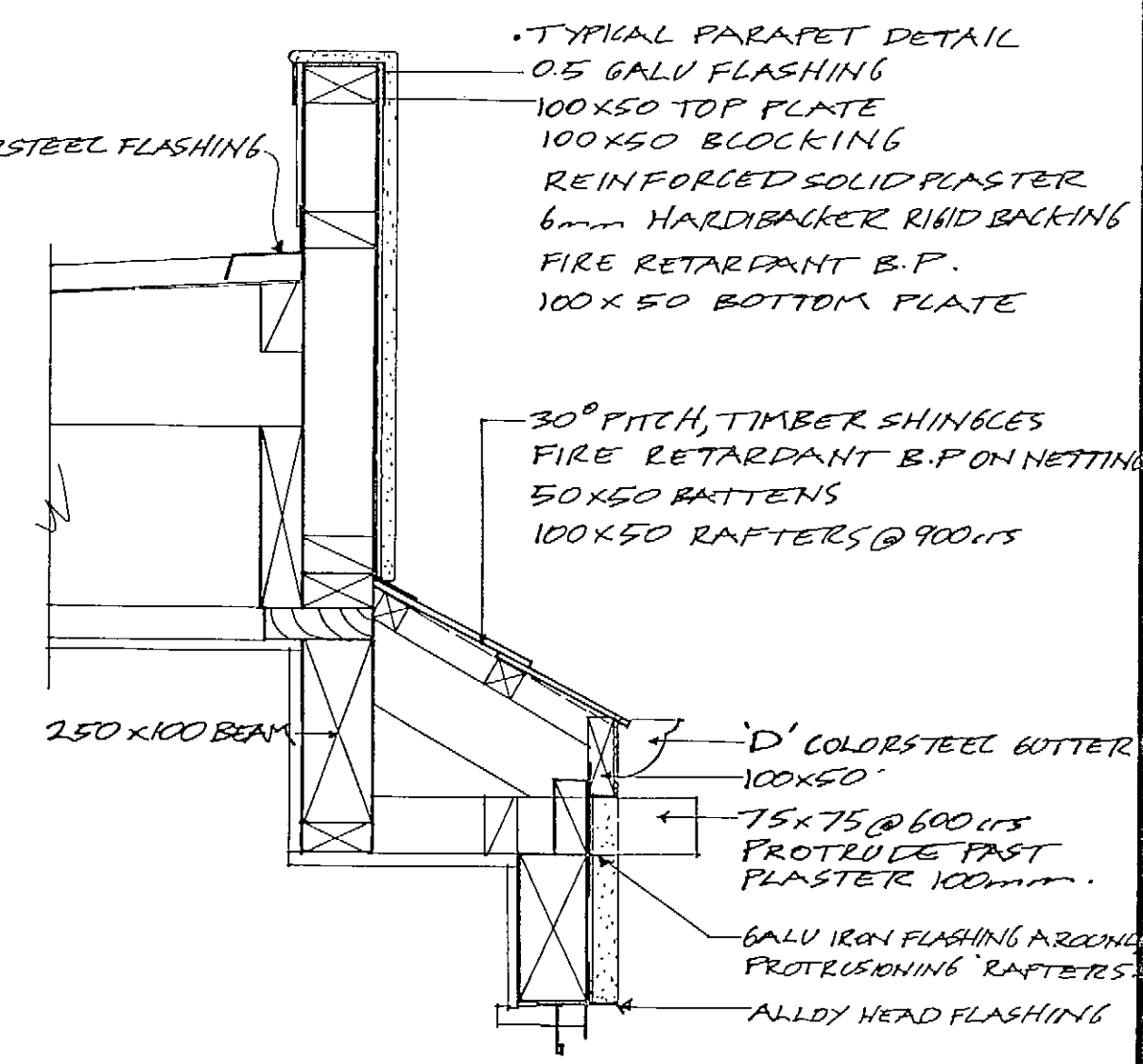
5 ELEVATION



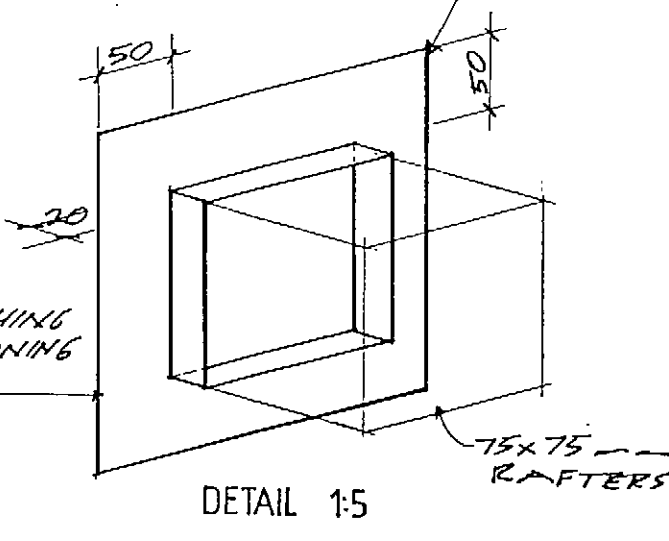
4 PLAN



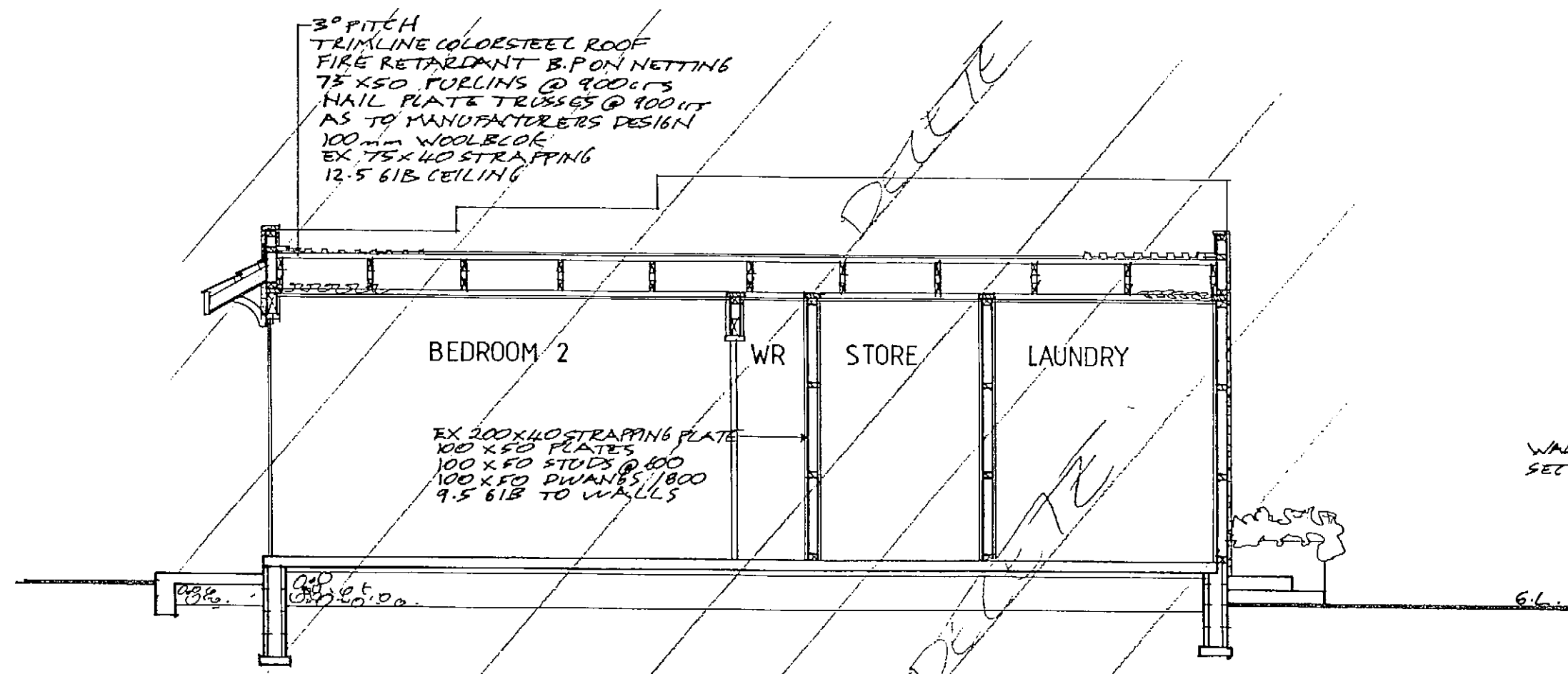
4 COLUMN FOUNDATION 1:10



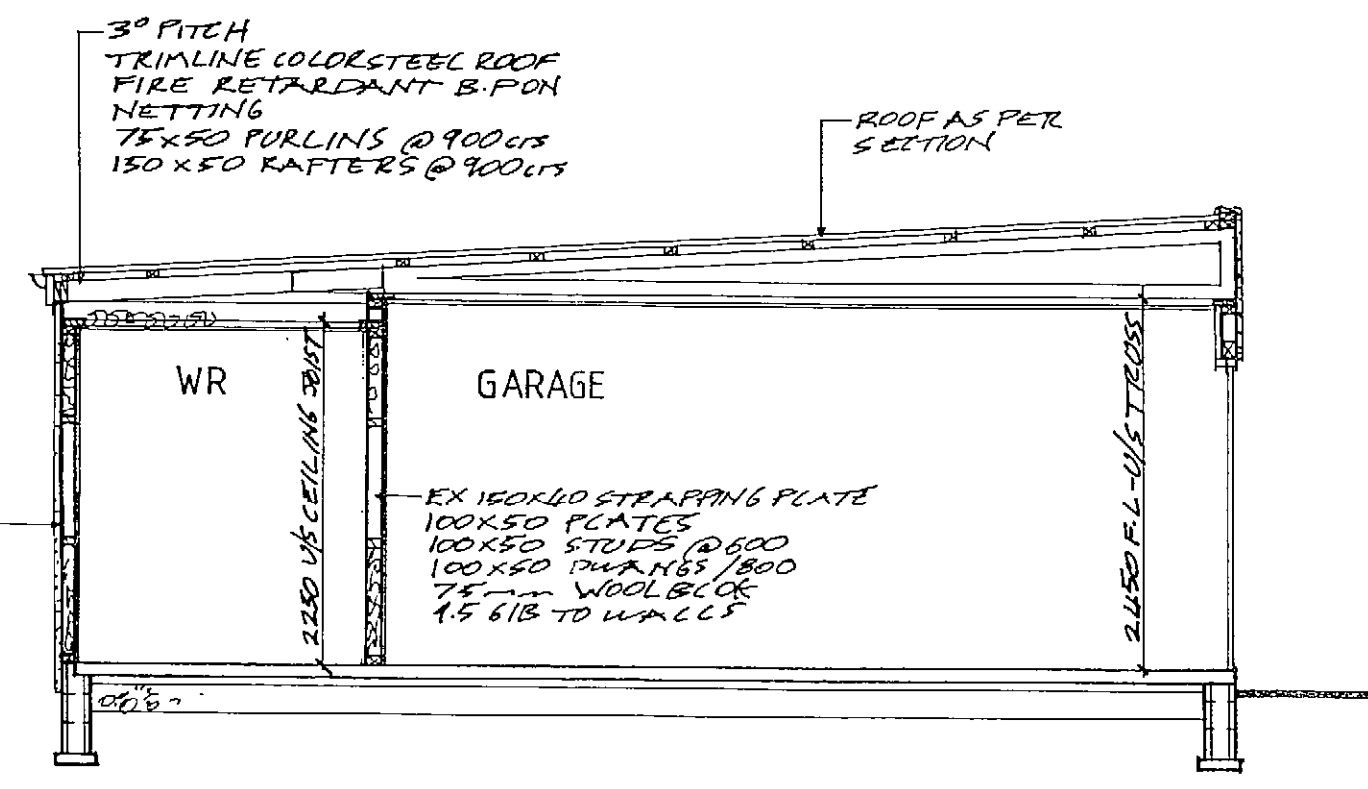
6 PARAPET/ROOF DETAIL 1:10



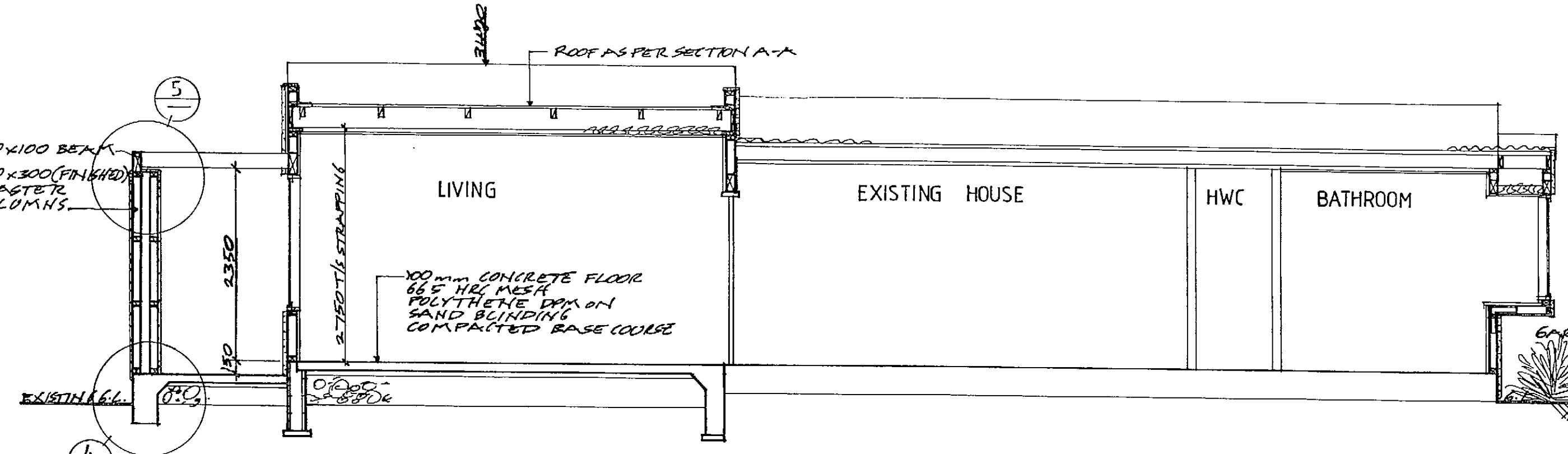
DETAIL 1:5



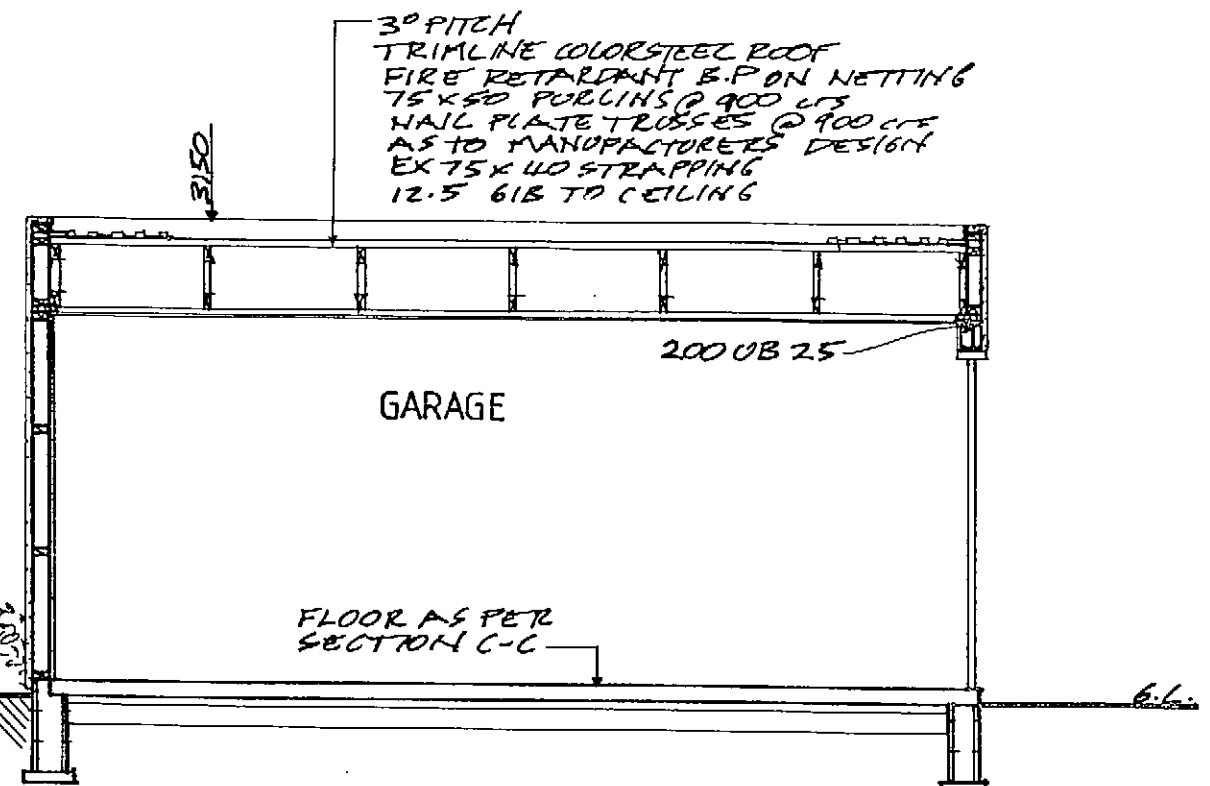
SECTION E-E 1:50



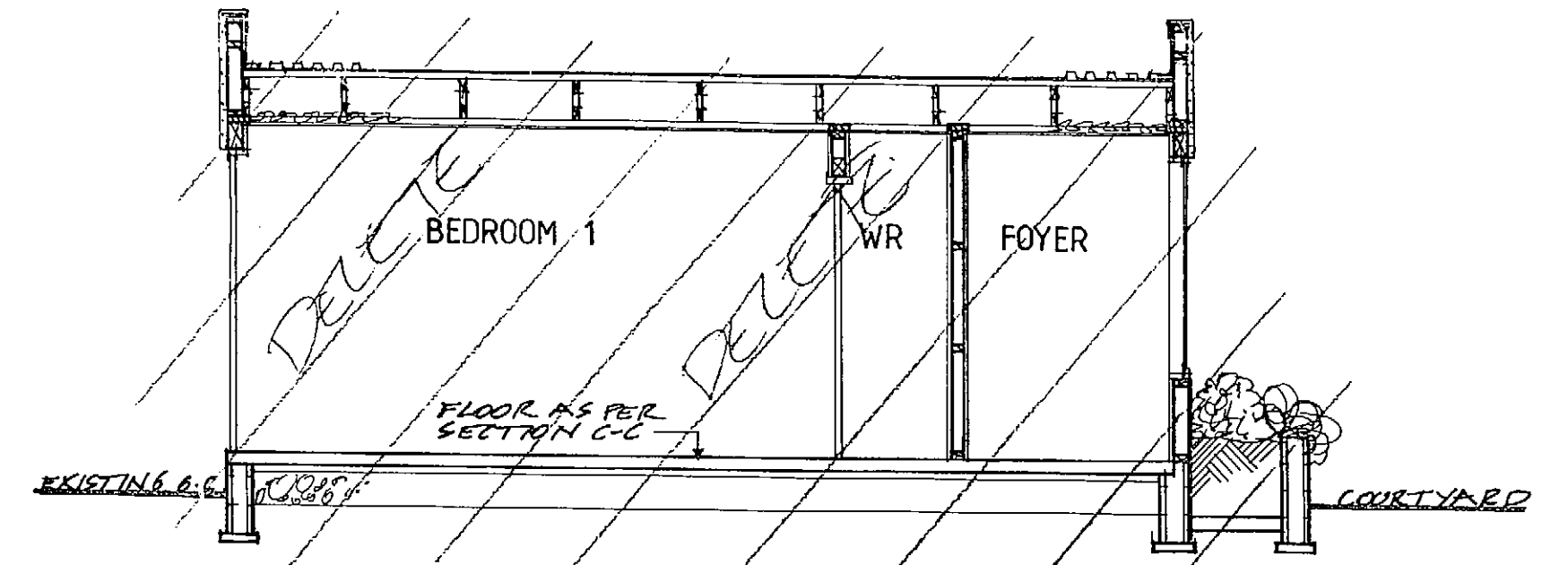
SECTION C-C 1:50



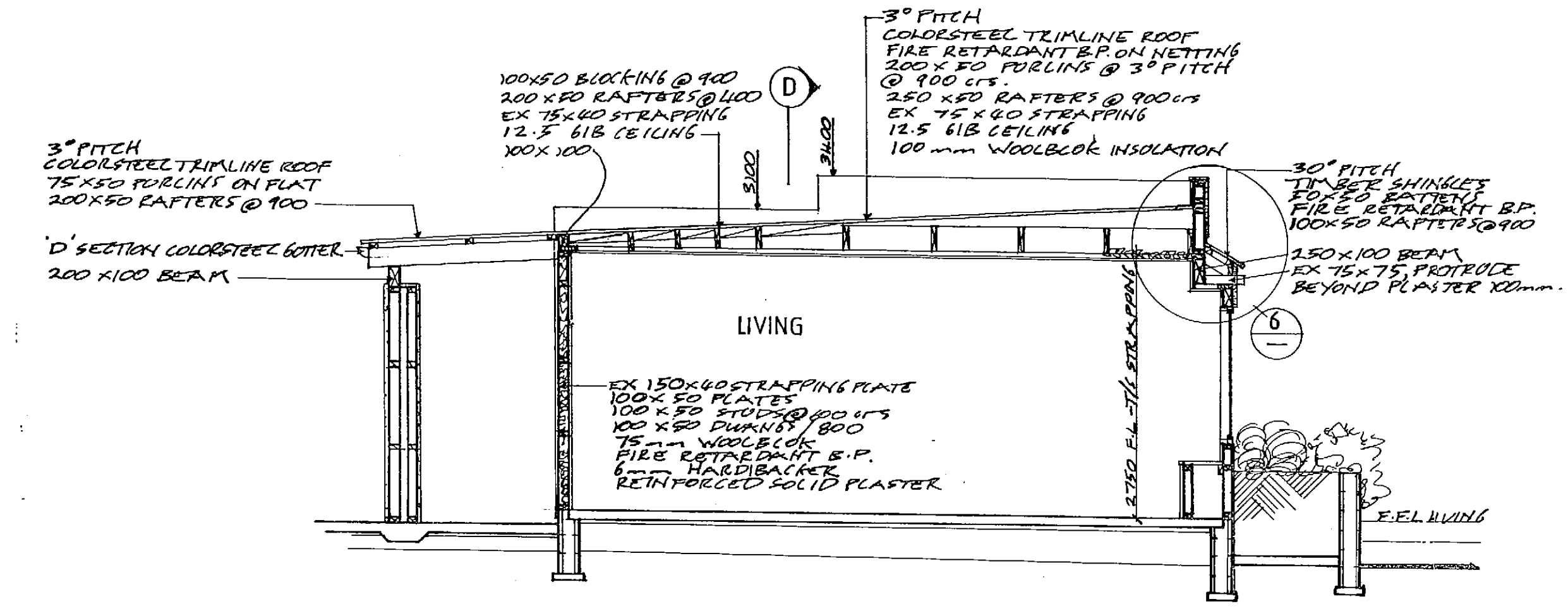
SECTION D-D 1:50



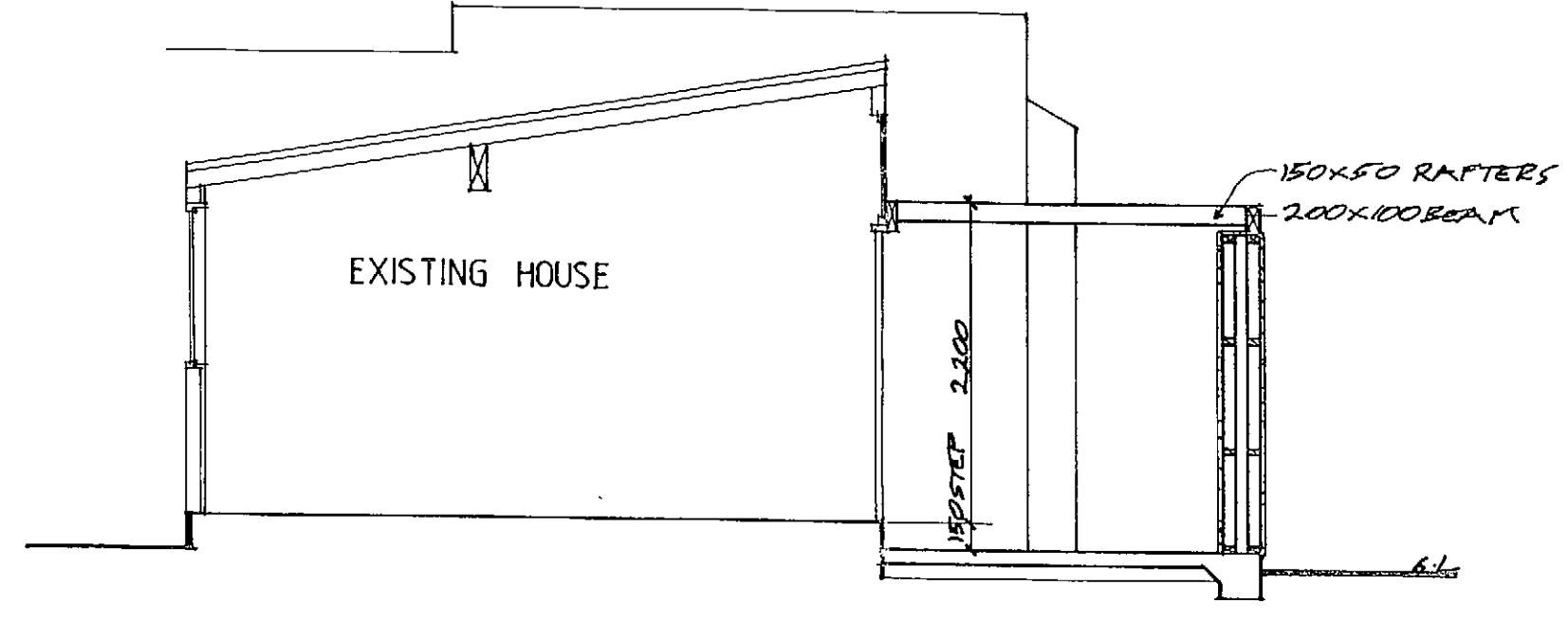
SECTION C-C 1:50



SECTION D-D 1:50



SECTION A-A 1:50



SECTION B-B 1:50

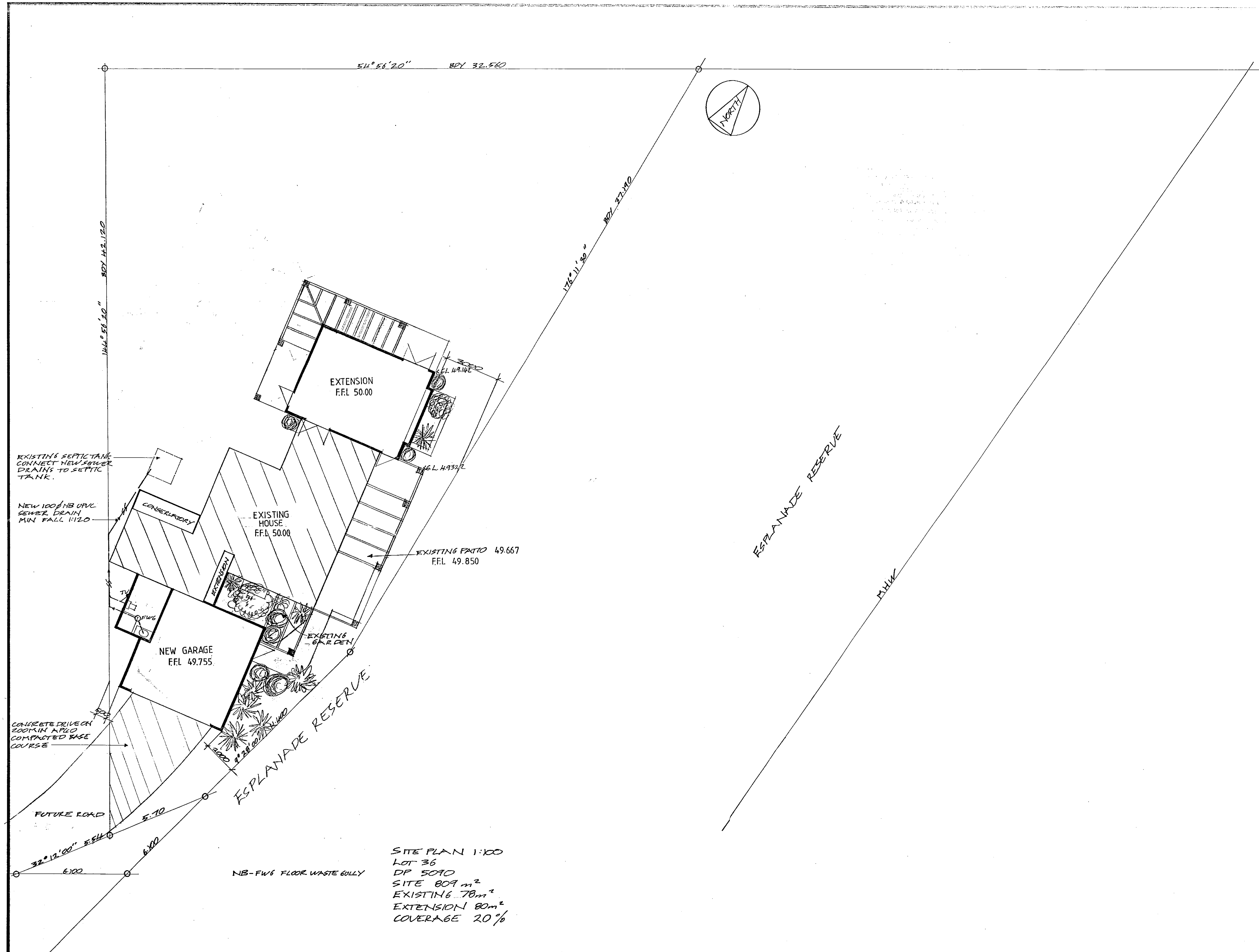
LEGEND	
(C)	SECTION THRU
(D)	HEIGHT, F.L. - TOP PARAPET FRAMING.

MENZIES DESIGNS LIMITED
 ARCHITECTURAL, MECHANICAL
 DRAUGHTING AND DESIGN
 2 HONEY TYE WAY
 STONE
 NELSON
 PH (03) 547 4018
 FAX (03) 547 4018

PROPOSED HOUSE EXTENSIONS LOT 36 BEST ISLAND FOR CHRIS & LYNNE HAWKINS

DETAILS SECTIONS		SHEET 2	
DRAWN TO...	CHECKED	SCALE 1:10	SERIES OF 4
TRACED	DATE 25 OCT 96	SCALE 1:50	REF A96293

AMENDED 10 DEC '96



SITE PLAN 1:100
 LOT 36
 DP 5010
 SITE 809 m²
 EXISTING 78 m²
 EXTENSION 80 m²
 COVERAGE 20%

MENZIES DESIGNS LIMITED
 ARCHITECTURAL, MECHANICAL
 DRAUGHTING AND DESIGN

2 HONEY TYE WAY
 STOKES,
 NELSON
 PH (03) 547 4018
 FAX (03) 547 4018

**MENZIES
 DESIGNS**

PROPOSED EXTENSIONS FOR CHRIS & LYNNE HAWKINS BEST ISLAND

AMENDED 10 DEC 96

SITE PLAN		SHEET 4	
DRAWN J.Q.	CHECKED	SCALES 1:100	SERIES OF 4
TRACED	DATE 25 OCT 96		REF A96293

**TASMAN DISTRICT COUNCIL
APPROVED CONSENT DOCUMENT**

THESE ARE THE PLANS / SPECIFICATIONS
REFERRED TO IN BUILDING CONSENT No. 961906

- THIS DOCUMENT MUST STAY ON JOB UNTIL COMPLETION
- GIVE 24 HOURS NOTICE before any work is covered up
- Council inspections are required BEFORE any:
concrete, masonry infill, grouting, placement, lining, cladding,
roof fixing, structural frame enclosure, trim fixing, lining stopping,
plumbing, drainlaying, covering.
- Deviations from this Document require further approval
- Consent holder is responsible and liable for any damage as a
result of this work being carried out.
- Date: 3-17-96 Building Consent No. 961906

SIGNED: [Signature]