



CHRISTCHURCH

CITY COUNCIL · YOUR PEOPLE · YOUR CITY

16 December 2004

Angus & Carolyn Tallentire
C/- Stonewood Homes Ltd
PO Box 20 278
CHRISTCHURCH

Attention: Kerri Sutton

Dear Madam

RESOURCE MANAGEMENT ACT 1991
APPLICATION FOR RESOURCE CONSENT RMA 20018728
ADDRESS: 4 Richard Seddon Drive



I refer to your application for land use consent to erect a single storey dwelling with an attached garage at 4 Richard Seddon Drive.

The Resource Management Officer Committee has considered this application on a non-notified basis pursuant to section 94 of the Resource Management Act and consent has been granted subject to one condition. A copy of the decision is enclosed for your information.

It should be emphasised that to ensure that you comply with this Resource Consent all conditions of consent must be complied with and the consent holder must continue to comply with all conditions in order that the activity remains lawfully established.

Where you have lodged an application for Building Consent for this project a copy of this Resource Consent will be forwarded to the Building Consent Team who will notify you when your Building Consent is ready for issue.

Yours faithfully

Kathryn Stapleton
Planner

AREA DEVELOPMENT TEAM - PLANNING

cc Building Consent ABA 10050565 (Steve Carrington)

**ADDITIONAL INFORMATION RELATING TO THE GRANTING OF NON-
NOTIFIED RESOURCE CONSENTS WHICH SHOULD BE READ IN CONJUNCTION
WITH THE DECISION**

YOUR RIGHTS OF OBJECTION

If you do not agree with the Council's decision on this non-notified resource consent, any of its conditions, or any additional fees that have been charged, you may, pursuant to Section 357(2) of the Resource Management Act 1991, lodge an objection with the Council. The notice of objection must be received by the Council within 15 working days of receipt of this decision.

COMMENCEMENT OF CONSENT

The commencement date for your resource consent is the date of this letter advising you of the Council's decision, unless you lodge an objection against the decision. The commencement date will then be the date on which the decision on the objection is determined.

MONITORING

Where appropriate, the Council monitors resource consents to ensure the conditions are complied with and that the development proceeds in accordance with plans and details which were submitted with the application. The costs incurred in carrying out any monitoring, where required, will be charged to the consent holder.

LAPSING OF THIS CONSENT

Resource consents are granted to authorise an activity until the expiry date specified on the consent. **This consent will lapse five years after the date of its commencement**, unless on receipt of a further application under Section 125 of the Resource Management Act, the Council extends this 5 year period.

Any development authorised by a resource consent must be completed within the 5 year period in order that it is lawfully established. Any proposal that is not fully implemented and completed within 5 years will require either a new resource consent or an extension of time.

Applications for an extension of the duration of a consent are required to meet a number of criteria contained in Section 125 of the Resource Management Act before the Council can extend the duration of any consent.



CHRISTCHURCH
CITY COUNCIL · ENVIRONMENT

Resource Management Act 1991

Report determining whether an application for Resource Consent should be processed as publicly notified, limited notified or non-notified

Consent Number: RMA 20018728
Applicant: Angus & Carolyn Tallentire
Site address: 4 Richard Seddon Drive
Legal Description: Lot 55 DP 335019
Description of Application: To erect a single storey dwelling with an attached garage.

Introduction

This application seeks to erect a single storey dwelling with an attached garage on an undeveloped lot at 4 Richard Seddon Drive.

Planning framework

The site is zoned Living 1 under the Proposed City Plan and the proposal is to be assessed as a restricted discretionary activity. The Plan anticipates this zone will provide for low density residential development subject to compliance with the relevant bulk and location standards.

All references (appeals) to the Proposed City Plan rules applicable to this application have been resolved. Section 19 of the Resource Management Act therefore applies and these rules can be treated as operative. No assessment of this application is therefore required under the Transitional District Plan.

This proposal fails to comply with the following provisions of the Proposed City Plan:

- *Rule 2-2.2.6(e) Separation from neighbours* – Where a window of a living area of a residential unit faces an internal boundary, the window shall be set back a minimum of 3m from the internal boundary.
The proposed dining room window is located 2.585m from the northern boundary.

The existing environment

The application site is a front site located at 4 Richard Seddon Drive. The surrounding area is characterised by low density residential development and vacant residential lots.

Has the applicant requested that the application be publicly notified? [Section 94C (1)]

No

Pursuant to Section 93, will any adverse effects of the activity on the environment for which consent is sought be minor?

I consider that the actual and potential effects of the proposal on the environment are minor as the impact of the non-compliance is not great in the context of the wider environmental results anticipated in the zone.

The issue of non-compliance, being minimum living window setback, has primarily localised effects as the discussion of the issues below demonstrates. The proposal may have an impact, in terms of privacy which is greater than that provided for by the planning documents. The hierarchy of processing options under the Resource Management Act (as amended 1 August 2003) enables localised effects on specific persons to be considered on their merits as part of a limited notification or non-notified process under section 94 of the Act. This enables

participation in the planning process by those who might be affected by an application for resource consent at a level that recognises the strategic planning significance of the issue.

Privacy

The proposed dining room window is located 2.585m from the northern boundary which falls short of the permitted standard of 3m. This has the potential to adversely affect both the applicant and the adjoining neighbours to the north, by reducing privacy to both sites. I consider that the extent of the non-compliance is small, being 415mm. It is likely that a 1.8m high fence will be constructed along the boundary which will provide some screening between the two sites. In addition there is ample opportunity for future tree and garden planting between the dwelling and boundary which will increase the feeling of privacy to both sites. For the reasons discussed above, I consider that any adverse effects of the proposal will be no more than minor.

Notwithstanding the above, do any special circumstances exist in relation to this application which would lead you to conclude that the application should be notified? If the answer is yes, why? [Section 94C (2)]

No

Recommendation: That the application **need not be publicly notified** in accordance with Section 93 of the Resource Management Act 1991.

Who may be considered to be adversely affected by the granting of this application? Identify the properties on the attached plan. [Section 94B]

The adjoining site to the north, 2 Richard Seddon Drive, is considered to be adversely affected by the granting of this consent.

Has the written approval of every person who may be considered to be adversely affected by the granting of the resource consent been obtained? [Section 94B (3)]

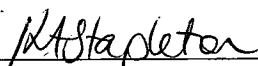
Yes

If the answer to the above question is no, has a Hearings Panel determined that it is unreasonable in the circumstances to require the obtaining of every such approval? [Section 94B (3)(c)]

N/A

Recommendation: That the application be processed on a **non-notified** basis in accordance with Section 94 of the Resource Management Act 1991.

Reported and Recommended by:


Kathryn Stapleton, Planner

Date:

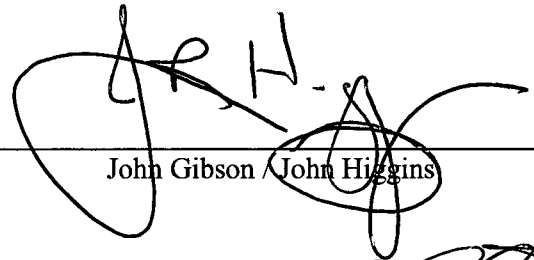
15.12.04

Decision: That the above recommendations be adopted.

3.

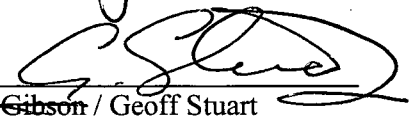
Planning Administration Manager / Senior Planner:





John Gibson / John Higgins

Planning Administration Manager / Area Development Officer:



John Gibson / Geoff Stuart

Date: 16/12/04



✓ = affected parties consents obtained



**Section 104 / 104C
Resource Management Act 1991**

**Report on Non-Notified
Resource Consent Application**

Consent Number:	RMA 20018728
Applicant:	Angus & Carolyn Tallentire
Site address:	4 Richard Seddon Drive
Legal Description:	Lot 55 DP 335019
Proposed City Plan zoning:	Living 1
Type of Activity:	Restricted Discretionary Activity
Description of Application:	To erect a single storey dwelling with an attached garage.
Reasons for Application:	The proposal contravenes rules relating to minimum living window setback.

Introduction

This application seeks to erect a single storey dwelling with an attached garage on an undeveloped lot at 4 Richard Seddon Drive.

Planning framework

The site is zoned Living 1 under the Proposed City Plan and the proposal is to be assessed as a restricted discretionary activity. The Plan anticipates this zone will provide for low density residential development subject to compliance with the relevant bulk and location standards.

All references (appeals) to the Proposed City Plan rules applicable to this application have been resolved. Section 19 of the Resource Management Act therefore applies and these rules can be treated as operative. No assessment of this application is therefore required under the Transitional District Plan.

This proposal fails to comply with the following provisions of the Proposed City Plan:

- *Rule 2-2.2.6(e) Separation from neighbours* – Where a window of a living area of a residential unit faces an internal boundary, the window shall be set back a minimum of 3m from the internal boundary.
The proposed dining room window is located 2.585m from the northern boundary.

The existing environment

The application site is a front site located at 4 Richard Seddon Drive. The surrounding area is characterised by low density residential development and vacant residential lots.

When considering an application for a resource consent the consent authority shall have regard to Section 104 (1) of the Resource Management Act 1991.

What are the actual and potential effects on the environment of allowing the activity?

I consider that the actual and potential effects of the proposal on the environment relate to privacy. These effects are discussed below.

Privacy

The proposed dining room window is located 2.585m from the northern boundary which falls short of the permitted standard of 3m. This has the potential to adversely affect both the applicant and the adjoining neighbours to the north, by reducing privacy to both sites. I consider that the extent of the non-compliance is small, being 415mm. It is likely that a 1.8m high fence will be constructed along the boundary which will provide some screening between the two sites. In addition there is ample opportunity for future tree and garden planting between the dwelling and boundary which will increase the feeling of privacy to both sites. For the reasons discussed above, I consider that any adverse effects of the proposal will be no more than minor. The applicant has obtained the written consent of the owners/occupiers of the adjoining site to the north, 2 Richard Seddon Drive. Therefore, pursuant to Section 104(3)(b) of the Act, the effects on this property cannot be taken into account.

How do any relevant objectives, policies, rules or other provisions of the Transitional or Proposed Plan relate to the proposal?

The relevant objectives and policies of the Proposed City Plan essentially seek to avoid, remedy or mitigate adverse effects on residential amenity values. In particular, the Plan seeks to ensure that the design and siting of development does not unduly compromise the outlook, privacy and views of adjoining development (Policy 11.4.3). I consider that the proposal is not contrary to the relevant objectives and policies of the Proposed City Plan.

Are there any other matters which are relevant and reasonably necessary to determine the application (including Part II matters)?

The proposal is considered to be consistent with Part II matters in that the proposal will maintain the amenity of the surrounding environment, in accordance with Section 7c, and 7f of the Resource Management Act 1991.

If the application is for a non complying activity, does it meet at least one of the provisions of Section 104D (1)?

N/A this application is for a discretionary activity.

Are there any matters that have arisen in the assessment of this application that would indicate the application should have been publicly notified.

No

Recommendation: That for the above reasons the application **be approved** pursuant to Sections 104 / 104C of the Resource Management Act 1991, subject to the following conditions:

1. The development shall proceed in accordance with the information submitted and plans lodged, and entered into Council records as RMA 20018728/1-5.

Reported and Recommended by:

Kathryn Stapleton
Kathryn Stapleton, Planner

Date: 15.12.04

DECISION: That the above recommendation be adopted.

Planning Administration Manager / Senior Planner:

John Gibson / John Higgins

6.

Planning Administration Manager / Area Development Officer:



John Gibson / Geoff Stuart

Date: 16/12/2004



RESOURCE MANAGEMENT ACT 1991 - FORM 9

Christchurch City Council

Application for Resource Consent (Land Use)

Resource Consent No.

20018728

This form is to be used for an application as required under Section 88 of the Resource Management Act 1991 and must be accompanied by the fee listed on the reverse, together with plans and other supporting information.

RECEIVED - 2 DEC 2004 SOCKBURN SERVICE CENTRE

I/We Angus & Carolyn Talbot (313 1853) Talbot (313 1852) (full name of applicant)

(Note: The applicant is responsible to the Council for all costs associated with this application).

apply for a land use consent for the activity described over the page.

The names and addresses of any owner and occupier (other than the applicant) of the land to which the application relates are as follows:

401/ 122

The location of the proposed activity is as follows:

Lot 55, Woodbank Estate, Christchurch (872879)

Have you applied for, or are you required to apply for, any other resource consents for this project, either from the Christchurch City Council or Environment Canterbury, and if so, what type?

Table with columns: Authority (Christchurch City Council, Environment Canterbury), Consent Type (Subdivision Consent, Other Land Use Consent, Water Permit, Discharge Permit, Coastal Permit), and Has been applied for (checkboxes).

CHRISTCHURCH CITY COUNCIL Resource Consent RMA 20018728/1 APPROVED PLANS Signed Date 16.12.04

Have you applied for a Project Information Memorandum (PIM) or a building consent for this project? If so, what is the project number?

Postal address of applicant: [grid]

A & C Talbot 126a Waimata Rd. Christchurch

Telephone: 351 5611 Facsimile: E-mail:

Representative and address for service (if different): StoneWood Homes Ltd P.O. Box 20274 Hoerby Christchurch

Telephone: 349 0010 Facsimile: 349 9039 E-mail:

Signature of applicant or person authorised to sign on behalf of applicant

Date 24/11/04

For Office Use Only: Received in the Planning Office on 21.12.04 Deposit paid \$375.00 Receipt No AP1309 Person ID Property ID

Accepted Methods of Payment: CASH - EFTPOS - CHEQUE

Please turn page

Describe what is proposed to be carried out on the site, including a list of the ways it does not comply with the Transitional District Plan and the Proposed City Plan (use additional pages if necessary)

MR & MRS TARRANT WISH TO ERRECT A BUILDING (PRIVATE DWELLING) THAT FAILS TO STAY WITHIN THE RECESSION PLANE ON ITS SOUTHERN BOUNDARY. THEIR DINING ROOM WINDOW FAILS TO BE WITHIN THE REQUIRED SETBACK OF 3M, THERE IS 2.625.

Assessment of any effects on the environment in accordance with the Fourth Schedule of the Resource Management Act 1991. **This Section MUST be completed to a level of detail that corresponds with the scale and significance of the effects that the proposed activity may have on the environment.**

RECESSION PLANE ~

~~THE TARRANTS INTENTION OF THE PLANNING REGULATION IS MINIMAL. THE INTERUSION IS ONLY TOWARDS THE NEIGHBOURS AFFECTED BY THE NON COMPLIANCE HAS SIGNED THE AFFECTED PARTIES FORM WITHOUT ISSUE AT ALL WITH THE PROPOSED PLAN.~~

Dining within 3m ~

THE HOUSE HAS BEEN PLANNED TO BE ON A NARROW SITE WITH AS MUCH ROOM AS POSSIBLE FOR OUTDOOR LIVING AREAS. THE DINING ROOM HAS BEEN CREEPED TOWARDS THE FAMILY AREA & COVERED SO LOSS OF PRIVACY TO NEIGHBOURING SITE WOULD BE MINIMAL. OVERTIME PLANTING/LANDSCAPING WILL SOFTEN ANY VISUAL IMPACT. ALL AFFECTED PARTIES HAVE SIGNED THEIR CONSENT WITHOUT ISSUE.

Please turn page →

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NOTES FOR THE APPLICANT

- 1. All applicants are asked to check the accuracy of the information supplied. Inaccuracies in information supplied can cause difficulties at a later date, such as additional costs, delays and legal proceedings initiated by the Council and/or by other persons.
- 2. If resource consent is granted the applicant has a legal obligation to comply with any conditions of the consent.
- 3. The required deposit must be paid before processing of any application will start.
- 4. A further account will be **sent to the applicant** when the processing of this application has been completed if the cost of processing it exceeds the deposit paid. If you are an agent for the owner and do not wish to be legally liable for additional fees then you should ask the **owner** to sign the application form.
- 5. Dependent on the nature of the proposal other consents/licences may also be requested under such legislation as the Health Act 1956 and the Sale of Liquor Act 1989.
- 6. This application for resource consent under the Resource Management Act 1991 is in addition to any building consent application required under the Building Act 1991.
- 7. The written approval of persons the Council considers may be adversely affected by the proposal may be required as part of the application, if it is to be processed on a non-notified basis. This will be determined after the application has been lodged and assessed, and a site visit carried out.
- 8. Consultation with neighbours and other affected persons is at the discretion of and responsibility of the applicant.
- 9. When this application is lodged with the Christchurch City Council, it becomes public information and is available for public inspection. If there is commercially sensitive information in the proposal, please let us know.
- 10.
- 11. If your application is incomplete, or if additional information is required, you will be advised and processing of the application will be suspended until the information is received. To avoid delay and cost it is in your best interests to submit a complete application.

FEES (APPLICABLE FROM 1 JULY 2004)

All fees are the minimum required and include GST. The processing of applications will not begin until payment has been made.

1. Non Notified Resource Consents – Initial Deposit

- For non-notified applications relating to controlled activities or non-compliance with a development standard only\$375
- For non-notified applications involving rules relating to landscaping, street scene or external appearance (includes one monitoring inspection)\$450
- For other non-notified applications\$675
- Consultants preparing reports on non-notified applications \$130 plus consultant's fee

2. For Any Application Lodged Under The Following Sections which do not require public notification:

- S 10 (2) Extension of existing use rights)
- S 125/126 Extension of time for consent which has lapsed)
- S 127 Application to change or cancel any condition)
- S 139 Certificate of Compliance) Initial Deposit \$375
- S 181 Application for alteration to a designation)
- S 184 Extension of time for designations)
- S 176A Application for outline plan)

3. Additional Fees (for which an account will be sent)

When the time taken to process an application referred to in 1 or 2 above exceeds 4 hours (or 7.5 hours for \$675 applications), the additional time taken will be charged at an hourly rate determined by $\frac{\text{Officer's remuneration} \times 2}{1267.5 \text{ hours}} + \text{GST}$

Where a Commissioner is required to make a decision on an application referred to in 1 or 2 above Actual cost

4. For Any Limited Notification Application or Any Application Required To Be Publicly Notified

(including any requirement for a Designation or Heritage Order and requests for Plan Changes).

Minimum Fee (Initial Deposit): Limited Notification \$1500 Publicly Notified \$3000

Plus

If a pre hearing meeting (Section 99) is held \$100 administration fee
plus \$125 per hour of meeting time

Cost of Councillors/Community Board Members attending hearing

- hearing time up to 3 hours\$293
- hearing time more than 3 hours\$580 per day

Cost of Commissioners attending hearing and when appropriate, preparing a decision Actual cost

Cost of preparing the officer reports and the cost of officers attending the hearing hourly rate determined by $\frac{\text{Officer's remuneration} \times 2}{1267.5 \text{ hours}} + \text{GST}$

Administration Costs Actual costs less initial deposit

If a rural consultant's report is obtained by the Council Actual cost

If more than 10 persons are required to be notified of an application \$5 per additional person

If more than 10 persons are required to be sent copy of officer report \$5 per additional person

If more than 10 persons are required to be notified of a decision \$5 per additional person

5. Preparation and registration of bond or covenant under Section 108\$350

6. Cancellation of bond or covenant under Section 108\$150

7. Monitoring of Resource Consents

If monitoring of resource consent is required (imposed as condition of a resource consent)

- Single inspection\$75
- Two site inspections\$112.50
- Additional monitoring \$60 per hour

PRIVACY ACT 1993

The personal information requested on this form is being collected by the Environmental Services Unit of the Christchurch City Council so that we can process the Resource Consent application referred to. This information is required by the Resource Management Act 1991.

This information will be held by the Council. You may ask to check and correct any of this personal information if you wish. The personal information collected will not be shared with any Units of the Council not involved in processing the application. However under the Official Information and Meetings Act 1987 this information may be made available on request to parties within and outside the Council.



RESOURCE MANAGEMENT ACT 1991

Notice of Written Approval by a Person Affected by an Application for Resource Consent

Resource Consent No.

You should sign this form only if you support or have no opposition to the approval of the Resource Consent application referred to. If you do not understand this process please seek advice immediately as signing this form has implications for the way the application for resource consent will be processed.

I/We Barry Allen Keenan and Gerard Patrick Richardson being the [] owner(s) and occupier(s) [] owner(s) [] occupier(s)

of the property situated at Lot 56 DP 314418 Richard Seddon Drive, Woodbank Estate

have read and understood the information on the reverse side of this page and give my/our approval to the proposal by: Angus Wilson & Carolyn Ruth TALKINER

to erect a private dwelling which has a living room window within 3m set back and revised plans which have resolved recession plane intrusion

on the following property Lot 55 DP 355019 Richard Seddon Drive, Woodbank Estate

as outlined in the application submitted and on the associated plans which have been signed by me/us. I/we understand that as I/we have given our approval, the Council shall not take into account any effects the proposed activity may have on me/us when considering the application.

Signed: B.A. Keenan X Signed: [Signature] X Date: 09.12.04 X Date: 10/12/04 Daytime telephone no: 029 786 853 Barry Allen Keenan Gerard Patrick Richardson

If you have any queries regarding the Resource Consent process or the role and rights of adversely affected person(s), please contact a planner in the Environmental Services Customer Centre, telephone 371-1657 or at the Christchurch Community Law Centre, telephone 366-6870

PRIVACY ACT 1993 The personal information requested on this form is being collected by the Environmental Services Unit of the Christchurch City Council so that we can process the Resource Consent application referred to. This information is required by the Resource Management Act 1991. This information will be held by the Council. You may ask to check and correct any of this personal information if you wish. The personal information collected will not be shared with any Units of the Council not involved in processing the application. However under the Official Information and Meetings Act 1987 this information may be made available on request to parties within and outside the Council.

The purpose of this notice is to advise you that the Resource Consent has been granted. If you have any objections to the Resource Consent, you should have made them known to the Resource Consent Authority before the Resource Consent was granted. If you have any objections to the Resource Consent, you should have made them known to the Resource Consent Authority before the Resource Consent was granted.

I agree with the Resource Consent.
 I disagree with the Resource Consent.

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[Faint handwritten text]

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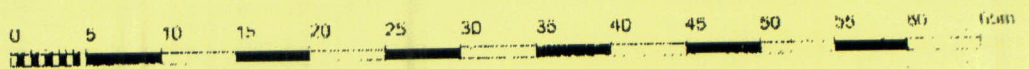
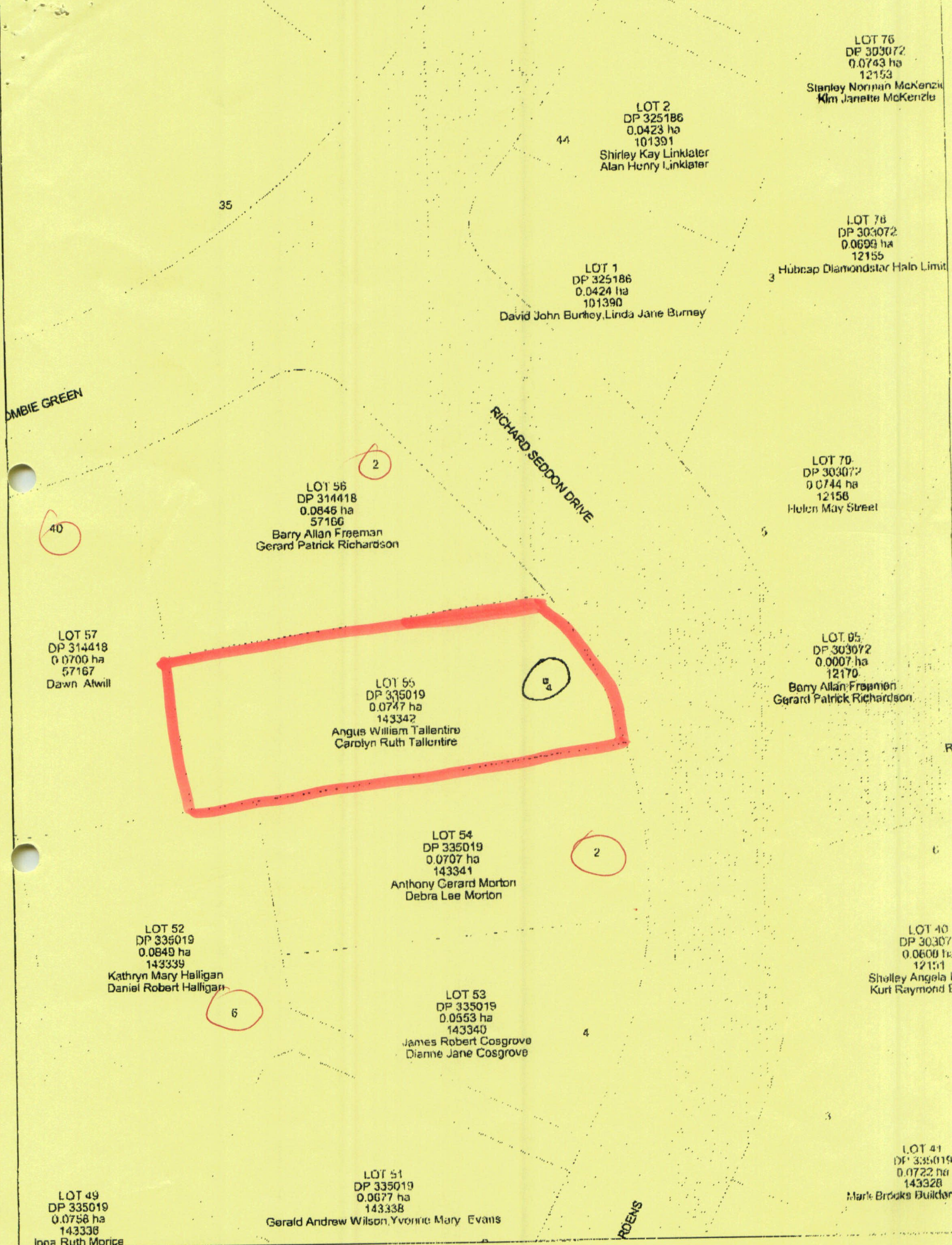
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Correct affected
parties consent
with amended
plans.



Scale 1:508

Topographical and Cadastral map derived from LINZ data.



RESOURCE MANAGEMENT ACT 1991
**Notice of Written Approval by a
 Person Affected by an Application for
 Resource Consent**

Resource
 Consent No.

You should sign this form only if you **support or have no opposition** to the approval of the Resource Consent application referred to. If you do not understand this process please seek advice immediately as signing this form has implications for the way the application for resource consent will be processed.

I/We Barry Allen Freeman and Gerard Patrick Richardson
 being the owner(s) and occupier(s) owner(s) occupier(s)

of the property situated at Lot 56 DP 314418 Richard Sedden Drive Woodbank Estate
 (address and/or legal description of your property)

have read and understood the information on the reverse side of this page and give my/our approval to the proposal by:

Angus William and Carolyn Ruth TALLENTIRE
 (name of applicant(s))

to erect a private dwelling which has a
~~recession plane breach on its southern~~
boundary and (plan redone - no recession plane breach)
the Dining room window is within 3 metres
 (description of proposed activity, including areas of non-compliance) of required setback (2.6m)

on the following property Lot 55 DP 335019 Richard Sedden Drive Woodbank Estate
 (address of application site)

as outlined in the application submitted and on the associated plans which have been signed by me/us. I/we understand that as I/we have given our approval, the Council shall not take into account any effects the proposed activity may have on me/us when considering the application.

Both parties must sign

X Signed: B. A. Freeman
 Date: 17.11.04

X Signed: [Signature]
 Date: 19/11/04

Daytime telephone no: 025-786-853
Barry Allen Freeman

Gerard Patrick Richardson

If you have any queries regarding the Resource Consent process or the role and rights of adversely affected person(s), please contact a planner in the Environmental Services Customer Centre, telephone 371-1657 or at the Christchurch Community Law Centre, telephone 366-6870

PRIVACY ACT 1993

The personal information requested on this form is being collected by the Environmental Services Unit of the Christchurch City Council so that we can process the Resource Consent application referred to. This information is required by the Resource Management Act 1991.

This information will be held by the Council. You may ask to check and correct any of this personal information if you wish. The personal information collected will not be shared with any Units of the Council not involved in processing the application. However under the Official Information and Meetings Act 1987 this information may be made available on request to parties within and outside the Council.

Approval of Affected Persons to an Application for Resource Consent Under the Resource Management Act 1991

Introduction

What is the City Plan?

The City Plan is a document which guides the way the city of Christchurch is developed and seeks to control any negative effects of development by giving every property in the city a zone. Each zone has different rules about the type of building, subdivision or land use that can occur in that area.

What is a Resource Consent?

When people wish to build or use a property in a way which does not comply with the rules in the City Plan, they require special permission from the Council to do so and this is known as a Resource Consent. If they obtain a resource consent they are able to build or use the property in accordance with that consent and do not have to comply with the City Plan.

This process is set down in the Resource Management Act 1991. An application for Resource Consent can be considered in one of three ways. Applications are either publicly notified (allowing public involvement by any person), limited notified (allowing involvement by a limited number of people) or non-notified (often involving some input into the process by a limited number of people).

Why is your written approval required?

If an application for a Resource Consent is to be processed as a non-notified application, the Resource Management Act requires that the proposed activity should have not more than minor effects on the environment **and** that written approval must be obtained from every person whom the Council considers may be adversely affected. It is the responsibility of the applicant to consult with persons identified as being affected.

If you have been asked to give your written approval it is likely that this is because the Council considers you may be adversely affected by the proposed activity. This gives you the opportunity to consider the particular proposal and decide for yourself whether you are adversely affected and/or the degree to which you may be adversely affected. The Council has produced a more comprehensive pamphlet about the role of 'affected persons' in the resource consent process, and this pamphlet is available at all Council offices.

What should you do if you are asked to sign an affected person's approval form?

If you are asked to give your written approval to someone's proposal as part of their application for a Resource Consent, you should do the following:

1. Request that the applicant (or their representative) explain the proposal clearly and fully to you.
2. Study the application and associated plans of the proposed activity provided by them in order to understand the effects of the proposal. If there are no plans available at this stage, you may wish to wait until they are available. Ask for time to consider the documents if you think you need it.
3. Decide whether the proposal will adversely affect you or your property. You are entitled to ask the applicant for more information but you should make a decision about whether you will sign the form or not as promptly as is reasonable in the circumstances. You may suggest amendments to the proposal that you consider would reduce the effects of the proposal on you. If you do this you should sign only the amended version of the proposal. Written approvals obtained will usually be submitted to the Council by the applicant as part of their application.
4. If you are satisfied that the proposed activity will not adversely affect you and/or the effects are acceptable to you, you may decide to sign the affected person's approval form on the reverse side of this page and a copy of the associated application plans. You should then return them to the applicant (or their representative). If you are willing to sign subject to some other condition being met, this will need to be the subject of a civil agreement between yourself and the applicant. If you change your mind after signing the form, you may withdraw your approval at any time before a decision is made on the application by advising the Council in writing that your approval is withdrawn.
5. If you consider that you will be adversely affected by the proposal and do not wish to sign the approval form, you will need to advise the applicant (or their representative).

Please note that if a property is owned by more than one person, all of the joint owners are considered to be 'affected persons'. If a property is rented out, the tenants are also considered to be 'affected persons'.

Important Information

If you do not give your approval and you are considered by the Council to be an adversely affected person, then the application must be publicly notified, and you will have a formal right of objection. Alternatively, the applicant may proceed without the need for Resource Consent if they amend their proposal so that it complies with the City Plan, or if they amend their proposal so that it still needs Resource Consent but the Council no longer considers that the proposal will adversely affect you. Please note that the final decision on who is adversely affected is made by senior Council Officers with delegated authority.

Please note that even though you may sign the affected person's approval form, Council must give full consideration to the application in terms of the Resource Management Act. However, if you give your approval to the application, Council is not able to have regard to any actual or potential effects the proposal may have on you. If Resource Consent is granted by the Council there is no way for either you or the Council to retract it later. You are therefore encouraged to weigh up all the effects of the proposed activity before agreeing to it.

Further written information regarding affected persons' approvals, the Resource Consent process and hearings is available from the Council upon request.

OMBIE GREEN

LOT 76
DP 303072
0.0743 ha
12153
Stanley Norman McKenzie
Kim Janette McKenzie

LOT 2
DP 325186
0.0423 ha
101391
Shirley Kay Linklater
Alan Henry Linklater

LOT 78
DP 303072
0.0699 ha
12155
Hubcap Diamondstar Halo Limit

LOT 1
DP 325186
0.0424 ha
101390
David John Burney, Linda Jane Burney

LOT 70
DP 303072
0.0744 ha
12158
Hulon May Street

LOT 56
DP 314418
0.0846 ha
57166
Barry Allan Freeman
Gerard Patrick Richardson

LOT 85
DP 303072
0.0007 ha
12170
Barry Allan Freeman
Gerard Patrick Richardson

LOT 57
DP 314418
0.0700 ha
57167
Dawn Atwill

LOT 55
DP 335019
0.0747 ha
143342
Angus William Tallentire
Carolyn Ruth Tallentire

LOT 54
DP 335019
0.0707 ha
143341
Anthony Gerard Morton
Debra Lee Morton

LOT 40
DP 303072
0.0600 ha
12151
Shelley Angela B
Kurt Raymond B

LOT 52
DP 335019
0.0849 ha
143339
Kathryn Mary Halligan
Daniel Robert Halligan

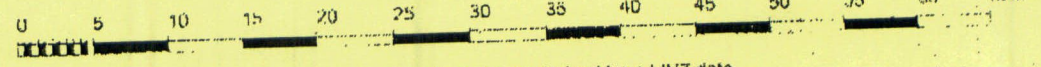
LOT 53
DP 335019
0.0553 ha
143340
James Robert Cosgrove
Dianne Jane Cosgrove

LOT 49
DP 335019
0.0756 ha
143338
Iona Ruth Morice

LOT 51
DP 335019
0.0677 ha
143338
Gerald Andrew Wilson, Yvonne Mary Evans

LOT 41
DP 335019
0.0722 ha
143328
Mark Brooks Building

B.A.F.



Scale 1:508 Topographical and Cadastral map derived from LINZ data.



Incorrect
affected parties
consent
(superseded) .



1 December 2004

CCC
Sockburn Service Centre
P O Box 11011
CHRISTCHURCH



Dear Kathryn

Re: Re Lot 55 #4 Richard Seddon Drive, Woodbank Estates

Further to my email, I now find the land use consent was never sent in to Council. There were originally two non compliances one of which has been resolved because the garage has been dropped to resolve the intrusion to the recession plane.

However, there is still the living room window within 3 m of the setback to boundary – sits at 2.585m which affects the Freeman:Richardsons at Lot 56 Richard Seddon Drive. These neighbours have signed on both non compliances and nothing has changed re positioning of house on site. So I am sending in the plans and form as signed.

I have included a set of revised plans as well which should show there is no longer an intrusion of the recession plane.

Please advise if we have to go back to the drawing board with the affected neighbours and have them re-sign the new plans.

Thanks for your assistance in this matter.

Yours sincerely



Fran Horsley
Construction Administrator

For Kerri Sutton, Client Administrator

Stapleton, Kathryn

From: Stapleton, Kathryn
Sent: Monday, 6 December 2004 08:45
To: Franh (E-mail)
Subject: Tallentire - RMA 20018728

Hi Fran

I have just received an affected parties consent for this application from Lot 57 Crombie Green. There is still the outstanding written consent from Barry Freeman & Gerard Richardson as owners of the site at 2 Richard Seddon Drive (they had to re-sign the correct plans showing the final living window setback).

The consent is written up and will be signed off as soon as the affected parties consent has been obtained.

Cheers,

Kathryn Stapleton

Planner
Environmental Services Unit
Christchurch City Council

Sockburn Service Centre
149 Main South Road
PO Box 11 011, Christchurch
Ph. (03) 941 6528

Stapleton, Kathryn

From: Stapleton, Kathryn
Sent: Thursday, 2 December 2004 14:36
To: 'Fran Horsley'
Subject: RE:Tallentire - RMA 20018728

Hi Fran

I have checked this consent now. The following number has been allocated to the consent: RMA 20018728.

I do require you to re-obtain the written consent of Barry Freeman & Gerard Richardson as owners of the site to the north, 2 Richard Seddon Drive... because the actual setback of the living window has been reduced/changed. Please ensure that a copy of the amended plans is signed by joint owners.

The only non-compliance relates to the dining room window setback.

Your application will be placed on hold until the above information has been received.

Cheers,

Kathryn

-----Original Message-----

From: Fran Horsley [mailto:FranH@stonewood.co.nz]
Sent: Thursday, 2 December 2004 1:27 p.m.
To: Stapleton, Kathryn
Subject: RE: Re Tallentire Lot 55 #4 Richard Seddon Drive, Woodbank Estates CCC - no CCC reference at this point

thanks no hurry! Fran

-----Original Message-----

From: Stapleton, Kathryn [mailto:Kathryn.Stapleton@ccc.govt.nz]
Sent: Thursday, 2 December 2004 1:03 p.m.
To: Fran Horsley
Subject: RE: Re Tallentire Lot 55 #4 Richard Seddon Drive, Woodbank Estates CCC - no CCC reference at this point

Hi Fran

Just so you know... this consent you are referring was only received in this morning's mail. I will have a look at it this afternoon and get back to you.

Kathryn

-----Original Message-----

From: Fran Horsley [mailto:FranH@stonewood.co.nz]
Sent: Wednesday, 1 December 2004 2:12 p.m.
To: Stapleton, Kathryn
Subject: Re Tallentire Lot 55 #4 Richard Seddon Drive, Woodbank Estates CCC - no CCC reference at this point

Hi Kathryn

We sent an application for a land use consent in to you 24/11/04. I think Kerri Sutton prepared it. However, it has become a bit foggy as to what has been done or what is needed.

Initially they had two infringements of regulations; one an intrusion of the recession plane and the other a living room window within 3 m (2.585m). The recession plane was resolved by dropping the garage so most of the affected neighbours who had signed were no longer affected.

However, we do have the signature of Freeman and Richardson at Lot 56 who are the only neighbours affected by the living room being within 3 m.

Can you confirm if our records are complete or if we need to do anything else to complete the process. Thanks. Fran

Fran Horsley
Construction Admin
Stonewood Homes
47 Waterloo Road
P O Box 20 278
CHRISTCHURCH
New Zealand

Main Office No 64 3 349 0010
Direct Line 03 344 3690
Fax No 64 3 349 9039
Free Phone 0800 860 000
email fran@stonewood.co.nz
<http://www.stonewood.co.nz>

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The views expressed in this message are those of the individual sender and may not necessarily reflect the views of the Christchurch City Council.

If you are not the correct recipient of this email please advise the sender and delete.

Christchurch City Council
<http://www.ccc.govt.nz>

RESOURCE CONSENT WORKSHEET - TIMING ZONES

RMA 20018728
4 Richard Seddon Drive
PROPOSAL Lot 55 DP 335019
Single storey dwelling + garage

Details and time spent on this worksheet should reflect the complexity of the application.

- Date of allocation to planner _____
 - Was any pre-application time spent on this application?
- Officer: _____ Time spent: _____ Date: _____

INITIAL ASSESSMENT -

Should be carried out within 2 working days of being allocated the application

- Application form
- Application fee - Is the WBS element correct?
- AEE (is it adequate?)
- Plans (are the plans adequate?)
 - Site Plan?
 - Elevation Plan?
 - Landscape Plan?
- Has a PIM been undertaken - check non-compliances in the PIM?
- Have you checked the property file?
- Acknowledgement of application **(2 days)** - Date: _____
- Is any further information required? If so, include it in the acknowledgement letter or phone call.

Notes: _____

LIVING ZONE CHECK LIST

	TDP	PCP		TDP	PCP
Zoning		<input checked="" type="checkbox"/>	Traffic		
SAM			Parking space numbers		
Designations			Availability of parking spaces		
Scheduled activities			Parking area location		
Community footprint			Staff car parking		
Road widening			Parking spaces for disabled		
Protected building/item			Cycle parking		
Protected tree			Loading areas		
Airport noise			Manoeuvre areas		
			Parking spaces for res. activities		
Development standards			Parking area and access design		
Site area		747m ²	Gradient of parking areas		
Res. site density	27.3%	<input checked="" type="checkbox"/>	Max. gradients for access		
Site coverage/Plot ratio		<input checked="" type="checkbox"/>	On-site manoeuvring		
Building height	25.5m	<input checked="" type="checkbox"/>	Queuing spaces		
Recession planes		<input checked="" type="checkbox"/>	Illumination		
Building setback from road		<input checked="" type="checkbox"/>	Surface of parking and loading areas		
Internal boundary building setback		<input checked="" type="checkbox"/>	Vehicle crossing design		
Living window setback	during 2.585m (N)	<input checked="" type="checkbox"/>	Standards of vehicle crossings		
Second storey/Balcony setback		<input checked="" type="checkbox"/>	Length of vehicle crossings		
Continuous building length		<input checked="" type="checkbox"/>	Minimum distance between crossings		
External areas (SAM areas only)		<input checked="" type="checkbox"/>	Maximum number of vehicle crossings		
Outdoor living space		<input checked="" type="checkbox"/>	Distances of crossings from intersections		
Family flats			Access fro rural selling places		
Coastal hazards			Access for high traffic generators		
Screening from neighbours - other activities			Special access provision - Edgware		
Restrictions on other activities - other activities					
Retailing - other activities			Others		
Noise from preschools - other activities			Filling and excavation		
Taylor's Mistake Bach Zone			Outdoor advertisements		
Development plan			Relocatable building		
Comprehensive housing improvement areas			Sale of liquor		
Roading and access			Noise		
			Clare		
Community standards			Hazardous substances		
Scale of activities - other activities					
Site size - other activities					
Hours of operation - other activities					
Traffic generation - other activities					
Storage of vehicles - other activities					
Building size and separation					
Critical standards					
Residential site density					
Settlement size and scale					
Open space					
Building height					
Retailing - other activities					
Boarding of animals - other activities					
Special setback provisions					
Residential coherence - other activities					
Dismantling or repair of motor vehicles					

*** Should be carried out within 2-5 working days of allocation***



RESOURCE MANAGEMENT ACT 1991

Notice of Written Approval by a Person Affected by an Application for Resource Consent

Resource Consent No.

You should sign this form only if you support or have no opposition to the approval of the Resource Consent application referred to. If you do not understand this process please seek advice immediately as signing this form has implications for the way the application for resource consent will be processed.

I/We Dawn Atwill

being the [] owner(s) and occupier(s) [x] owner(s) [] occupier(s)

of the property situated at Lot 57 DP 314418 Cambie Green Woodbank Estate

have read and understood the information on the reverse side of this page and give my/our approval to the proposal by:

Angus William and Carolyn Ruth TALLENTIRE

to erect a private dwelling which has a section plane breach on its Southern boundary and

the Dining room window is within 3 metres of required setback (2.6m)

on the following property Lot 55 DP 335019 Richard Sedden Ave Woodbank Estate

as outlined in the application submitted and on the associated plans which have been signed by me/us. I/we understand that as I/we have given our approval, the Council shall not take into account any effects the proposed activity may have on me/us when considering the application.

Both parties must sign

Signed: D. Atwill

Signed: [Signature]

Date: 15-11-04

Date: [Signature]

Daytime telephone no: 021 370 414

Dawn Atwill

If you have any queries regarding the Resource Consent process or the role and rights of adversely affected person(s), please contact a planner in the Environmental Services Customer Centre, telephone 371-1657 or at the Christchurch Community Law Centre, telephone 366-6870

PRIVACY ACT 1993

The personal information requested on this form is being collected by the Environmental Services Unit of the Christchurch City Council so that we can process the Resource Consent application referred to. This information is required by the Resource Management Act 1991.

This information will be held by the Council. You may ask to check and correct any of this personal information if you wish. The personal information collected will not be shared with any Units of the Council not involved in processing the application. However under the Official Information and Meetings Act 1987 this information may be made available on request to parties within and outside the Council.

RECEIVED 30 NOV 2004 BY:

PLEASE TURN PAGE FOR FURTHER INFORMATION

Approval of Affected Persons to an Application for Resource Consent Under the Resource Management Act 1991

Introduction

What is the City Plan?

The City Plan is a document which guides the way the city of Christchurch is developed and seeks to control any negative effects of development by giving every property in the city a zone. Each zone has different rules about the type of building, subdivision or land use that can occur in that area.

What is a Resource Consent?

When people wish to build or use a property in a way which does not comply with the rules in the City Plan, they require special permission from the Council to do so and this is known as a Resource Consent. If they obtain a resource consent they are able to build or use the property in accordance with that consent and do not have to comply with the City Plan.

This process is set down in the Resource Management Act 1991. An application for Resource Consent can be considered in one of three ways. Applications are either publicly notified (allowing public involvement by any person), limited notified (allowing involvement by a limited number of people) or non-notified (often involving some input into the process by a limited number of people).

Why is your written approval required?

If an application for a Resource Consent is to be processed as a non-notified application, the Resource Management Act requires that the proposed activity should have not more than minor effects on the environment and that written approval must be obtained from every person whom the Council considers may be adversely affected. It is the responsibility of the applicant to consult with persons identified as being affected.

If you have been asked to give your written approval it is likely that this is because the Council considers you may be adversely affected by the proposed activity. This gives you the opportunity to consider the particular proposal and decide for yourself whether you are adversely affected and/or the degree to which you may be adversely affected. The Council has produced a more comprehensive pamphlet about the role of 'affected persons' in the resource consent process, and this pamphlet is available at all Council offices.

What should you do if you are asked to sign an affected person's approval form?

If you are asked to give your written approval to someone's proposal as part of their application for a Resource Consent, you should do the following:

1. Request that the applicant (or their representative) explain the proposal clearly and fully to you.
2. Study the application and associated plans of the proposed activity provided by them in order to understand the effects of the proposal. If there are no plans available at this stage, you may wish to wait until they are available. Ask for time to consider the documents if you think you need it.
3. Decide whether the proposal will adversely affect you or your property. You are entitled to ask the applicant for more information but you should make a decision about whether you will sign the form or not as promptly as is reasonable in the circumstances. You may suggest amendments to the proposal that you consider would reduce the effects of the proposal on you. If you do this you should sign only the amended version of the proposal. Written approvals obtained will usually be submitted to the Council by the applicant as part of their application.
4. If you are satisfied that the proposed activity will not adversely affect you and/or the effects are acceptable to you, you may decide to sign the affected person's approval form on the reverse side of this page and a copy of the associated application plans. You should then return them to the applicant (or their representative). If you are willing to sign subject to some other condition being met, this will need to be the subject of a civil agreement between yourself and the applicant. If you change your mind after signing the form, you may withdraw your approval at any time before a decision is made on the application by advising the Council in writing that your approval is withdrawn.
5. If you consider that you will be adversely affected by the proposal and do not wish to sign the approval form, you will need to advise the applicant (or their representative).

Please note that if a property is owned by more than one person, all of the joint owners are considered to be 'affected persons'. If a property is rented out, the tenants are also considered to be 'affected persons'.

Important Information

If you do not give your approval and you are considered by the Council to be an adversely affected person, then the application must be publicly notified and you will have a formal right of objection. Alternatively, the applicant may proceed without the need for Resource Consent if they amend their proposal so that it complies with the City Plan, or if they amend their proposal so that it still needs Resource Consent but the Council no longer considers that the proposal will adversely affect you. Please note that the final decision on who is adversely affected is made by senior Council Officers with delegated authority.

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Further written information regarding affected persons' approvals, the Resource Consent process and hearings is available from the Council upon request.

LOT 76
DP 303072
0.0743 ha
12153
Stanley Norman McKenzie
Kim Janette McKenzie

LOT 2
DP 325186
0.0423 ha
101391
Shirley Kay Linklater
Alan Henry Linklater

LOT 78
DP 303072
0.0699 ha
12155
Hubcap Diamondstar Halo Limit

LOT 1
DP 325186
0.0424 ha
101390
David John Burney, Linda Jane Burney

LOT 70
DP 303072
0.0744 ha
12156
Hulcn May Street

LOT 56
DP 314418
0.0846 ha
57166
Barry Allan Freeman
Gerard Patrick Richardson

LOT 65
DP 303072
0.0007 ha
12170
Barry Allan Freeman
Gerard Patrick Richardson

LOT 57
DP 314418
0.0700 ha
57167
Dawn Atwill

LOT 55
DP 335019
0.0747 ha
143342
Angus William Tallentire
Carolyn Ruth Tallentire

LOT 54
DP 335019
0.0707 ha
143341
Anthony Gerard Morton
Debra Lee Morton

LOT 40
DP 303072
0.0600 ha
12151
Shelley Angela B
Kurt Raymond B

LOT 52
DP 335019
0.0849 ha
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Kathryn Mary Halligan
Daniel Robert Halligan

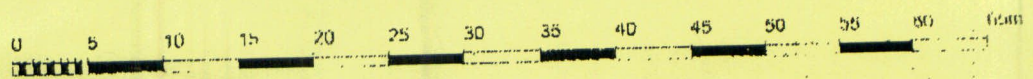
LOT 53
DP 335019
0.0553 ha
143340
James Robert Cosgrove
Dianne Jane Cosgrove

LOT 41
DP 335019
0.0722 ha
143328
Mark Brooks Builders

LOT 51
DP 335019
0.0877 ha
143338
Gerald Andrew Wilson, Yvonne Mary Evans

LOT 49
DP 335019
0.0758 ha
143336
Iona Ruth Morice

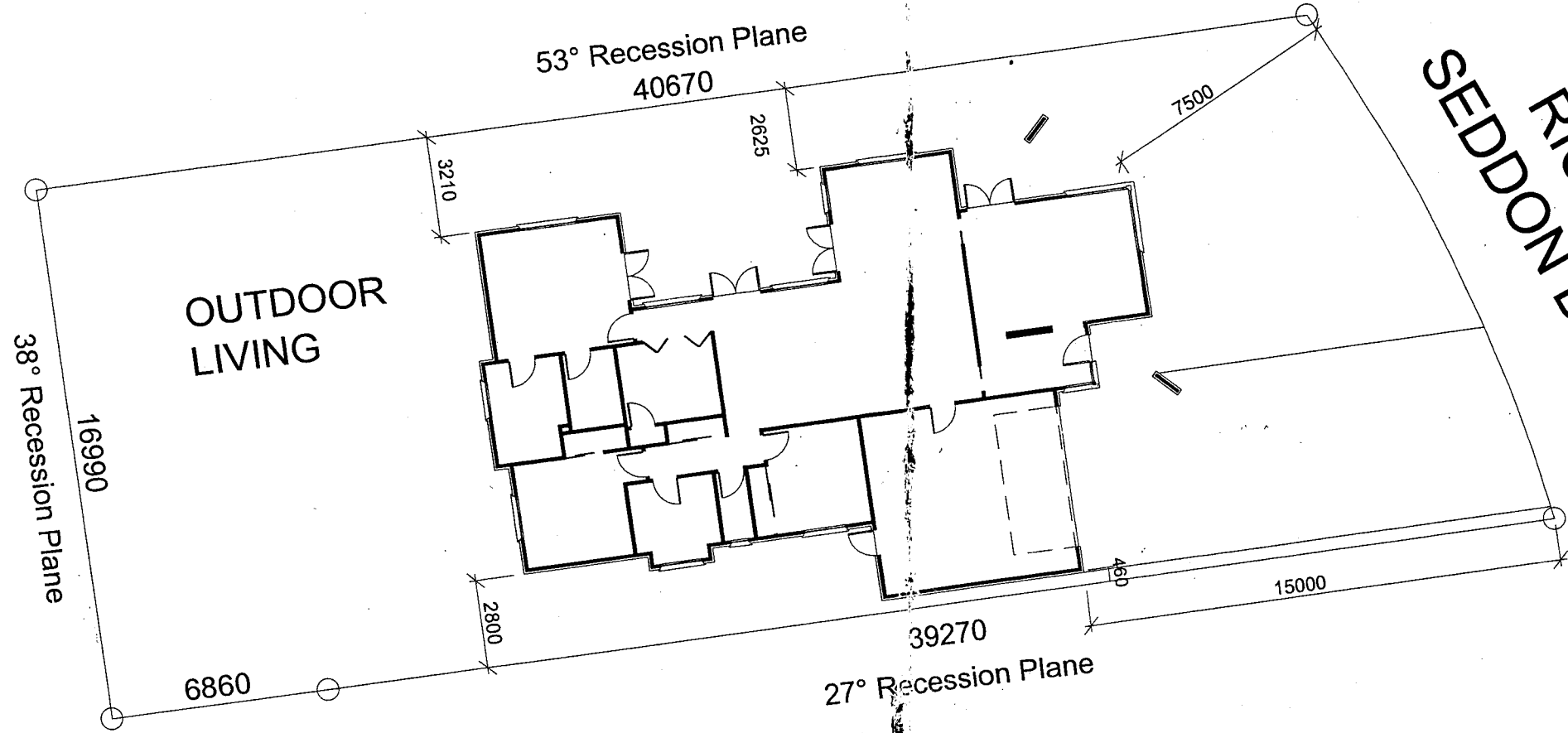
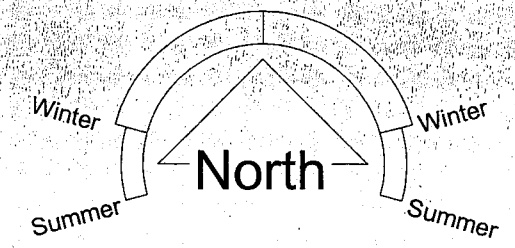
RECEIVED
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BY:



Scale 1:508 Topographical and Cadastral map derived from LINZ data.

QuickMap
Custom Software Ltd

PRELIMINARY SITE PLAN
D.P./C.T. required for Permit



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 BY: _____

SEWER & STORMWATER TO JOIN TO EXISTING CONNECTIONS (POSITIONS UNKNOWN)

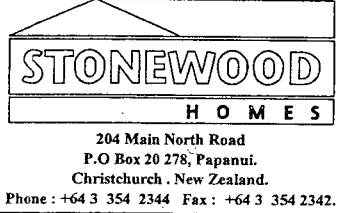
NET SITE AREA = 747m²
 BUILDING AREA = 204m²
 SITE COVERAGE = 27.3%

LEGEND:

SEWER PIPE. _____
 STORM WATER PIPE. - - - - -
 DOWN PIPE. ●

Resource Consents required for: R.P. breach on southern bdy, Dining room window within 3.000 setback.

D. Stull



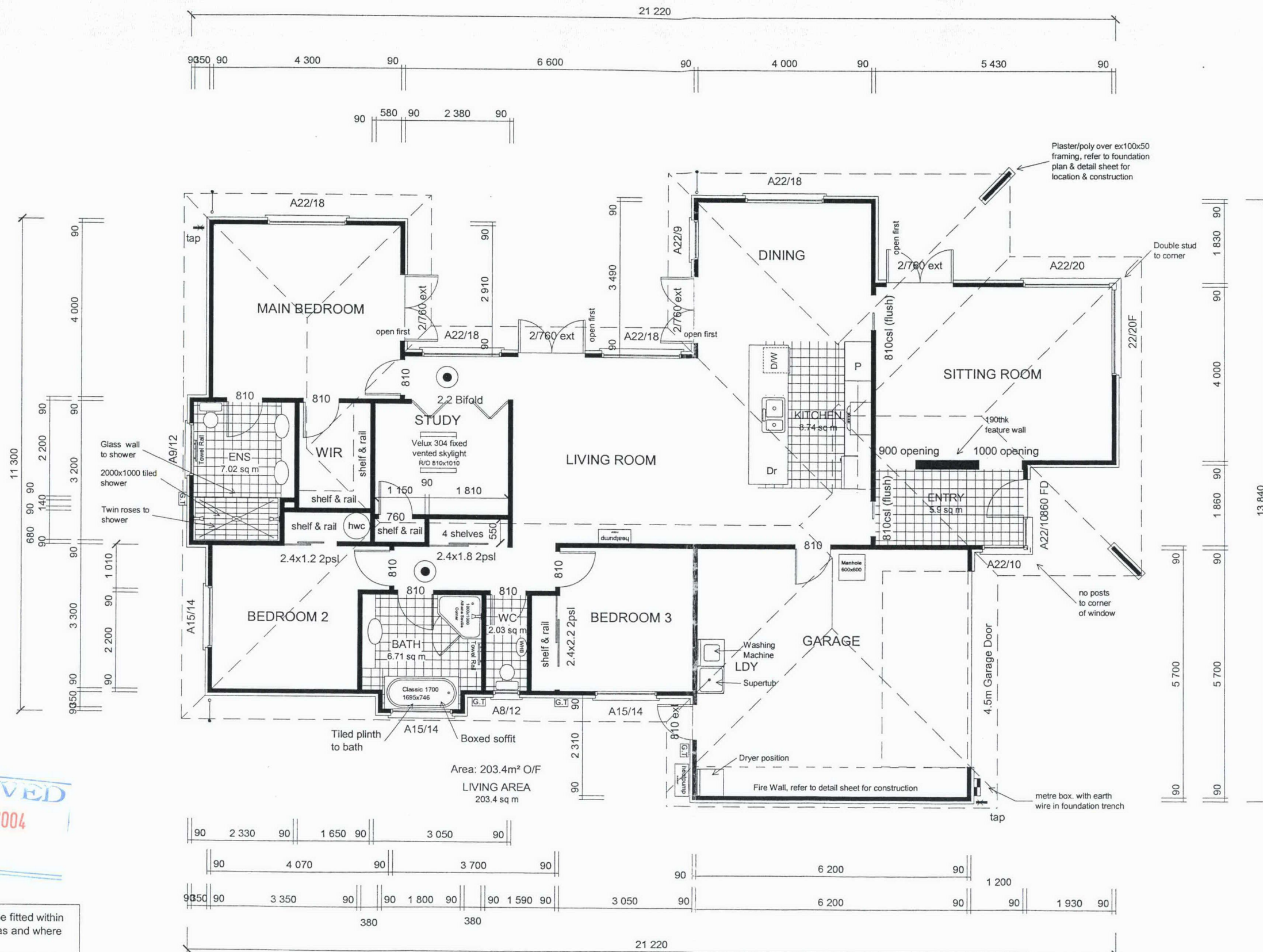
AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	

This plan is developed for the purchaser and is copyright to Stonewood Homes Ltd.
 NOTE: ALL ALUMINIUM WINDOWS AND DOORS TO GO UP TO THE U/S OF THE SOFFITS. (ONLY ON HOUSES WITH SOFFITS) AND ALSO FULL HEIGHT WINDOWS TO BE THE SAME HEIGHT AS DOORS. (ESPECIALLY IN CASES WHERE THERE ARE NO SOFFITS)
 Note: Soffit and lintel heights can vary. Refer to specific Cross Section to establish soffit and lintel heights for this house.
 All required timber treatment to comply with NZS 3602 2003

25° CORRUGATED COLOURSTEEL ROOF
 PLASTER SYSTEM EXTERIOR
 (40mm poly over 20mm battens)
INITIAL PLANS
 medium wind zone

Client: TALLENTIRE
 Address: Lot. 55. D.P. 314418.
 RICHARD SEDDON DRIVE.
 WOODBANK ESTATES.

SITE PLAN.			
Sheet	Drawn	Date	Chk.
1	AARON	27/09/04	
Std. plan based on.	Sales.	Plot Date	Version
MOD GRECO	MM	27/09/04	01
Scale @ A3 1:200	Job Number.	01519	



- Note:
- Stonewood Homes Ultra package to be included.
 - Pink Batts ultra 3.6 batt upgrade to the ceiling.
 - 6Kw heat pump.
 - Double glazing Argon gas filled to all areas excluding the garage.
- Note:
- Mesh to all tiled areas.
 - Door bell to front door.
 - Tiletherm to ensuite/kitchen.
 - Basin in WC supplied by owner.

RECEIVED
30 NOV 2004
BY:

Smoke detectors to be fitted within 3.0m of sleeping areas and where indicated

Resource Consents required for: R.P. breach on southern bdy, Dining room window within 3.000 setback.

Sign Here
D. Atwell

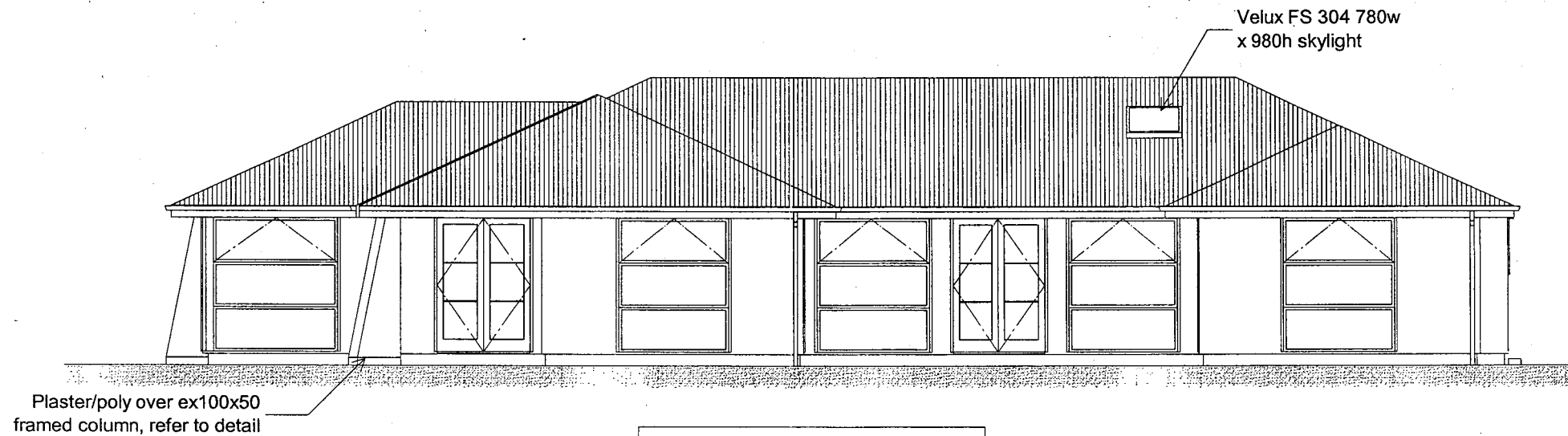
STONEWOOD HOMES
204 Main North Road
P.O. Box 20 278, Papanui.
Christchurch - New Zealand.
Phone: +64 3 354 2344 Fax: +64 3 354 2342.

AMENDMENTS.	DRWN	CHK	
Changes as per drawing amendment log 27/09/04	AJ		This plan is developed for the purchaser and is copyright to Stonewood Homes Ltd. NOTE: ALL ALUMINIUM WINDOWS AND DOORS TO GO UP TO THE U/S OF THE SOFFITS. (ONLY ON HOUSES WITH SOFFITS) AND ALSO FULL HEIGHT WINDOWS TO BE THE SAME HEIGHT AS DOORS. (ESPECIALLY IN CASES WHERE THERE ARE NO SOFFITS) Note: Soffit and lintel heights can vary. Refer to specific Cross Section to establish soffit and lintel heights for this house All required timber treatment to comply with NZS 3602 2003
Changes as per drawing amendment log 19/10/04	AJ		

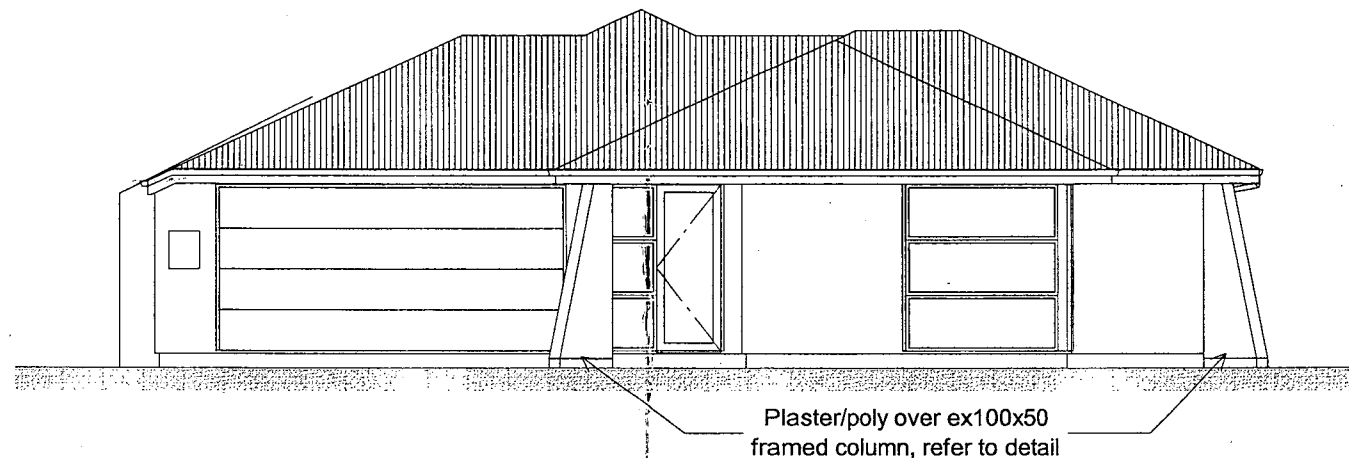
25° CORRUGATED COLOURSTEEL ROOF
PLASTER SYSTEM EXTERIOR
(40mm poly over 20mm battens)
INITIAL PLANS
medium wind zone

Client: TALLENTIRE
Address: Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

FLOOR PLAN.			
Sheet. 2	Drawn. AARON	Date. 27/09/04	Chk.
Std. plan based on. MOD GRECO	Sales. MM	Plot Date 27/09/04	Version 01
Scale @ A3 1:100	Job Number.	01519	



ELEVATION C

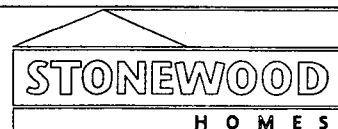


ELEVATION D

RECEIVED
30 NOV 2004
BY:

Sign Here
P. Atwood

Resource Consents required for: R.P. breach on southern bdy, Dining room window within 3.000 setback.



204 Main North Road
P.O Box 20 278, Papanui.
Christchurch . New Zealand.
Phone : +64 3 354 2344 Fax : +64 3 354 2342.

AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	

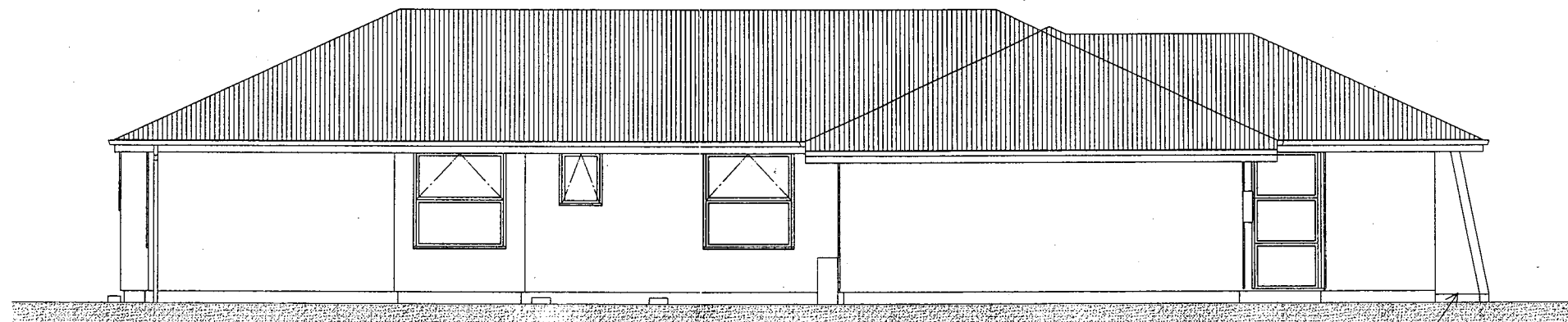
This plan is developed for the purchaser and is copyright to Stonewood Homes Ltd.
NOTE: ALL ALUMINIUM WINDOWS AND DOORS TO GO UP TO THE U/S OF THE SOFFITS. (ONLY ON HOUSES WITH SOFFITS) AND ALSO FULL HEIGHT WINDOWS TO BE THE SAME HEIGHT AS DOORS. (ESPECIALLY IN CASES WHERE THERE ARE NO SOFFITS)
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All required timber treatment to comply with NZS 3602 2003

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(40mm poly over 20mm battens)
INITIAL PLANS
medium wind zone

Client : TALLENTIRE
Address :
Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

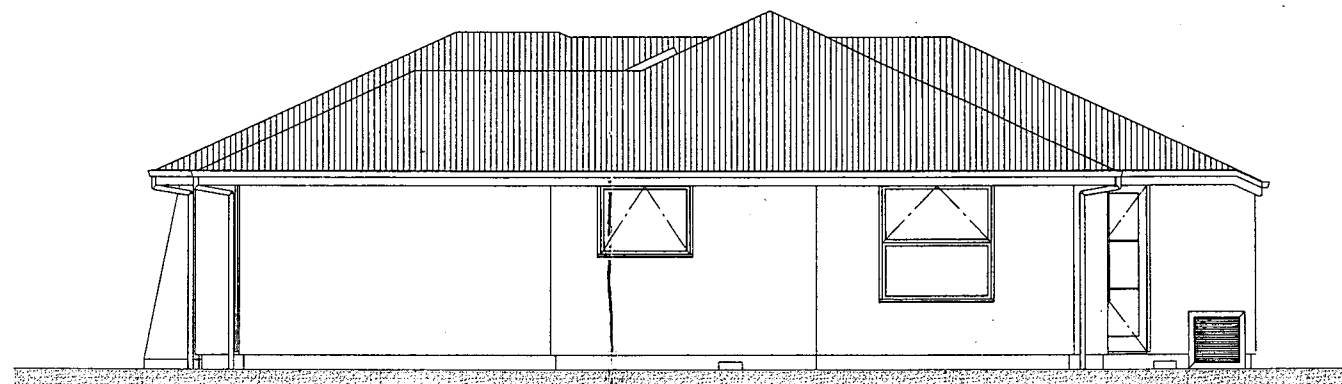
ELEVATIONS (2)

Sheet	Drawn	Date	Chk.
5	AARON	27/09/04	
Std. plan based on.	Sales.	Plot Date	Version
MOD GRECO	MM	27/09/04	01
Scale @ A3	1:100	Job Number.	01519



ELEVATION A

Plaster/poly over ex100x50 framed column, refer to detail



ELEVATION B

RECEIVED
30 NOV 2004
BY: _____

Sign Here
P. atwood

Resource Consents required for: R.P. breach on southern bdy, Dining room window within 3.000 setback.

STONEWOOD HOMES
204 Main North Road
P.O. Box 20 278, Papanui.
Christchurch. New Zealand.
Phone : +64 3 354 2344 Fax : +64 3 354 2342.

AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04 Changes as per drawing amendment log 19/10/04	AJ	
	AJ	

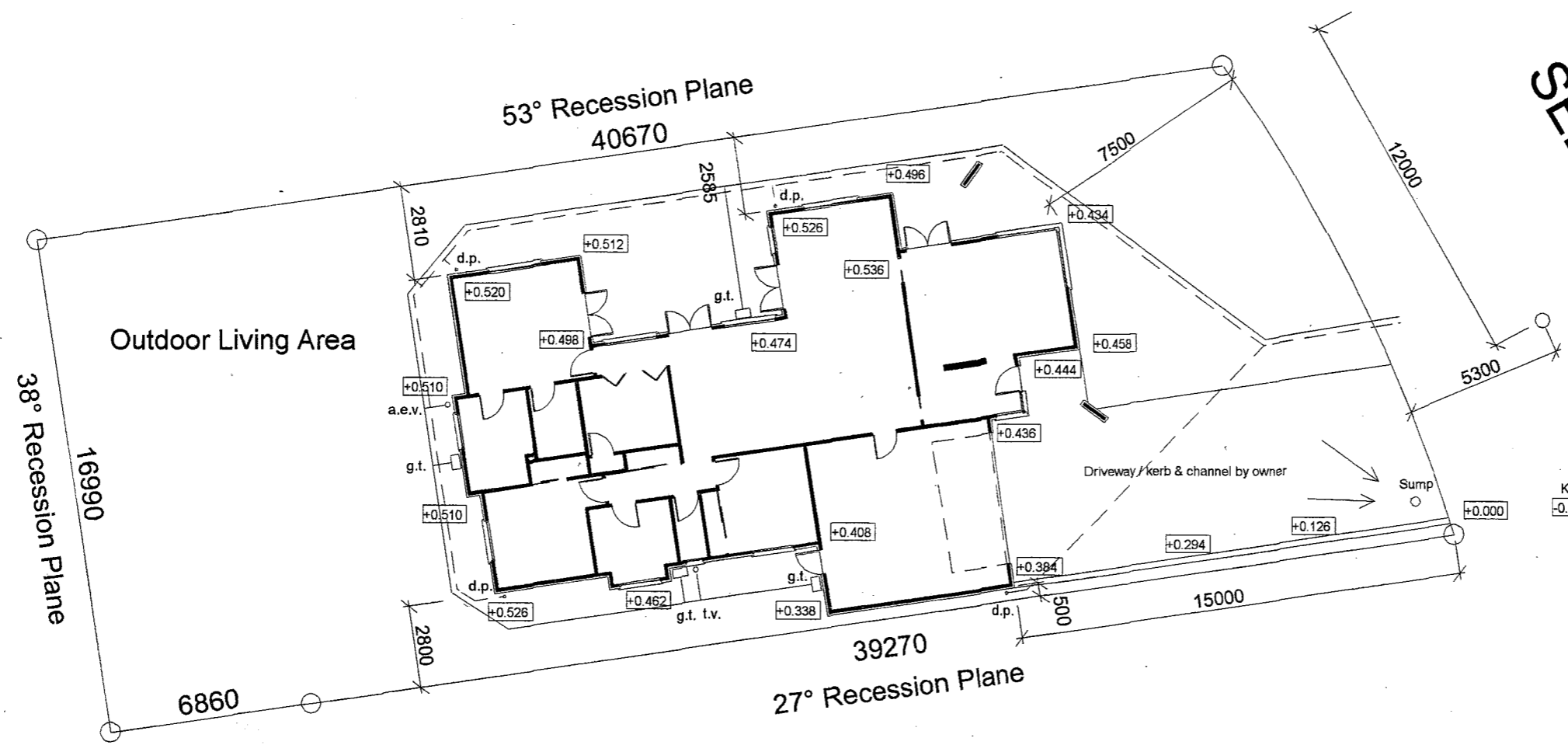
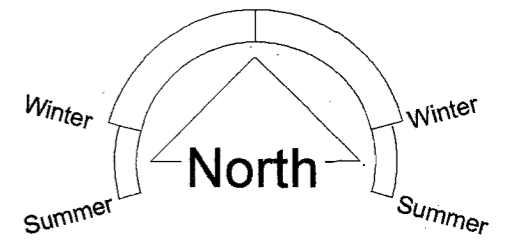
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All required timber treatment to comply with NZS 3602 2003

25° CORRUGATED COLOURSTEEL ROOF
PLASTER SYSTEM EXTERIOR
(40mm poly over 20mm battens)
INITIAL PLANS
medium wind zone

Client : TALLENTIRE
Address : Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

ELEVATIONS. (1)			
Sheet.	Drawn.	Date.	Chk.
4	AARON	27/09/04	
Std. plan based on.	Sales.	Plot Date	Version
MOD GRECO	MM	27/09/04	01
Scale @ A3	Job Number.		
1:100	01519		

Amended Plan



RICHARD
SEDDON DRIVE

SEWER & STORMWATER TO JOIN TO EXISTING CONNECTIONS (POSITIONS UNKNOWN)

NET SITE AREA = 747m²
 BUILDING AREA = 204m²
 SITE COVERAGE = 27.3%

LEGEND.

SEWER PIPE. —————
 STORM WATER PIPE. - - - - -
 DOWN PIPE. ●

Resource Consents: Dining room within 3.000m of bdy setback

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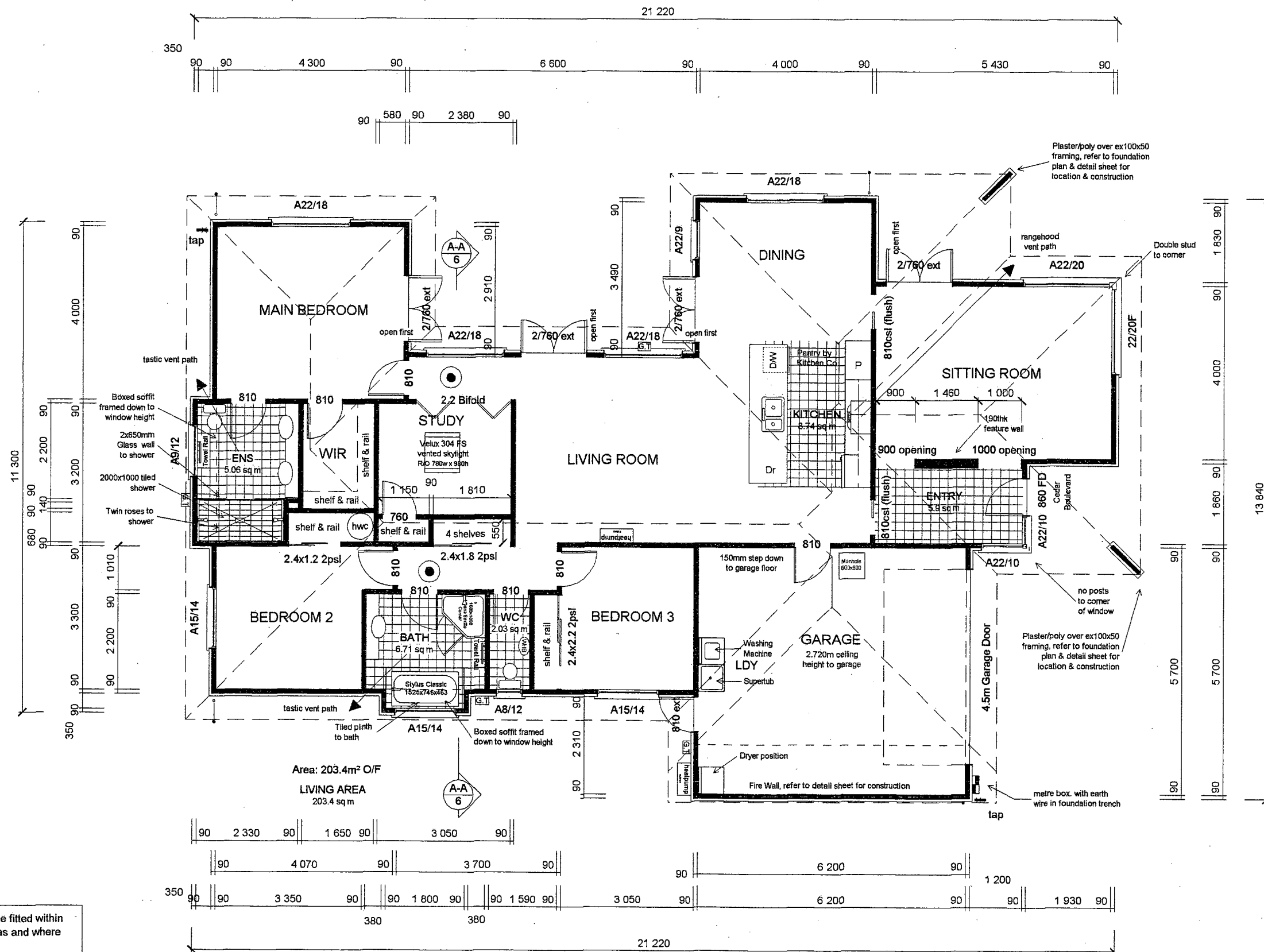
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Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	
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 PLASTER SYSTEM EXTERIOR
 (40mm poly over 20mm battens)
PERMIT PLANS
 medium wind zone

Client: TALLENTIRE
 Address: Lot. 55. D.P. 314418.
 RICHARD SEDDON DRIVE.
 WOODBANK ESTATES.

SITE PLAN.			
Sheet. 1	Drawn. AARON	Date. 27/09/04	Chk.
Std. plan based on. MOD GRECO	Sales. MM	Plot Date 02/11/04	Version 03
Scale @ A3 1:200	Job Number.	01519	

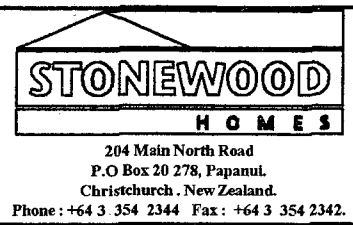


Note:
 -Stonewood Homes Ultra package to be included.
 -Pink Batts ultra 3.6 batt upgrade to the ceiling.
 -6Kw heat pump.
 -Double glazing Argon gas filled to all areas excluding the garage.

Note:
 - Mesh to all tiled areas.
 - Door bell to front door.
 - Tiletherm to ensuite/kitchen.
 - Basin in WC supplied by owner.
 - House to be square stopped.
 - Mesh added to tiled areas.
 - Pack pink batts around bath in main bthrm.

Smoke detectors to be fitted within 3.0m of sleeping areas and where indicated

Resource Consents: Dining room within 3.000m of bdy setback



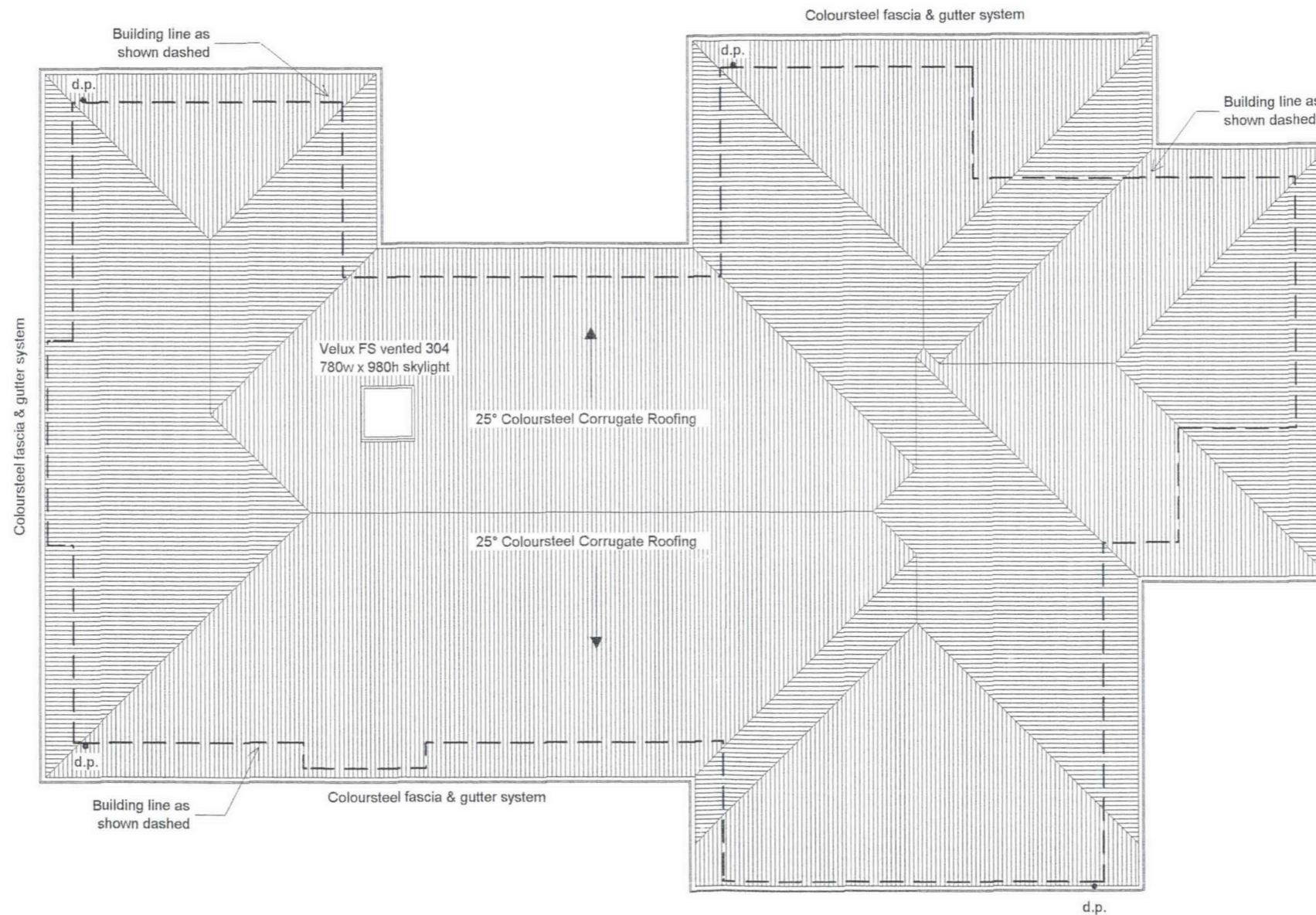
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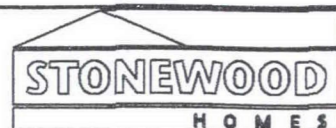
25° CORRUGATED COLOURSTEEL ROOF
 PLASTER SYSTEM EXTERIOR
 (40mm poly over 20mm battens)
PERMIT PLANS
 medium wind zone

Client : TALLENTIRE
 Address : Lot. 55. D.P. 314418.
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 WOODBANK ESTATES.

FLOOR PLAN.			
Sheet. 2	Drawn. AARON	Date. 27/09/04	Chk.
Std. plan based on. MOD GRECO	Sales. MM	Plot Date 02/11/04	Version 03
Scale @ A3 1:100	Job Number. 01519		



Resource Consents: Dining room within 3.000m of bdy setback



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AMENDMENTS.	DRWN	CHK
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Changes as per drawing amendment log 19/10/04	AJ	
Changes as per drawing amendment log 27/10/04	AJ	

DRWN	CHK
AJ	
AJ	
AJ	

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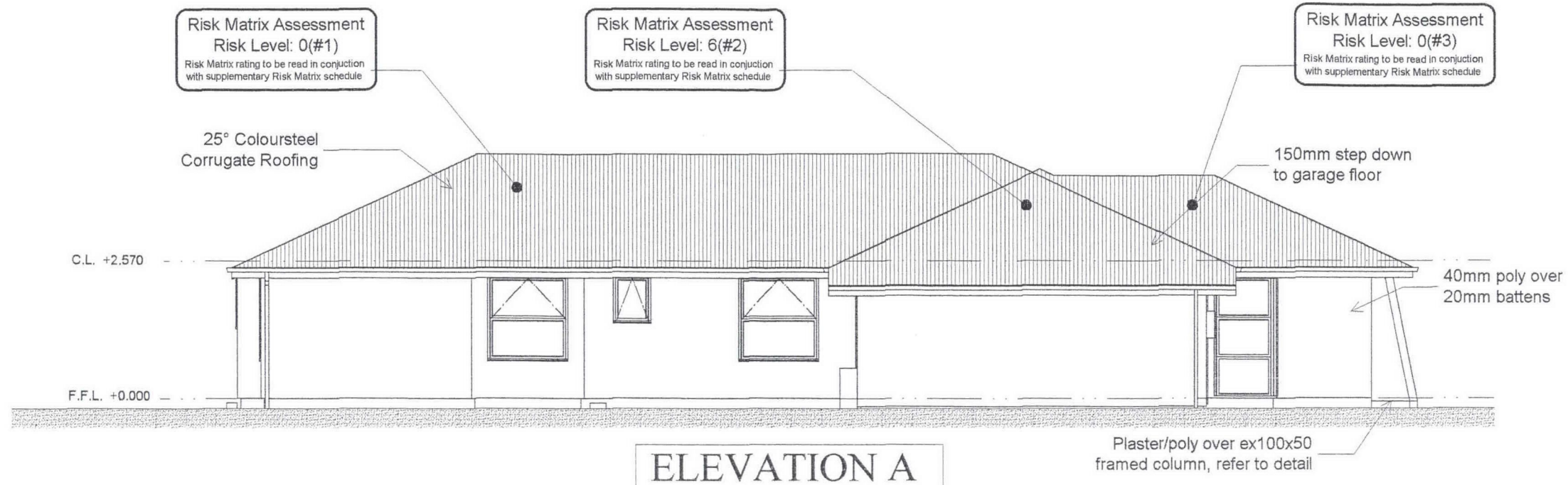
All required timber treatment to comply with NZS 3602 2003

25° CORRUGATED COLOURSTEEL ROOF
PLASTER SYSTEM EXTERIOR
(40mm poly over 20mm battens)

PERMIT PLANS
medium wind zone

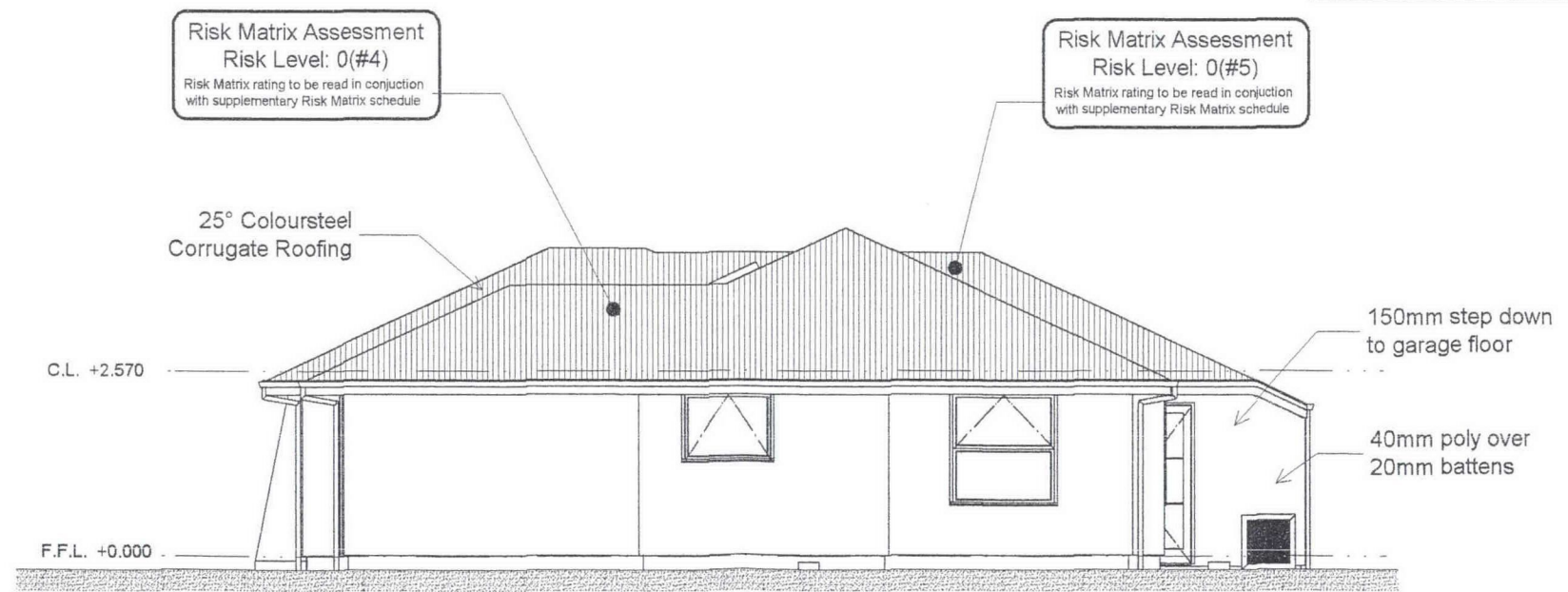
Client : TALLENTIRE
Address :
Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

ROOF PLAN.			
Sheet.	3	Drawn. AARON	Date. 27/09/04
Std. plan based on.	MOD GRECO	Sales. MM	Plot Date 02/11/04
Scale @ A3	1:50	Job Number.	01519
		Chk.	Version 03



ELEVATION A

Note: Ground level around garage to be dug out to be 150mm clear to poly



ELEVATION B

Note: Ground level around garage to be dug out to be 150mm clear to poly

Resource Consents: Dining room within 3.000m of bdy setback



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AMENDMENTS.	DRWN	CHK
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Changes as per drawing amendment log 19/10/04	AJ	
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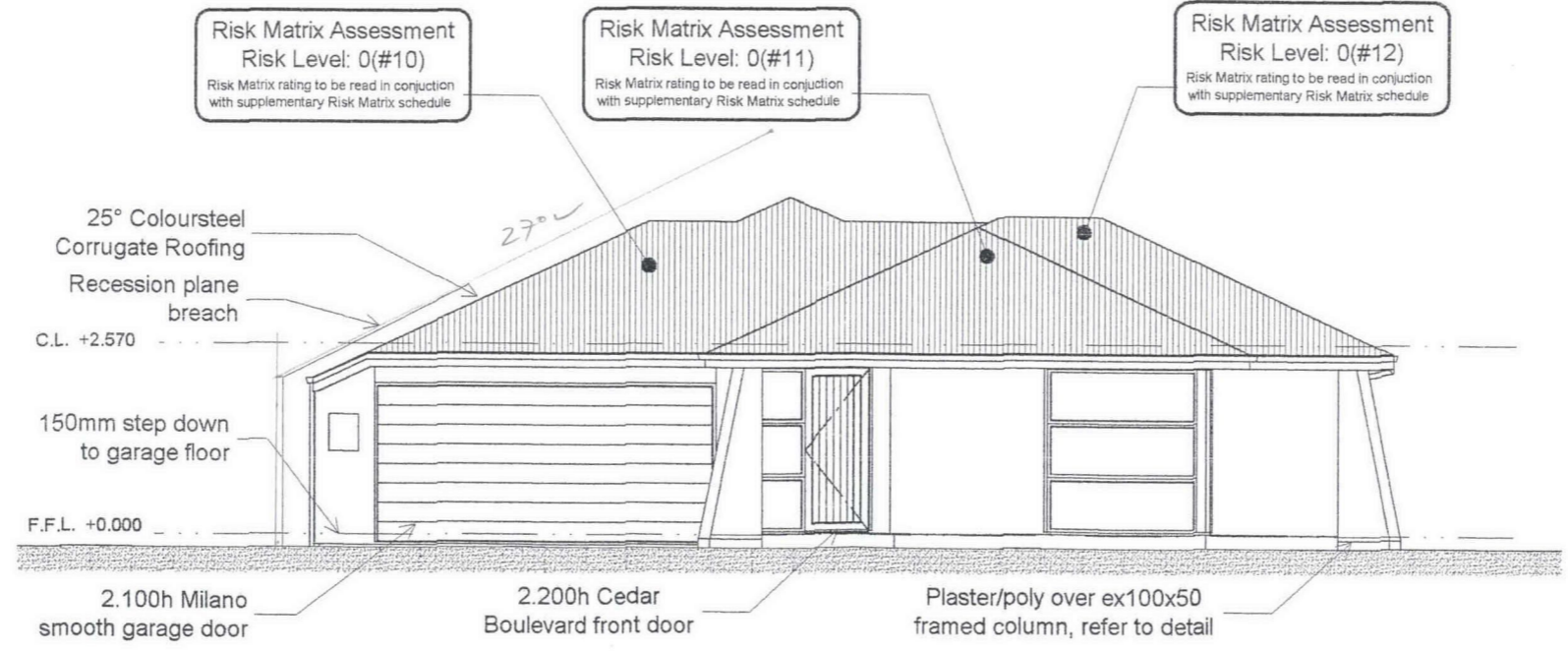
25° CORRUGATED COLOURSTEEL ROOF
PLASTER SYSTEM EXTERIOR
(40mm poly over 20mm battens)
PERMIT PLANS
medium wind zone

Client : TALLENTIRE
Address :
Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

ELEVATIONS. (1)			
Sheet. 4	Drawn. AARON	Date. 27/09/04	Chk.
Std. plan based on. MOD GRECO	Sales. MM	Plot Date 02/11/04	Version 03
Scale @ A3 1:100	Job Number.	01519	



ELEVATION C



ELEVATION D

Resource Consents: Dining room within 3.000m of bdy setback

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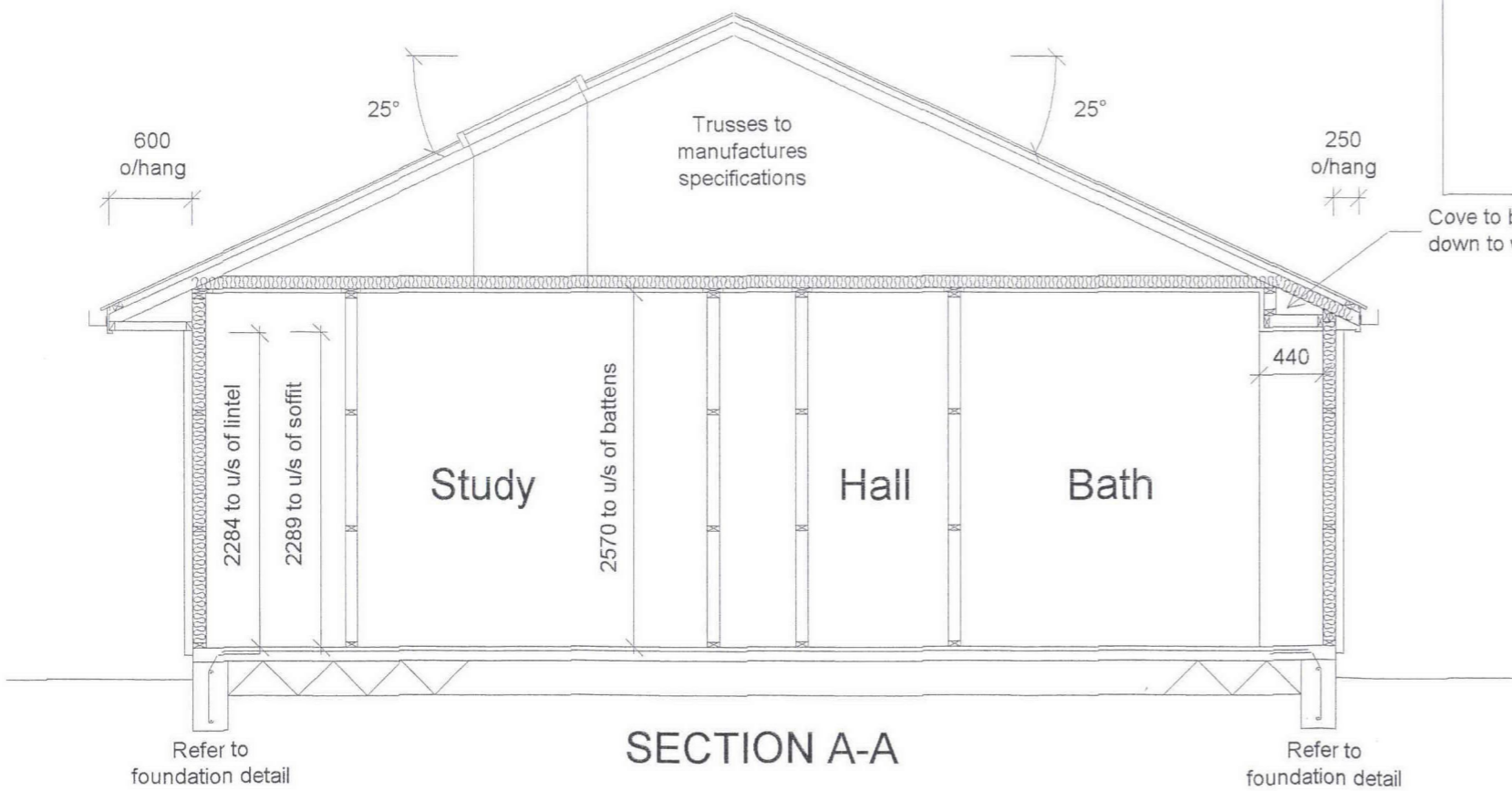
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Changes as per drawing amendment log 27/09/04	AJ	
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25° CORRUGATED COLOURSTEEL ROOF
 PLASTER SYSTEM EXTERIOR
 (40mm poly over 20mm battens)
PERMIT PLANS
 medium wind zone

Client: TALLENTIRE
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ELEVATIONS (2)			
Sheet. 5	Drawn. AARON	Date. 27/09/04	Chk.
Std. plan based on. MOD GRECO	Sales. MM	Plot Date 02/11/04	Version 03
Scale @ A3 1:100	Job Number.	01519	



Timber Treatment Schedule
 All timber treatment to comply with NZS 3602:2003
 All timber assumed to be Pinus Radiata

Walls & Roof	Brick (Low risk)	Brick	Plaster
Exterior			
Bottom plates	H1.1	H1.2	H1.2
Studs & Dwargs	H1.1	H1.2	H1.2
Top plates	H1.1	H1.2	H1.2
Ply sheet bracing	H3	H3	H3
Members supporting shelf angles	H3.1	H3.1	n/a
Interior			
Bottom plates	H1.1	H1.1	H1.1
Studs & Dwargs	H1.1	H1.1	H1.1
Top plates	H1.1	H1.1	H1.1
Ceiling battens	n/a	n/a	n/a
Trusses	H1.1	H1.1	H1.1
Purlins	H1.1	H1.1	H1.1
Valley boards	H3.1	H3.1	H3.1
Flat roof framing	H3.1	H3.1	H3.1
Boxed gutter etc.	H3.1	H3.1	H3.1
Skillion roof framing	H3.1	H3.1	H3.1
Intermediate Timber floors			
LVL flooring systems	None	None	None
Particle board flooring	None	None	None
Enclosed Balconies (cantilever and simply supported)			
Joists	H1.2	H1.2	H1.2
Wall Framing	H1.2	H1.2	H1.2
Blocking	H1.2	H1.2	H1.2
Decking	H3.1	H3.1	H3.1
Miscellaneous			
Exterior framed & clad Chimneys	H3.1	H3.1	H3.1
Exterior framed & clad columns	H3.1	H3.1	H3.1
Exterior Posts	H3.2	H3.2	H3.2
Exterior Posts (Laminated)	H3	H3	H3
Exterior Rafters	H3.2	H3.2	H3.2
Internal Lined columns (NLB)	None	None	None
Internal Lined columns (LB)	H1.2	H1.2	H1.2

**Plaster (single storey)
 CONSTRUCTION SCHEDULE**

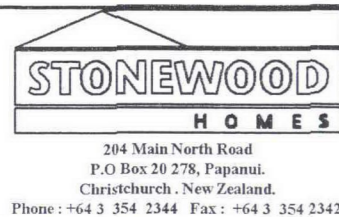
These drawings to be read in conjunction with engineers documentation

Foundation construction to comply with N.Z.S 3604 and local building bylaws

Coloursteel Corr. roof 25° pitch
 Plate trusses @ 900crs
 Pryda plate or Gang Nail
 144x31mm ceiling plate
 90x38mm top plate
 "Rondo" metal ceiling battens @ 600mm crs
 Ultraline ceiling
 Metal fascia & spouting system
 Hardiflex to soffits
 Frames to be:
 90x38mm studs @ 600mm crs
 Dwargs @ 800crs, extra row at soffit level
 2x sill trimmers to all windows
 R2.2 insulation batts to walls
 R3.6 insulation batts to ceiling
 100mm concrete floor
 Moistop on Tailings
 2/D16 rods with D10 starters @ 600mm crs

All construction to comply with NZS 3604

Resource Consents: Dining room within 3.000m of bdy setback



AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	
Changes as per drawing amendment log 27/10/04	AJ	

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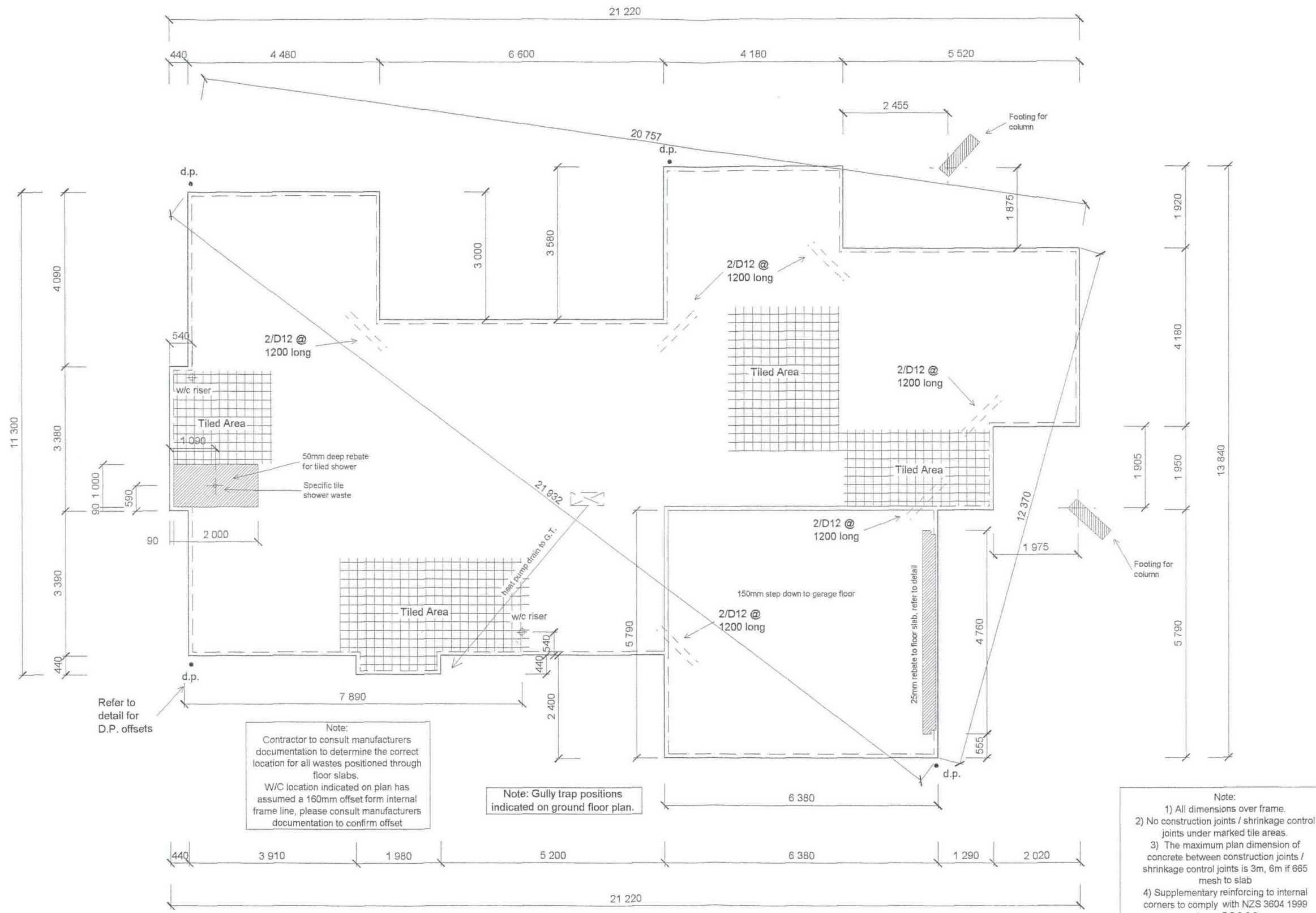
All required timber treatment to comply with NZS 3602:2003

25° CORRUGATED COLOURSTEEL ROOF
 PLASTER SYSTEM EXTERIOR
 (40mm poly over 20mm battens)

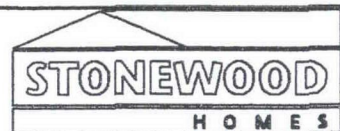
PERMIT PLANS
 medium wind zone

Client : TALLENTIRE
 Address : Lot. 55. D.P. 314418.
 RICHARD SEDDON DRIVE.
 WOODBANK ESTATES.

CROSS SECTION. (A-A)			
Sheet. 6	Drawn. AARON	Date. 27/09/04	Chk.
Std. plan based on. MOD GRECO	Sales. MM	Plot Date 02/11/04	Version 03
Scale @ A3 1:50	Job Number. 01519		



Resource Consents: Dining room within 3.000m of bdy setback



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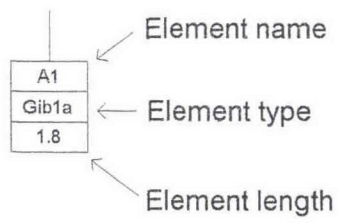
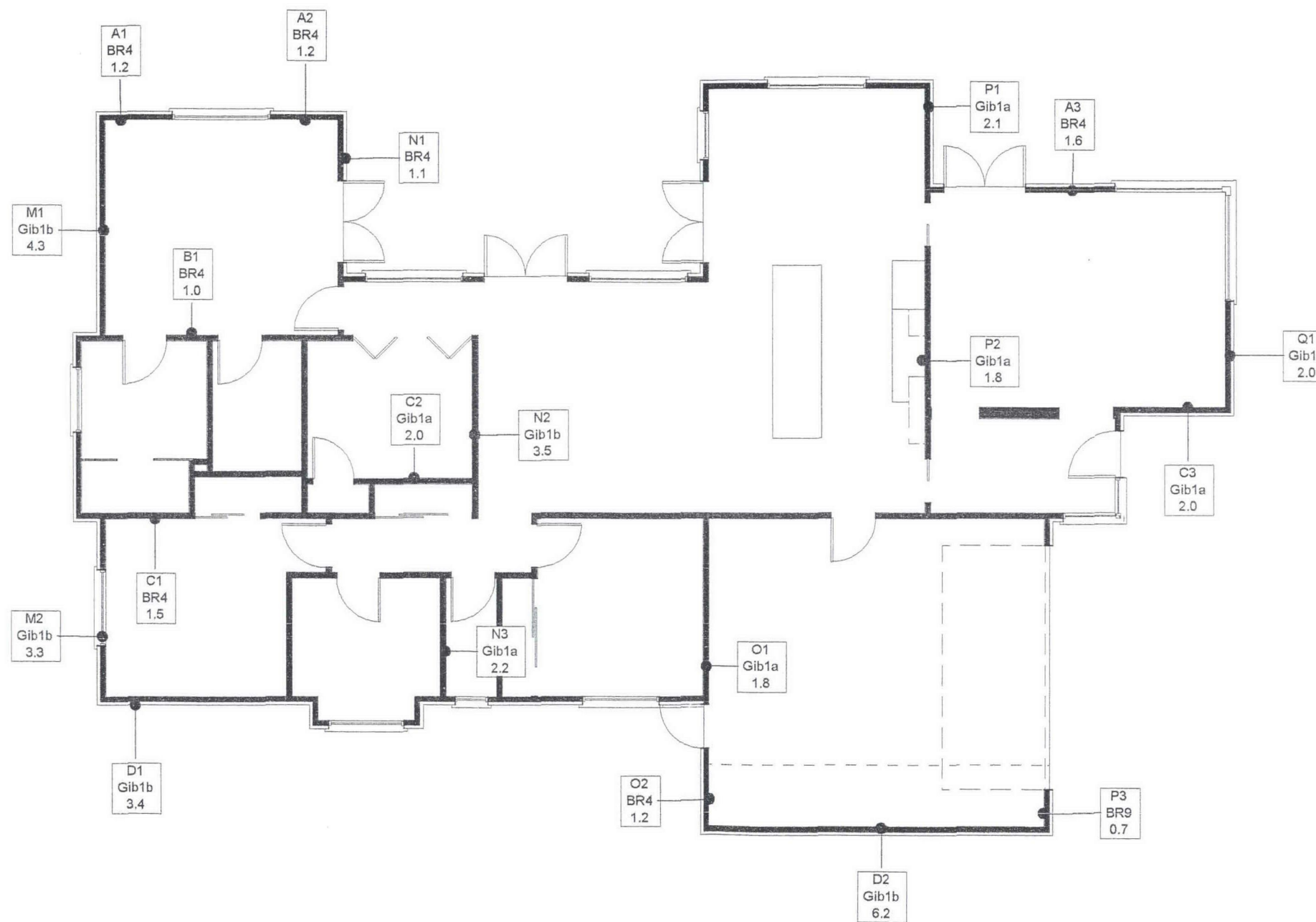
All required timber treatment to comply with NZS 3602 2003

25° CORRUGATED COLOURSTEEL ROOF
PLASTER SYSTEM EXTERIOR
(40mm poly over 20mm battens)

PERMIT PLANS
medium wind zone

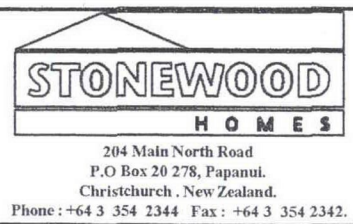
Client: TALLENTIRE
Address: Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

FOUNDATION PLAN.			
Sheet.	Drawn.	Date.	Chk.
9	AARON	27/09/04	
Std. plan based on.	Sales.	Plot Date	Version
MOD GRECO	MM	02/11/04	03
Scale @ A3	Job Number.		
1:100	01519		



Bracing plan to be read in conjunction with supplementary bracing schedule

Resource Consents: Dining room within 3.000m of bdy setback



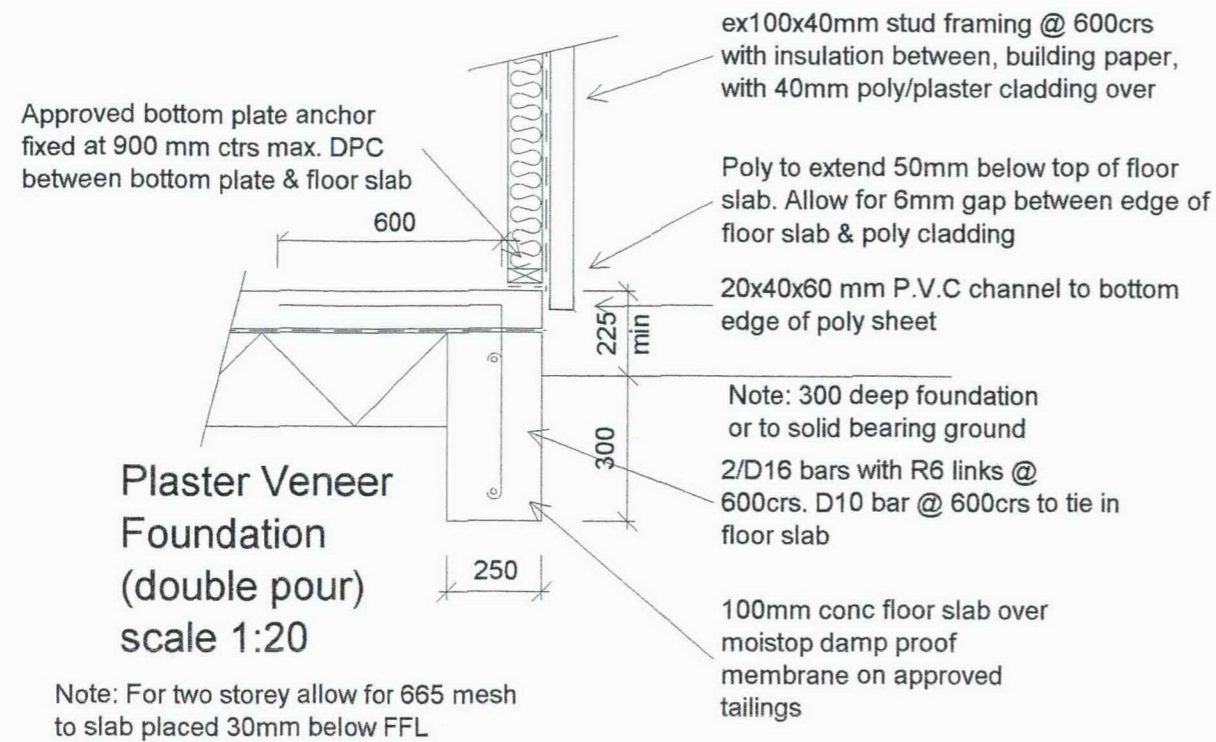
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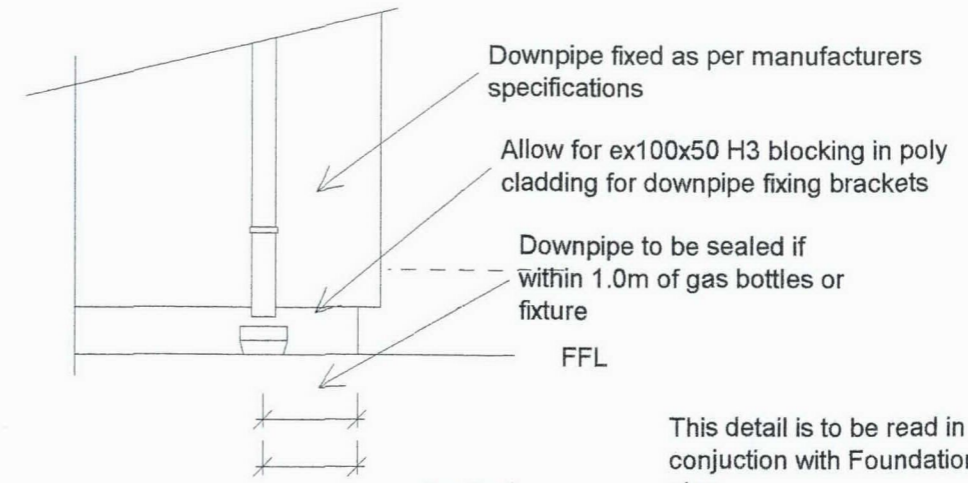
25° CORRUGATED COLOURSTEEL ROOF
 PLASTER SYSTEM EXTERIOR
 (40mm poly over 20mm battens)
PERMIT PLANS
 medium wind zone

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BRACING PLAN.			
Sheet.	10	Drawn.	Date.
Std. plan based on.	MOD GRECO	Sales.	Plot Date
Scale @ A3	1:50	MM	02/11/04
		Version	03
		Job Number.	01519



Note: For two storey allow for 665 mesh to slab placed 30mm below FFL

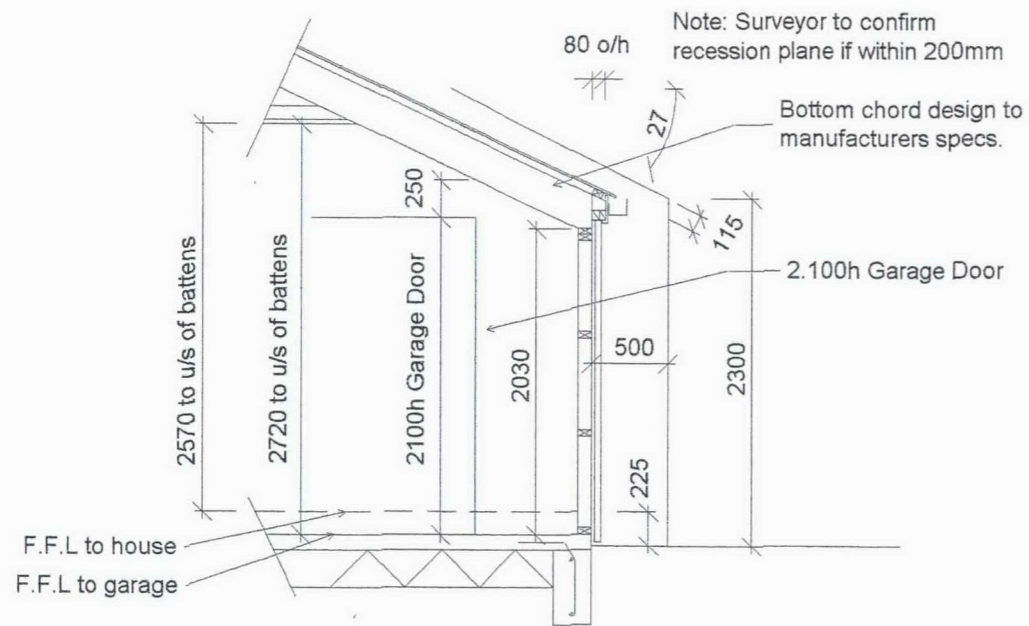


Downpipe Corner Offsets (Plaster) scale 1:20

Garage door plus 260mm for slab rebate

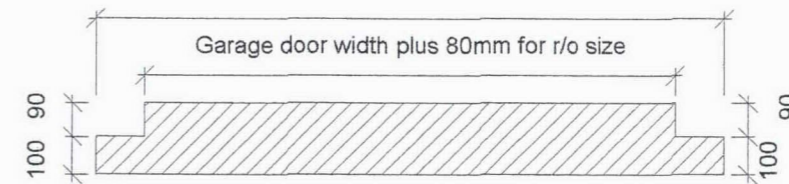
This detail is to be read in conjunction with Foundation plan

For downpipes other than in corners, refer to foundation plan for location

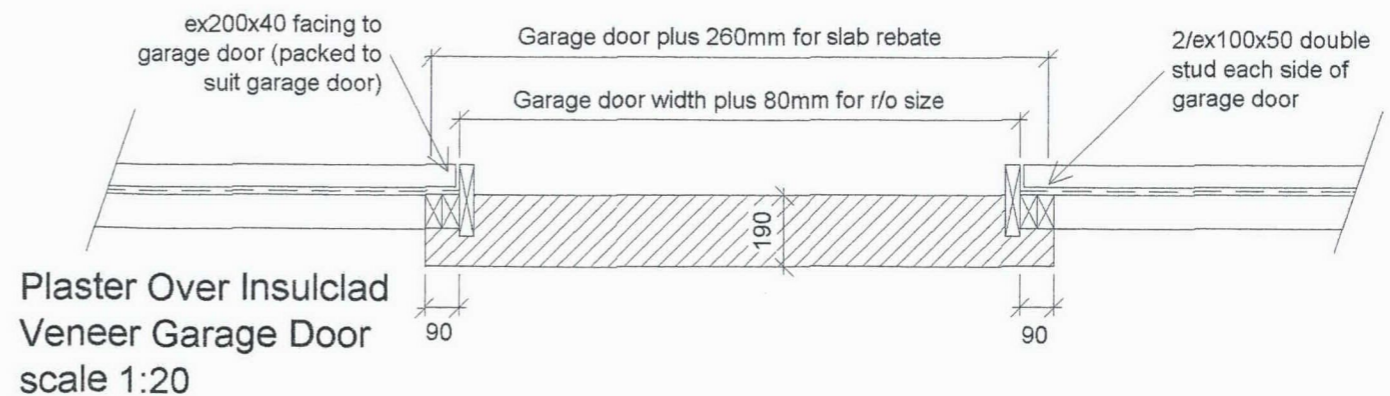


Recession Plane Elevation: 80mm o/hangs scale 1:50

Note: Any wall or roof within 1000mm from the boundary will require fire rating.

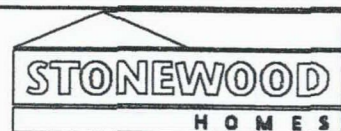


Rebate to Garage Door scale 1:20



Plaster Over Insulclad Veneer Garage Door scale 1:20

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Changes as per drawing amendment log 27/10/04	AJ	

DRWN	CHK
AJ	
AJ	
AJ	

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25° CORRUGATED COLOURSTEEL ROOF
PLASTER SYSTEM EXTERIOR
(40mm poly over 20mm battens)

PERMIT PLANS
medium wind zone

Client: TALLENTIRE

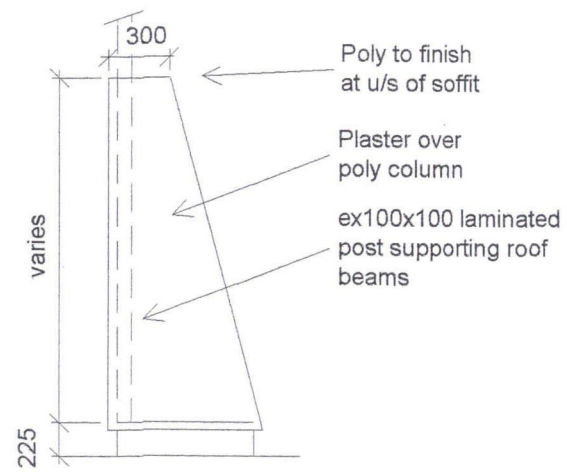
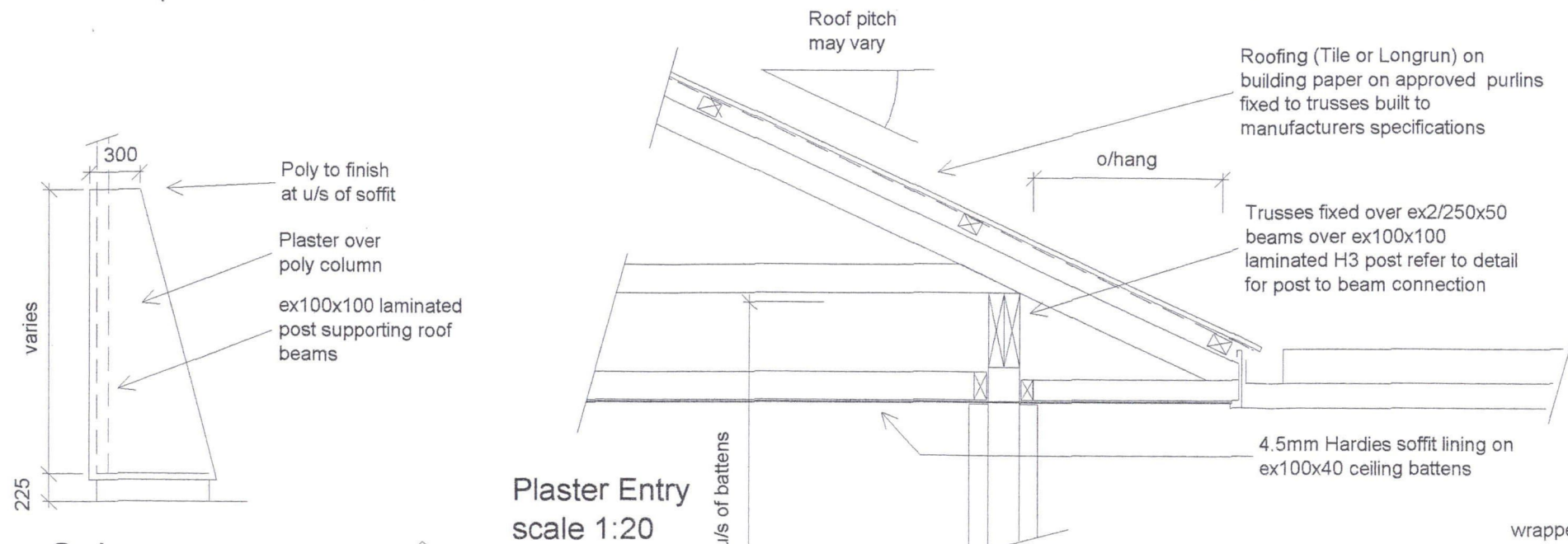
Address:

Lot. 55. D.P. 314418.

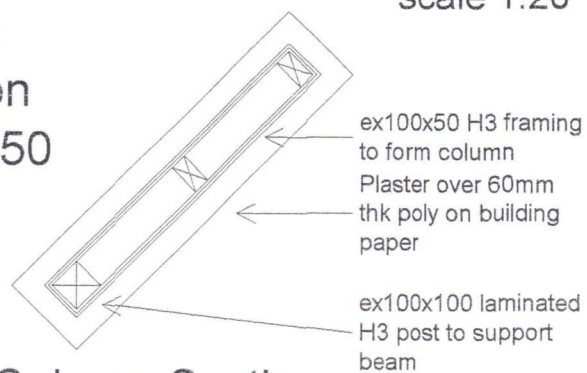
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

DETAILS.

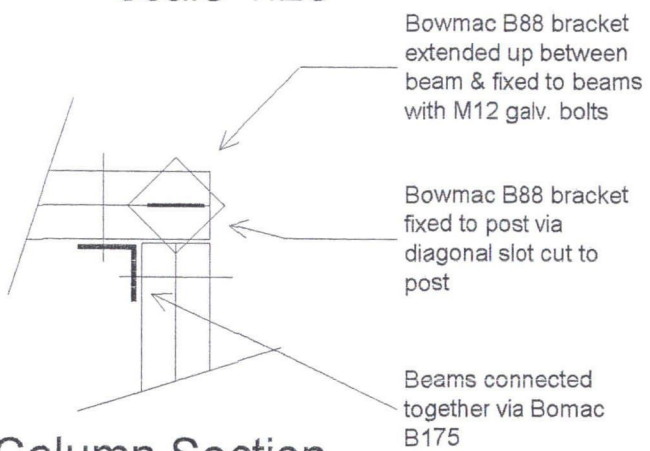
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Std. plan based on.	MOD GRECO	Sales.	MM	Plot Date	02/11/04	Version
Scale @ A3	1:20	Job Number.	01519			



Column Elevation scale 1:50

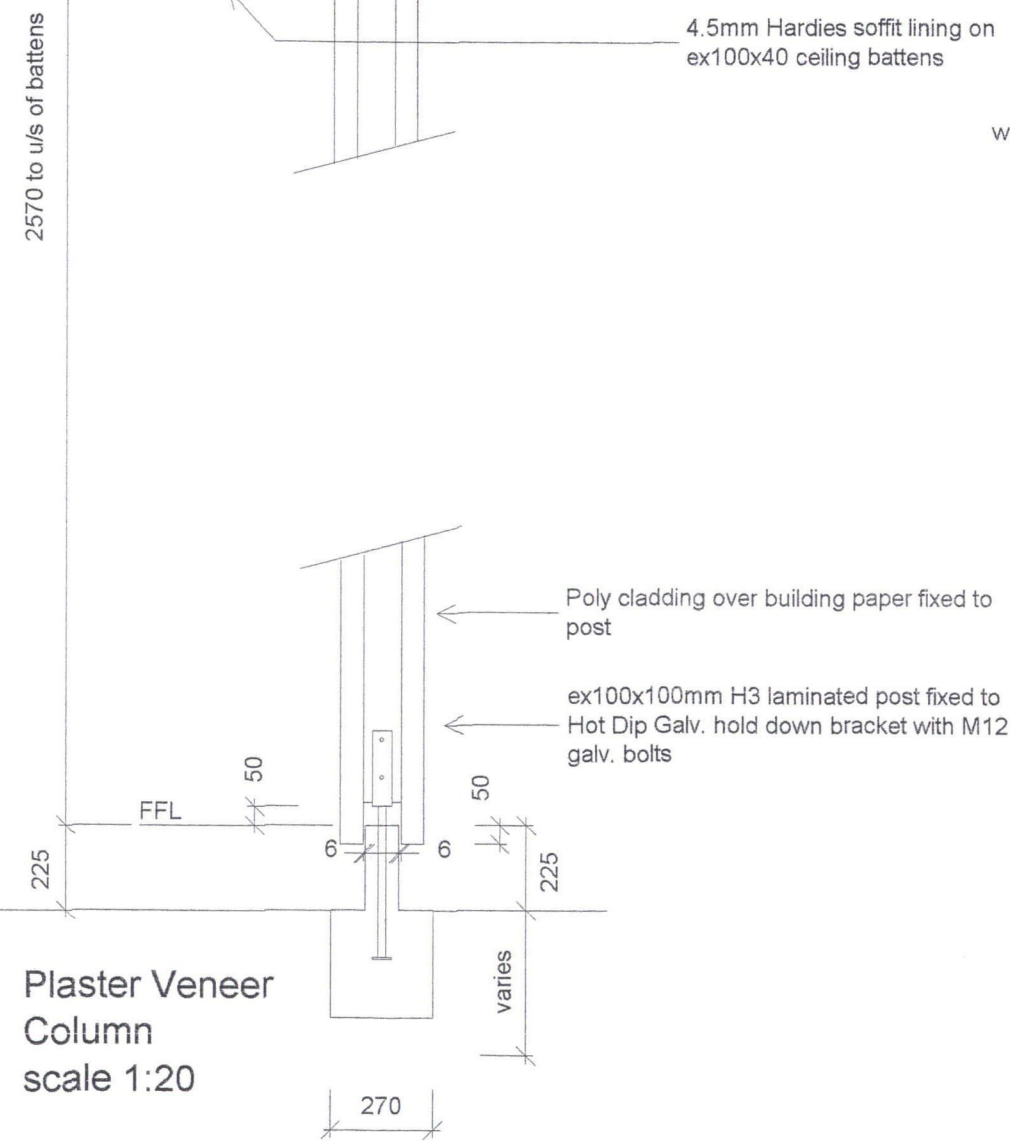


Column Section (Base) scale 1:20

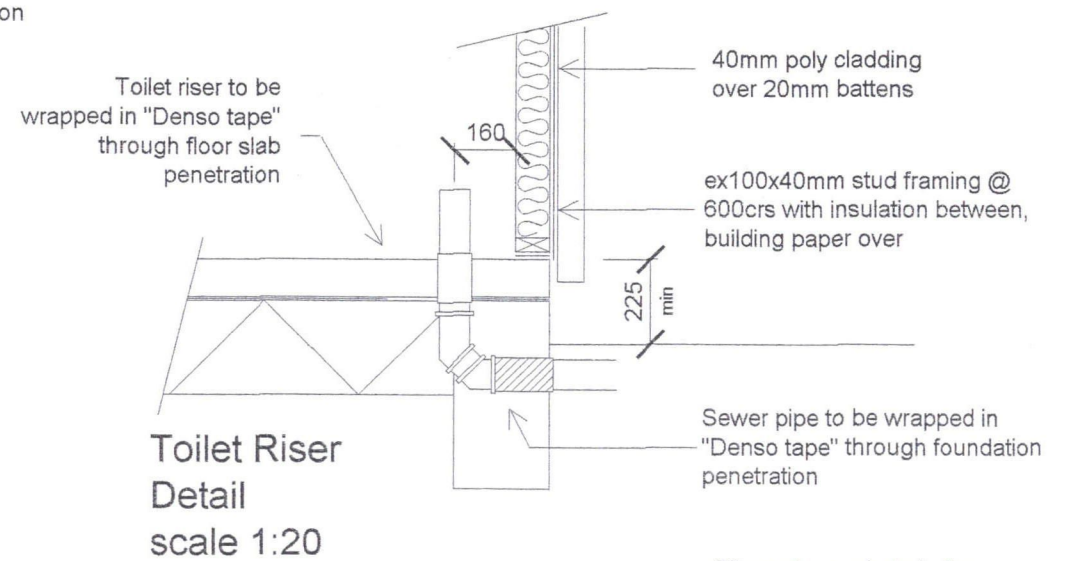


Column Section (Soffit Cavity) scale 1:10

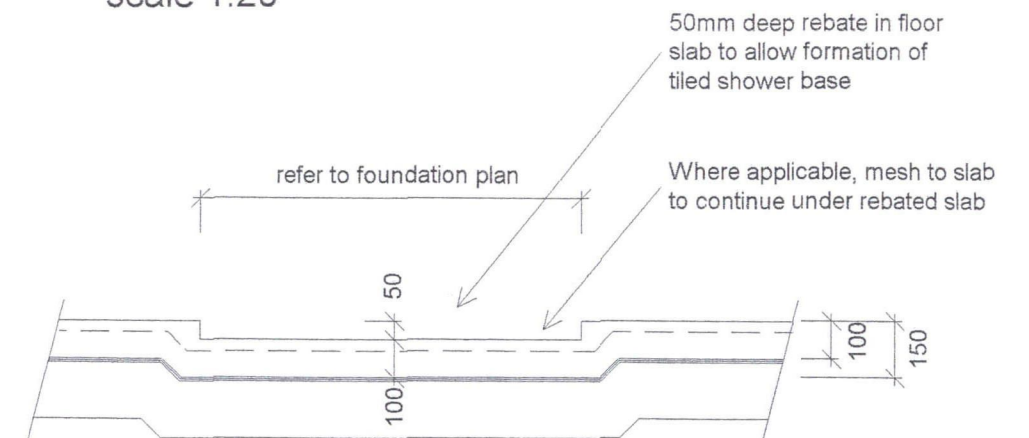
Plaster Entry scale 1:20



Plaster Veneer Column scale 1:20



Toilet Riser Detail scale 1:20



Tiled shower rebate in floor slab detail scale 1:20

Resource Consents: Dining room within 3.000m of bdy setback



204 Main North Road
P.O. Box 20 278, Papanui,
Christchurch, New Zealand.
Phone: +64 3 354 2344 Fax: +64 3 354 2342.

AMENDMENTS.

Changes as per drawing amendment log 27/09/04
Changes as per drawing amendment log 19/10/04
Changes as per drawing amendment log 27/10/04

DRWN

AJ
AJ
AJ

CHK

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NOTE: ALL ALUMINIUM WINDOWS AND DOORS TO GO UP TO THE U/S OF THE SOFFITS. (ONLY ON HOUSES WITH SOFFITS) AND ALSO FULL HEIGHT WINDOWS TO BE THE SAME HEIGHT AS DOORS. (ESPECIALLY IN CASES WHERE THERE ARE NO SOFFITS)
Note: Soffit and lintel heights can vary. Refer to specific Cross Section to establish soffit and lintel heights for this house
All required timber treatment to comply with NZS 3602 2003

25° CORRUGATED COLOURSTEEL ROOF
PLASTER SYSTEM EXTERIOR
(40mm poly over 20mm battens)

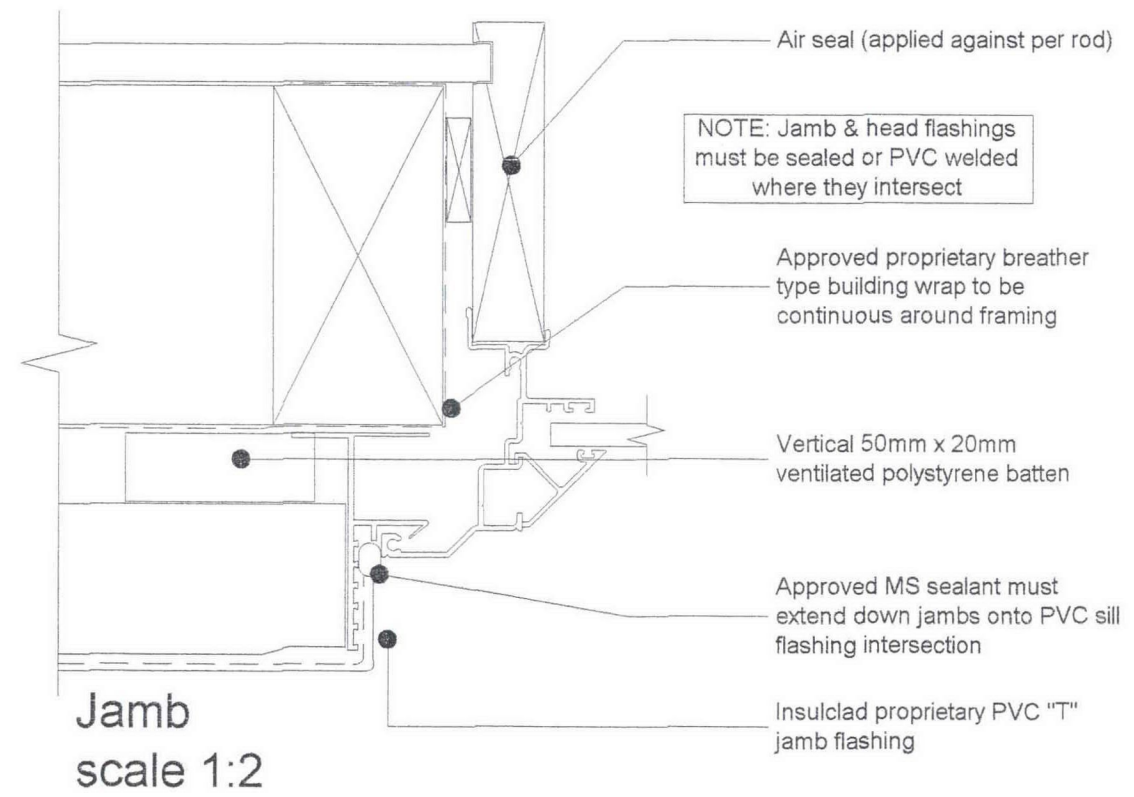
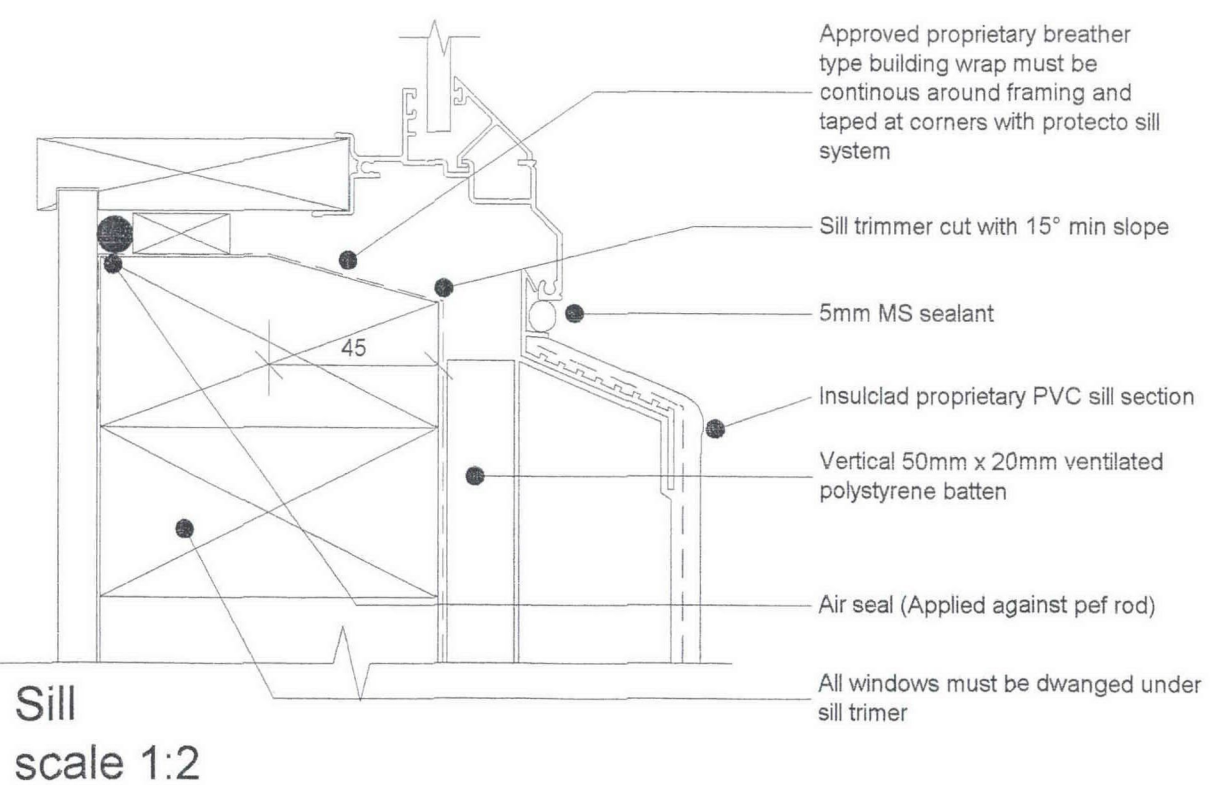
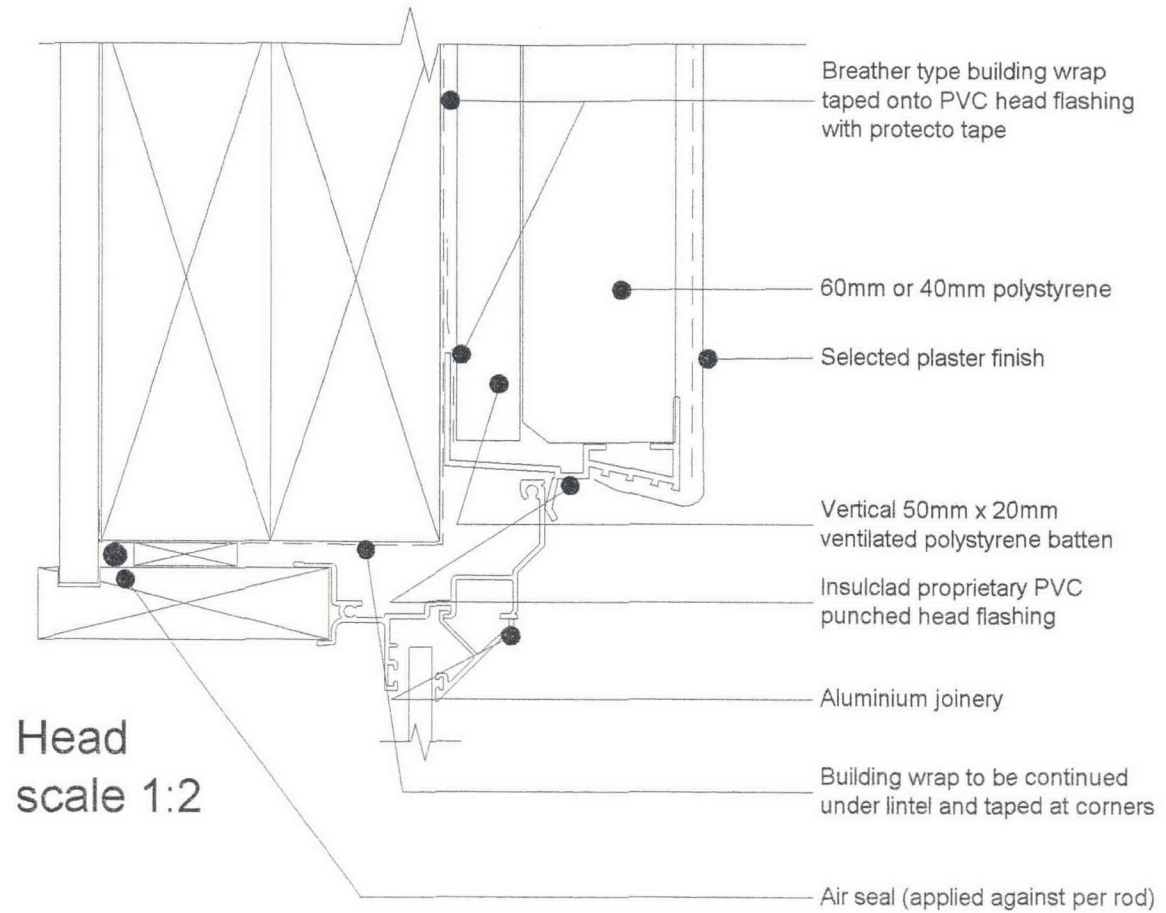
PERMIT PLANS
medium wind zone

Client: TALLENTIRE

Address:
Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

DETAILS.

Sheet. 13	Drawn. AARON	Date. 27/09/04	Chk.
Std. plan based on. MOD GRECO	Sales. MM	Plot Date 02/11/04	Version 03
Scale @ A3 1:20	Job Number. 01519		



Resource Consents: Dining room within 3.000m of bdy setback

STONEWOOD HOMES
 204 Main North Road
 P.O. Box 20 278, Papanui,
 Christchurch, New Zealand.
 Phone: +64 3 354 2344 Fax: +64 3 354 2342.

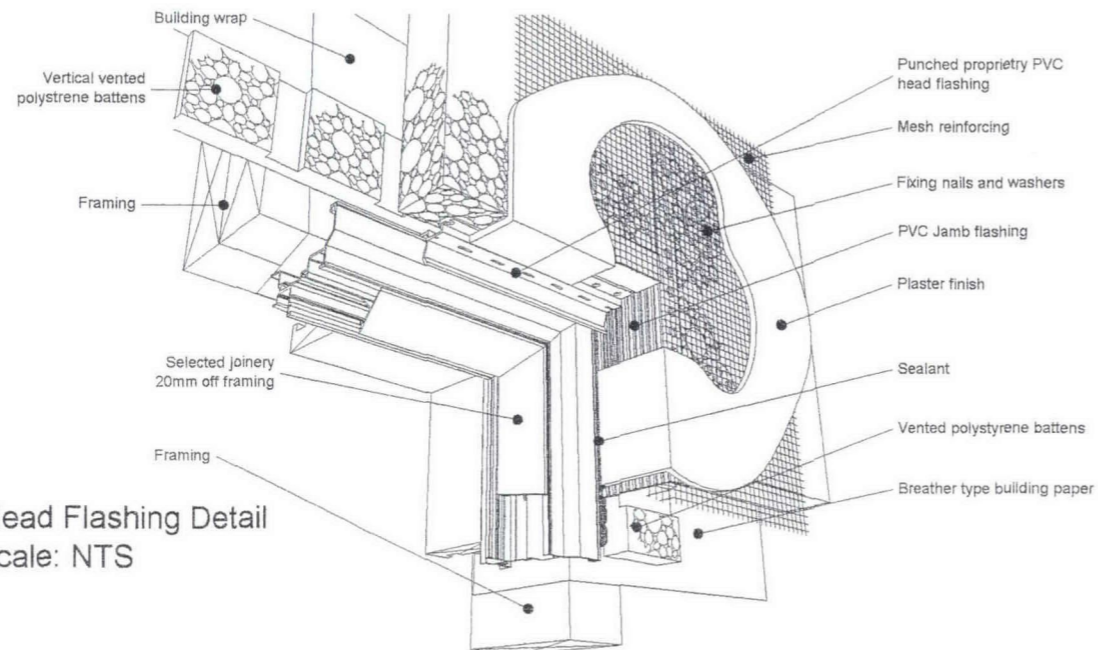
AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	
Changes as per drawing amendment log 27/10/04	AJ	

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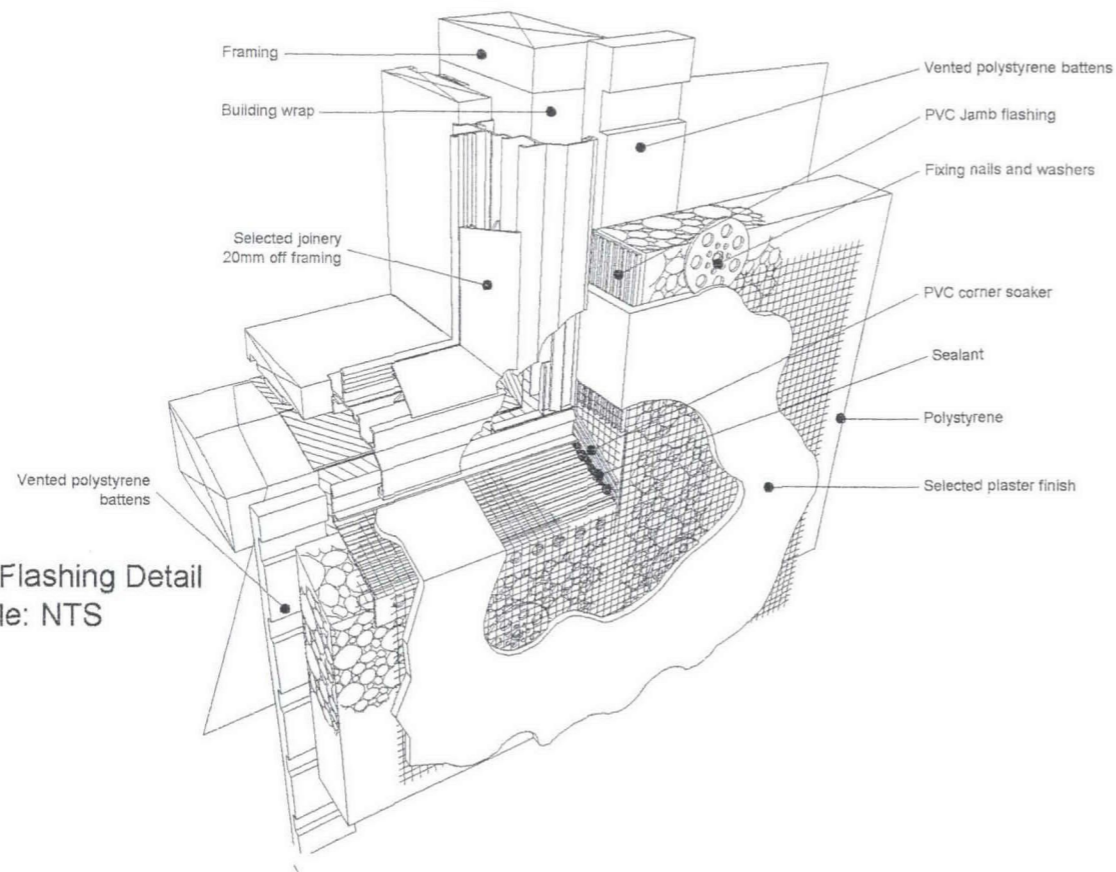
25° CORRUGATED COLOURSTEEL ROOF
 PLASTER SYSTEM EXTERIOR
 (40mm poly over 20mm battens)
PERMIT PLANS
 medium wind zone

Client: TALLENTIRE
 Address: Lot. 55. D.P. 314418.
 RICHARD SEDDON DRIVE.
 WOODBANK ESTATES.

DETAILS.			
Sheet. 14	Drawn. AARON	Date. 27/09/04	Chk.
Std. plan based on. MOD GRECO	Sales. MM	Plot Date 02/11/04	Version 03
Scale @ A3 1:20	Job Number. 01519		



Head Flashing Detail
scale: NTS



Sill Flashing Detail
scale: NTS

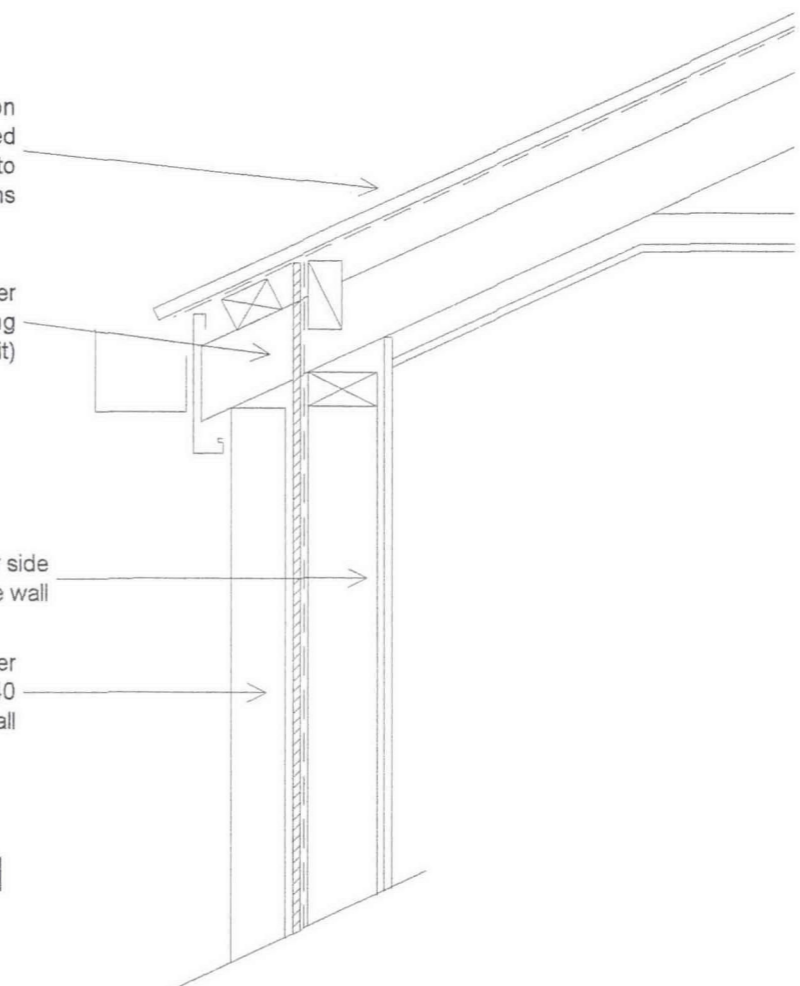
Roofing (Tile or Longrun) on building paper on approved purlins fixed to trusses built to manufactures specifications

Hardies sheet 6mm or thicker extended to u/s of roofing (blocking to suit)

10mm fyreline gib to interior side of ex100x40 studframe wall

Hardies sheet 6mm or thicker to external side of ex100x40 studframe wall

Fire Rated Soffit Detail
scale 1:10



Resource Consents: Dining room within 3.000m of bdy setback



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AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	
Changes as per drawing amendment log 27/10/04	AJ	

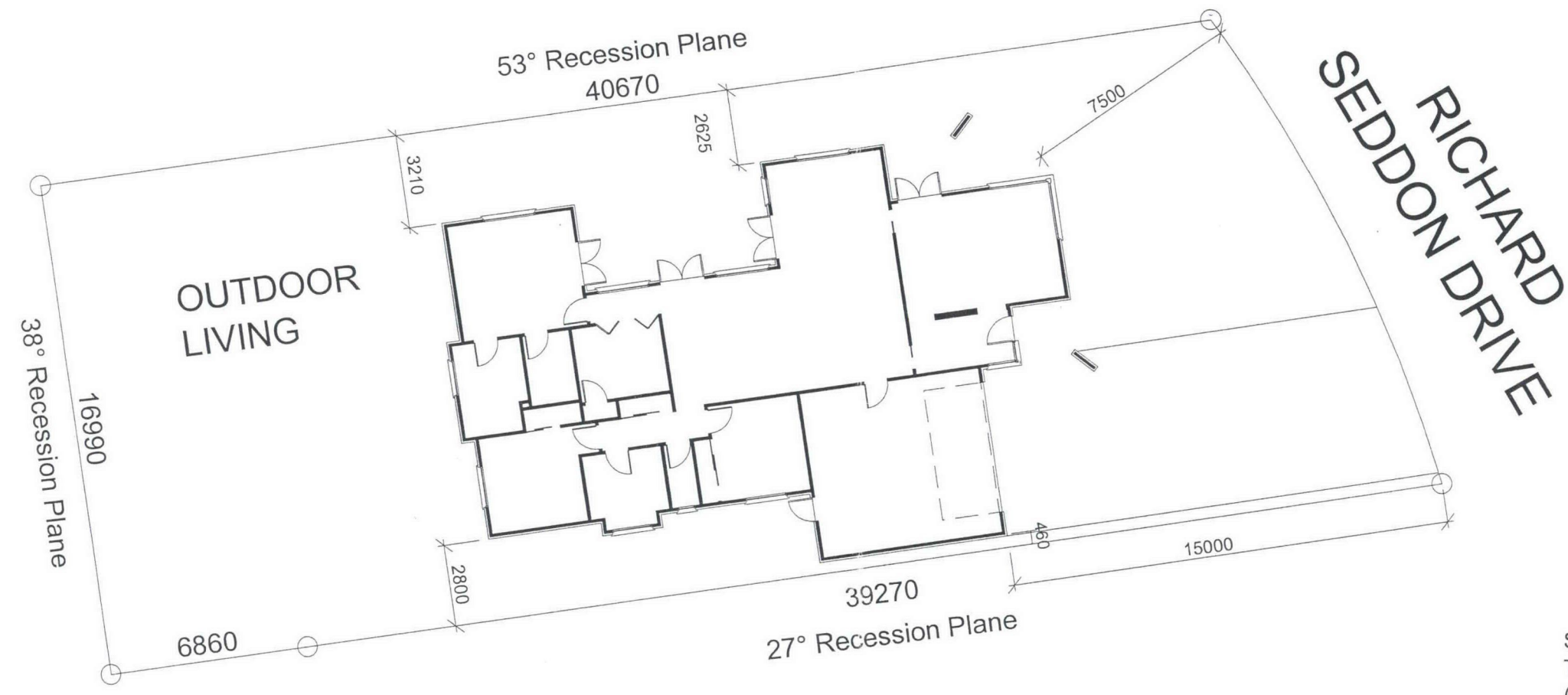
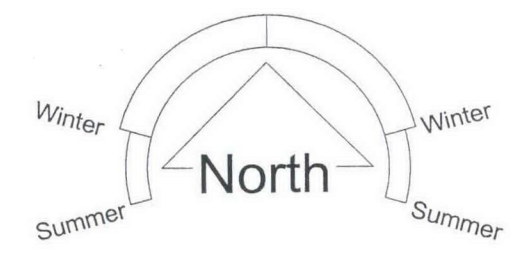
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All required timber treatment to comply with NZS 3602 2003

25° CORRUGATED COLOURSTEEL ROOF
PLASTER SYSTEM EXTERIOR
(40mm poly over 20mm battens)
PERMIT PLANS
medium wind zone

Client : TALLENTIRE
Address :
Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

Sheet	15	Drawn	AARON	Date	27/09/04	Chk.
Std. plan based on.	MOD GRECO	Sales.	MM	Plot Date	02/11/04	Version
Scale @ A3	1:100	Job Number.	01519			

PRELIMINARY SITE PLAN
D.P./C.T. required for Permit



SEWER & STORMWATER TO JOIN TO EXISTING CONNECTIONS (POSITIONS UNKNOWN)

NET SITE AREA = 747m²
BUILDING AREA = 204m²
SITE COVERAGE = 27.3%

LEGEND:

- SEWER PIPE. —————
- STORM WATER PIPE. - - - - -
- DOWN PIPE. ●

Resource Consents required for: R.P. breach on southern bdy, Dining room window within 3.000 setback.

J. B. P. J.
Client: TALLENTIRE
Address: Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

STONEWOOD HOMES
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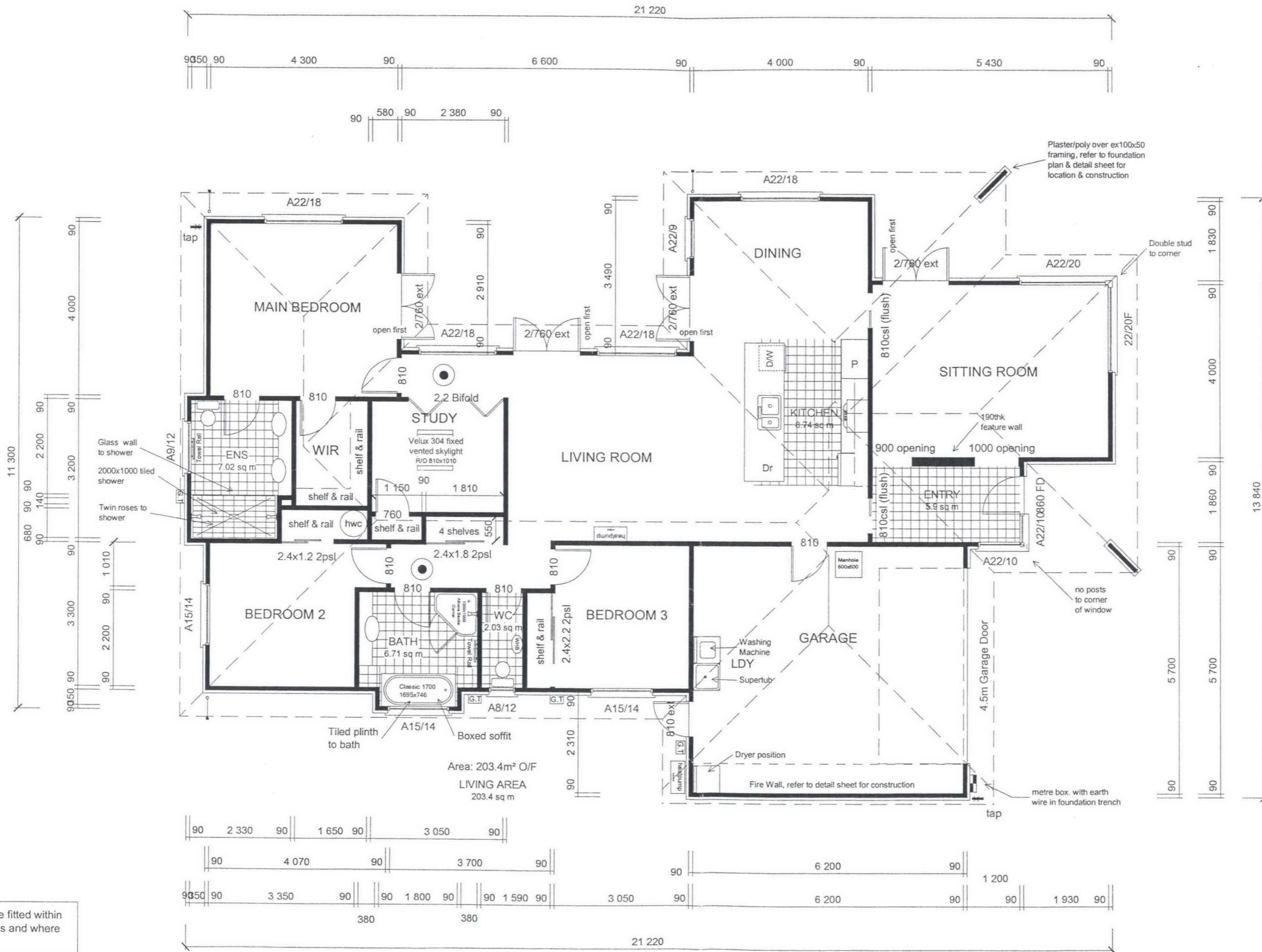
AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	

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Note: Soffit and lintel heights can vary. Refer to specific Cross Section to establish soffit and lintel heights for this house
All required timber treatment to comply with NZS 3602:2003

25° CORRUGATED COLOURSTEEL ROOF
PLASTER SYSTEM EXTERIOR
(40mm poly over 20mm battens)
INITIAL PLANS
medium wind zone

SITE PLAN.

Sheet.	Drawn.	Date.	Chk.
1	AARON	27/09/04	
Std. plan based on.	Sales.	Plot Date	Version
MOD GRECO	MM	27/09/04	01
Scale @ A3 1:200	Job Number.	01519	

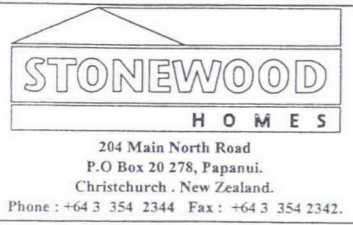


Note:
 -Stonewood Homes Ultra package to be included.
 -Pink Batts ultra 3.6 batt upgrade to the ceiling.
 -6Kw heat pump.
 -Double glazing Argon gas filled to all areas excluding the garage.

Note:
 - Mesh to all tiled areas.
 - Door bell to front door.
 - Tiletherm to ensuite/kitchen.
 - Basin in WC supplied by owner.

Smoke detectors to be fitted within 3.0m of sleeping areas and where indicated

Resource Consents required for: R.P. breach on southern bdy, Dining room window within 3.000 setback.



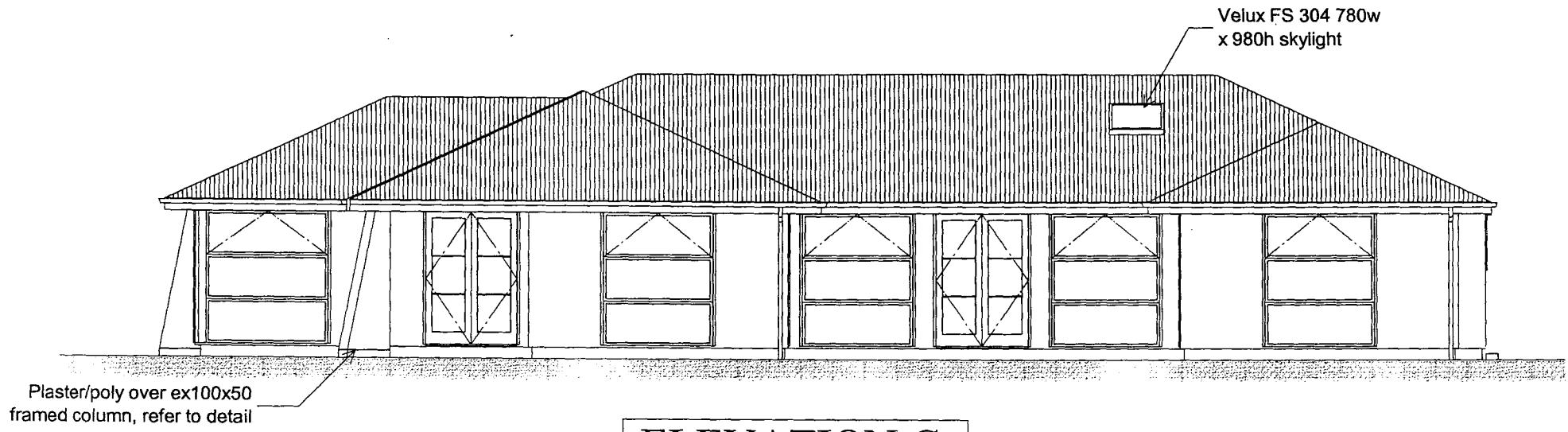
AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	

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 All required timber treatment to comply with NZS 3602 2003

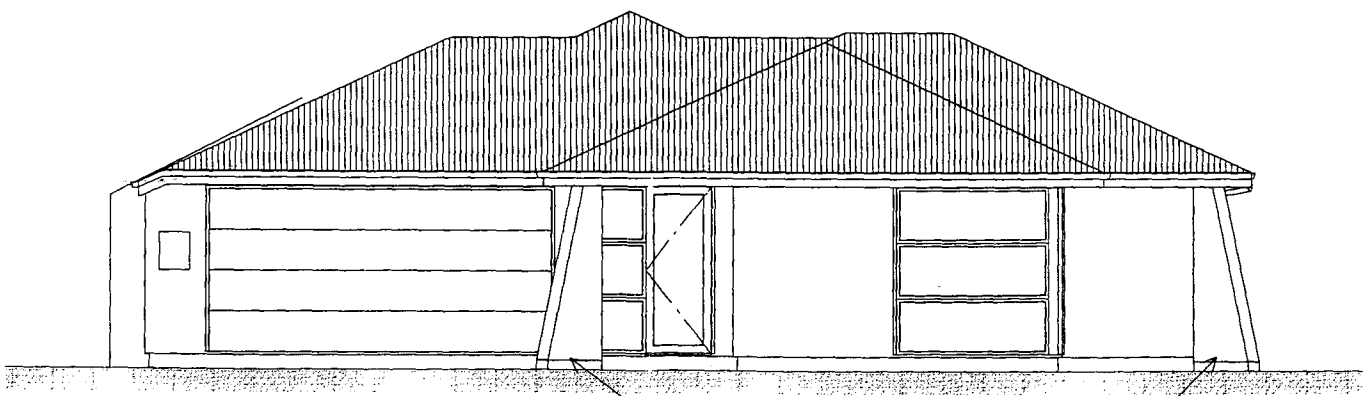
25° CORRUGATED COLOURSTEEL ROOF
 PLASTER SYSTEM EXTERIOR
 (40mm poly over 20mm battens)
INITIAL PLANS
 medium wind zone

Client : **TALLENTIRE**
 Address : Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

FLOOR PLAN.			
Sheet. 2	Drawn. AARON	Date. 27/09/04	Chk.
Std. plan based on. MOD GRECO	Sales. MM	Plot Date 27/09/04	Version 01
Scale @ A3 1:100	Job Number.	01519	



ELEVATION C



ELEVATION D

Resource Consents required for: R.P. breach on southern bdy, Dining room window within 3.000 setback.

J.B.A.J.

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 204 Main North Road
 P.O. Box 20 278, Papanui.
 Christchurch . New Zealand.
 Phone : +64 3 354 2344 Fax: +64 3 354 2342.

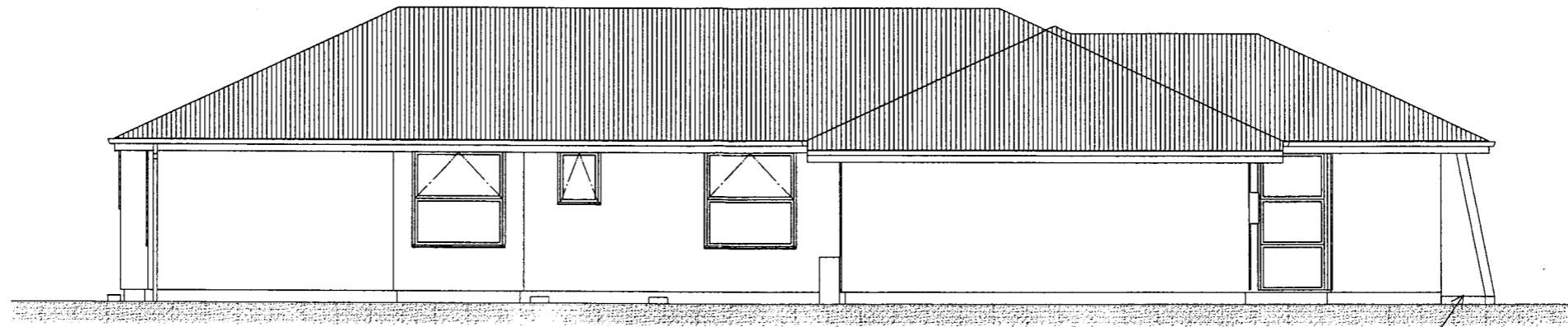
AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	

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25° CORRUGATED COLOURSTEEL ROOF
 PLASTER SYSTEM EXTERIOR
 (40mm poly over 20mm battens)
INITIAL PLANS
 medium wind zone

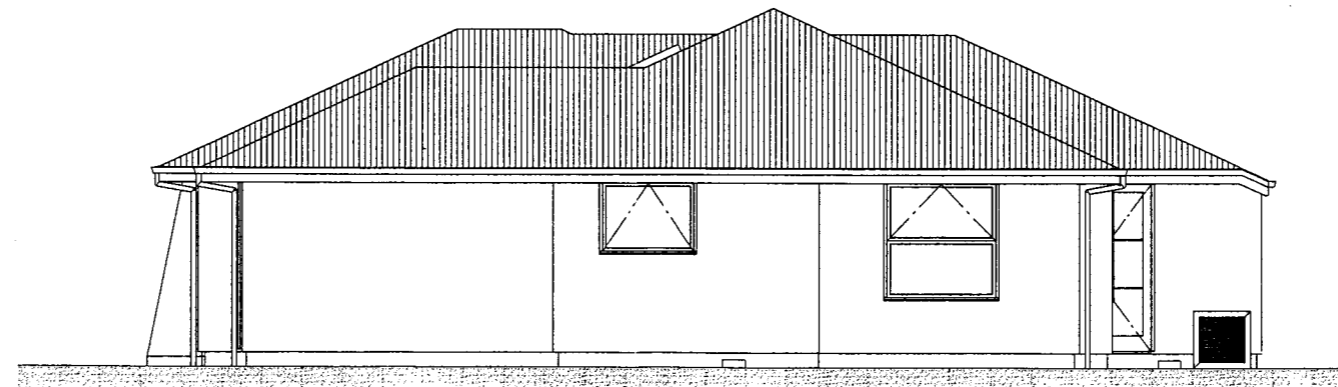
Client : TALLENTIRE
 Address : Lot. 55. D.P. 314418.
 RICHARD SEDDON DRIVE.
 WOODBANK ESTATES.

ELEVATIONS (2)			
Sheet.	Drawn.	Date.	Chk.
5	AARON	27/09/04	
Std. plan based on.	Sales.	Plot Date	Version
MOD GRECO	MM	27/09/04	01
Scale @ A3 1:100	Job Number.	01519	



ELEVATION A

Plaster/poly over ex100x50
framed column, refer to detail



ELEVATION B

Resource Consents required for: R.P. breach on southern bdy, Dining room window within 3.000 setback.

S. B. J.



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P.O Box 20 278, Papanui.
Christchurch, New Zealand.
Phone : +64 3 354 2344 Fax : +64 3 354 2342.

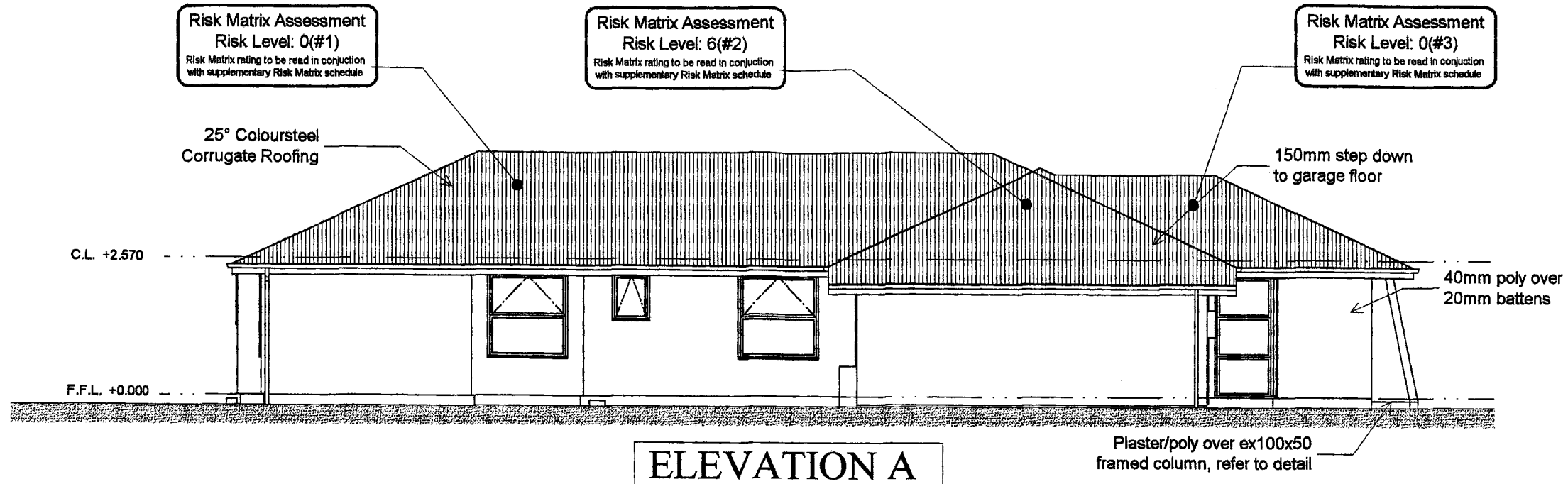
AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	

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25° CORRUGATED COLOURSTEEL ROOF
PLASTER SYSTEM EXTERIOR
(40mm poly over 20mm battens)
INITIAL PLANS
medium wind zone

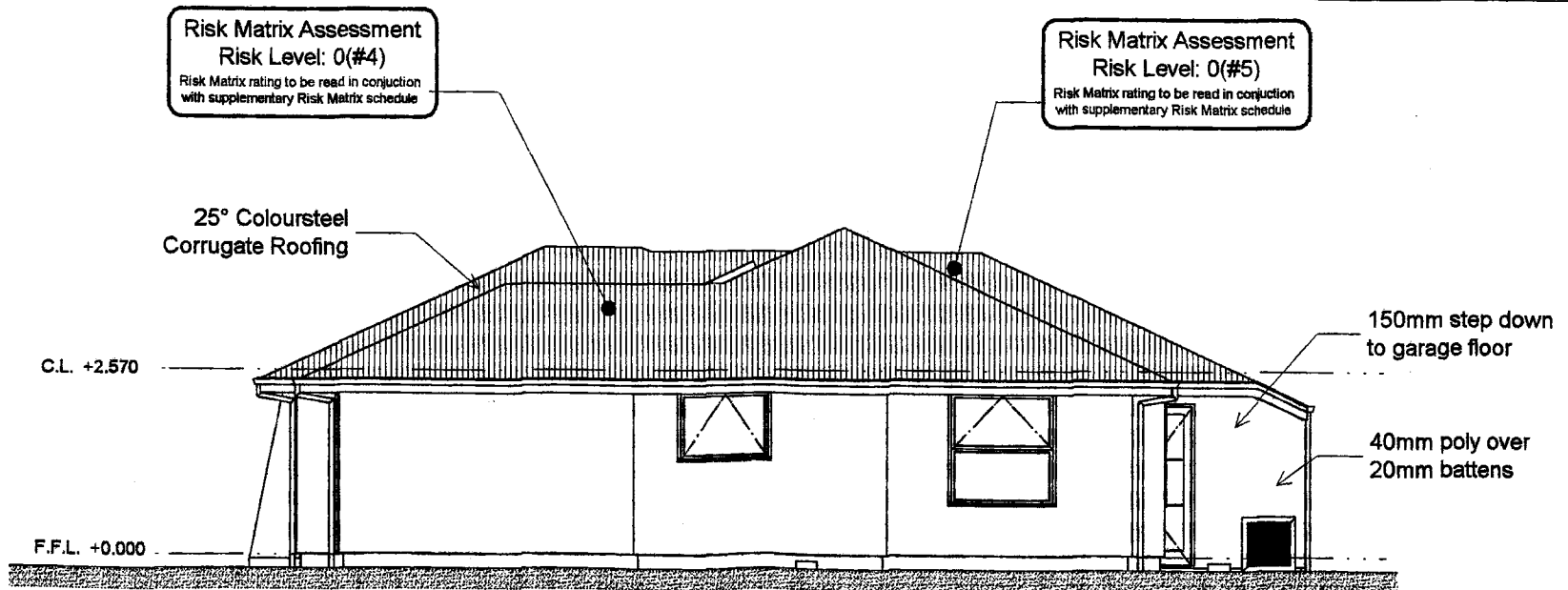
Client : TALLENTIRE
Address :
Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

ELEVATIONS. (1)			
Sheet	4	Drawn. AARON	Date. 27/09/04
Std. plan based on.	MOD GRECO	Sales. MM	Plot Date 27/09/04
Scale @ A3	1:100	Job Number.	01519



ELEVATION A

Note: Ground level around garage to be dug out to be 150mm clear to poly



ELEVATION B

Note: Ground level around garage to be dug out to be 150mm clear to poly

CHRISTCHURCH CITY COUNCIL
Resource Consent
RMA.....20018728/4
APPROVED PLANS
Signed.....KAS
Date.....16-12-04

Resource Consents: Dining room within 3.000m of bdy setback

B. A. Johnson

STONEWOOD HOMES
204 Main North Road
P.O. Box 20 278, Papanui.
Christchurch, New Zealand.
Phone: +64 3 354 2344 Fax: +64 3 354 2342.

AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	
Changes as per drawing amendment log 27/10/04	AJ	

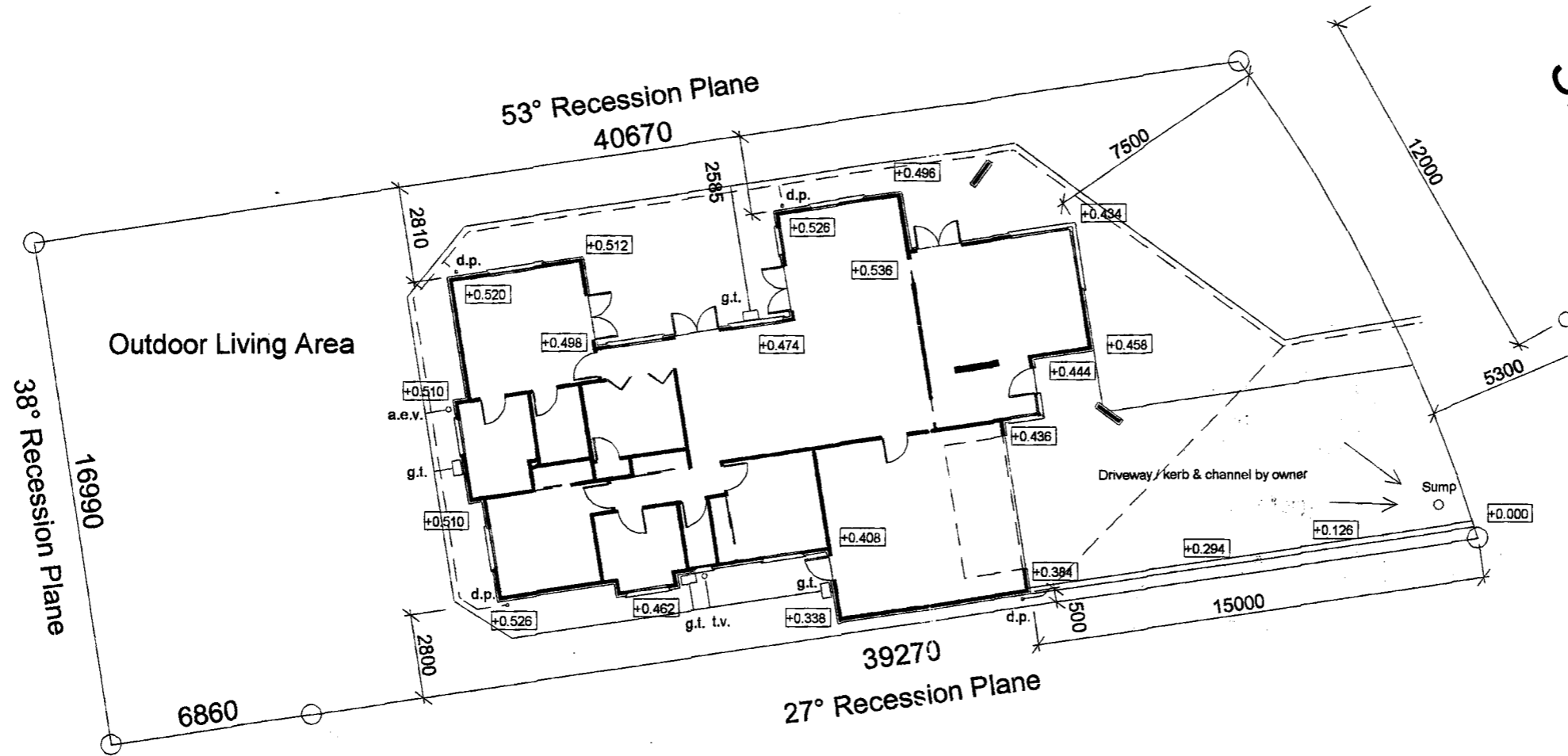
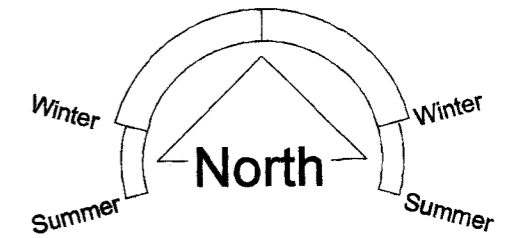
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All required timber treatment to comply with NZS 3602 2003

25° CORRUGATED COLOURSTEEL ROOF
PLASTER SYSTEM EXTERIOR
(40mm poly over 20mm battens)
PERMIT PLANS
medium wind zone

Client: TALLENTIRE
Address: Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

ELEVATIONS. (1)

Sheet	Drawn	Date	Chk.
4	AARON	27/09/04	
Std. plan based on.	Sales.	Plot Date	Version
MOD GRECO	MM	02/11/04	03
Scale @ A3 1:100	Job Number.	01519	



**RICHARD
SEDDON DRIVE**

CHRISTCHURCH CITY COUNCIL
Resource Consent
RMA 2001 8728/2
APPROVED PLANS
Signed *[Signature]*
Date 16.12.04

SEWER & STORMWATER TO JOIN
TO EXISTING CONNECTIONS
(POSITIONS UNKNOWN)

NET SITE AREA = 747m²
BUILDING AREA = 204m²
SITE COVERAGE = 27.3%

LEGEND.

SEWER PIPE. —————
STORM WATER PIPE. - - - - -
DOWN PIPE. ●

Resource Consents: Dining room within 3.000m of bdy setback

**STONEWOOD
HOMES**
204 Main North Road
P.O. Box 20 278, Papanui,
Christchurch, New Zealand.
Phone: +64 3 354 2344 Fax: +64 3 354 2342.

AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	
Changes as per drawing amendment log 27/10/04	AJ	

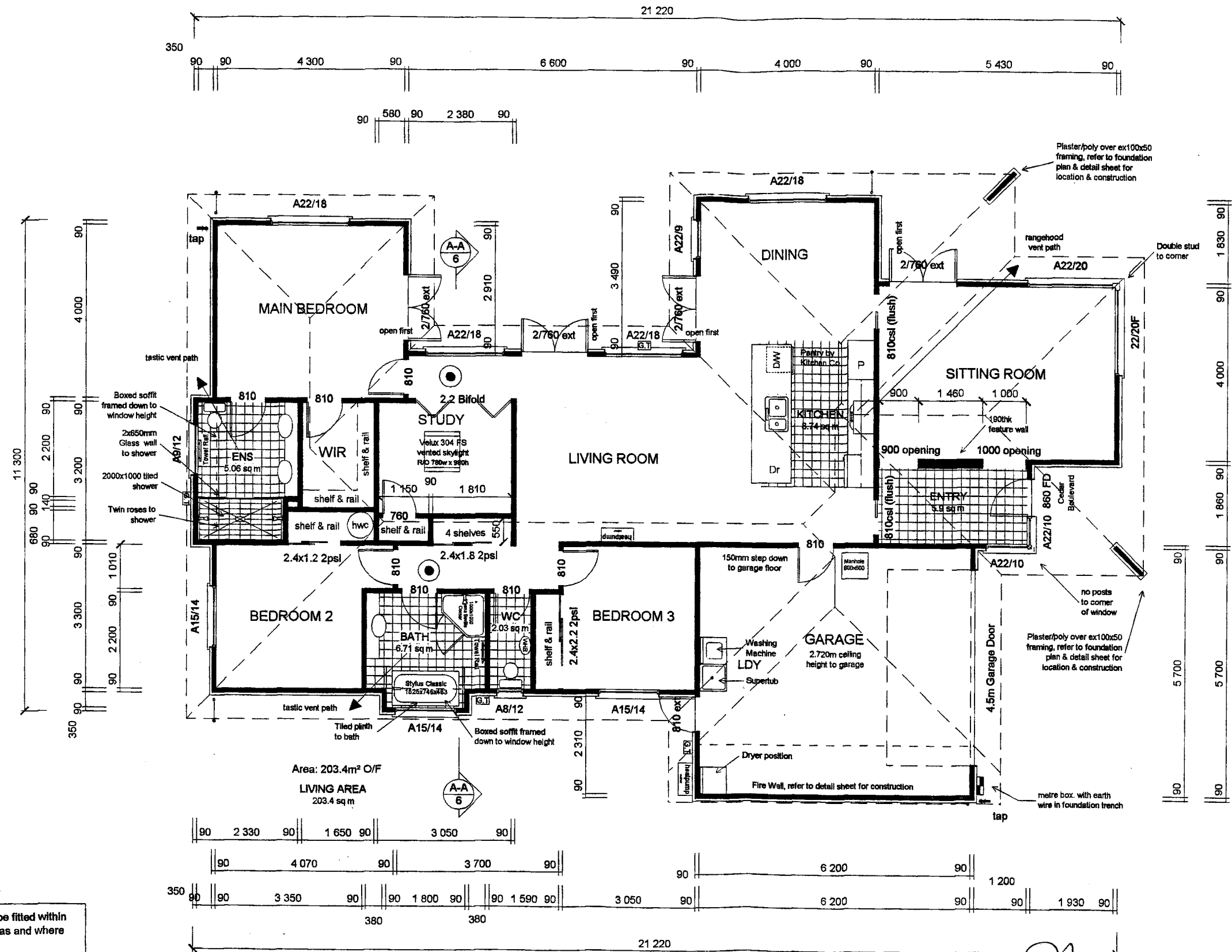
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25° CORRUGATED COLOURSTEEL ROOF
PLASTER SYSTEM EXTERIOR
(40mm poly over 20mm battens)
PERMIT PLANS
medium wind zone

Client: TALLENTIRE
Address: Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

SITE PLAN.

Sheet.	Drawn.	Date.	Chk.
1	AARON	27/09/04	
Std. plan based on.	Sales.	Plot Date	Version
MOD GRECO	MM	02/11/04	03
Scale @ A3 1:200	Job Number.	01519	



Note:
 -Stonewood Homes Ultra package to be Included.
 -Pink Batts ultra 3.6 batt upgrade to the ceiling.
 -6Kw heat pump.
 -Double glazing Argon gas filled to all areas excluding the garage.

Note:
 - Mesh to all tiled areas.
 - Door bell to front door.
 - Tiletherm to ensuite/kitchen.
 - Basin in WC supplied by owner.
 - House to be square stopped.
 - Mesh added to tiled areas.
 - Pack pink batts around bath in main bthrm.

CHRISTCHURCH CITY COUNCIL
 Resource Consent
 RMA 20018728/3
APPROVED PLANS
 Signed *MS*
 Date 16.12.04

Smoke detectors to be fitted within 3.0m of sleeping areas and where indicated

Resource Consents: Dining room within 3.000m of bdy setback

STONEWOOD HOMES
 204 Main North Road
 P.O. Box 20 278, Papanui,
 Christchurch, New Zealand.
 Phone: +64 3 354 2344 Fax: +64 3 354 2342.

AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	
Changes as per drawing amendment log 27/10/04	AJ	

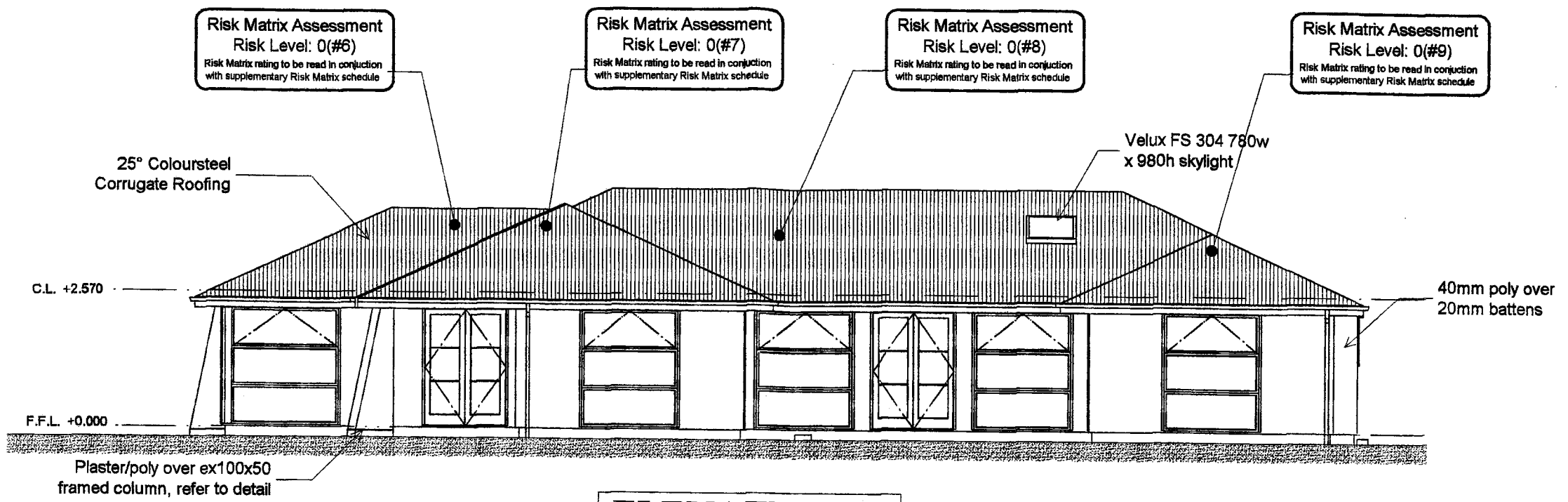
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 PLASTER SYSTEM EXTERIOR
 (40mm poly over 20mm battens)
PERMIT PLANS
 medium wind zone

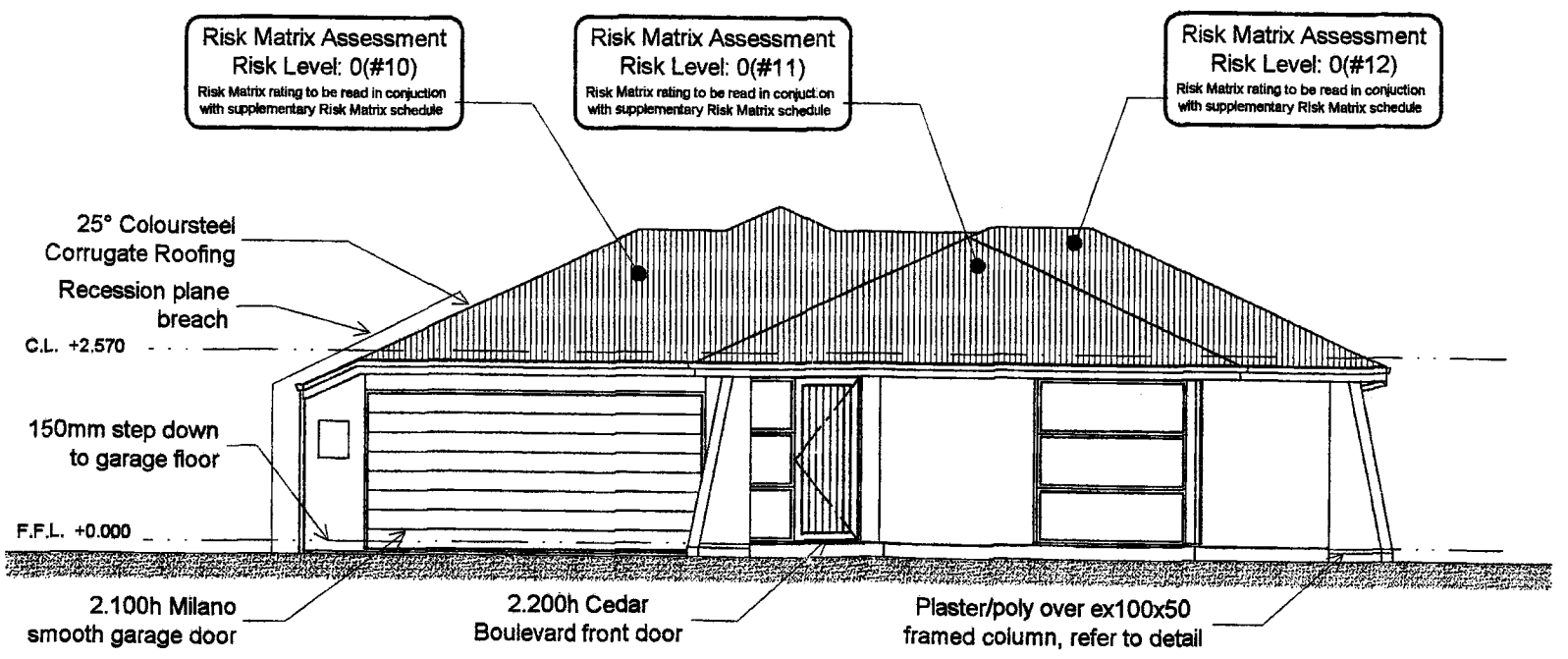
B. A. Furman

Client: TALLENTIRE
 Address: Lot. 55. D.P. 314418.
 RICHARD SEDDON DRIVE.
 WOODBANK ESTATES.

FLOOR PLAN.			
Sheet 2	Drawn. AARON	Date. 27/09/04	Chk.
Std. plan based on. MOD GRECO	Sales. MM	Plot Date 02/11/04	Version 03
Scale @ A3 1:100	Job Number. 01519		



ELEVATION C



Note: Ground level around garage to be dug out to be 150mm clear to poly

ELEVATION D

CHRISTCHURCH CITY COUNCIL
Resource Consent
RMA 20018728/5
APPROVED PLANS
Signed *KTS*
Date 16.12.04

Resource Consents: Dining room within 3.000m of bdy setback

B.A. Thomas
B.A. Thomas

STONEWOOD HOMES
204 Main North Road
P.O. Box 20 278, Papanui,
Christchurch, New Zealand.
Phone: +64 3 354 2344 Fax: +64 3 354 2342.

AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	
Changes as per drawing amendment log 27/10/04	AJ	

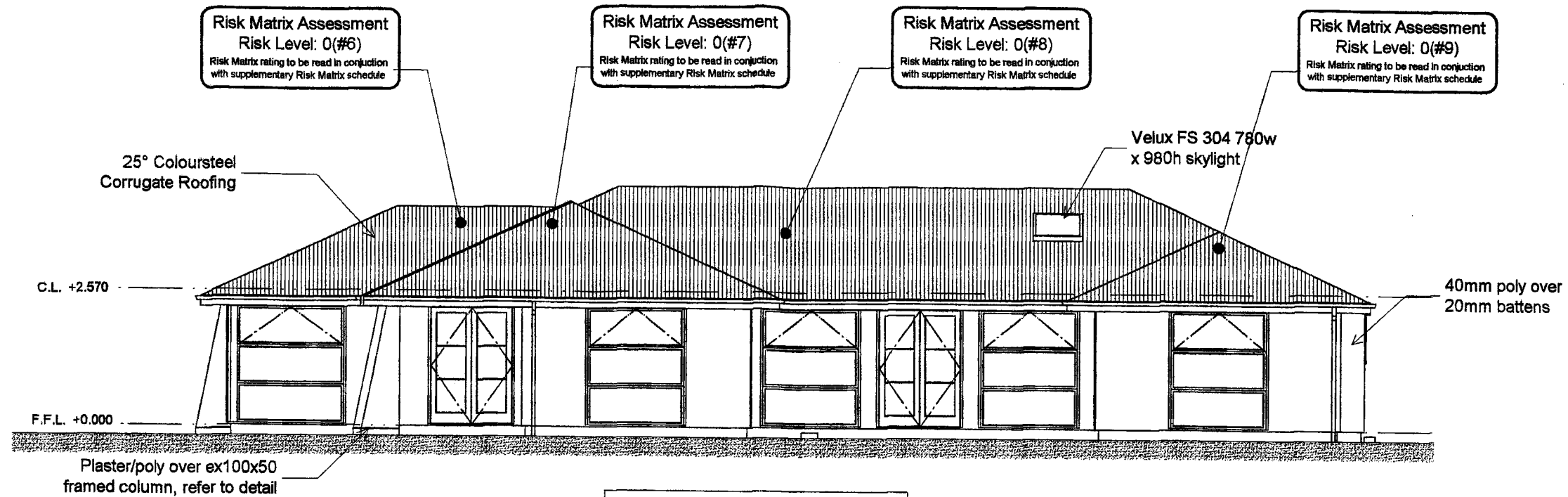
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PLASTER SYSTEM EXTERIOR
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PERMIT PLANS
medium wind zone

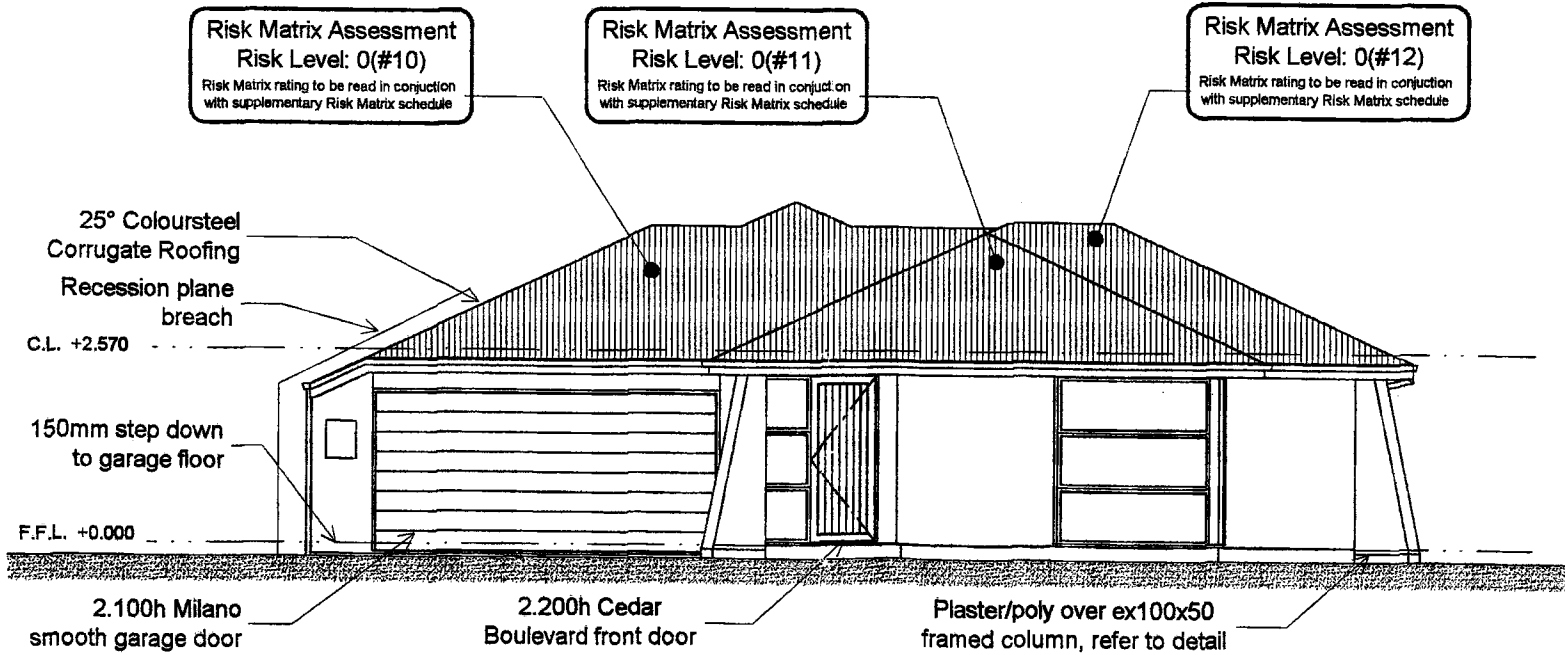
Client: TALLENTIRE
Address: Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE,
WOODBANK ESTATES.

ELEVATIONS (2)

Sheet	Drawn	Date	Chk.
5	AARON	27/09/04	
Std. plan based on:	Sales:	Plot Date	Version
MOD GRECO	MM	02/11/04	03
Scale @ A3 1:100	Job Number.	01519	



ELEVATION C



Note: Ground level around garage to be dug out to be 150mm clear to poly

ELEVATION D

CHRISTCHURCH CITY COUNCIL
Resource Consent
RMA 20018728/5
APPROVED PLANS
Signed [Signature]
Date 16.12.04

Resource Consents: Dining room within 3.000m of bdy setback

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AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	
Changes as per drawing amendment log 27/10/04	AJ	

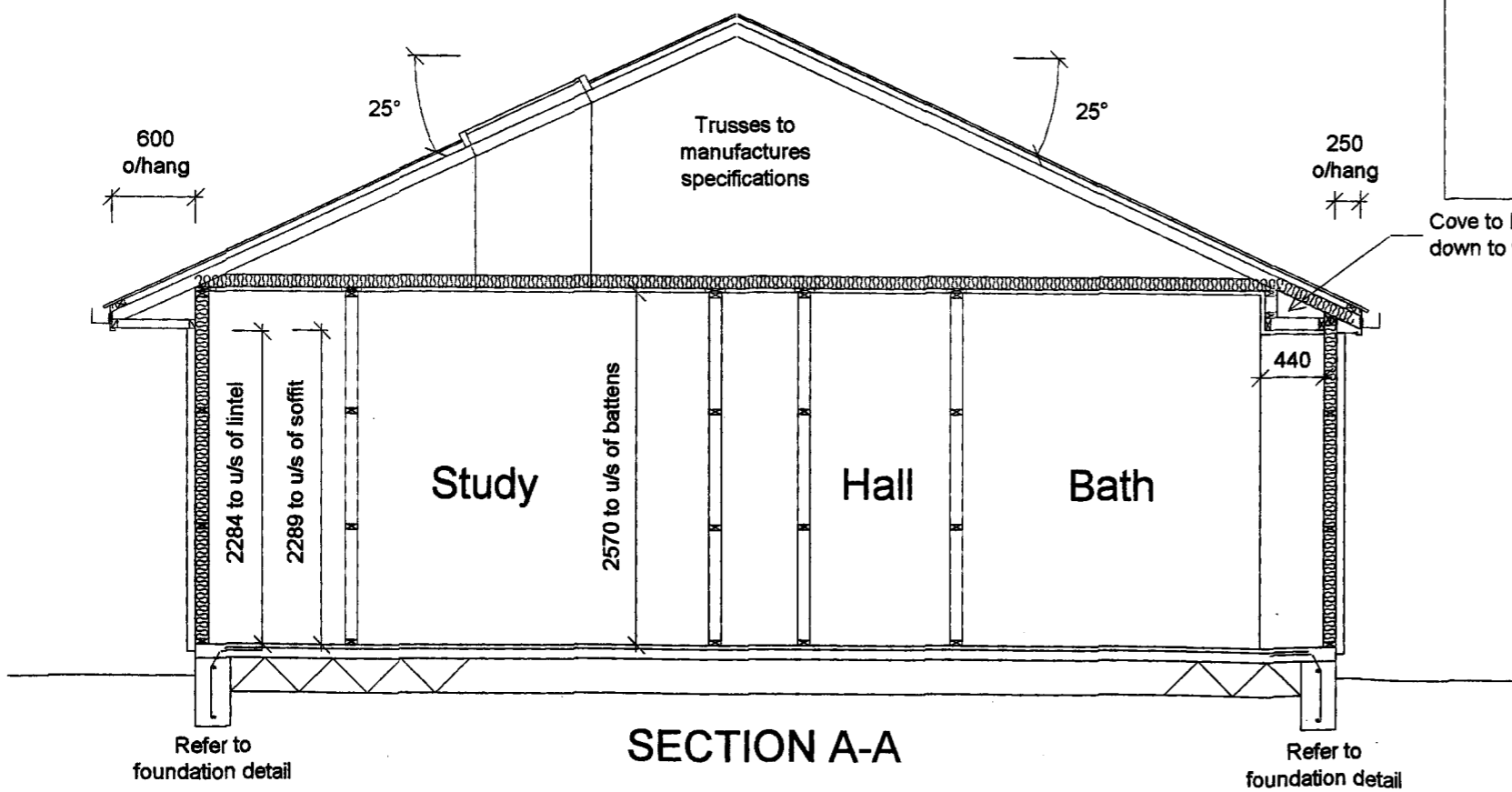
This plan is developed for the purchaser and is copyright to Stonewood Homes Ltd.
NOTE: ALL ALUMINIUM WINDOWS AND DOORS TO GO UP TO THE U/S OF THE SOFFITS. (ONLY ON HOUSES WITH SOFFITS) AND ALSO FULL HEIGHT WINDOWS TO BE THE SAME HEIGHT AS DOORS. (ESPECIALLY IN CASES WHERE THERE ARE NO SOFFITS)
Note: Soffit and lintel heights can vary. Refer to specific Cross Section to establish soffit and lintel heights for this house
All required timber treatment to comply with NZS 3802 2003

25° CORRUGATED COLOURSTEEL ROOF
PLASTER SYSTEM EXTERIOR
(40mm poly over 20mm battens)
PERMIT PLANS
medium wind zone

Client: TALLENTIRE
Address: Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

ELEVATIONS (2)

Sheet	Drawn	Date	Chk.
5	AARON	27/09/04	
Std. plan based on:	Sales:	Plot Date	Version
MOD GRECO	MM	02/11/04	03
Scale @ A3 1:100	Job Number.	01519	



Timber Treatment Schedule
All timber treatment to comply with NZS 3602:2003
All timber assumed to be Pinus Radiata

	Brick (Low risk)	Brick	Plaster
Walls & Roof			
Exterior			
Bottom plates	H1.1	H1.2	H1.2
Studs & Dwargs	H1.1	H1.2	H1.2
Top plates	H1.1	H1.2	H1.2
Ply sheet bracing	H3	H3	H3
Members supporting shelf angles	H3.1	H3.1	n/a
Interior			
Bottom plates	H1.1	H1.1	H1.1
Studs & Dwargs	H1.1	H1.1	H1.1
Top plates	H1.1	H1.1	H1.1
Ceiling battens	n/a	n/a	n/a
Trusses	H1.1	H1.1	H1.1
Purlins	H1.1	H1.1	H1.1
Valley boards	H3.1	H3.1	H3.1
Flat roof framing	H3.1	H3.1	H3.1
Boxed gutter etc.	H3.1	H3.1	H3.1
Skillion roof framing	H3.1	H3.1	H3.1
Intermediate Timber floors			
LVL flooring systems	None	None	None
Particle board flooring	None	None	None
Enclosed Balconies (cantilever and simply supported)			
Joists	H1.2	H1.2	H1.2
Wall Framing	H1.2	H1.2	H1.2
Blocking	H1.2	H1.2	H1.2
Decking	H3.1	H3.1	H3.1
Miscellaneous			
Exterior framed & clad Chimneys	H3.1	H3.1	H3.1
Exterior framed & clad columns	H3.1	H3.1	H3.1
Exterior Posts	H3.2	H3.2	H3.2
Exterior Posts (Laminated)	H3	H3	H3
Exterior Rafters	H3.2	H3.2	H3.2
Internal Lined columns (NLB)	None	None	None
Internal Lined columns (LB)	H1.2	H1.2	H1.2

Plaster (single storey) CONSTRUCTION SCHEDULE

These drawings to be read in conjunction with engineers documentation

Foundation construction to comply with N.Z.S 3604 and local building bylaws

Coloursteel Corr. roof 25° pitch
Plate trusses @ 900crs
Pryda plate or Gang Nail
144x31mm ceiling plate
90x38mm top plate
"Rondo" metal ceiling battens @ 600mm crs
Ultraline ceiling
Metal fascia & spouting system
Hardiflex to soffits
Frames to be:
90x38mm studs @ 600mm crs
Dwanging @ 800crs, extra row at soffit level
2x sill trimmers to all windows
R2.2 insulation batts to walls
R3.6 insulation batts to ceiling
100mm concrete floor
Moistop on Tailings
2/D16 rods with D10 starters @ 600mm crs

All construction to comply with NZS 3604

Resource Consents: Dining room within 3.000m of bdy setback

204 Main North Road
P.O Box 20 278, Papanui,
Christchurch, New Zealand.
Phone: +64 3 354 2344 Fax: +64 3 354 2342.

AMENDMENTS.	DRWN	CHK
Changes as per drawing amendment log 27/09/04	AJ	
Changes as per drawing amendment log 19/10/04	AJ	
Changes as per drawing amendment log 27/10/04	AJ	

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Note: Soffit and lintel heights can vary. Refer to specific Cross Section to establish soffit and lintel heights for this house

All required timber treatment to comply with NZS 3602 2003

25° CORRUGATED COLOURSTEEL ROOF
PLASTER SYSTEM EXTERIOR
(40mm poly over 20mm battens)

PERMIT PLANS
medium wind zone

B.A. Freeman

Client: TALLENTIRE
Address: Lot. 55. D.P. 314418.
RICHARD SEDDON DRIVE.
WOODBANK ESTATES.

CROSS SECTION. (A-A)

Sheet	Drawn	Date	Chk.
6	AARON	27/09/04	
Std. plan based on.	Sales.	Plot Date	Version
MOD GRECO	MM	02/11/04	03
Scale @ A3 1:50	Job Number.	01519	