

NELSON CITY COUNCIL

BUILDING APPLICATION FORM

No. 26430.

Date. \_\_\_\_\_

To the City Engineer,  
NELSON.

Sir,

PROCESSED

I hereby apply for permission to ~~erect~~  
~~alter~~  
convert A RESIDENCE.  
~~reinstate~~  
~~demolish~~

For Mr. M. IVORY of ISEL ROAD, STOKES  
(owner) (Address)  
according to the site plan, GENERAL PLANS & SPECIFICATIONS deposited in DUPLICATE  
HEREWITH.

1. LOCALITY: ISEL ROAD <sup>Place</sup> Street, Postal No. 6 Lot 9 <sup>PP 5508</sup> Pt Sec 49
2. PARTICULARS OF LAND: Frontage 96.6 LINKS. by depth of 220.6 LINKS Area 33.6 P.
3. PARTICULARS OF BUILDING: Foundations CONCRETE Walls DURCKY BATTENS  
7 1/2" BRD.  
Roof IRON Area of Ground Floor 1170.
4. PURPOSE FOR WHICH BUILDING IS TO BE USED: RESIDENCE
5. ESTIMATED COST OF: Buildings £ 2654 Plumbing & Drainage £ 246.

Total £ 2,900.  
H. R. BEATSON & CO. LTD.  
(Signature of Applicant) G. B. Beatson  
MANAGER

Builders Name: H. R. BEATSON & CO. LTD.

For Office Use ONLY.

Builder's Plan & Specifications 2814 Permit Fee 12-00

Subdivision Plan 108 S.

Block Plan                      Application No.

Index Plan No. 4 S. 551674

Date: 14/9/1960

Q

Fee \$12. Hh



NELSON CITY COUNCIL

Building Inspection Sheet.

City Engineer's Dept.

Date 6-9-60.

Locality Noel Place

Application for:

Erection of a dwelling

Owner: M Ivory

Builder: H. R. Beaton

- 1. Description of Lot & Locality, House No. etc.
- 2. Building Line Restriction, P.W. or Bylaw
- 3. Encroachment on Street or Council Property
- 4. (Yard & Town Planning Requirements  
Inclusive of Garage Site garage in basement.
- 5. Fire Zone No.
- 6. Use of Buildings
- 7. General Construction
- 8. Values of Applications
- 9. Structural Calculations
- 10. Means of Egress
- 11. Chimneys, Heating Flues, etc.
- 12. Health Requirements
- 13. Plumbing & Drainage
- 14. Dangerous Goods
- 15. Referred to Council - Applicant Advised

Application Requiring Council Dispensation

The Town Clerk,  
NELSON.

This is not in accordance with Council requirements in that:

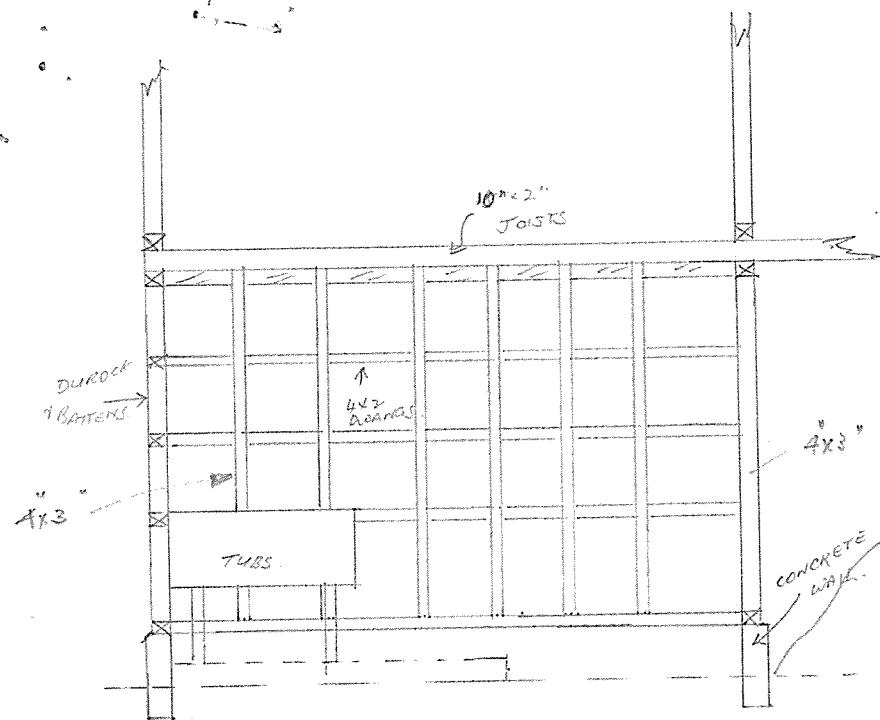
and the owner requests that it be referred to Council.

Recommendation:-

City Engineer.

PERMIT may be issued subject to:

Mh



GARAGE CROSS SECTION A-A.

Not Filmed.

# S P E C I F I C A T I O N

=====

OF

New Residence, Isel Road, Stoke, Nelson, for

M.E. Ivory, Esq.

## SUMMARY OF TRADES.

GENERAL

CONCRETOR

PLASTERER

CARPENTER & JOINER

ROOFER

PLUMBER & DRAINLAYER

ELECTRICIAN

PAINTER & DECORATOR

## REGULATIONS AND CONDITIONS:

The Proprietor shall clear the site of all vegetation and debris and leave in a complete state of preparedness.

The Building Contractor will be responsible to clear or excavate unless arrangements for site clearing or excavation have been arranged between the Proprietor and the Building Contractor. Allow for bringing the water from the supply mains.

## TIMBER TREATMENT:

Flooring and Weatherboarding: If Heart is not available, non heart pretreated by an approved process may be used. (Tanalized).

## GUARANTEES:

Prior to final payment of loan money, Guarantee shall be lodged with the Corporation given by the manufacturers or distributors indemnifying the mortgagor against faulty material, defective application and general maintenance. The Corporation has the right of approval of the specialist Constructor.

## PAPERHANGING:

Before papering or painting Fibrous plaster shall be first treated with "Santobrite" or other approved anti-mould treatment.

## THE CONTRACTOR:

Shall conform with the provisions of Acts as relating to the works and By-laws of the Local Authorities, and shall pay all fees to such Authorities in respect of the works. The contractor shall arrange for the inspection of and testing of plumbing work by the Inspector of the said Authorities. The building shall be insured from time to time to its full value until handed over, and is to insure workmen against accident and to hold the Proprietor free from any such liabilities.

CONCRETOR.

CONTINUOUS FOUNDATIONS (Concrete)

All external foundation walls shall be continuous concrete 5" thick taken well down on to the solid, with a minimum height above ground level of 12". Reinforce walls with  $\frac{3}{8}$ " diam. rod top and bottom.

PILES: Internal piles to be in rows 5'6" apart and 4'6" centres between the piles. The piles shall be set into the ground, taken well down on to the solid. Minimum depth of pile in ground 12".

All piles shall be of concrete and shall be provided with galv. wire ties or bolts for securing sleeper plates. Where the distance between the ground and the underside of the sleeper exceeds 2'0", the sleeper shall be supported off jack studs. Or, alternatively, the piles shall be reinforced with four  $\frac{1}{4}$ " rods, placed at each corner of the piles.

CHIMNEY FOUNDATIONS:

Chimney foundations shall be poured in concrete, ~~with a hard-~~  
*with Reinforced Recessed Base 6" thick with supported slab & cantilevered flange.*  
~~core centre.~~ Minimum thickness of concrete round the ~~hard-~~ core 6".

Chimney to be approved (Vales type) Pre-cast blocks and base.

FLOORS AND STEPS:

Shall be poured in concrete with hardcore centre where practicable. Concrete round hardcore shall be 6" minimum thickness. Steps shall finish with 7" rises and 14" treads or minimum 6" rises and 12" treads. Finish off floors while laying with 2 to 1 comp. trowelled in. Finish with  $\frac{1}{2}$ " plaster to approval.

SHOWER BASE:

Stainless Steel.

PLASTERER.

STEPS:

Render and straighten the floors and steps with 3 to 1 of cement and sand plaster not less than  $\frac{3}{4}$ " thick and finished with wood float to a straight and even surface. Slightly round nosing to steps, and weather treads  $\frac{3}{4}$ " and floors 1" in 10'0".

AIR VENTS:

Base: Provide and fix 12" x 9" galv. wire vents in foundation walls, finished to match base. Plaster exterior concrete to foundations with  $\frac{1}{2}$ " coat and finish off to approved surface. Foundation walls to be given two good coats approved colour-wash in tints as selected.

WICKLAYER:

The chimney shall be built in the position where shown on Plan. ~~Stone~~ shall be selected and of good quality. Surround to open fire to ~~Merhill Stone~~ *standard size* to a ~~design~~ to the approval of the Proprietor. Facing stone shall be pointed in colour to approval of

Proprietor. Fireplace shall be lined with firebricks and pointed up with fine cement. Hearth to be raised and finished with Summerhill Stone. Provide and install a Colonial type grate set on brick hobs.

CARPENTER AND JOINER.

DAMP PROOF COURSE:

All timber supported on or in contact with concrete shall be protected by 3-ply Malthoid or damp course.

TIMBER SCHEDULE:

| <u>Designation</u>                           | <u>Size</u>                                | <u>Quality, etc.</u>                |
|----------------------------------------------|--------------------------------------------|-------------------------------------|
| Sleepers                                     | 4" x 3"                                    | B.Ht. Rimu or Matai.                |
| Plates on Concrete Walls                     | 4" x 2"                                    | " " "                               |
| Floor Joists (18" Centres)                   | 5" x 2" & 8" x 2"                          | " " "                               |
| Bottom wall plates                           | 4" x 2"                                    | B.A.H.                              |
| Door and window studs to openings up to 3'1" | 4" x 2" and to conform with Standard Inst. |                                     |
| Wall Studs                                   | 4" x 2"                                    | B.A. 8' lengths.                    |
| (Minor partitions)                           | 3" x 2" & 4'2" on Flat to 2" Partitions    | " " "                               |
| Dwangs to partitions                         | 4" x 1½" & 3" x 1½" & 4" x 2"              |                                     |
| Dwangs to Ceilings                           | 2" x 2"                                    |                                     |
| Dwangs to outer walls                        | 4" x 1½"                                   | Plaster wall.                       |
| Braces - external walls                      | 3" x 2" Cut Im.                            | B.A. Rimu                           |
| Braces - internal walls                      | " " " "                                    | " "                                 |
| Ceiling Joists                               | 4" x 2"                                    | " "                                 |
| Rafters                                      | 4" x 2"                                    | " " (2'0" centres)                  |
| Stringers under rafters                      | 4" x 2"                                    | " "                                 |
| Roof bracing                                 | 4" x 2"                                    | " " Every third pair rafters.       |
| Eaves and bearers                            | 3" x 1½"                                   |                                     |
| Flooring                                     | 4, 5 or 6" x 1"                            | Dressing A Dry or Ht. or Tanalized. |
| Skirting and Architraves                     | 3" x ¾"                                    | " " " "                             |

All interior finishing timbers to be Rimu dry, D.A. quality.

OPENING TRIMMERS:

|                    |         |
|--------------------|---------|
| Up to 3'1" wide    | 4" x 2" |
| From 3'1" to 4'6"  | 4" x 3" |
| From 4'6" to 6'8"  | 5" x 2" |
| From 6'8" to 10'0" | 8" x 2" |

FOUNDATION FRAMING:

Sleeper plates shall be set on edge at not more than 5'6" centre Borne directly on Foundation blocks, they shall be secured with wire and staples, or bolts. Where floor is more than 4'0" above ground level, sleeper plates shall be supported on jack studs which shall be secured to 4" x 2" bearer plates fixed to foundation blocks by staples to each wire tie. Wall plates on concrete walls shall be drilled for ¾" rods or bolts, which shall be bent over plates and stapled.

Floor joists shall be gauged 5" x 2" and 8" x 2" over sleeper plates to a uniform level with laps not less than 4" in length well spiked together. Two joists shall be provided under all major partitions running parallel with floor joists.

FRAMING GENERALLY:

Unless specified to the contrary, framing timbers generally shall be spaced at not more than 18" centres. The whole of the building shall be properly framed, and the various sections spiked together. Cut true and square. Plates and sleepers shall be halved together at joints and angles, and dovetailed and halved at intersections, which in all cases shall be over solid bearing.

WALL FRAMING:

Studs shall be 4" x 2" and 4" x 3", housed  $\frac{3}{8}$ " into top and bottom plates. Braces shall be cut flush with face on studs at an angle of approx. 45 degrees, each bay having not less than one brace. Where this bracing is not obtainable on short sections of external walls, dog-leg bracing shall be cut into studs. External angles to weatherboard or lath and plaster sheeted walls shall be framed with three studs. Wood packing blocks shall be used to secure the sections together. To all lined walls provide three rows of dwangs.

CEILING JOISTS:

Ceiling joists shall be 4" x 2" spaced at not more than 20" and lapped, and well spiked together at passings. Joists spanning more than 8'0" shall be secured to ceiling runners, well spiked to each joint. The runners shall not be suspended from or strutted to roof timbers. Between ceiling joists, cut in noggings on the flat round all margins and at all edges of plaster sheets.

ROOF FRAMING:

All roofs shall be set at a pitch as indicated on the Drawings. Rafters shall be set in lapped lengths, birds-mouths over and securely spiked to wall plates. Provide stringers as previously specified set on edges extending the full length of the roof under all rafters, and securely fix to walls at ends. Strut and brace roof at 4'0" centres, secure struts and braces to a 4" x 2" bearer plate fixed to ceiling joises over partition walls.

FASCIA BOARD:

Fix fascia boards (previously primed, including all joints) to a straight, level line at end of rafters. All joints to be mitred and return mitred on external angles.

SOFFITTS:

To be asbestos board 24" in width.

FLOORING:

Cover all floors with 4" x 1" T & G or Heart Rimu D.A. timber, squared and tightly cramped into position and double nailed with floor brads punched. All bye wood to be removed and floor sanded on completion. Form mitred margins to hearths, etc.

INTERNAL WALL LINING:

Line the walls of Lounge, Bedrooms, Hall or passage and Kitchen with  $\frac{5}{8}$ " Fibrous plaster sheets or Gibraltar board. Joints to painted walls to be covered with battens. Line interior of all cupboards with linings as for wall linings. Line walls to Bathroom, W.C., Shower and Laundry with  $\frac{1}{8}$ " hardboard, with joints covered with 1" rounded battens. Line front of Bath with  $\frac{1}{8}$ " hardboard and provide toe space. Line behind all Kitchen cupboards with hardboard. Shower to be lined with 3/16" tempered hardboard.

CEILINGS:

Line the ceilings of Lounge, Bedrooms, Hall and Kitchen with  $\frac{1}{2}$ " PINEX sheets, and ~~Fibrous Plaster~~ pinex with flush battens. All linings to walls and ceilings shall be fixed with flat head galv. nails; all to be punched below surfaces and left ready for stopping. Line Laundry, Bathroom, Shower and W.C. with  $\frac{1}{8}$ " hardboard sheets, cover all joints with  $\frac{7}{8}$ " half-round cover battens and corners with  $\frac{7}{8}$ " quarter-round. Finish all ceilings throughout with a stock run 1" scotia mould or bed mould. Finish all external angles to plastered walls with 1" x  $\frac{3}{8}$ " wood fillet. Line the ceilings to Porches as for soffitts. Main bed room Cornice to have 2" x  $\frac{1}{2}$ " batten on ceiling and on wall plus bed mould. Lounge to have 3" x  $\frac{1}{2}$ " and 2" x  $\frac{1}{2}$ " on ceiling and 2" x  $\frac{1}{2}$ " on wall plus bed mould.

STOPPING:

All joints, nail holes, and other imperfections (other than those to be covered with battens) shall be stopped with plaster of paris by an approved competent plasterer.

DOOR JAMBS: - INTERNAL:

Door jambs shall be of selected material, dressing "A" quality, our of 6" x 1 $\frac{1}{2}$ " material. Rebated to take the doors. All to be hand dressed and sandpapered to a smooth finish.

ARCHITRAVES:

Architraves shall be ~~rounded~~ <sup>bevelled</sup> out of 3" x  $\frac{5}{4}$ " material, mitred returned round all window and door openings.

SILL BOARDS:

Shall be out of 4" x 1" finished material checked into mullions and styles, and finished with  $\frac{3}{4}$ " Quods aprons underneath.

SKIRTING:

Shall be same as specified for Architraves. Finish all walls, other than matchlined or Polite walls, with skirting which shall be scribed to the floors and return mitred on all external angles.

JOINERY:

DOORS: All doors shall be standard pattern out of B.A. Rimu or Heart Matai, and hung on  $1\frac{1}{2}$  pairs of steel butts ( $3\frac{1}{2}$ " for 6'6" doors and 3" for 6'0" doors).

Doors shall be of the following sizes:

|                            |                                 |                                            |
|----------------------------|---------------------------------|--------------------------------------------|
| Front entrance door, glass | 6'6" x 2'10" x $1\frac{3}{4}$ " | finished thickness (as shown on Drawings.) |
| Lounge Passage Door        | 6'6" x 2'8" x $1\frac{3}{4}$ "  | glass door.                                |
| Other doors.               | 6'6" x 2'8" x $1\frac{3}{4}$ "  | finished thickness.                        |
| W.C. door.                 | 6'6" x 2'2" x $1\frac{3}{4}$ "  | finished thickness (flush pane).           |
| Wardrobes & Linen cups.    | 6'0" x 2'0" x $1\frac{1}{2}$ "  | finished thickness (flush pane)            |
| All other doors.           | 6'6" x 2'8" x $1\frac{3}{4}$ "  | " " " "                                    |
| Laundry door.              | 6'6" x 2'8" x $1\frac{3}{4}$ "  | Frame ledge open top.                      |
| Kitchen Door.              | 6'6" x 2'6" x $1\frac{3}{4}$ "  | Flush door glass open top.                 |

All internal doors shall be fitted with mortice latch sets, P.C. 14/6 each. External doors shall be fitted with mortice lock sets or night latch and handle of good quality, P.C. 22/- each. Wardrobe doors to be fitted with catches and pulls.

DOOR FRAMES:

Weather board walls shall be out of 6" x  $1\frac{1}{2}$ " Heart Rimu or Matai, rebated  $\frac{1}{2}$ " thickness of doors. Jams shall have weather-grooves along styles and heads. Sills shall be out of 8" x 2" Heart Rimu or Matai.

WINDOW FRAMES:

Styles and heads shall be out of 6" x  $1\frac{1}{2}$ " rebated for sashes with double checked sills out of 6" x  $2\frac{1}{2}$ " Heart Rimu or Matai. Flashings styles shall be fitted with metal flashings which shall be turned out over the sills to turn out the weather. Sills shall be fitted with metal trays to weather out past the weather board under the sills.

SASHES: Shall be constructed of Oregon or similar quality material. All sashes throughout shall be  $1\frac{3}{4}$ " finished thickness, moulded, rebated and grooved, and shall be white type as shown on Drawings. Heights of sashes generally to be 2'8" glass line from the floor. Kitchen, Laundry and Bathroom sashes shall be set at 3'8" glass line from the floor.

CUPBOARDS:

All kitchen cupboards, and Shaving cabinet (20" x 10" with two  $\frac{1}{2}$ " shelves) shall be constructed out of 1" material, dressed  $\frac{1}{8}$ " finished thickness; all cupboards shall be according to the best known methods of Joinery practice.

All shelving shall be conveniently spaced and shall be full width of cupboards. Hot water cupboards and Safe shall be provided with 2" x 1" slat shelves, to be removable, and vents top and bottom.

Bins.... Drawers.... shall be built into position shown on Plan. Bins shall be of a removable tilting type. Sub-divide one drawer into three compartments with divisions of  $\frac{3}{8}$ " finished thickness. The back and sides of drawers shall be properly framed, and dovetailed together. Note: Formica Sink Top and all work bench tops with S.S. Sink.

CUPBOARD DOORS.

Shall be approved flush type doors or single panel type, to the approval of the Proprietor.

Shaving cabinet door shall be fitted with a P.G. mirror of good silvering quality. All cupboard doors shall be fitted and hung with  $2\frac{1}{2}$ " steel butts, with chrome plated catches, pulls, etc. average value 5/- each door.

WARDROBES:

Wardrobes to be fitted with shelf above and full length rail. Gable ends to be in approved standard ship lap.

ROOFER.

ROOF: To be of Iron. All laps primed before fixing.

PLUMBER AND DRAINLAYER.

The plumber shall carry out all work according to the requirements and By-laws of the Local Authority and Health Department Inspector. All work shall be carried out by a registered plumber.

All water piping shall be  $\frac{1}{2}$ " for Cold water and  $\frac{3}{4}$ " for Hot. Hot and Cold water supply shall be taken to Sink, Basin, Bath, Tubs, Copper, and Shower. Cold water only to Hose taps (2) and to Lavatory basin flushing cistern. Provide and install Hot water cylinder of 40 gallon capacity, and of good make and lagged. Provide and install a concrete supply tank, complete with overflow and tray, to supply Hot water cylinder (capacity 20 galls.) Shower, Sink, Bath, Basin, and Tubs shall be provided with streamlined, chrome plated taps.

RANGE: Provide and install electric range. P.C. sum of £60/-

BATH: <sup>5-16</sup> A 6' bath, similar to the standard type porcelain bath.

TUBS: Reinforced concrete tubs to be fitted on wood stand.

W.C. PAN:

Provide and fit a standard type Lavatory pan, to be set on to

concrete

concrete foundations. Pan shall be complete with polished hinged seat and low-down type flushing cistern, all to be connected up.

SHOWER HEAD: Chrome plated.

WASTE PIPES: Provide and fix waste pipes, and provide vents where demanded. Barges and cap to be machine bent to shape in one piece.

FLASHINGS:

Flash all windows and doors, and flash generally to make the building weathertight. See Also "Window Frames" Page 6.

SPOUTING & DOWNPIPES:

Provide and fix 24 gauge Iron Galv. jointed and erected to manufacturers specifications.

DRAINLAYER:

Drains shall be laid from all gully traps and closet to connect to City Sewer or temporary store pit. They shall be laid complete with all terminal vents, inspection traps etc. Chemical W.C. to be provided by owner or alternatively owner to provide external temporary dwelling to meet present restrictions until main sewer connections can be made.

ELECTRICIAN:

All installations shall be made in a safe, sound and practical manner, in conformity with modern practice, and shall comply with the Regulations as laid down by the local Supply Authorities and to the satisfaction of their Inspector.

All cutting, drilling and fitting work necessary for the installations shall be included in this work, and no structural or finished work shall be endangered.

Wiring shall be taken to the points indicated on the Plan. All conduit shall be concealed from view. All switches shall be flush type, good quality; switches in Laundry, Bathroom, and W.C. shall be approved tumbler type, mounted on bakelite base. Provide for ..... light points and ..... power points, and allow separate price for 3 phase wiring to switchboard and drawer wire to under house for future wiring of workshop.

PAINTER.

All materials shall be of approved, good quality manufacture. Materials shall be applied strictly in accordance with the manufacturers instructions. All work shall be of the highest standard, performed by skilled tradesmen. Apply materials and protect work from disfiguration brought about by any cause whatsoever.

All exposed woodwork, internally and externally, shall be stopped with good linseed oil putty.

All external wood and metal work to windows, fascias, eaves, doors, etc. shall be given one undercoat and two finishing coats of good quality approved paint. External faces of Back and Front doors and sashes to be treated similarly.

The walls of the Living Room, Hall and Bedrooms are to be glue sized and prepared for papering. Allow for papering these walls with paper of average value of 7/6 per roll. The ceilings of these rooms shall receive one coat of glue size and two coats of flat paint of an approved colour.

Before papering or painting Fibrous plaster shall be first treated with "Santobrite" or other approved anti-mould treatment.

Kitchen, Laundry, Bathroom and W.C. walls and ceilings shall be given two undercoats and a finishing coat of enamel of approved colour.

Architraves, skirtings, and general interior trim to all rooms shall be enamel. Hall interior door to be blonde finished or gluesize and varnished.

GLAZING: Glaze all sashes with 24oz. glazing quality glass, properly bedded in putty, sprigged, face puttied and cleaned down. Glaze doors marked G on Plan, also Bathroom, W.C. and Shower windows with an approved obscure glass.

All work specified hereinbefore mentioned, shall be done in a tradesmanlike manner and finished complete throughout.

