

APPLICANT: PAUL & GLENNIS WALLIS
52 TARBOTTONS ROAD
ASHBURTON
307 8244
PHONE: 307 8244
PROJECT LOCATION: 165 MCMURDO STREET 18 Catherine St
LEGAL DESCRIPTION: Lot 172 DP 91
PROJECT DESCRN: To relocation a dwelling
BUILDER: Steve Parker : : 307 8841
PLUMBER: Richard Begbie : :
VALN NO: 2461256900
DATE OF APPLICN: 28/04/05

- Town Planning
- (a) Zoning *les*
 - (b) Density/Coverage *ok*
 - (c) Height of Building *ok*
 - (d) Recession planes *ok*
 - (e) Siting *ok*
 - (f) Outdoor living/service space *ok*
 - (g) Low/high risk flooding *ok*
 - (h) Carparking *ok*
 - (i) Loading areas, etc *N/A*
 - (j) Landscaping *N/A*
 - (k) Resource Consent required (Yes/No)? *Yes*
 - (l) Other?

Resource consent (RM 050076) has already been applied for.

Signed: *[Signature]*
Date: 28/04/05

Public Health Comments

Signed:
Date:/..../..

- Building Dept
- (a) NZFS (Yes/No)
 - (b) Sewer (Yes/No)
 - (c) Water (Yes/No)
 - (d) Stormwater (Yes/No)
 - (e) Septic Tank (Yes/No)
 - (f) Vehicle Crossing (Yes/No)

POSTED

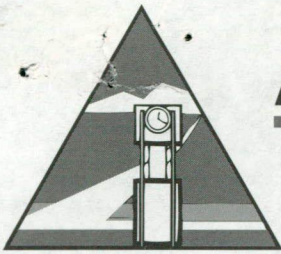
Pim Notes

- 1/ P1
- 2/ P2
- 3/ TP (x) required.
- 4/ ^{new} Stormwater, Sewerage Water connections will be charged with ^{builders} consent.
- 5/ P12
- 6/ Pile to be a minimum of 300mm above ground level.
- 7/ Sub floor framing to be treated with an approved insecticide for over before being lowered onto piles.

Consent Notes

SC 2-4, 6, 11, 24,

*NC. 3 Inspections required.
Foundation, Drainage, Final.*



ASHBURTON DISTRICT COUNCIL

5 Baring Square West, Ashburton, New Zealand

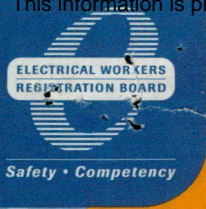
NOTICE OF INSPECTION BUILDING ACT

ENTERED

Owners Name: <u>Wallis</u>		BC No.: <u>050380</u>	
Site Address: <u>18 Catherine Street</u>		Valuation No.: <u>2461256900</u>	
Date of Inspection: <u>16.1.06</u> at <u>9.30</u> <u>am/pm</u>		Building Type: <u>Dwelling Relocation</u>	
FOUNDATION	Framing/Lintels/Ceiling Battens	DRAINAGE	
Siting	Bracing/Schedule	Trench Fill	
Foundation Depth, Width	Floor Joists	Inspections	
Reinforcing	Truss/Rafters & Posts - Fixings	Vents/Stack	
Bearing	Roof Bracing	Connection to Outlet	
Height - Ventilation	PRELINE	Septic Tank/Effluent Disposal	
Footpath Condition	Insulation	Drain in General	
PRE-POUR SLAB/THICKNESS	Floor Plan/Amendments	Drainlayer Reg No.	
Organic Matter	Glazing/Ventilation	SFH/MAKE	
Vapour Barrier	Building Paper/Roof/Underlay	Clearance	
Hardfill	Plumbing/Pipe Type & Fixing	Flue Installation	
Mesh - Shrinkage Control	Pressure Tested	Screen/Type/Smoke Alarm	
Pipe Lagging/Waste Size/Fall	Lagging	Seismic Restraint/Hearth	
Fixing to Foundation	Moisture content	Tempering Valve	
Other (Polystyrene)	Fire/smoke alarms installation	Inbuilt Cavity/Mantle Clearance	
Piles/Treatment/Bearer	Fire separations	FINAL	✓
Floor Joists/Insulation	Other	Exterior Cladding/Fixing	
Fixings - Type/Bracing	POST LINING	Flashings	✗
PRE-WRAP	Diaphragm/Jib Bracing	External Moisture	✓
Floor Cutting	PRE EXTERIOR PLASTER	<u>Gully Traps/Stormwater T.Vent</u>	✗
Plate Fixings/Top & Bottom Purlins	Subfloor Ventilation/Flashing	Vents - Kitchen/Bathroom	✓
COMMENTS		Handrail to Stairs/Balustrades	-
<u>Smoke detector required within 3m of bedroom door</u>		Water Temperature - Laundry sink	✓
<u>Flashing to Main vent required</u>		Cooking/Personal Hygiene	✗
<u>Ensure Vent is 200mm minimum above roof line</u>		Ground Clearance to Cladding	✓
<u>straps to some wastes under floor</u>		Access/Toilets/Ramps etc	-
<u>insulation is required to new plumbing pipes outside thermal envelope of house</u>		Fire Safety Clearance	-
<u>Ext. surrounds to be 75mm above ground level</u>		Footpath Condition	-
<u>Laundry tub required</u>		Producer Statement/s Req'd <u>Supplier</u>	-
<u>wire cap to some toilet vent</u>		Ceiling Insulation	-
		Signage	-
		Water Test Results	-
		Venting/Drain/Bathroom etc.	✗
		HWC Fittings & Restraint	✓
		Roof Tank Restraint & Overflow	-
		Smoke Alarms	-
		Planning/Other	-
		Building Inspector:	
		<u>E. Kaler</u>	
<input type="checkbox"/> INSPECTION OKAY <input checked="" type="checkbox"/> REINSPECTION REQ'D <input checked="" type="checkbox"/> ISSUE CCC <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> All work inspected is in accordance with the Building Consent/Certificate <input checked="" type="checkbox"/> Some work is not satisfactory as detailed above and recertification is required by _____ <input type="checkbox"/> A formal notice to fix will be issued	
SIGNED <u>M. Wallis</u> Contractor/Owner/Agent/Occupier		DATE _____	

Call: 307 7717
 All OK 20/1/06 FD

ENTERED



Electrical Certificate of Compliance

No. **1708690**

for prescribed electrical work that is carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).

No. of attachments

To be completed whether or not an inspection is required.

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer **Paul Wallis**

Phone:

Address of installation **Catherine Street**

Postal address of customer (if not as above)

WORK DETAILS

No. of lighting outlets No. of ranges
 No. of socket outlets No. of water heaters
 Was any installation work carried out by the homeowner? Yes No

Please tick (✓) as appropriate where work includes:

Mains Main earthing system
 Switchboard Electric lines

Description **remove old TRS circuits - rewire house as required, run 16mm² neutral screen mains to tdbg box, instal 6mm main earthing system.**

It is recommended that test results be recorded here:

Visual Examination
 Earth Continuity
 Bonding
 Polarity
 Insulation Resistance **∞** Mohm
 Other

If necessary attach any pages with sketches of work done

CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

ELECTRICAL WORKER DETAILS

Name **Cory Turanganj**
 Registration no. **E243068**
 Company **Bentons Electrical**
 Signature **[Signature]**
 Date **1-8-05**
 Contact Ph No. **0273153016**

CERTIFICATION OF ELECTRIC LINES

(to be completed where a separate electrical worker has installed the electric line portion of the mains)

Name
 Registration no.
 Company
 Signature
 Date
 Contact Ph No.

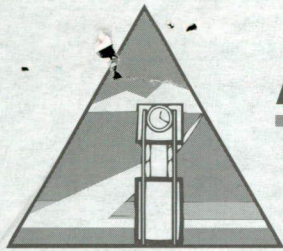
INSPECTION DETAILS Electrical work requiring inspection by a registered electrical inspector

New mains Switchboard Earthing system Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997.

Name **Dleacock** Registration no. **I2862**
 Signature **[Signature]** Date **8.8.05**
 Contact Ph No.

This form is approved by the Electrical Workers Registration Board (PO Box 10-156, Wellington. Freephone 0800 66-1000) for the purposes of the Electricity Regulations 1997.



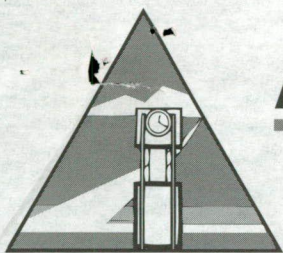
ASHBURTON DISTRICT COUNCIL

5 Baring Square West, Ashburton, New Zealand

NOTICE OF INSPECTION BUILDING ACT 1991

POSTED

Owners Name: <i>P Wallis</i>		BC No.: <i>050380</i>
Site Address: <i>18 Catherine St</i>		Valuation No.: <i>2461256900</i>
Date of Inspection: <i>27/7/05</i> at <i>4</i> am/pm		Building Type: <i>Relocated Dwelling</i>
FOUNDATION	PRE-LINE	DRAINAGE
Siting	Floor Cutting	Trench Fill <input checked="" type="checkbox"/>
Foundation Depth, Width	Moisture Content	Inspections <input checked="" type="checkbox"/>
Reinforcing	Plate Fixings/Top & Bottom Purlins	Vents/Position <input checked="" type="checkbox"/>
Bearing	Framing/Lintels/Ceiling Battens	Connection to Outlet <input checked="" type="checkbox"/>
Height - Ventilation	Bracing/Schedule	Septic Tank/Effluent Disposal <input checked="" type="checkbox"/>
Footpath Condition	Ceiling Diaphragm	Drain in General <input checked="" type="checkbox"/>
PRE-POUR SLAB/THICKNESS	Truss/Rafters & Posts - Fixings	Soil Stacks & Vents
Organic Matter	Roof Bracing	SFH/MAKE
Vapour Barrier	Insulation	Clearance
Hardfill	Second Floor, Joists	Flue Installation
Mesh - Shrinkage Control	Floor Plan/Amendments	Screen/Type
Pipe Lagging/Waste Size	Glazing/Ventilation	Seismic Restraint/Hearth
Fixing to Foundation	Building Paper/Roof/Underlay	Tempering Valve
Other (Polystyrene)	Plumbing/Pipe Type & Fixing	Inbuilt Cavity/Mantle Clearance
Piles/Treatment	Pressure Tested	FINAL
Bearer Size/Spacing	Lagging	Exterior Cladding/Fixing
Floor Joists	Access/toilets/ramps etc	Flashings
Subfloor Insulation	Fire/smoke alarms	External Moisture
Subfloor Bracing	Fire separations	Gully Traps/Stormwater/T.Vent
Fixings - Type	Other	Vents - Kitchen/Bathroom
Subfloor Ventilation	Post Lining	Handrail to Stairs/Balustrades
COMMENTS		Water Temperature - Laundry
		Cooking/Personal Hygiene
		Ground Clearance to Cladding
		Access/Toilets/Ramps etc
		Fire Safety Clearance
		Footpath Condition
		Producer Statement/s Req'd
		Ceiling Insulation
		Signage
		Water Test Results
		Venting
		HWC Fittings & Restraint
		Roof Tank Restraint & Overflow
		Other
		Planning
		Building Inspector: <i>JB</i>
<input checked="" type="checkbox"/> INSPECTION OKAY <input type="checkbox"/> REINSPECTION REQ'D <input type="checkbox"/> ISSUE CCC <input type="checkbox"/> Yes <input type="checkbox"/> No		<input checked="" type="checkbox"/> All work inspected is in accordance with the Building Consent/Certificate <input type="checkbox"/> Some work is not satisfactory as detailed above and rectification is required <input type="checkbox"/> A formal notice to rectify will be issued
SIGNED Contractor/Owner/Agent/Occupier		DATE



ASHBURTON DISTRICT COUNCIL

5 Baring Square West, Ashburton, New Zealand

NOTICE OF INSPECTION BUILDING ACT 1991

POSTED

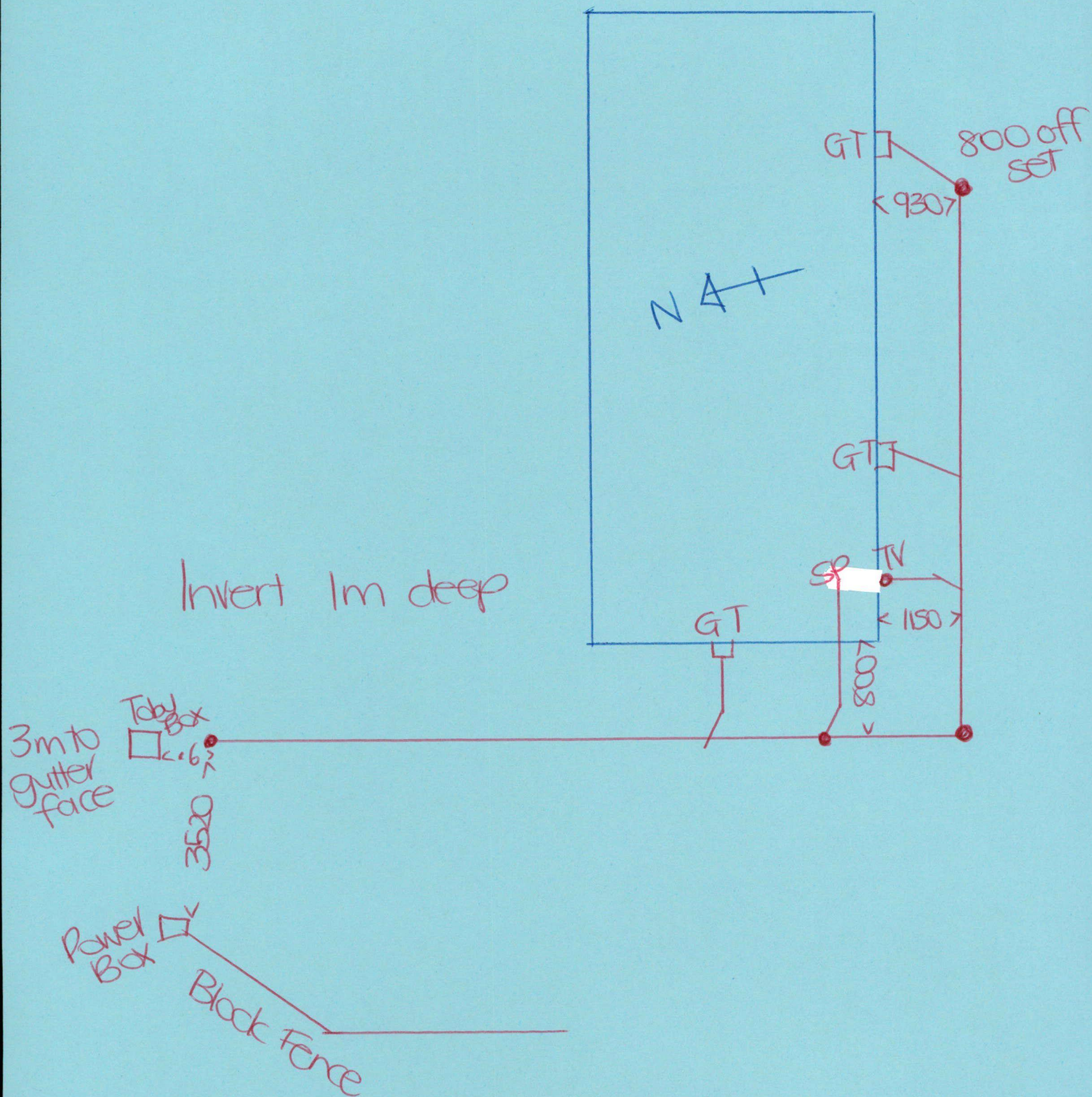
Owners Name: <i>At S Wallis</i>	BC No.: <i>050380</i>
Site Address: <i>18 Catherine Street</i>	Valuation No.: <i>2461256900</i>
Date of Inspection: <i>27-6-05</i> at _____ am/pm	Building Type: <i>Relocated Dwelling</i>

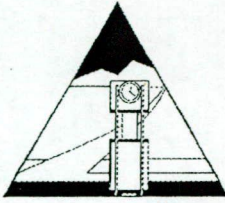
FOUNDATION	PRE-LINE	DRAINAGE
Siting <input checked="" type="checkbox"/>	Floor Cutting	Trench Fill
Foundation Depth, Width <input checked="" type="checkbox"/>	Moisture Content	Inspections
Reinforcing <input checked="" type="checkbox"/>	Plate Fixings/Top & Bottom Purlins	Vents/Position
Bearing <input checked="" type="checkbox"/>	Framing/Lintels/Ceiling Battens	Connection to Outlet
Height - Ventilation	Bracing/Schedule	Septic Tank/Effluent Disposal
Footpath Condition	Ceiling Diaphragm	Drain in General
PRE-POUR SLAB/THICKNESS	Truss/Rafters & Posts - Fixings	Soil Stacks & Vents
Organic Matter	Roof Bracing	SFH/MAKE
Vapour Barrier	Insulation	Clearance
Hardfill	Second Floor, Joists	Flue Installation
Mesh - Shrinkage Control	Floor Plan/Amendments	Screen/Type
Pipe Lagging/Waste Size	Glazing/Ventilation	Seismic Restraint/Hearth
Fixing to Foundation	Building Paper/Roof/Underlay	Tempering Valve
Other (Polystyrene)	Plumbing/Pipe Type & Fixing	Inbuilt Cavity/Mantle Clearance
Piles/Treatment	Pressure Tested	FINAL
Bearer Size/Spacing	Lagging	Exterior Cladding/Fixing
Floor Joists	Access/toilets/ramps etc	Flashings
Subfloor Insulation	Fire/smoke alarms	External Moisture
Subfloor Bracing	Fire separations	Gully Traps/Stormwater/T.Vent
Fixings - Type	Other	Vents - Kitchen/Bathroom
Subfloor Ventilation	Post Lining	Handrail to Stairs/Balustrades

COMMENTS	Water Temperature - Laundry
<p><i>Pite Holes 300 x 300 x 400</i></p> <p><i>Anchor Pites at all corners and 5m centres</i></p> <p><i>H5 125 x 125 Pite</i></p> <p><i>Footpath Minor Damage to Inside Edge</i></p> <p><i>OK to Pour:</i></p> <p style="text-align: center;"><i>F</i></p>	Cooking/Personal Hygiene
	Ground Clearance to Cladding
	Access/Toilets/Ramps etc
	Fire Safety Clearance
	Footpath Condition
	Producer Statement/s Req'd
	Ceiling Insulation
	Signage
	Water Test Results
	Venting
	HWC Fittings & Restraint
	Roof Tank Restraint & Overflow
	Other
	Planning
	Building Inspector:

<input checked="" type="checkbox"/> INSPECTION OKAY <input type="checkbox"/> REINSPECTION REQ'D <input type="checkbox"/> ISSUE CCC <input type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> All work inspected is in accordance with the Building Consent/Certificate <input type="checkbox"/> Some work is not satisfactory as detailed above and rectification is required <input type="checkbox"/> A formal notice to rectify will be issued
SIGNED Contractor/Owner/Agent/Occupier	DATE

P Wallis
18 Catherine St
(R Begbie) 27/07/05





ASHBURTON DISTRICT COUNCIL

PIM / BUILDING CONSENT

APPLICATION NO BC 050380

OWNER: Paul & Glennis Wallis BUILDER: Steve Parker
ADDRESS: 52 Tarbottons Rd ADDRESS:
Ashburton

NUMBER: 1518 VALUATION REFERENCE
STREET: Catherine St ~~North Street~~ NUMBER
DISTRICT: Ashburton 24612-569-00
ESTIMATED VALUE OF WORK: \$ 38,500

PIM	REDUCED / INTERMEDIATE / FULL	\$ <u>150.00</u>
	RECEIPT NO: <u>882552</u>	DATE PAID: <u>28/04/05</u>
CONSENT	ADMINISTRATION	\$ <u>60.00</u>
	INSPECTIONS	\$ <u>210.00</u>
	BUILDING RESEARCH LEVY	\$ <u>39.00</u>
	DBH LEVY	\$ <u>76.83</u>
	DISTRICT PLAN COMPLIANCE	\$ <u>30.00</u>
	VEHICLE CROSSING	\$
	SERVICE CHARGES	\$ <u>3555.00</u>
	FIRE SERVICE CHARGE	\$
	COMPLIANCE SCHEDULE	\$
	CCC REDUCED / INTER / FULL	\$ <u>150.00</u>
	TOTAL	\$ <u>4120.00</u>

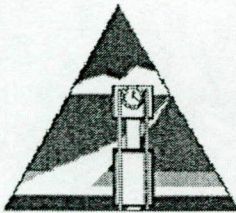
Issue Pim with invoice Print Bc & hold for fees, cf

POSTED

RECEIPT NO: 883409 DATE PAID: 16/5/05

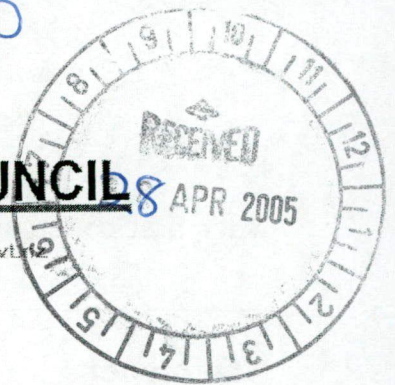
FURTHER PAYMENT REQUIRED: Y/N \$
34(2) INFORMATION REQUIRED Y/N
OTHER INFORMATION REQUIRED Y/N

BC050380



ASHBURTON DISTRICT COUNCIL

5 Baring Square West, Ashburton, New Zealand
e-mail info@adc.govt.nz Website www.ashburtondc.govt.nz



Form 2

APPLICATION FOR PROJECT INFORMATION MEMORANDUM AND/OR BUILDING CONSENT

Section 33 or section 45, Building Act 2004

The building

Street address of building: [for structures that do not have a street address, state the nearest street intersection and the distance and direction from that intersection]

18
LOT 2 Catherine Street

Legal description of land where building is located: [state legal description as at the date of application and, if the land is proposed to be subdivided, include details of relevant lot numbers and subdivision consent]

✓ LOT 172 DP 91 consent for subdivision in process 24612-569-00

Building name: [insert building name if applicable]

-

POSTED

Location of building within site/block number: [include nearest street access]

165 McMurdo Street

Number of levels: [include ground level and any levels below ground]

1

POSTED

Level/unit number: [insert level/unit number if applicable]

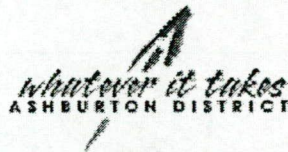
-

Area: [total floor area; indicate area affected by the building work if less than the total area]

Gross Building Plan Area (m²) 103.37

Current, lawfully established, use: [include number of occupants per level and per use if more than 1]

Residential



P.O. Box 94, Ashburton, New Zealand. Telephone (03) 308 5139. Fax (03) 308 1836

Year first constructed:

1960's

The owner

Name of owner: *[include preferred form of address, eg, Mr, Miss, Dr, if an individual]*

*Contact person: Paul & Glennis Wallis

Mailing address:

52 Talbottons Rd
Ashburton

Street address/registered office:

Phone number: Landline: (03) 3078244 Mobile: 0274-102023
Daytime: After hours: .

Facsimile number: (03) 3078245

Email address: wally999@extra.co.nz

Website:

The following evidence of ownership is attached to this application: *[copy of certificate of title, lease, agreement for sale and purchase, or other document showing full name of legal owner(s) of the building]*

† Agent

† Name of agent: *[only required if application is being made on behalf of the owner]*

*Contact person:

Mailing address:

The project

Description of the building work:

Relocation of Dwelling

Will the building work result in a change of use of the building? [†][Yes/No]

[†]If Yes, provide details of the new use: [provide description of new use]

Intended life of the building if less than 50 years:years

List building consents previously issued for this project (if any): [list who issued the consent, the date of issue and the consent number]

Estimated value of the building work on which the building levy will be calculated (including goods and services tax): \$ [state estimated value as defined in section 7 of the Building Act 2004]

\$38,500

§ Project information memorandum

The following matters are involved in the project:

- [†]Subdivision
- [†]Alterations to land contours
- [†]New or altered connections to public utilities
- [†]New or altered locations and/or external dimensions of buildings
- [†]New or altered access for vehicles
- [†]Building work over or adjacent to any road or public place
- [†]Disposal of stormwater and wastewater
- [†]Building work over any existing drains or sewers or in close proximity to wells or water mains
- [†]Other matters known to the applicant that may require authorisations from the territorial authority: [specify]

Building consent

†The following plans and specifications are attached to this application: *[detail; plans and specifications]*

The building work will comply with the building code as follows:

Clause	Means compliance	of Waiver/modification required
<i>[list relevant clause numbers of building code]</i>	<i>[refer to the relevant compliance document(s) or detail of alternative solution in the plans and specifications]</i>	<i>[state nature of waiver or modification of building code required]</i>

Compliance schedule

†The specified systems for the building are as follows: *[specified systems are defined in regulations]*

†The following specified systems are being altered, added to, or removed in the course of the building work: *[specify]*

†There are no specified systems in the building.

Attachments

The following documents are attached to this application:

- ✓ †Plans and specifications *[list]*
- †Project information memorandum
- †Development contribution notice
- †Certificate attached to project information memorandum

**Delete if the applicant is an individual.*

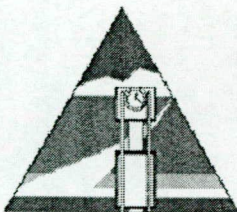
**Delete items that are inapplicable.*

**Contact details must be in New Zealand.*

§Delete this section if this is an application for a building consent only.

||Delete this section if this is an application for a project information memorandum only.

¶All plans and specifications must meet the minimum requirements set out in the regulations or required by the building consent authority.



ASHBURTON DISTRICT COUNCIL

5 Baring Square West, Ashburton, New Zealand
e-mail info@adc.govt.nz Website www.ashburtondc.govt.nz

Appendix 2

(Complete this form as far as possible in all cases. Give names, addresses, and telephone numbers. Give relevant registration numbers if known.)

Designers(s): _____

Building certifier (s) _____

Builders (s): Steve Parker 3078841 _____

Registered Drainlayer: _____

Registered Plumber: Richard Begbie _____

Registered Gasfitter: Richard Begbie _____

Registered Electrician: Bwtens Electrical _____

Other: _____



P.O. Box 94, Ashburton, New Zealand. Telephone (03) 308 5139. Fax (03) 308 1836

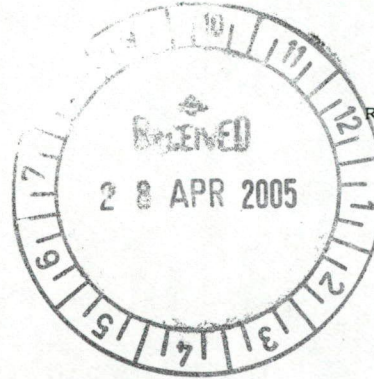
<http://aurora/Administration/Forms Vault/Word Form Originals/Appendix 2.doc>
sharynm 1/04/2005



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952



Search Copy



R. W. Muir
Registrar-General
of Land

Identifier CB33K/580
Land Registration District Canterbury
Date Issued 28 November 1990

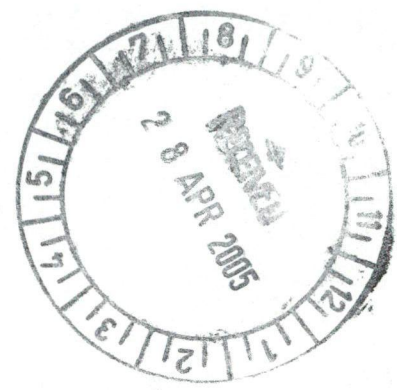
Prior References
CB174/185

Estate Fee Simple
Area 1011 square metres more or less
Legal Description Lot 172 Deposited Plan 91

Proprietors
Paul Richard Wallis and Glennis Raewyn Wallis

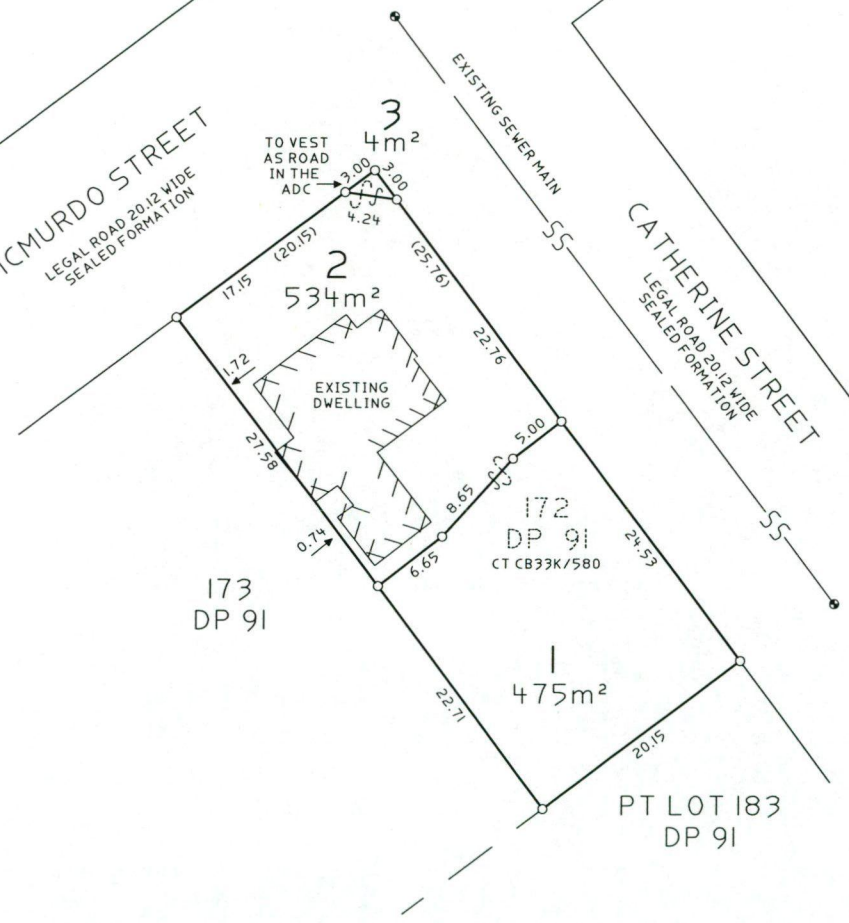
Interests

6266586.3 Mortgage to Charles Richard Collett - 24.12.2004 at 9:00 am
6266586.4 Mortgage to Beverley Anne Mitchell - 24.12.2004 at 9:00 am



MCMURDO STREET
LEGAL ROAD 20.12 WIDE
SEALED FORMATION

CATHERINE STREET
LEGAL ROAD 20.12 WIDE
SEALED FORMATION



SCHEDULE OF AREAS

LOT	2
House Area	171m ²
Site Area	534m ²
Site Density	32%

Comprised in:
 CT CB33K/580
 Registered Proprietor(s):
 PR WALLIS
 GR WALLIS
 Total Area: 1013m²

Prepared by:
 Date: MARCH 2005

Note: Areas and dimensions are approximate only and subject to survey. This plan was prepared to accompany a resource consent application and is not to be relied on or used for any other purpose

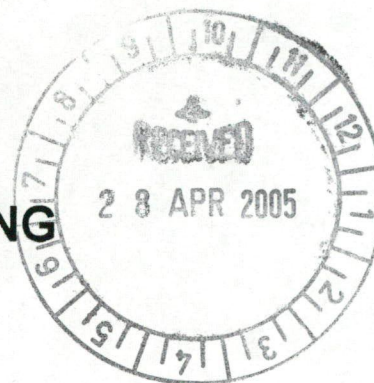
David Smith Surveying Ltd
 Registered Surveyors
 Land Development Consultants

PROPOSED LOTS 1 - 3
 BEING SUBDIVISION OF
 LOT 172 DP 91

Territorial Authority
 ASHBURTON DISTRICT
 Survey Block and District
 XVI WESTERFIELD
 Land District CANTERBURY

Scale 1: 300
 Date: 03/05
 File: 3572

**SPECIFICATIONS FOR
RELOCATION OF DWELLING**



And

ASSOCIATED DRAINAGE WORK

For

Mr. P and Mrs. G WALLIS

ADDRESS: Lot 2 Catherine Street Ashburton

**DESIGNER: DIRECT BUILDING SERVICES Ltd
10a Betula Place
Christchurch**

**DATE: 21 March 2005
(Copyright)**

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3	Concrete	6
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6	Plumber	10
7	Drainlayer	11
8	Schedule of Materials	12
9	Bracing Specification	13 - 15

Clause 1

PRELIMINARIES & GENERAL

- **CONTACT AND MANAGEMENT DETAILS**

All work relating to the relocation of the dwelling in this contract is under the supervision of the **Main Contractor, Laing Building Relocators; all other work is under the supervision of Mr. Paul Wallis (The Owner).**

All sub-contractors are to carry out their quotations and seek information from **Mr. Paul Wallis**. All contractors who are engaged to perform on this contract are to read the section / sections in this specification that relate to their trade or work. At the completion of reading the documents, and there are no points of clarification, that contractor shall enter his / her name in the section titled 'Contractor for this Section of Work', registration number (if applicable) and sign the declaration, and apply their signature to each page thereafter relating to that section. Upon signing the documents, it must be clearly understood by the contractor, that signing the document, he / she agrees to carry out the said work in accordance with the terms, standards, and workmanship as detailed in that section.

- **READING OF PLANS & SPECIFICATIONS**

The plans and specifications will be read as one document. The contractor should ask all sub tradesmen to read the particular section of the specification to see what specific requirements apply, apart from general trade practice.

- **SITE**

Visit the site so as to is fully acquainted with the facilities or difficulties of access thereto and the nature and extent of the proposed work.

- **CONSENTS, FEES AND INSPECTIONS**

The Owner, **Mr. Paul Wallis** will obtain the building consent for this project. Each contractor will be given a copy of the Project Information Memorandum and a copy of the building consent and the inspection requirements. The site copy of the building consent documents will be held on site and will be made available after contacting the Owner, **Mr. Paul Wallis**. Under **no circumstances** are the site plans and documents to be taken off the site.

- **INSURANCE**

The Owner, **Mr. Paul Wallis** shall insure the works in an approved Fire Office and such insurance shall cover the full value of the premises when completed. The contractor shall maintain a Public Liability Policy with an Insurance Company in New Zealand indemnifying the contractor against claims in respect of damage to property arising out of the operations of the Contractor or his Subcontractors in the execution of said works.

- **VARIATIONS**

No variations of any kind shall be made to the contract without direct instruction in writing from **Mr. Paul Wallis**. The price of any variations must be agreed to in writing before being proceeded with.

- **SAFETY PRECAUTIONS**

Allow for complying with all requirements of the New Zealand Building Code.

- **POWER SUPPLY**

All contractors will need to supply portable generation power.

- **ATTENDANCE OF TRADES**

Make good after all trades. The contractor shall leave all necessary holes, chases, sleeves, ducts etc as required by subsequent trades.

- **SETTING OUT**

Any discrepancy between work as set out and the drawing must be reported to the designer before any work is carried out. The contractor is responsible for the accuracy of the setting out.

- **SURVEY PEGS**

The boundary pegs are visible and shall be taken as correct. Should any discrepancies arise in the site plan dimensions, contact the Owner, **Mr. Paul Wallis** for clarification. If the matter cannot be resolved, a registered surveyor will be engaged to verify the boundaries.

- **STABILITY**

The Contractor shall take all precautions to ensure the works are braced, supported or covered as required to prevent damage by wind and protect the works from the elements as necessary at the time.

- **DAMAGE**

The Contractor shall, at his expense, be responsible for any damage to footpaths, kerbs, drains etc, to the satisfaction of the local authority. The Contractor will however be able to recover costs when it is known that such damage is caused by one of the Subcontractors e.g. concrete truck damaging a kerb will therefore establish that the concrete supply company shall reimburse the Contractor.

- **DIMENSIONS**

Figured dimensions drawings shall take preference to scaled dimensions and large-scale drawings given preference to smaller. Unless expressly stated otherwise, dimensions shall be taken to define bare surface of concrete, timber frames and the like. All dimensions shall be verified on site before commencing any work.

- **MATERIALS AND WORKMANSHIP**

All materials shall be the best of their respective kinds, qualities, classes and grades as hereinafter specified and shall comply with the requirements of the relevant New Zealand Standards.

Workmanship; conform to good trade practice and the relevant Codes of Practice in current use in NZ. All work to be level, plumb, and true to line and face. Employ only experienced workers familiar with the materials and techniques specified.

- **FINISHED WORK**

It should be clearly understood that a high standard of workmanship and finish is required throughout this contract. Should any trade consider that any surface finish or fitting be not in a satisfactory condition to ensure a proper fitting of his own thereon, it shall be his responsibility to notify the contractor before anything further is done, and under no circumstances whatever shall such finished work be proceeded with until the necessary improvements have been made. Failing such notification and correction, the finishing trade concerned will be held responsible for the poor finish due to such unsatisfactory conditions.

- **CLEARING THE SITE**

The contractor shall allow in his tender for the completion of the building in all respects. At completion, the site and the whole of the building shall be left completely free from rubbish, residue, and ready for occupation.

- **MAINTENANCE**

A period of minimum 90 days or to a time agreed between all parties and entered on to the Specification. Any defects in materials, workmanship or any part/s that require adjusting or replacing, which have to be included in the contract shall be adjusted or replaced at the contractor expense.

Clause 2

EXCAVATOR

- **PRELIMINARY AND GENERAL**

Refer to the General and Special Conditions of Contract and Preliminary clauses which shall apply to all work in this section. Where any standard specifications are quoted they shall be the current issue including any amendments or standards issued in substitution.

- **SCOPE**

The extent of the excavation and associated work shall be as generally shown on the drawings, including all excavation for all building work, backfilling and making good. It shall include all work associated with site works.

- **PROTECTION**

All excavation works shall meet all safety requirements and shall be protected from all water or associated damage. All precautions shall be taken to avoid damage to all public and private property.

- **EXCAVATION**

The area of the top of the site to be covered by the building shall be stripped of all top growth and vegetable matter.

Excavate for all foundation piles as shown on the drawings.

Should soft clay, peat or filled ground be encountered, an engineer shall be consulted for additional foundation details.

Before pouring concrete, the excavation shall be cleaned and the bottoms dry and firm.

- **GROUND WATER**

Excavations shall be kept free of water. Any ground water in the excavations shall be away by means of a sump dug clear of the excavation or by other de-watering system as appropriate.

- **BACKFILLING**

Backfill around foundations with approved material and thoroughly consolidates. Remove all timber and other rubbish and loose material before backfilling.

- **REMOVAL OF SPOIL**

The excavator shall remove all surplus material away from the area of the building. Stockpile on the site where directed by the owner.

DECLARATION: I _____ the excavator contractor have read Page 1 and Page 5 of this Specification and understand that I agree to carry out my works in accordance with the requirements as stated.

Signed: _____

Clause 3

CONCRETER

- **PRELIMINARY AND GENERAL**

Refer to the General and Special Conditions of Contract and Preliminary Clauses which apply to all work in this section. Where any standard specifications are quoted they shall be the current issue including any amendments or standards issued in substitution.

- **SCOPE**

This section of the contract is for the supply, forming and casting of all new concrete, including the supply, bending and placing of reinforcement and other associated work as shown on the drawings.

- **MATERIALS AND WORKMANSHIP**

The whole of the concrete work shall comply with the New Zealand Building Code and New Zealand Standards 3109, 1987, NZS 3114, 1987, NZS 3124, 1987, NZS 3112, 1986, NZBC, B2 durability.

- **CONCRETE STRENGTH**

The following strengths shall be used unless specified otherwise on plans;

[A] Foundations, pads, piles & steps 20.0Mpa @ 28 Days

- **FORMWORK**

The formwork and falsework shall be constructed to provide a high standard of "fairface" finish.

- **REINFORCING**

The reinforcing steel shall comply with the following requirements:

[A] Mildsteel reinforcing (plain) shall be grade 300.

[B] Mildsteel reinforcing (deformed) shall be grade 300.

[C] Highyield steel reinforcing deformed shall be grade 500.

DECLARATION: I _____ the concrete contractor have read Page 1 & 2 and Page 6 of this Specification and understand that I agree to carry out my works in accordance with the requirements as stated.

Signed: _____

Clause 4

CARPENTER

• **PRELIMINARY AND GENERAL**

Refer to the General and Special Conditions of Contract and Preliminary Clauses which apply to all work in this section. Where any standard specifications are quoted they shall be the current issue including any amendments or standards issued in substitution.

• **SCOPE**

This trade shall include all materials, equipment and labour necessary to carry out the complete carpentry and joinery as shown together with any other items of work reasonably inferred as part of this section

• **MATERIALS**

All materials used shall be the best of their respective types.

Framing generally shall be gauged and treated to NZ timber Preservation Council 3650 1992.

Finishing timber shall be dressed on four sides.

All timber shall conform to relevant standards NZS 3602, NZS 3631 and the New Zealand Building Code B2 Durability, B1 Structure.

• **TIMBER TREATMENT**

The treatment schedule for all timber relating to this specification shall be as follows:

a) timber piles:	H5
b) (replacement) timber bearers	H4
c) (replacement) floor joists and subfloor blocking	H3.2
d) (replacement) purlins	H3.1
(replacement) fascia boards	H3.1
e) (replacement) exterior weather-boards	H3.1

• **WORKMANSHIP**

All work shall be carried out in a trades-person like manner using NZS 3604, 1999 as means of compliance to the building code.

• **HOT WATER CYLINDER**

The hot water cylinder shall remain in its present location. However, the hot water cylinder shall have seismic restraints fitted as per NZBC G12/AS1; 4-10.3(b).

• **DAMP PROOFING**

All timber to be protected from dampness, with a continuous D.P.C. strip when in contact with concrete and between the pile and bearer connection, except as under Clause 2. 1.4 of NZS 3604.

• **FASTENINGS AND FABRICATION**

The contractor should especially note that all aspects of fastening and fabrication of timber framing members and wood based products in this contract shall be in accordance with the relevant clauses of NZS 3604 1999.

Reference shall also be made to NZS 3604 1999 for the proper fixing of sheet lining and cladding materials for walls and ceilings that are not wood based especially where such materials are used as diaphragms and for wall bracing.

- Mild steel structural components used in sub floor spaces, exposed to the weather or in a position where condensation or dampness could occur shall be hot dipped galvanized after forming and shall provide necessary "capacities" called for by NZS 3604 1999 dependant on function and location. In all other cases, select and use connectors according to manufacturers literature conforming to NZS 3604 requirements.
- **INSULATION**
R 3.2 (or greater) fibreglass shall be installed to all roofed ceilings to replace the macerated paper insulation.

DECLARATION: I _____ the carpentry contractor have read Pages 1 & 2 and pages 7, 8,10,12,13,14 and 15, of this Specification and understand that I agree to carry out my works in accordance with the requirements as stated.

Signed: _____

Clause 5

ELECTRICIAN

- **PRELIMINARY AND GENERAL**

Refer to the General and Special Conditions of Contract and Preliminary Clauses which apply to this section of the contract. Where any standard specifications are quoted they shall be the current issue including any amendments or standards issued in substitution.

- **SCOPE**

The electrical contract consists of the supply of all materials, plant and labour for the connection of the electrical supply from the utility operator to the dwelling's distribution board.

- **MATERIALS AND WORKMANSHIP**

All electrical work to be carried out in a tradesman like manner and comply with New Zealand Building Code, G9 and relevant New Zealand Standards and the New Zealand Electrical Wiring Regulations Handbook and the local authority regulations.

- **FEES**

The Owner is responsible to pay all fees and charges and obtain all necessary consents for this trade.

- **WIRING**

Allow to supply and install a main's cable, capable of supplying the dwelling adequately of electricity.

- **TV AERIAL AND OUTLETS**

Provide and install aerial and outlets, check final position of the Owner.

DECLARATION: I _____ the electrical contractor have read Pages 1 & 2 and page 9 of this Specification and understand that I agree to carry out my works in accordance with the requirements as stated.

Signed: _____

Clause 6

PLUMBER

- **PRELIMINARY AND GENERAL**

Refer to the General and Special Conditions of Contract and Preliminary Clauses which apply to this section of the contract. Where any standard specifications are quoted they shall be the current issue including any amendments or standards issued in substitution.

- **SCOPE**

The work shall consist of the supply of all plant, materials and labour for the reconnection and completion of the installation of a rainwater catchment system, water reticulation and sanitary services, all flashings and cappings, valley gutters, vents, flues, ducts etc.

- **MATERIALS AND WORKMANSHIP**

All materials and workmanship shall be supplied and carried out in accordance with relevant clauses of the New Zealand Building Code 1991 G10 AS1, G12 AS1, G13 AS1, E 1 & B 2 durability

- **TESTS**

Subject all water installation to a full water pressure test before pipework is closed in. All water reticulation pipework shall be subjected to a 1500kpa-pressure test for 30 minutes, and the pipework must retain the pressure. The pressure shall be left at 1000kpa for the duration of the construction period. This only applies to the addition work, **not** the existing.

- **GUTTERING**

Guttering shall be as existing together with downpipes. All downpipes shall be refitted with at least two stand-off brackets to each downpipe. The screw fixings to each stand-off bracket shall be galvanized and sealed into the timber cladding in which it fixes to.

- **EXISTING HOT CYLINDER**

The hot water storage system shall remain as an open vented system. Install tempering valve to comply with NZS 4617 to limit hot water temperature to 55°Celsius. Seismic restraints shall be fitted as per G12/AS1 4-10, 3(b). The carpenter will ensure this task occurs.

- **WASTES**

Waste and vent pipes are to be installed with all work carried out in strict accordance with the manufacturer instructions for working and using the material. All wastes shall be of 40mm UPVC unless stated on the drawings.

All wastes shall have the minimum falls of 1:20 (25mm per measured metre of pipe). All traps shall be 40mm UPVC and fitted in accordance with the manufacturer specifications.

Great care will be taken to ensure that all waste pipes are adequately supported where they run horizontally.

- **Cold and Hot Water** Any alteration or repairs to the reticulation system shall be in 20mm buteline and branches 15mm buteline, all installed in strict accordance with the manufacturers instructions for working and using the material.

All pipes to be concealed in the walls or under the floor.

- **Lagging of Pipework**

All reticulation pipe work shall be lagged with a closed cell foam lagging. The lagging shall **not** be cut in its length, but shall be fed over the pipes prior to the installation of the pipe. Each length of lagging shall be abutted to the next length as firm as possible and the two pieces be joined together with pressure sensitive adhesive tape suitable for the task. There shall be no bare pipe work. The lagging shall not be under any pressure at all, especially at points where a change in direction takes place.

DECLARATION: I _____ the plumbing contractor have read Pages 1 & 2 and Page 10 of this Specification and understand that I agree to carry out my works in accordance with the requirements as stated.

Signed: _____

Clause 7

DRAINLAYER

- **PRELIMINARY AND GENERAL**

Refer to the General and Special Conditions of Contract and Preliminary Clauses which apply to all work in this section. Where any standard specifications are quoted they shall be the current issue including any amendments of standards issued in substitution

- **SCOPE**

Work in this section of the contract comprises all surface and foul water drainage up to and above ground level to connect to plumbers work. Include all pipes and fittings, construction of manholes, all gully traps and connections for terminal vents, soil and waste pipes. The drainlayer shall confer with the contractor before the foundations are laid to fix exact position of all connections of wastes and drains.

- **NOTE:** The foulwater drains are to be directed to the utility operator's connection, which the location of the lateral should be available from the local territorial authority office.

- **MATERIALS AND WORKMANSHIP**

All materials and workmanship shall be in accordance with the best drain laying practices conforming to all relevant clauses of the New Zealand Building Code G13 AS2, G14, E1 & B2 durability. The drainpipes shall be 100mm UPVC for the foul water system and 90mm UPVC for the storm water system. The minimum fall to all drains shall be 1:80. (12mm per metre of drain pipe). It is preferred that all drains to be laid at 1:60.

- **TRENCHES**

The excavation of trenches for drains shall be accurately made with base clean and true grade so that unnecessary filling is required. Adequate width shall be allowed in accordance with depth of drain to enable laying and jointing to be properly carried out. Trenches shall be kept firm and dry and shall be opened up only in lengths that can be protected, utilized and refilled within a reasonable time.

- **FITTINGS**

The drawings show the layout of the system. Additional fittings such as inspection points and inspection bends that are normally required but are not specifically shown must be allowed for by the drainlayer to comply with the New Zealand Building Code.

- **FALL IN DRAINS**

The whole of the soil and stormwater drains are to be laid to a regular and even fall.

- **GULLY TRAPS**

Supply all gully traps and securely bed and build up with 5:1 concrete surround, 150mm above finished ground levels, as per NZBC G13/AS2: 3.2.1.

- **COMPLETION**

Properly backfill all trenches, consolidate as filling proceeds and leave area in a tidy state.

DECLARATION: I _____ the drainage contractor have read Pages 1 & 2 and page 11 of this Specification and understand that I agree to carry out my works in accordance with the requirements as stated.

Signed: _____

Clause 8

SCHEDULE OF MATERIALS

CARPENTRY

Foundations:

Piles; 125 x 125mm Pinus Radiata, Treated to hazard category 5.
Concrete; 20mpa from a certified plant.
Pile Connectors; 12kn, 6kn, galvanized, 'Bromac' manufacturer
Base boards; 150 x 25mm, Pinus Radiata, Treated to hazard category 3.1

Dwelling Service Connections:

Plumbing:

All wastes to be 40mm UPVC, all traps 40mm UPVC.
65mm UPVC Down-pipes, standoff brackets 2 for each down-pipe. Grilles to risers

Drainage:

All foul-water drains 100mm UPVC, glued joints
Effluent disposal system as designed by others.
All storm-water drains 90mm UPVC to soak holes as shown on the site plan
PVC gully traps, UPVC 80mm drain vent

Electrical:

Mains supply cable sizing from utility operator recommendations

Gib® Wall Bracing Calculation Sheet A

single storey

V56A

Job Details

Name	P & G Wallis	
Street and Number	Catherine Street	
Lot and DP Number	Lot 2	
City/Town/District	Ashburton	
Designer and date	DJS	21.03.2005
Company Name	Direct Building Services Ltd	

Building Specification

Location of Storey	single	▼	
Floor Loading	2 kPa	▼	
Foundation Type	subfloor	▼	
Building Height to Apex (m)	5	▼	
Roof Height above Eaves (m)	2	▼	
Stud Height (m)	2.4	▼	
Cladding Weight (top or single)	light	▼	
Cladding Weight (lower)	light	▼	<i>not applicable (single storey building)</i>
Cladding Weight (subfloor)	light	▼	
Roof Weight	heavy	▼	
Roof Pitch (degrees)	25-45	▼	
Room in Roof Space	no	▼	
Building Length (m)	12.7		<i>Use roof length including eaves</i>
Building Width (m)	8.14		<i>Use roof length including eaves</i>
Gross Building Plan Area (m2)	103.37		

Building Location

Wind Zone	High		Earthquake Zone	
Region	R2	▼	B	▼
Terrain	Inland	▼		
Exposure	Sheltered	▼		
Topography	Moderate	▼		

Bracing Units required for Wind

per m	subfloor	walls
W along	100	64 BUs/m
W across	92	54 BUs/m
Totals	subfloor	walls
W along	814	521 BUs
W across	1168	686 BUs

Bracing Units required for Earthquake

per m2	subfloor	walls
E	10.0	8.3 BUs/m2
Totals	subfloor	walls
E along	1034	858 BUs
E across	1034	858 BUs

Gib® Subfloor Bracing Calculation Sheet B **single storey** V56A

Along							
<i>Bracing Line</i>		<i>Bracing Elements provided</i>				<i>Wind</i>	<i>Earthq.</i>
1	2	3	4	5	6	8W	9EQ
Line Label	Minimum BUs Req/Ach	Bracing Element No.	Supplier	Bracing Type	Number or Length L (m)	BUs Achieved	BUs Achieved
a	<i>line totals</i>	1	NZS3604	anchor pile	4	640	480
W	640	2					
EQ	480	3					
b	<i>line totals</i>	1	NZS3604	anchor pile	4	640	480
W	640	2					
EQ	480	3					
c	<i>line totals</i>	1	NZS3604	anchor pile	4	640	480
W	640	2					
EQ	480	3					
d	<i>line totals</i>	1					
W		2					
EQ		3					
e	<i>line totals</i>	1					
W		2					
EQ		3					
f	<i>line totals</i>	1					
W		2					
EQ		3					
g	<i>line totals</i>	1					
W		2					
EQ		3					
h	<i>line totals</i>	1					
W		2					
EQ		3					
i	<i>line totals</i>	1					
W		2					
EQ		3					
j	<i>line totals</i>	1					
W		2					
EQ		3					
						Wind	Earthq.
Totals Achieved						1920	1440
						OK	OK
Totals Required (from Sheet A)						814	1034

Subfloor Bracing Systems

*For details see NZS3604:1999
and appropriate manufacturer's literature*

Supplier	System	Min. No. or Length (m)	BU's W/m	BU's EQ/m
	none			
NZS3604	masonry 0.75	1.5	42	42
NZS3604	masonry 1.5	1.5	100	100
NZS3604	masonry 3.0	1.5	200	200
NZS3604	masonry 4.5	1.5	300	300
NZS3604	braced piles	1	160	120
NZS3604	cantilever pile	1	70	30
NZS3604	anchor pile	1	160	120
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			

Gib® Subfloor Bracing Calculation Sheet B **single storey** V56A

Across							
<i>Bracing Line</i>		<i>Bracing Elements provided</i>				<i>Wind</i>	<i>Earthq.</i>
1	2	3	4	5	6	8W	9EQ
Line Label	Minimum BUs Req/Ach	Bracing Element No.	Supplier	Bracing Type	Number or Length L (m)	BUs Achieved	BUs Achieved
m	<i>line totals</i>	1	NZS3604	anchor pile	3	480	360
W	480	2					
EQ	360	3					
n	<i>line totals</i>	1	NZS3604	anchor pile	3	480	360
W	480	2					
EQ	360	3					
o	<i>line totals</i>	1	NZS3604	anchor pile	3	480	360
W	480	2					
EQ	360	3					
p	<i>line totals</i>	1	NZS3604	anchor pile	3	480	360
W	480	2					
EQ	360	3					
q	<i>line totals</i>	1					
W		2					
EQ		3					
r	<i>line totals</i>	1					
W		2					
EQ		3					
s	<i>line totals</i>	1					
W		2					
EQ		3					
t	<i>line totals</i>	1					
W		2					
EQ		3					
u	<i>line totals</i>	1					
W		2					
EQ		3					
v	<i>line totals</i>	1					
W		2					
EQ		3					
						Wind	Earthq.
Totals Achieved						1920	1440
						OK	OK
Totals Required (from Sheet A)						1168	1034

Subfloor Bracing Systems

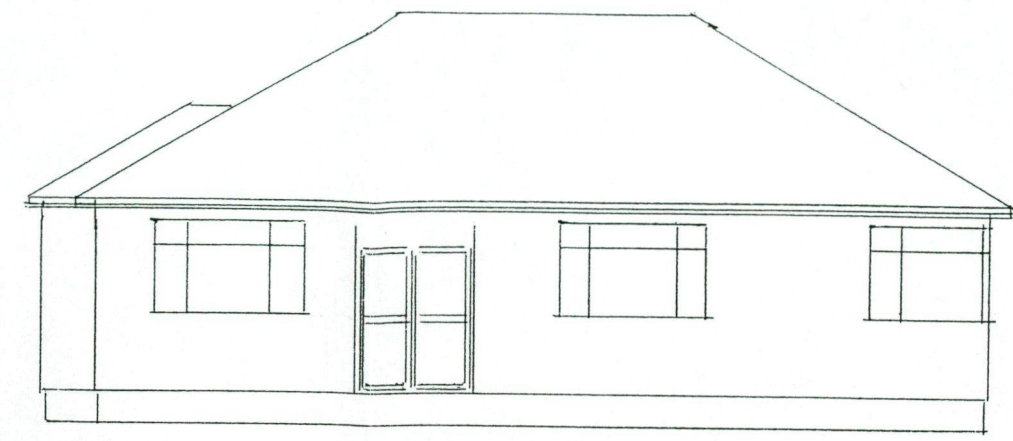
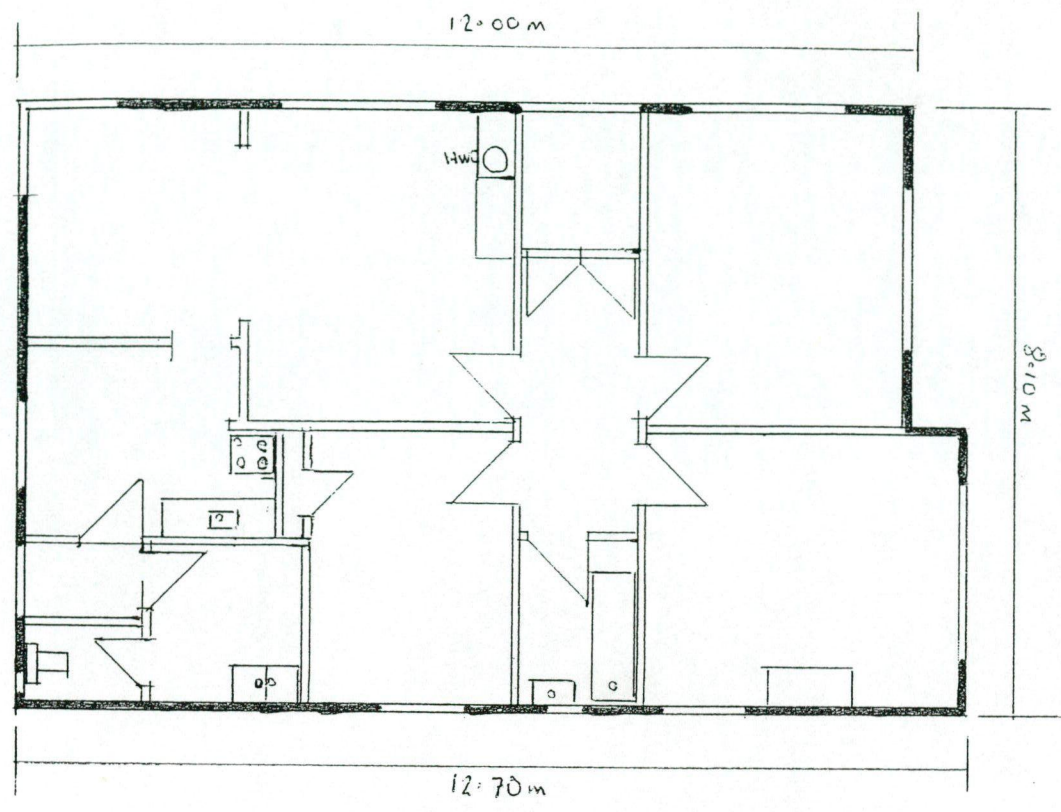
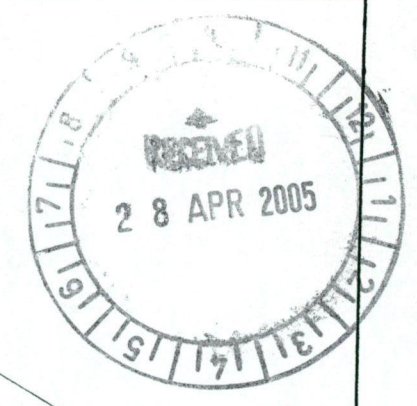
*For details see NZS3604:1999
and appropriate manufacturer's literature*

Supplier	System	Min. No. or Length (m)	BU's W/m	BU's EQ/m
	none			
NZS3604	masonry 0.75	1.5	42	42
NZS3604	masonry 1.5	1.5	100	100
NZS3604	masonry 3.0	1.5	200	200
NZS3604	masonry 4.5	1.5	300	300
NZS3604	braced piles	1	160	120
NZS3604	cantilever pile	1	70	30
NZS3604	anchor pile	1	160	120
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			

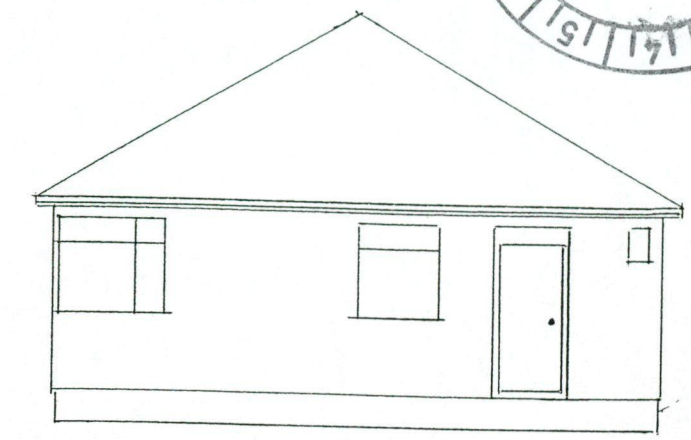
PLAN INSPECTION CHECKLIST

OWNER: <i>P & G Wallis</i>	BC NUMBER: <i>050380</i>
PROJECT ADDRESS: <i>52 Tarbottons Rd 13 Catherine</i>	VALUATION REF:
PROCESSED BY: <i>CKalston</i>	DATE: <i>10.5.03</i>

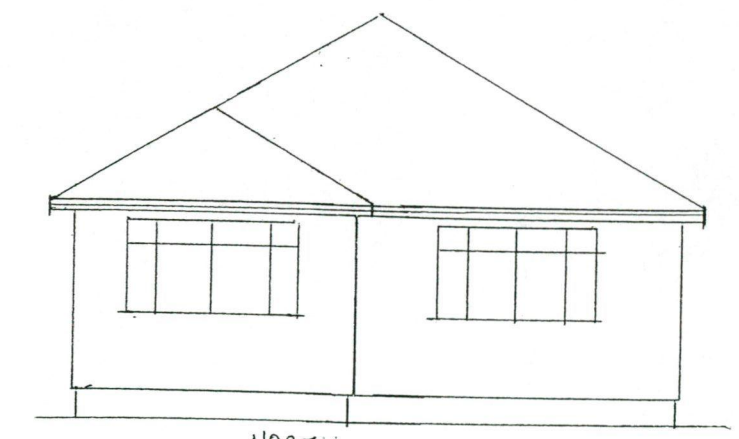
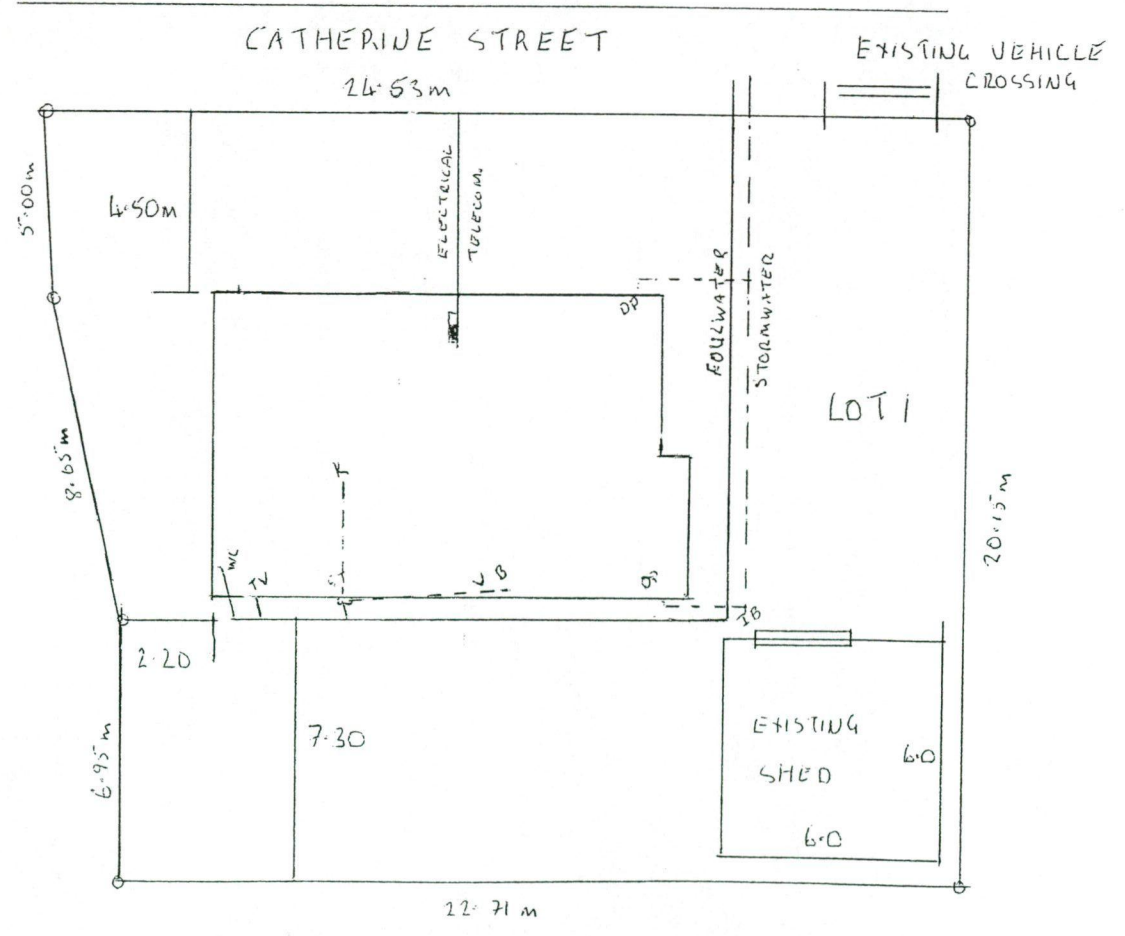
		COMMENTS	
Road Access	✓		Insulation
Hazardous Substances	-		Truss Design & Fixing
Power Lines	<i>P12</i>		Roof Cladding
Sewer Septic Tank	x	<i>New Connection</i>	Exterior Cladding
Water Supply	x	<i>New Connection</i>	Building Paper
Stormwater	^	<i>New Connection Required</i>	Roof Underlay
Telecom/Electricity	<i>P12</i>		Ceiling Battens
Site Visit Required	<i>No</i>		Plumbing/Pipe Type
Landfill/Flooding	-	<i>None</i>	High/Low Pressure/Valves HWC
Engineers Certificate			Restraints/HWC & Roof Tank
Siting	✓		Tempering
Foundation Depth/Width	✓		Backflow Prevention
Reinforcing	-		Pipe Lagging
Concrete Strength	✓		Drainage - Network Operator
Ventilation/Subfloor	✓		CRC Requirements - Effluent Disposal
Foundation Height	✓		Specific Designed System
Piles	✓	<i>HS</i>	Other
Bearers			Fire Safety Requirements
Floor Joists			Access for Disabled
Insulation/Vapour Barrier			Engineers Producer Statements Req'd
Fill Type			Firewalls
Mesh			Fire Design
Fixing to Foundation	✓		Stairs/Handrails & Balustrades
Plate Fixing	✓		Heating
Wall Bracing/Subfloor Bracing			Laundry Facilities
Roof Bracing/Diaphragm Bracing			Cooking Facilities
Framing			Personal Hygiene
Lintels/Beams			
Glazing/Ventilation			Other Conditions for Consent



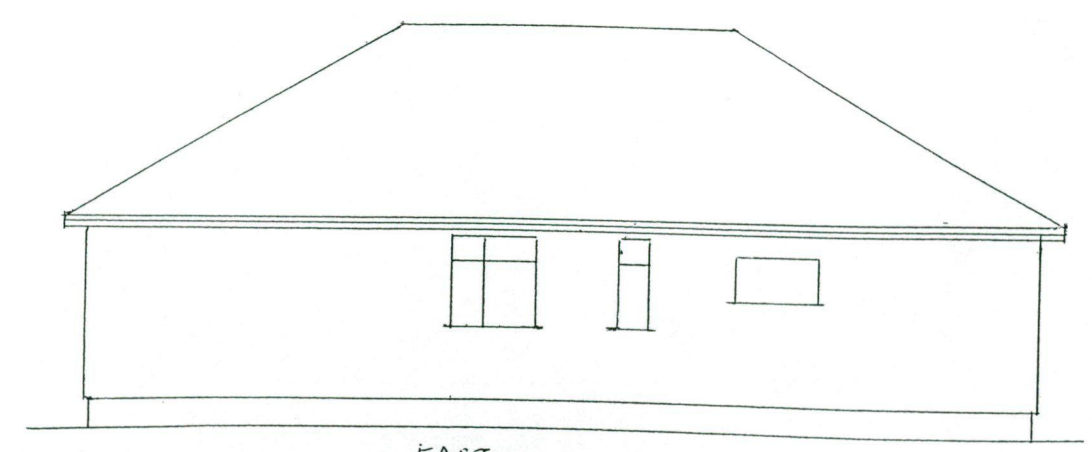
WEST



SOUTH



NORTH



EAST

SCALE: 1:100 1:200

SITE PLAN AND ELEVATIONS PROPOSED DWELLING RELOCATION

DRAWN: DJS
MAY 2005