

PPR 109982

Permit No. E51785

ISEL PLACE

STREET
ROAD

6

HOUSE
No.

LOT 9 D.P. 5508

FRONTAGE

Date Approved 22-1-73

Date Issued 24-1-73

OWNER

BUILDER

WORK

C. T. BOOTH
As ABOVE

OWNER.

ADDITIONS & ALTERATIONS
TO DWELLING.

Subject to

Designation of
Household Unit

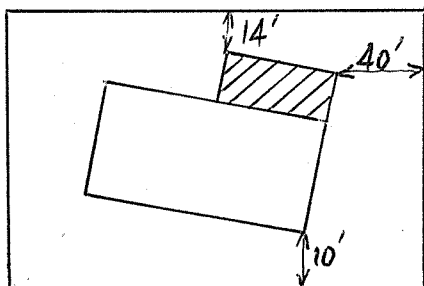
Maximum Number
of Occupants

Area 120 Sq. Ft. Value \$1000

Foundation CONC. Walls W/BORDS Roof IRON.

Remarks

Site Plan



Inspections

Date	Instructions to Builder
15-5-73	95% complete.

Date of Final Inspection 16-5-73.

[Signature] Inspector.

Exterior Lining
Interior Lining
Completed
Excavation
Foundations
Framework

NELSON CITY COUNCIL

BUILDING APPLICATION FORM

No. E 51785
Date 18-1-73

To the City Engineer,
NELSON.

Sir,

I hereby apply for permission to

~~erect~~
~~alter~~
~~convert~~
~~reinstate~~
~~demolish~~

Residence

for Mr. C.T. BOOTH of 6 Isel Place, Stoke
(Owner) (Owner's Address)

according to locality plans, detailed plans, elevations, cross sections and specifications of building deposited herewith, IN DUPLICATE.

PARTICULARS OF LAND:—

Lot 9 D.P. 5508 Section Blk.
Street No. 6, Isel Place, Stoke Street.
(If allotted)

Frontage , Area

PARTICULARS OF BUILDING:—

Foundations Concrete Walls w/Board Roof Iron
Area of Ground Floor 120 square feet.
Area of Outbuildings square feet.

ESTIMATED COST:—

Plumbing and Drainage \$
Building \$ 1000
Total \$ 1000

Purpose for which building is to be used

Residential

Builder

Owner

Address

Signature of Builder

[Signature]

For Office Use ONLY

Builder's Plan & Specifications

Permit Fee

\$5.00

Subdivision Plan

Block Plan

Index Plan No.

Application No.

414440

Date:

24/1/1973

Date: Rec'd; 18/1/73 Notific. by; 26/1/73

Locality 6 ISLE PLACE
Lot 9 D.P. 5508

BUILDING INSPECTION SHEET

Application for; Addition and alterations to dwelling

owner: BOOTH C.T. Builder: OWNER

NON-COMPLIANCE					
		DATE		APPROVED INITIALS.	
A. Application form completed. Area of new buildings or additions.	☒	E. Special Conditions on specific sites.	☒		
B. Building Registration Certificate.	☒	F. Applications for occupation of streets and footpaths submitted.	☒		
C. Street No. Allocated.	☒	G. Licensing Commission.	☒		
D. Application accompanying - Plumbing & Drainage ; Water, Crossing.	☒	H. Labour Department.	☒		
ELECTRICITY DEPARTMENT				ELECTRICITY DEPT.	
A. Building on Council land or street.	☐	D. Street vested in the council. DP or L.T. number issued & a copy of plan filed in Eng. Dept.	☐	LEGAL.	
B. Building Line restriction.	☐				
C. Party wall registered.	☐				
A. Zoning and use.	☐	F. Accessory buildings : height, siting coverage, distance to neighbours dwg.	☐	TOWN PLANNING.	
B. Yards; front, sides, rear : eaves.	☐	G. Off street parking, future garage sites on Residential sites.	☐		
C. Coverage and density.	☐	H. Method of joining household units.	☐		
D. Height : general, com. streets, fences, special areas	☐	I. Verandahs ; general & comm. streets.	☐		
E. Formation width; access to rear sites for Res. buildings of more than 6/u	☐				
DISPENSATION, CONDITIONAL USE, DEPARTURE :- _____ Date Granted _____ Conditions, if any, complied with;					
A. Signs : Size, height above G.L., projection height above building. Electric signs-affect on traffic. Flashing signs - Zone	☐ ☐ ☐	Sky signs. Hoardings. B. Poultry Houses. C. Aviaries.	☐ ☐ ☐	BYLAWS (General)	
A. General Plumbing Number of sanitary fittings.	☐ ☐	F. Drainage. G. Stormwater drains.	☐ ☐	HEALTH, PLUMBING and DRAINAGE.	
C. Isolation of W.C.compartments.	☐	H. Drains under buildings	☐		
D. Lighting & Ventilation of WC's & urinals.	☐	I. Septic Tank approval.	☐		
E. Buildings Compliance with Health Act.	☐	J. Copy of Health Depts apprvl.(Offensive T).	☐		
A. Fire Risk Area.	☐	F. Fire rating structural frames.	☐	FIRE REQUIREMENTS	
B. Classification of occupancy, Type Constr.	☐	G. Fire rating of floors.	☐		
C. Fire Compartment size, exceptions to areas.	☐	H. Separation of occupancies.	☐		
D. External walls, parapets, omission of walls	☐	I. Roof space restriction	☐		
E. % of openings in walls, fire windows & doors.	☐	J. Special Requirements for places of assembly.	☐		
K. Surface finish walls & ceilings.	☐				
A. Units of width of exitway required.	☐	E. Internal & external stairways.	☐	EGRESS	
B. Number of exitways and arrangement.	☐	F. Protection of exitways.	☐		
C. Cul de sacs.	☐	G. Places of assembly & multiunits.	☐		
D. Types of exitways & door openings in linz with egress.	☐				
CHIEF FIRE OFFICER.				CHIEF FIRE OFFICER	
A. Use.	☐	F. Value.	☐	BUILDING BYLAWS.	
B. Minimum floor area for rooms.	☐	G. Heating.	☐		
C. Combinations for rooms in household/unit.	☐	H. Capacity Electric H.W.Cylinder.	☐		
D. Light & ventilation.	☐	I. Notification D.G. Insp. Central Heating.	☐		
E. General Construction.	☐	Applied to not req'd record			
Structural. Accessways & Levels.					
Waterway & Pipe sizes. Dangerous Goods.					
				Amendments Required	
				Tel;	
				Letter;	
				Date;	
				Initials	
				PERMIT MAY BE ISSUED.	

tumble γ

N.C.C. plan No.

issued

C. T. Booth — Additions & Alterations to Dwelling
at C. Isel Place.

Check Lintel Beam at 1st Floor. — 10" x 4" Timber

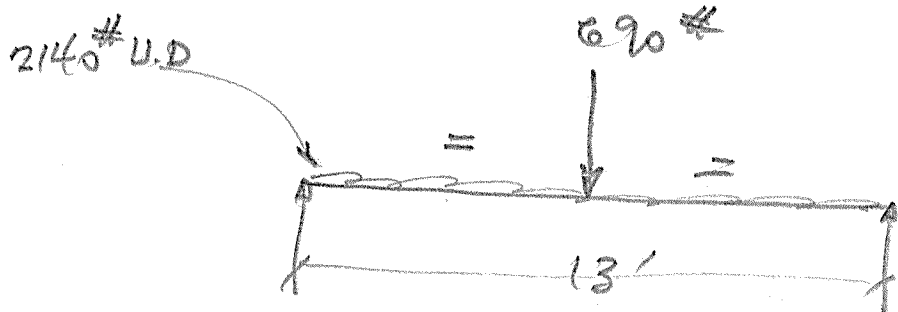
Roof Loading: — Super 6[#] } 11[#]/0'
Dead 5[#] }

Floor Loading: — Super 30[#] } 36[#]/0'
Dead 6[#] }

Canopy Loading: — Super 15[#] } 19[#]/0'
Dead 4[#] }

Loading: — Roof (11[#] x 3' x 13') + Wall (5[#] x 4' x 13') = 690[#]
Roof Load.

U.D. Loading: — Floor (36[#] x 3' x 13') + Canopy (19[#] x 3' x 13')
= 2140 lbs.



$$R_L = R_R = \frac{2140 + 690}{2} = 1415^{\#}$$

$$\text{Max. BM} = (1415^{\#} \times 6.5') - (1070^{\#} \times 3.25') = \underline{5720^{\#} \text{ ft.}}$$

$$K \text{ for } 10 \times 4 \text{ Timber} = 0.8 \left(\frac{243}{188} \right) = 1.04$$

$$\text{Max. Perm. Mt.} \quad I = \frac{4 \times 10^3}{6} = \underline{66.7 \text{ in}^3}$$

$$= 1.04 \times 1000 \times 66.7 = \underline{69300 \text{ lb. in.}}$$

$$\text{Actual Max. Mt.} = 5720 \times 12 = \underline{68800 \text{ lb. in.}}$$

O.K. in Bending.

$$\text{Max. } \delta = \frac{5W_1L^3}{384EI} + \frac{W_2L^3}{48EI}$$

$$\delta_{\text{max}} = \frac{13 \times L^3}{384EI} (W_1 + W_2)$$

$$\text{where } W_1 = 2140 \#, \quad W_2 = 690 \#$$

$$E = 1,120,000 \frac{\text{lb}}{\text{in}^2}, \quad I_{xx} = \frac{4 \times 10^3}{12} = 333.3 \text{ in}^4$$

$$\begin{aligned} \therefore \text{Max. } \delta &= \frac{13 \times 13^3 \times 12^3}{384 \times 1,120,000 \times 333.3} (2140 + 690) \\ &= \underline{0.975 \text{ in.}} \end{aligned}$$

$$\begin{aligned} \text{Max. Allowable } \delta &= 0.0025 \times 13' \times 12. \\ &= \underline{0.39 \text{ in.}} \end{aligned}$$

Section No good.

Try 12" x 4" Timber.

$$I_{xx} = \frac{4 \times 12^3}{12} = 576 \text{ in}^4$$

$$\begin{aligned} \therefore \text{Max. Actual } \delta &= 0.975 \times \frac{333.3}{576} = \underline{0.564 \text{ in.}} \end{aligned}$$

Try 14" x 4" Timber

No good

$$\begin{aligned} \text{Max. Actual } \delta &= 0.975 \times \frac{10^3}{14^3} = \underline{0.355 \text{ in.}} \\ &\quad \underline{\text{O.K.}} \end{aligned}$$

Check 10" x 4" Timber over 10.5 ft span.

Bending O.K.

Max. δ .

$$U.D. \text{ Loading will be } 2140 \# \times \frac{10.5'}{13'} = \underline{1730 \#}$$

$$\text{Point Load} = 690 \# \times \frac{10.5'}{13'} = \underline{538 \#}$$

$$\therefore \text{Max. } \delta = \frac{13 \times 10.5^3 \times 12^3}{384 \times 1,120,000 \times 333.3} (1730 + 538)$$

$$= \underline{0.415 \text{ in}} \quad \text{---} \quad \underline{\text{no load.}}$$

Specifications to proposed alterations
No. 6 Isel Place, Stoke.

Launge extended by 6' in depth, with
6' terrace.

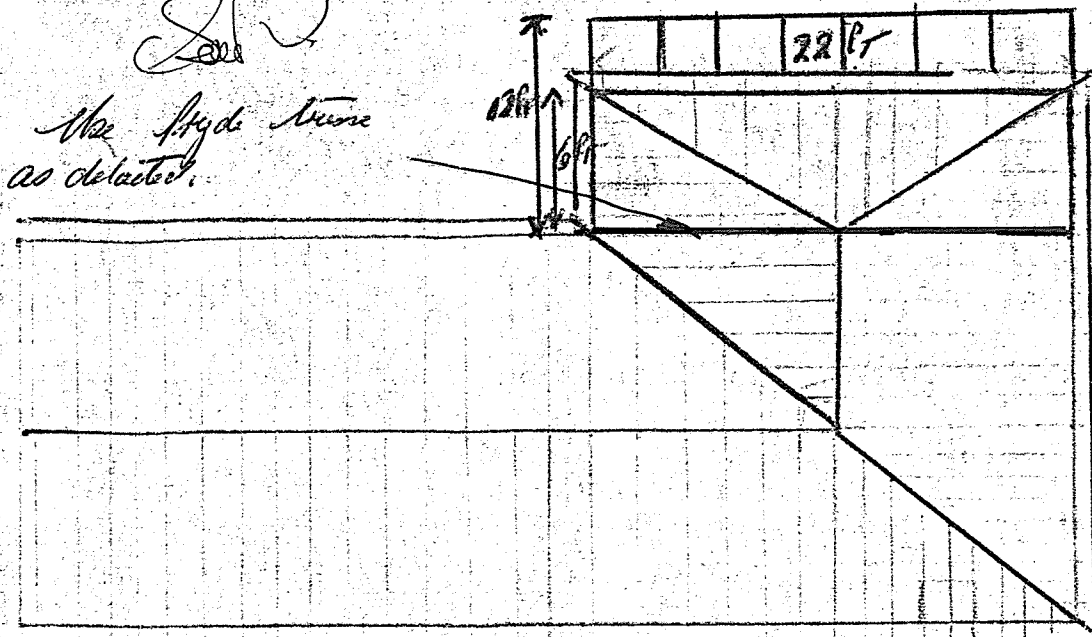
- 1) Foundations to be of concrete, 6" thick and down to ^{solid} clay, with $\frac{1}{2}$ " reinforcing steel.
- 2) Jack Studs 4"x2" treated pine, spaced not more than 18" centres.
- 3) Floor Joists 8"x2", spaced at 18" centres, herring-boned.
- 4) Flooring treated tongue-and-groove, well-nailed
- 5) Studs 4"x2" at 18" centres, well dunnaged.
- 6) Ceiling Joists 4"x2" at 18" centres, well dunnaged.
- 7) Roof 26g. corrugated iron, 6" lap, with rafters 4"x2", well jack studded.
- 8) Exterior Finishing - Basement:
Asbestos sheeting, plastered.
Remainder treated weatherboard.

All work to Nelson City
Council regulations and
standards.

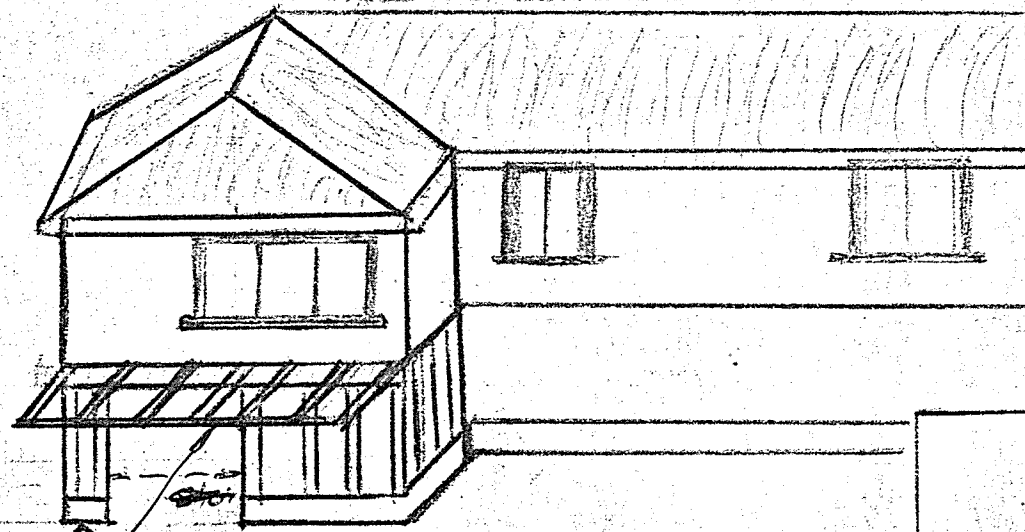
Plan of Proposed Alterations to No 6 Isai Place Store

See

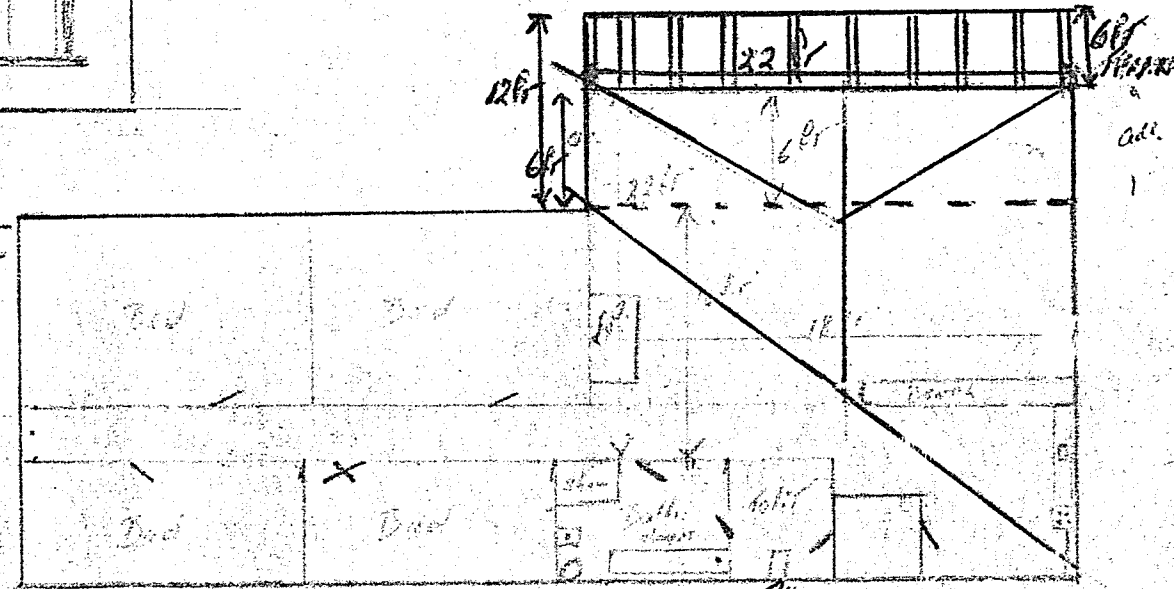
the Hyde time
as detailed.



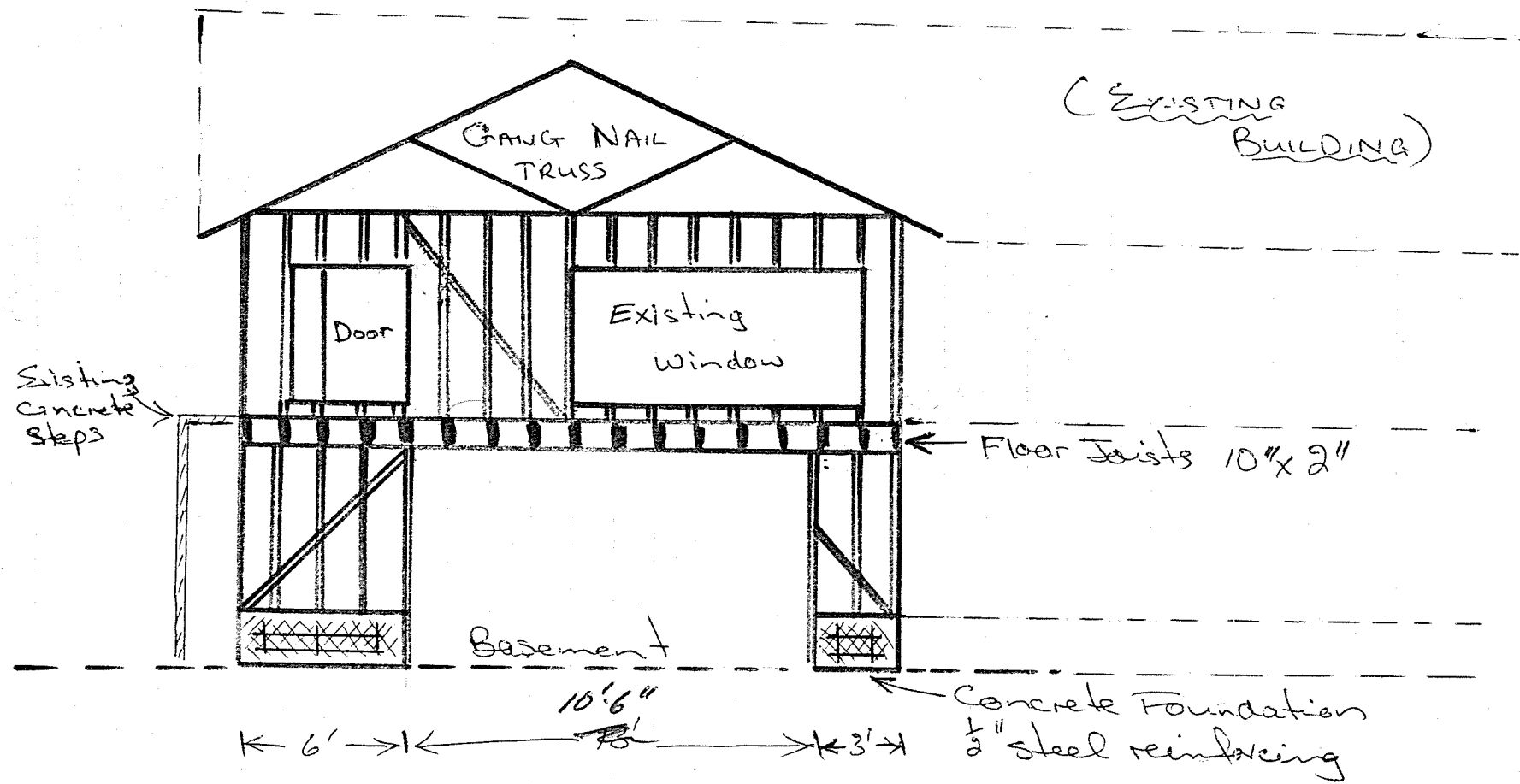
Roof Elevation



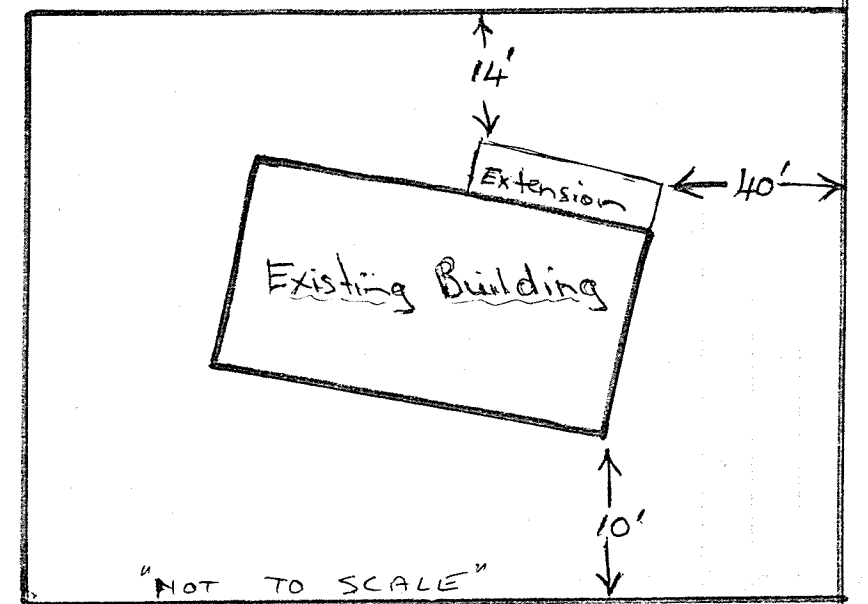
10'4" latid over doorway.
13'6" over West Elevation



Ground Plan



(Not to scale)



LOT 9 DP 5508
Pt. Sec. 49.
(No. 6 Isel Place)

Isel Place