

NEW POSITION

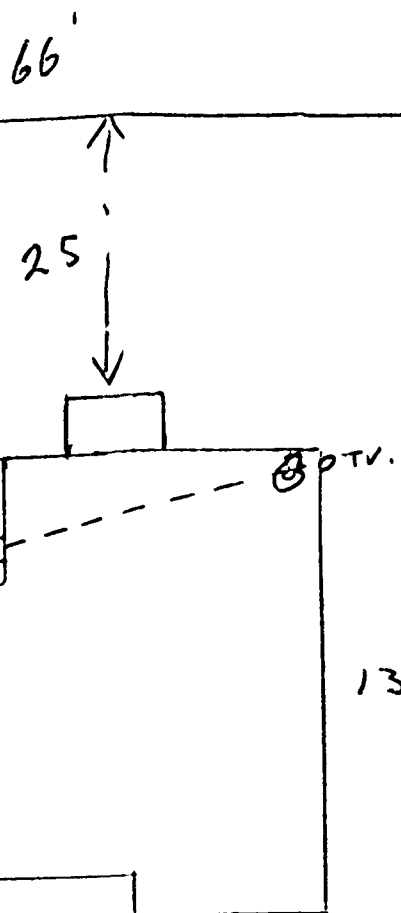
Remaining area to be
developed with Town Houses
in compliance with
Percentage of cover allowable
& local Body requirements

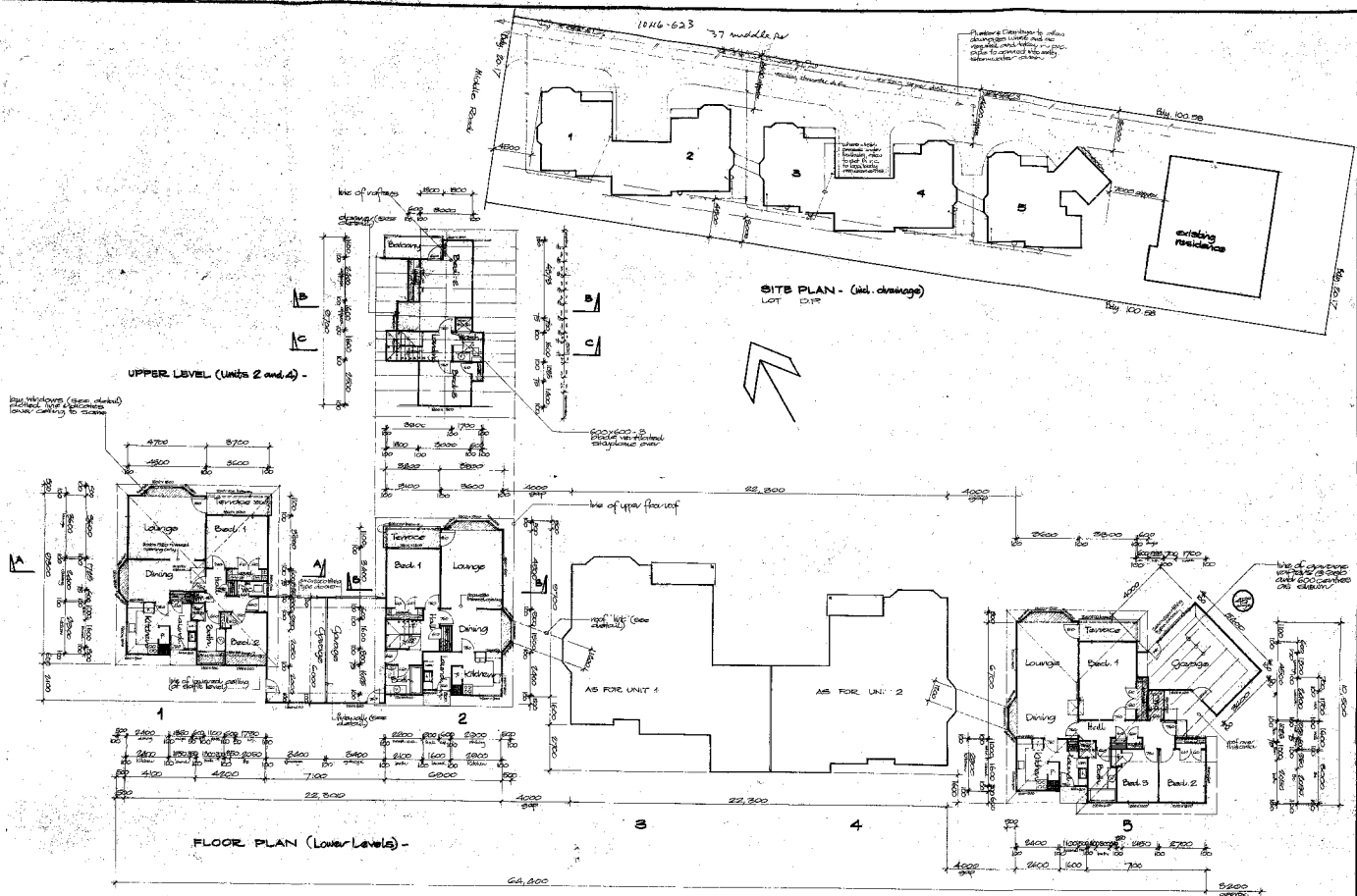
EXISTING POSITION
AS AT 8/6/76

4" STORM WATER ALREADY IN.

37 MIDDLE ROAD - F.A. TASKER.

MICROBOX





PROPOSED COLONIAL VILLAS, MIDDLE ROAD, HAVELOCK NORTH •

2 of 3

March 1977

Scales:
1:100
1:200

UNIMSCO DESIGN SERVICE
15 COLSMITH ROAD, NAPIER
PHONE 83-271

*

MICROBOX

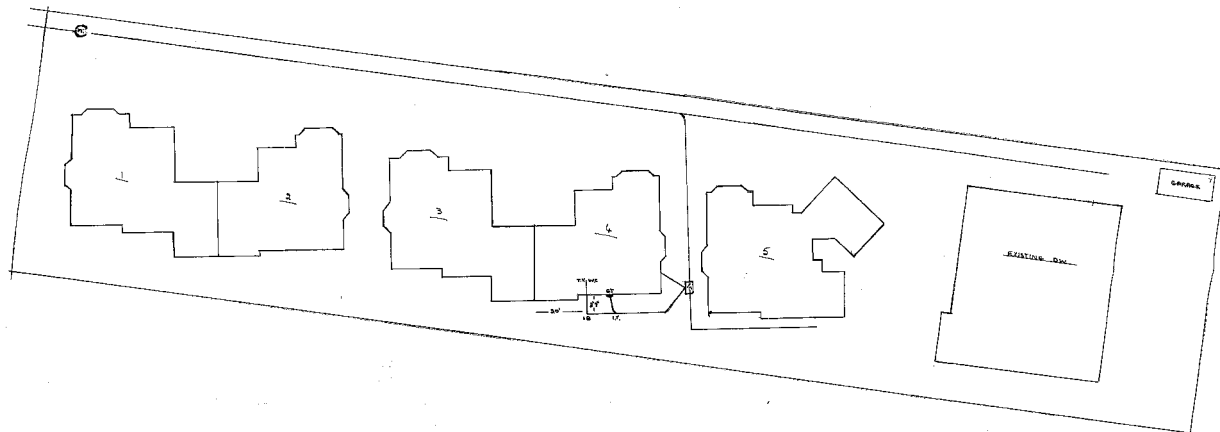
MICROFILM RECORDS (WAIKATO) LTD HAMILTON

3

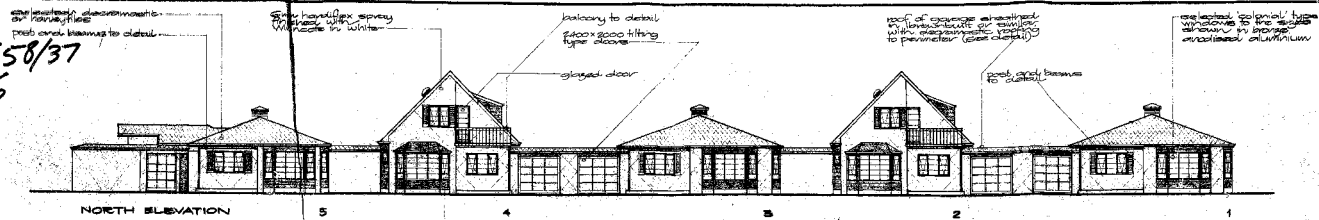
2

13/3/95

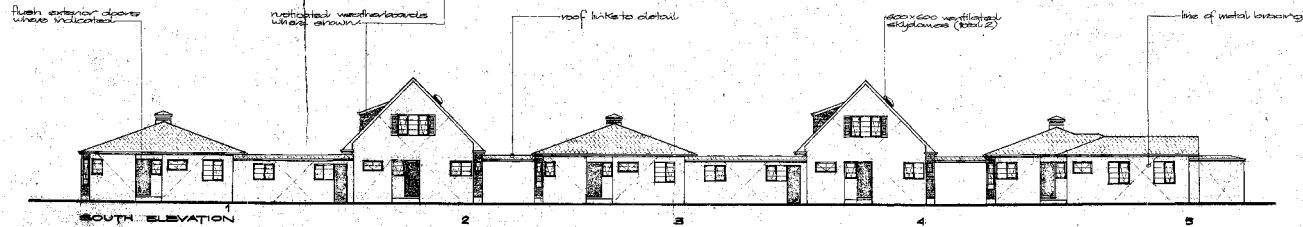
DRAINAGE PLAN F. TANKER (FLATS) 37 MIDDLE ROAD



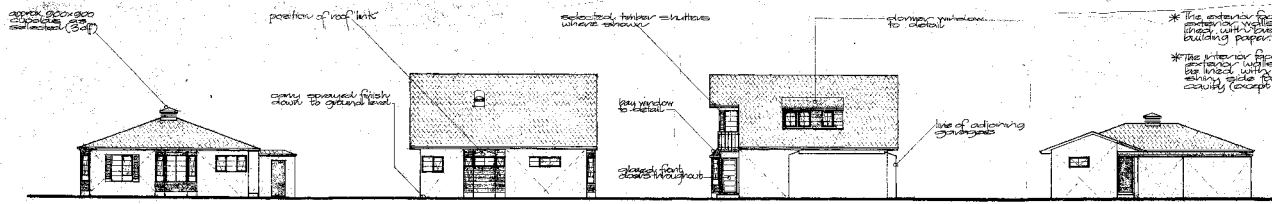
658/37
6



NORTH ELEVATION



SOUTH ELEVATION



FRONT ELEVATION (to street)
WEST unit 1

REAR (EAST) ELEVATION
TO UNITS 2 and 4

WEST ELEVATION
TO UNITS 2 and 4

REAR ELEVATION (rear)
EAST unit 5

* The exterior face of all units will be finished with weather type building paper.
* The interior face of all units will be finished with weather type building paper (except for garages).

PROPOSED COLONIAL VILLAS, MIDDLE ROAD, HAVELOCK NORTH

1 of 3	March 1977	Scale 1:100	SIMPSON DESIGN SERVICE 16 GOSSETT ROAD, HAMILTON PHONE 83-771
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MICROBOX

MICROFILM RECORDS (WAIKATO) LTD HAMILTON

13/3/79

Back

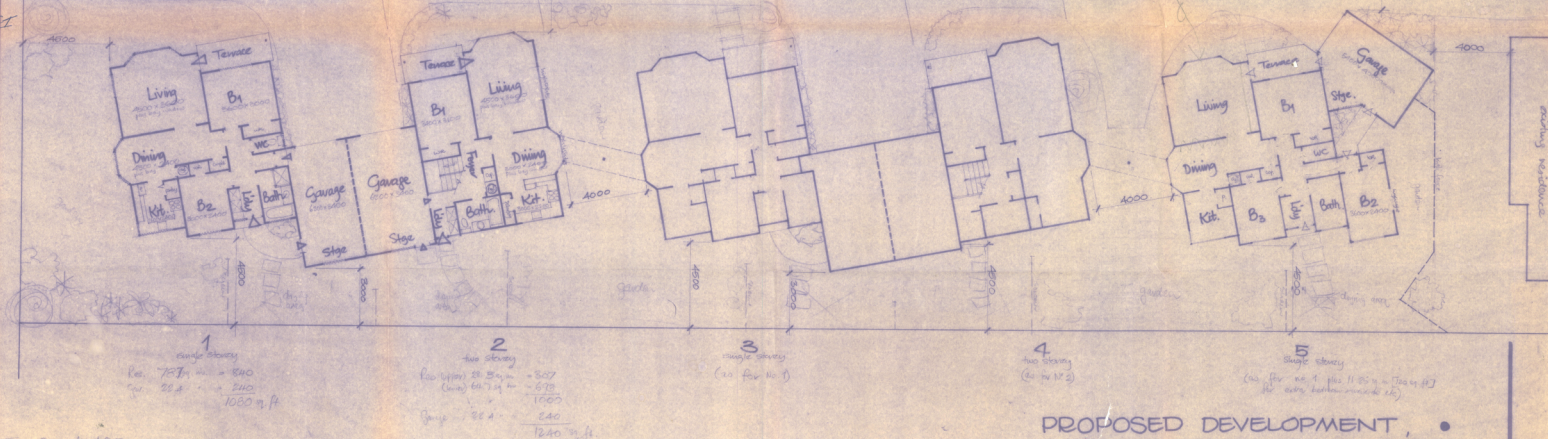


SCALE

37 Middle Road

BACK

STREET



PROPOSED DEVELOPMENT,
MIDDLE ROAD, HAVELOCK NORTH

HAVELOCK NORTH BOROUGH COUNCIL.

Date 4.3.77 197

APPLICATION FOR A BUILDING PERMIT.

I HEREBY APPLY for a Building Permit for a . . . flat
(state type of building)
in accordance with the plans and specifications herewith and the parti-
culars given below. Signature of Applicant J.A. Tasker . .

APPLICATION FOR PLUMBING AND / OR DRAINAGE PERMIT.

I HEREBY APPLY for a permit to carry out plumbing and/or drainage work in
accordance with the plans and specifications herewith and the particulars
given below. Signature of Applicant J.A. Tasker .

PLEASE USE BLOCK LETTERS AND GIVE FULL PARTICULARS.

DESCRIPTION OF PROPERTY.

Assessment No. 1046 623.. Lot D.P.
Location of Work . . . 37 Middle Rd. Havelock North
(street and number)
NAME OF OWNER: . J.A. Tasker ADDRESS: 37 Middle Rd. .
NAME OF BUILDER: . J.A. Tasker ADDRESS:
NAME OF PLUMBER: . . Grover Butcher ADDRESS: GROVER BUTCHER
NAME OF DRAINLAYER: . J.A. Tasker ADDRESS: F.A. TASKER

VALUE OF WORK:

Building 120,000.
Plumbing
Drainage 10,000..
TOTAL. £ 130,000

NOTE:

The Builder, Plumber and
Drainlayer are required to
locate all underground ser-
vices before commencement of
excavation. Plans of elec-
trical and Post & Telegraph
cables are located at the
Borough Office.

FLOOR SPACE: . . 476.3 . . . square feet.

Signed J.A. Tasker.

FOR OFFICE USE ONLY.

APPROVED Building Inspector: 197 .

APPROVED Health Inspector: 197 .

SUBJECT TO: - There will be heavy rain - not acceptable as shown.
Nothing is required under main field & Council 12" water main
to be connected on site. May be 12" water main
Rain path & completion of PERMIT NOS.

Building	£ 158.....	Building	21082....
Plumbing		Plumbing	503.....
Drainage	£ 42.....	Drainage	503.....
Sewer		Works Order	1161.....
Water	£ 6.50.....		
Crossing			

4/2 \$65
275

APPROVAL FOR ISSUE OF BUILDING PERMIT.

HEALTH INSPECTOR:

- | N.A. | SATISFACTORY | FEE | REC. NO. |
|------|--------------|----------|----------|
| | ✓ | 2/1 | |
| | ✓ | | |
| | ✓ | Feb 1907 | |
| | | ✓ | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

07-15-1944..... DATE. 12-3-44

[illegible]

26. 2. 1964

DATE 11.3.77

38. Building Permit issued No. _____ Plumbing Permit issued No. _____

PERMIT FOR A PLUMBER OR DRAINLAYER TO CARRY OUT PLUMBING AND DRAINAGE WORK

Mr. James A. Butcher, a Plumber (or Drainlayer), is hereby authorised to carry out the work described herein, and as set forth in the plans deposited with me, on the premises owned (or occupied) by Mrs. F.A. J.A. Tasker and situated in (Street and No.) 37 Middle Road Lot
D.P. Assessment No. 1046/623

Description of Work: FIVE FLATS

Such work to be carried out in strict accordance with the Drainage and Plumbing Regulations, 1959, and shall be completed on or before the day of 19.....

Estimated Value of Work including Materials:—

Estimated Cost \$ 10,000-00

Fee Paid \$ 52-00

Receipt No. for Permit Fee 5751-5771

Building Permit No. 21082

Date: 16-3-77

Borough Engineer.

Per H. Barry

CERTIFICATE AFTER INSPECTION

I HEREBY CERTIFY that I have inspected and tested the work carried out and described on the Permit issued to Mr., a Master Drainlayer (or Master Plumber), on the day of, 19..... and hereby approved of the work as carried out.

Date:

Borough Health Inspector.

100x50 plate
on d.p.c.
allow 8mm ϕ
ms. dowels @
1400 centres
max.

20mm h.d. particle
board flooring
allow double joists
below bearing walls
and allow swaging
to ends of sheds

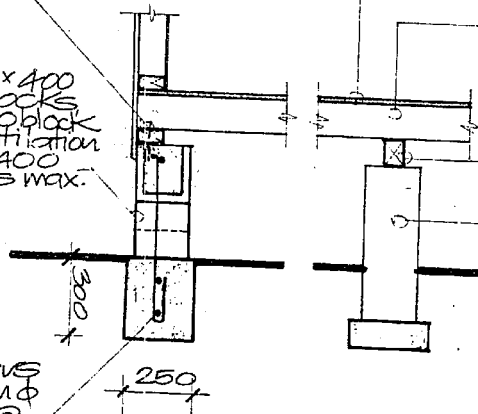
200x200x400
conc. blocks
allow 100 block
with ventilation
block @ 1400
centres max.

125x50 floor joists
@ 450 centres

100x75 beams
on d.p.c. @
max. 200 centres

200x200 conc. piles
on 300x300x100
pads (400x400x150
below bearing walls)

3 ϕ 12 bars
with 12mm ϕ
stirrups @
800 centres,
turn top of
stirrup along
band beam
150mm



ALTERNATIVE FOUNDATION DETAILS
FOR 'COLONIAL VILLAS', MIDDLE
ROAD, HAVELOCK NORTH

Scale: 1:20

PROPOSED COLONIAL VILLAS.

AT

MIDDLE ROAD

HAVELOCK NORTH.

18.11.52.

J. B. Percy

SUB-INSPECTOR

74-377

SIMPSON DESIGN SERVICE,
16 GOLDSMITH ROAD, NAPIER
PHONE 53-771.

SCOPE OF CONTRACT:

THE SUPPLY OF ALL MATERIALS, PLANT AND LABOUR FOR THE ERECTION AND COMPLETION OF RESIDENCES AS SHOWN ON DRAWINGS AND DESCRIBED BELOW IN A THOROUGH AND WORKMANSHIP-LIKE MANNER, IN STRICT ACCORDANCE WITH ALL RELEVANT N.Z. STANDARD SPECIFICATIONS, LOCAL BUILDING AUTHORITIES AND ANY OTHER RELEVANT AUTHORITY HAVING JURISDICTION OVER THE CONTRACT.

CONDITIONS OF CONTRACT:

THE USUAL CONDITIONS OF CONTRACT SHALL APPLY AND ARE TO BE READ WITH AND APPLIED TO ALL TRADES, INCLUDED IN AND FORMING PART OF THIS CONTRACT.

INSURANCE:

THE BUILDER SHALL INSURE HIS WORKMEN AGAINST ALL CLAIMS UNDER THE WORKERS' COMPENSATION ACT.

FIRE INSURANCE:

FIRE INSURANCE COVERING THE BUILDING DURING THE COURSE OF CONSTRUCTION SHALL BE TAKEN OUT BY THE BUILDER.

COMMENCEMENT OF WORK:

THE WORK IS TO BE COMMENCED WITHIN A REASONABLE TIME OF THE ACCEPTANCE OF THE TENDER CONSISTENT WITH THE LABOUR AND MATERIAL POSITION AND IS TO BE CARRIED OUT TO BRING ABOUT COMPLETION AT THE EARLIEST POSSIBLE TIME. ONCE COMMENCED THE WORK IS NOT TO BE LEFT, UNLESS BY ARRANGEMENT WITH THE OWNER.

SUB-CONTRACTORS:

SUB-CONTRACTORS WORK IS THE RESPONSIBILITY OF THE BUILDER. THEIR WORK MUST BE GIVEN PROTECTION BY THE BUILDER, AND ANY DAMAGE SUFFERED BY THE LACK OF PROTECTION MUST BE REPAIRED AT THE EXPENSE OF THE BUILDER.

DAMAGE BY SUB-CONTRACTORS:

DAMAGE CAUSED BY SUB-CONTRACTORS, TO THE BUILDER'S OR OTHER SUB-CONTRACTORS WORK, SHALL BE REPAIRED BY THE SUB-CONTRACTOR CONCERNED AT HIS OWN EXPENSE, OR AN ALLOWANCE BE MADE TO THE BUILDER OR SUB-CONTRACTOR FOR REPAIRING THE DAMAGE, TO THE BUILDER'S SATISFACTION.

SETTING OUT OF WORK:

THE BUILDER WILL BE REQUIRED TO MAKE GOOD AT HIS OWN EXPENSE ANY ERRORS WHICH MAY OCCUR IN THE SETTING OUT OF ALL THE WORK. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED.

ACCOMMODATION:

THE BUILDER SHALL PROVIDE SHELTER AT ALL TIMES FOR WORKMEN'S PERSONAL EFFECTS, ETC., IN A BUILDING OTHER THAN THE RESIDENCE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPARTMENT OF LABOUR.

LATRINES:

THE BUILDER SHALL PROVIDE TEMPORARY CLOSETS FOR THE WORKMEN'S USE, MAINTAIN SCRUPULOUSLY CLEAN, AND REMOVE AT THE COMPLETION OF WORK.

STORAGE OF MATERIALS:

TIMBER SHOULD BE SUITABLE STACKED TO AVOID WARPING AND ADEQUATE PROTECTION MUST BE GIVEN TO ALL MATERIALS TO KEEP THEM OF A STANDARD EQUAL TO THAT REQUIRED.

MATERIAL QUALITY:

ALL MATERIALS USED SHALL BE THE BEST OF THEIR RESPECTIVE KINDS AND SUBSTITUTES TO THOSE DETAILED SHALL BE USED ONLY WITH PRIOR APPROVAL FROM THE OWNER.

COMPLETION OF WORK:

ALTHOUGH IT MAY NOT BE EXPRESSLY MENTIONED IN PLAN OR SPECIFICATIONS EACH AND EVERY ITEM AND METHOD OF CONSTRUCTION ETC., SHALL BE OF A STANDARD SUFFICIENT TO ENSURE A VERY GOOD GENERAL FINISH. ANY WORK THAT IS DEEMED UNSATISFACTORY SHALL BE MADE GOOD.

CLEARING UP:

AT THE COMPLETION OF THE CONTRACT, REMOVE ALL RUBBISH CAUSED BY THE OPERATIONS OF ANY TRADE. REMOVE ALL TEMPORARY ROADS AND DEPOSITS OF CONCRETE AND GRAVEL, FILL IN TRUCK TRACKS, AND GENERALLY LEAVE THE WHOLE SITE CLEAN.

LEAVE ALL FLOORS BROOM CLEAN, CLEAN ALL GLASS INSIDE AND OUT AND REMOVE ALL PAINT AND PUTTY MARKS. REPLACE ALL CRACKED AND BROKEN GLASS.

LEAVE THE RESIDENCE CLEAN AND FIT FOR IMMEDIATE OCCUPATION.

MAINTENANCE:

THE BUILDER SHALL MAINTAIN THE WORK CARRIED OUT FOR A PERIOD OF THIRTY DAYS AFTER THE COMPLETION OF THE CONTRACT. DURING THAT PERIOD THE BUILDER SHALL MAKE GOOD ALL DEFECTS IN ANY PART OF ANY TRADE TO THE SATISFACTION OF THE OWNER.

PERMITS AND FEES:

THE BUILDER SHALL OBTAIN ALL PERMITS FROM, AND PAY ALL FEES DEMANDED BY THE LOCAL AUTHORITIES BEFORE THE COMMENCEMENT OF THE WORK.

SITE:

THE SITE IS DESIGNATED LOT D.P.....
THE BUILDER SHALL VISIT THE SITE AND ASCERTAIN THE NATURE OF THE GROUND, INCLUDING ANY MINOR FALL THERE MAY BE.

P.C. SUMS:

WHERE P.C. SUMS ARE MENTIONED, SHOULD THE SUM NOT BE WHOLLY EXPENDED, THE BALANCE SHALL BE REFUNDED TO THE OWNER. ALTERNATIVELY, SHOULD THE P.C. SUM BE EXCEEDED, THE BALANCE SHALL BE AN EXTRA PAYABLE BY THE OWNER TO THE BUILDER.

EXTRAS:

EXTRAS BY WAY OF MATERIALS OR LABOUR REQUESTED BY THE OWNER AFTER ACCEPTANCE OF THE CONTRACT PRICE TO BE CHARGED BY THE BUILDER AS A SEPARATE ADDITIONAL AMOUNT.

APPROVED:

THIS SHALL MEAN UNLESS STATED TO THE CONTRARY, APPROVED BY THE OWNER.

EXCAVATION AND BACKFILLING.

EXCAVATE:

EXCAVATE THE GROUND AS REQUIRED FOR ALL FOOTINGS, PADS ETC. TO THE DEPTH NECESSARY TO OBTAIN A SOLID FOUNDATION, BUT IN ANY CASE TO THE MINIMUM DEPTHS SHOWN ON THE FOUNDATION DETAILS.

BACKFILLING:

BACKFILL IN AROUND CONCRETE WORK AND THOROUGHLY RAM AROUND.

HARDFILL:

PLACE WELL COMPACTED HARDFILL UNDER ALL CONCRETE SLABS.
(BY OWNER).

CONCRETOR.

MATERIALS:

SHALL BE ORDINARY GRADE CONCRETE AS DESCRIBED UNDER CHAPTER 9.3.8. OF N.Z.S.S. 1900.

CONCRETE SLABS:

SHALL BE CONSTRUCTED TO THE THICKNESSES SHOWN AND REINFORCED WITH 665 MESH.

GULLY TRAP BASINS:

FORM GULLY TRAP BASINS TO GULLY TRAPS WITH 75MM THICK CONCRETE WALLS, RISING 150MM ABOVE GROUND LEVEL.

FIXINGS:

WALL PLATES SHALL BE SECURED BY 9MM DIA. STEEL DOWELS, HOOKED AT ENDS AND BEDDED MINIMUM 200MM INTO CONCRETE. DOWELS, SHALL BE SPACED AT NOT MORE THAN 140MM CENTRES. THERE SHALL BE AT LEAST TWO DOWELS TO EACH LENGTH OF PLATE AND PLACED AT NOT MORE THAN 400MM FROM EACH END. ALL DOWELS TO PROJECT 75MM ABOVE PLATE AND CLINCHED.

TERRACES:

CONSTRUCT AS DETAILED.

PLASTERER.

TERRACES:

ALLOW TO PLASTER SAME.

WINNCOTE.

GENERAL:

- (A) ALLOW TO APPLY TO ALL EXTERIOR WALLS SHOWN, CARRIED DOWN TO GROUND LEVEL.
 - (B) ALLOW TO APPLY TO ALL SOFFITS AND UPPER FLOOR OVERHANGS, UNDERSIDE AND OF BALCONIES, ETC.
- COLOUR SHALL BE PURE WHITE.

LANDSCAPING.

LANDSCAPING:

ALLOW TO LAY ALL DRIVEWAYS, PATHS, KERBING, SLAB, ETC TO COMPLETE THE DEVELOPMENT.

ALLOW TO LAY ALL LAWNS, PLANT ALL SHRUBS, TREES, ETC. AS DIRECTED.

ALLOW FOR CONSTRUCTION AS DIRECTED. AND PAINT (OR STAIN) ALL FENCES, SCREENS, ETC.

CARPENTER TO INSTALL LETTER BOXES, CLOTHESLINES, ETC.

CARPENTER.

TIMBER GENERAL:

GRADING SHALL BE AS PER N.Z.S.S. 169. TIMBER IS TO BE EITHER NATIVE OR TREATED PINUS RADIATA OF GRADES APPROVED FOR THE SPECIFICATION. ALL FRAMING TIMBER EXCEPT ROOFING MEMBERS IS TO BE THICKNESSED AND UNLESS STATED TO THE CONTRARY ALL DIMENSIONS REFER TO ~~SAWN~~ SIZES.

DAMPCOURSE:

ALL WOODWORK WHICH WOULD OTHERWISE BE IN CONTACT WITH CONCRETE SHALL BE LAID ON APPROVED 3 PLY FABRIC DAMPCOURSE.

SCHEDULE OF TIMBERS.

<u>LOCATION.</u>	<u>TIMBER.</u>	<u>SIZES.</u>
FLOOR JOISTS	B.A.H.R.	200 x 50
FLOOR JOISTS (DECK)	B.A.H.R.	100 x 50
PLATES, STUDS, DWANGS.	T.P.R.NO.1.	75 x 50
		100 x 50
		100 x 75
BRACING	'PRYDE' (OR SIMILAR) METAL BRACING.	
LINTELS	T.P.R.NO.1.	SEE CLAUSE BELOW.
WINDOW OPENING STUDS	T.P.R.NO.1.	SEE CLAUSE BELOW.
RAFTERS (UNITS)	T.P.R.NO.1.	125 x 50
RAFTERS (FLAT ROOFS)	T.P.R.NO.1.	150 x 50
RAFTERS (CLERESTOREYS)		
AND ONE GARAGE.	T.P.R.NO.1.	100 x 50
UNDERPURLINS AND STRUTS	T.P.R.NO.1.	100 x 75
		100 x 50
CEILING JOISTS	T.P.R.NO.1.	100 x 50
<u>ALTERNATIVE</u> IF GANGNAIL TRUSSES ARE USED INSTEAD OF CONVENTIONAL ROOF FRAMING THE HOLTS TRUSS NUMBERS SHALL BE.....		
TILE BATTENS	T.P.R.NO.1.	50 x 50
RIDGE & HIP BOARDS	T.P.R.NO.1.	150 x 25
RUNNERS	T.P.R.NO.1.	TO SUIT SPAN
COLLAR TIES	T.P.R.NO.1.	150 x 25
SOFFIT FRAMING	T.P.R.NO.1.	75 x 50
BEAMS	N.Z.D.FIR.	TO SIZES SHOWN.
BALCONY FRAMING (WALLS)	T.P.R.NO.1.	75 x 50
BALCONY CAPPING	D.A.H.R.	(SPLAYED) EX 125 x 50
FASCIAS	D.A.H.R.	EX 200 x 40
SKIRTING	D.A.R.	75 x 25
ARCHITRAVES.	NONE REQUIRED ALLOW GROOVED JAMBS THROUGHOUT.	

ANY OTHER TIMBERS AS SHOWN OR AS REQUIRED.

NOTE. REFER TO 'MEANS OF COMPLIANCE' ROOF FRAMING CHAPTER 6.1 FOR ROOF CONSTRUCTION RECOMMENDATIONS.

FLOOR JOISTS:

SHALL BE GAUGED DOWN ON PLATES TO A UNIFORM LEVEL. THEY SHALL BE JOINTED ONLY OVER A SUPPORT AND SHALL HAVE PASSINGS AT LEAST 300MM TO EVERY THIRD PAIR, WELL NAILED FROM BOTH SIDES. ALTERNATIVELY, JOISTS MAY BE BUTTED PROVIDED THAT THEY HAVE A BEARING OF AT LEAST 50MM AND ARE FLITCHED AT EVERY THIRD PAIR. ALL JOISTS SHALL BE SECURELY SPIKED TO THE OUTER WALLS.

TRIMMERS:.

TRIMMERS AND TRIMMER JOISTS SHALL BE ADEQUATELY PROPORTIONED AND SHALL BE AT LEAST 25MM THICKER THAN ORDINARY FLOOR JOISTS. WHERE THE LOADING TO BE SUPPORTED IS LIGHT THEY SHALL BE THE SAME SIZE AS THE FLOOR JOISTS.

CARPENTER.

TIMBER GENERAL:

GRADING SHALL BE AS PER N.Z.S.S. 169. TIMBER IS TO BE EITHER NATIVE OR TREATED PINUS RADIATA OF GRADES APPROVED FOR THE SPECIFICATION. ALL FRAMING TIMBER EXCEPT ROOFING MEMBERS IS TO BE THICKNESSED AND UNLESS STATED TO THE CONTRARY ALL DIMENSIONS REFER TO SAWN SIZES.

DAMPCOURSE.

ALL WOODWORK WHICH WOULD OTHERWISE BE IN CONTACT WITH CONCRETE SHALL BE LAID ON APPROVED 3 PLY FABRIC DAMPCOURSE.

SCHEDULE OF TIMBERS:

<u>LOCATION.</u>	<u>TIMBER.</u>	<u>SIZES.</u>
FLOOR JOISTS (UPPER FLOOR)	B.A.R.	200 x 50
" " (DECK)	B.A.R.	100 x 50
PLATES	T.P.R.NO.1.	100 x 75
		100 x 50
		75 x 50
STUDS	T.P.R.NO.1.	100 x 50
		75 x 50
DWANGS	T.P.R.NO.1.	100 x 50
		75 x 50
BRACING	PRYDE OR SIMILAR METAL BRACING	
LINTELS	T.P.R.NO.1.	(SEE CLAUSE BELOW)
WINDOW OPENING STUDS	T.P.R.NO.1.	(SEE CLAUSE BELOW)
RAFTERS (MAIN)	T.P.R.NO.1.	125 x 50
RAFTERS (DORMERS)	T.P.R.NO.1.	100 x 50
RAFTERS (GARAGE)	T.P.R.NO.1.	150 x 50
UNDERPURLINS AND STRUTS	T.P.R.NO.1.	100 x 75
CEILING JOISTS	T.P.R.NO.1.	100 x 50
COLLAR TIES (SINGLE)	T.P.R.NO.1.	150 x 25
COLLAR TEIS (DOUBLE)	T.P.R.NO.1.	150 x 40
RIDGE & HIP BOARDS	T.P.R.NO.1.	200 x 25
RUNNERS	T.P.R.NO.1.	TO SUIT SPAN
SOFFIT FRAMING	T.P.R.NO.1.	75 x 50.
BEAMS	N.Z.D.FIR.	TO SIZES SHOWN
FASCIAS	D.A.H.R.	200 x 25
SKIRTINGS	D.A.R.	75 x 25
ARCHITRAVES	NONE REQUIRED, ALLOW GROOVED JAMBS	THROUGHOUT.

ANY OTHER TIMBERS AS SHOWN OR AS REQUIRED.

FLOOR JOISTS:

SHALL BE GAUGED DOWN ON PLATES TO A UNIFORM LEVEL. THEY SHALL BE JOINTED ONLY OVER A SUPPORT AND SHALL HAVE PASSINGS AT LEAST 300MM TO EVERY THIRD PAIR, WELL NAILED FROM BOTH SIDES. ALTERNATIVELY, JOISTS MAY BE BUTTED PROVIDED THAT THEY HAVE A BEARING OF AT LEAST 50MM AND ARE FLITCHED AT EVERY THIRD PAIR. ALL JOISTS SHALL BE SECURELY SPIKED TO THE OUTER WALLS.

TRIMMER:

TRIMMERS AND TRIMER JOISTS SHALL BE ADEQUATELY PROPORTIONED AND SHALL BE AT LEAST 25MM THICKER THAM ORDINARY FLOOR JOISTS. WHERE THE LOADING TO SE SUPPORTED IS LIGHT THEY SHALL BE THE SAME. SIZE AS THE FLOOR JOISTS.

DWANGS:

CUT IN BETWEEN STUDS 50MM DWANGS AT MAX. 650MM CENTRES. DWANG OR STRAP CEILING TO SUIT SELECTED LININGS.

BRACING:

EACH EXTERIOR WALL AND EACH BEARING PARTITION SHALL BE BRACED WITH 'PRYDE' METAL BRACING AT AN ANGLE OF APPROXIMATELY 45 DEG. THERE SHALL BE ONE BRACE TO EVERY 4600MM OF WALL LENGTH WHERE PRACTICALBE. (SEE DETAIL ON PLAN).

STUDS:

SHALL BE CUT SQUARELY TOP AND BOTTOM AND SHALL BE SECURELY NAILED WITH TWO 100MM NAILS TO EACH END. STUDS SHALL BE DOUBLED AT ALL CORNERS. STUDS SHALL BE SPACED AT MAX. 600MM CENTRES. IF RAFTER LANDS MORE THAN 100MM FROM THE STUD, ALLOW A 100 x 50 DWANG NAILED ON EDGE UNDER TOP PLATE AND BETWEEN STUDS.

OPENING STUDS:

WINDOW OPENING STUDS TO BE 100 x 50 FOR OPENINGS NOT GREATER THAN 1400MM INCREASED IN PROPORTION OF 25MM FOR EVERY 1400MM.

LINTELS:

LINTEL SCHEDULE SHALL BE AS FOLLOWS:-

	<u>MIN. DEPTH OF SOLID LINTEL</u>
NOT EXCEEDING 1400MM	100 x 75
OVER 1400MM BUT NOT EXCEEDING 1800MM	100 x 100
OVER 1800MM BUT NOT EXCEEDING 2300MM	125 x 100
OVER 2300MM BUT NOT EXCEEDING 2700MM	150 x 100
OVER 2700MM BUT NOT EXCEEDING 3600MM	900 x 100

ALL LINTELS OVER 900MM AND UP TO 2700MM IN LENGTH SHALL BE CHECKED INTO OPENING STUDS 12MM OR SUPPORTED ON BEARING STUDS. LINTELS OVER 2700MM IN LENGTH SHALL BE SUPPORTED ON 50MM SOLID BEARING AT EACH END. LOWER FLOOR LINTELS SHALL BE INCREASED IN DEPTH BY 50%.

TRIMMERS:

BOTTOM TRIMMERS 100 x 50 OR TO WINDOW OPENINGS EXCEEDING 2700MM TO BE NOT LESS THAN 100 x 75.

EAVES:

CONSTRUCT AS SHOWN.

FASCIA BOARDS:

FIT TO EAVES EX 200 x 25 FASCIAS.

FLOORING:

PARTICLE BOARD. BETWEEN FLOOR JOISTS, CUT IN 75 x 50 DWANGS AS NECESSARY TO PROVIDE SOLID BEARING TO ALL EDGES OF SHEETS. FIX SHEETS CLOSELY BUTTED TO ENSURE TIGHT JOINTS, SECURELY NAILED WITH 52MM GALVANISED BRADHEADS TO ALL JOISTS AND DWANGS AT 150MM CENTRES AROUND EDGES AND 300MM CENTRES TO INTERMEDIATE JOISTS. PUNCH ALL NAIL HOLES.

ON COMPLETION, FIRST SAND WITH A COARSE PAPER AND FINISH WITH FINE PAPER. LEAVE WHOLE FLOOR READY FOR FINAL FINISHING.

CEILING LININGS:

LINE CEILINGS THROUGHOUT IN SELECTED LININGS. DWANG TO SUIT. GARAGE CEILINGS SHALL BE LINED IN HARDBOARD.

WALL LININGS:

LINE INTERIOR WALL WITH GIBRALTAR BOARD, STOPPED READY TO RECEIVE WALLPAPER. LINE INTERIOR OF SHOWER BOXES WITH SELECTED FORMICA WALL BOARD, WITH P.V.C. MOULDINGS TO JOINTS.

SHELVING:

TO EACH WARDROBE AND TO OTHER CUPBOARDS SHOWN, PROVIDE A 300MM WIDE SHELF ON CLEATS. ALLOW CHROMED PIPE RAIL BELOW. ACROSS EACH END OF EACH BEDROOM 1 WARDROBE PROVIDE 4 ROWS OF OPEN SHELVING.

TO PANTRY ALLOW 6 ROWS OF VARYING SHELVING AS SHOWN. TO OTHER CUPBOARDS SHOWN ALLOW 4 ROWS OF SLAT SHELVING.

EXTERIOR SHEATHING:

OTHER THAN THE WINNCOTE COVERED HARDIFLEX AS PREVIOUSLY MENTIONED. ALLOW TO FIX RUSTICATED (TYPE WEATHERBOARDS) WHERE SHOWN.

HARDWARE:

TO UNITS 1,3 AND 5,, ALLOW A P.C.SUM OF \$250 FOR SUPPLY ONLY OF SELECTED HARDWARE TO DOORS, JOINERY, ETC. ALLOW TO FIT SAME TO UNITS 2 AND 4 ALLOW P.C.SUM OF \$300 FOR SAME.

(OVERALL TOTAL OF \$1350)

BEAMS AND POSTS:

SUPPLY AND INSTALL AS DETAILED, COMPLETE WITH NECESSARY STRAPS, PLATES, BOLTS, ETC.

TELEPHONE:

THE CARPENTER SHALL NOTIFY THE POST OFFICE, WHEN THE UNITS ARE AT A STAGE FOR THE TELEPHONE WIRING TO BE LAID, IN ORDER THAT IT MAY BE CONCEALED.

CEILING ACCESS: (APPLIES TO SINGLE STOREY UNITS ONLY).

SHALL BE PLACED IN SUITABLE CUPBOARD AS NEAR AS POSSIBLE TO RIDGE LINE.

BUILDING PAPER:

LINE EXTERIOR FACE OF ALL ECTERIOR WALLS WITH BREATHER TYPE BUILDING PAPER. NOTE BUILDING PAPER MUST CONTINUE OVER THE TOP OF THE TOP PLATE IN ORDER TO SEAL OFF THE TOP CAVITY.

SISALATION:

LINE THE INTERIOR FACE OF ALL EXTERIOR WALLS WITH SINGLE SIDED SISALATION WITH SHINY SIDE FACING INTO CAVITY.

BATTS:

LINE ALL CEILING SPACES (NOT TO GARAGES) AS INDICATED ON PLAN CROSS SECTIONS, WITH R9 FIBREGLASS BATTS.

SOAP RECESSES:

PROVIDE AND FIX A PLASTIC SOAP RECESS TO WALL OF EACH SHOWER BOX AND TO WALL ABOVE EACH BATH.

TILTING DOORS:

SUPPLY AND INSTALL TO EACH GARAGE A 2400 X 2000 TIMBER FRAMED, HARDBOARD SHEATHED DOOR TO THE DESIGN SHOWN, ON SUITALBE TILTING DOOR TYPE FITTINGS.

BALCONY: (INCLUDING BALUSTRADING).

CONSTRUCT AS DETAILED AND LINE WITH 9MM ASBESTOS DECKING ON SOLID SARKING. DEAL PROPERLY TO AVOID MOISTURE PENETRATION. ALLOW SLIGHT FALL TOWARDS SMALL GUTTER AT PERIMETER.

SLIDING DOORS:

WHERE SHOWN ALLOW TO PROVIDE AND FIT, SUITABLE TRACK FOR SAME.

STAIRS:

JOINER TO SUPPLY, CARPENTER TO INSTALL. (SEE JOINER). INSTALL SUITALBE HANDRAILS TO SAME.

BAY WINDOWS:

CONSTRUCT AS DETAILED.

ROOF LINKS:

CONSTRUCT AS DETAILED. ALLOW 12MM GIBRALTAR BOARD AT EACH END FOR FIRE RETARDATION.

DORMER WINDOWS:

CONSTRUCT AS DETAILED. NOTE IN PARTICULAR THE FIXING OF THE CEILING LINING OVER THE STAIRWAY TO ALLOW MAXIMUM HEADROOM.

GARAGES:

CONSTRUCT AS DETAILED. ALLOW FOR TIMBER FRAMED FIREWALL BETWEEN GARAGES 1 AND 2 AND 3 AND 4.

CUPOLAS:

SUPPLY AND INSTALL SELECTED CUPOLAS TO APPROX. THE SIZE SHOWN, TO ROOFS OF UNITS 1,3 AND 5.

SKYDOMES.

SUPPLY AND INSTALL A 3 BLADED VENTILATED SKYDOME TO ROOF OF UNITS 2 AND 4 ABOVE UPSTAIRS WASHROOM. FIX AS SHOWN BUT IN ANY CASE TO MANUFACTURERS RECOMMENDATIONS.

SPLASH BOARDS:

FIT FORMICA SHEATHED SPLASH BOARDS TO WALL ABOVE EACH BATH.

SHUTTERS:

JOINER TO SUPPLY, CARPENTER TO FIX. (SEE JOINER).

LOWERED CEILING:

TO LOWER FLOORS, APART FROM CEILINGS TO BAY WINDOWS, THE CEILING TO PART OF BED.2 AND BATHROOM IN UNITS 1 AND 3 SHALL BE AT SAME LEVEL AS OUTSIDE SOFFIT. (REFER TO FLOOR PLAN) 150 X 100 BEAM SHOWN SHALL BE HIDDEN IN CEILING SPACE. ALL LOWER FLOOR CEILINGS LESS THAN 2450 ARE SHADED ON FLOOR PLAN.

PANTRIES:

SHALL BE CONSTRUCTED ON JOB BY CARPENTER AS DETAILED.
NOTE: ALL PANTRIES ARE IDENTICAL.

EXPELAIRS:

ELECTRICIAN TO PROVIDE AND INSTALL ONE TO EACH UNIT,
CARPENTER TO PROVIDE FRAMMED OPENINGS FOR SAME WHERE SHOWN.

CLOTHESLINES:

PROVIDE ONE AS SELECTED TO EACH UNIT.

LETTER BOXES:

PROVIDE ONE FOR EACH UNIT AT STREET.

JOINER.

EXTERIOR JOINERY:

SHALL BE SELECTED BRAND OF BRONZE ANODISED ALUMINIUM TO THE DESIGN SHOWN ON PLAN. WINDOWS SHALL BE PRE-FITTED WITH GROOVED JAMB LINERS.

DOOR FRAMES:

ALL DOOR FRAMES TO BE PLUMB AND SQUARE TO WALLS, HAVING HEADS TRUE AND LEVEL. EXTERIOR DOOR FRAMES TO BE OUT OF 50MM THICK TIMBER AND SILL OUT OF 60MM THICK TIMBER, SOLID REBATED.

DOORS:

(INTERIOR) SHALL BE FLUSH IN SELECTED FINISH TO THE SIZES SHOWN ON PLAN.

(EXTERIOR) FLUSH FINISH AS SHOWN.

KITCHEN JOINERY:

CONSTRUCT KITCHEN JOINERY AS DETAILED.

VANITIES:

SUPPLY READY FOR INSTALLATION, AS DETAILED.

TUB CUPBOARDS:

SUPPLY READY FOR INSTALLATION, AS DETAILED.

STAIRS:

CONSTRUCT IN TIMBER (OR TIMBER AND PARTICLE BOARD) AS SHOWN TO GOOD TRADE PRACTICE. CHECK ALL OPENING SIZES, HEIGHTS ETC. PRIOR TO FABRICATION.

ROOFER.

MAIN ROOFS:

DECRAMASTIC TILES OR HARVEYTILES.

FIX AN APPROVED SATURATED BUILDING FELT OVER RAFTERS WITH SLIGHT BAGGING BETWEEN, CARRY BUILDING FELT OVER SPOUTING BOARD TO DISCHARGE ANY MOISTURE INTO SPOUTING. FIX OVER UNDERLAY HEART NATIVE OR TREATED BATTENS TO THE SIZE INDICATED ON THE PLAN AND SET OUT TO SUIT RELATIVE METAL TILE.

FIX DECRAMASTIC TILES STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

COLOUR AS SELECTED.

GARAGE ROOFS:

BROWNBUILT (OR SIMILAR).

COVER RAFTERS WITH 55MM NETTING STRETCHED TIGHT AND HEAVY DUTY BUILDING PAPER WITH A MINIMUM LAP OF 100MM. OVER THIS FIX .45MM GALVANISED STEEL BROWNBUILT WITH ALL LAPS PRIMED

SUPPLY AND FIT ALL NECESSARY CLIPS, FLASHINGS, ETC. TO COMPLETE THE ROOF.

ALL WORK SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

PLUMBER.

GENERAL:

THE SUB-CONTRACTOR SHALL PAY ATTENTION TO THAT SECTION OF THE GENERAL CONDITIONS DEALING WITH RELATIONS WITH OTHER TRADES. ALL PLUMBING WORK IS TO BE CARRIED OUT BY A LICENSED PLUMBER AND SHALL BE STRICTLY IN ACCORDANCE WITH LOCAL BY-LAWS, AND TO THE DRAINAGE AND PLUMBING REGULATIONS 1959 AND AMENDMENTS THERETO.

WORKMANSHIP:

WATERPIPES AND TUBES ARE TO BE SET IN STRAIGHT RUNS OF EVEN GRADIENTS, AVOIDING ALL PLACES WHERE AIRLOCKS ARE LIKELY TO OCCUR. EASY BENDS ARE USED THROUGHOUT AND, UNLESS UNAVOIDABLE, ELBOW FITTINGS SHALL NOT BE USED.

PIPES:

COLD WATER PIPES SHALL BE COPPER BRAZED AND WASTE PIPES SHALL BE P.V.C. HOT WATER PIPES ARE TO BE COPPER TUBING BRAZED AND LAGGED. EXPOSED PIPES IN BATHROOM SHALL BE CHROMED COPPER.

SHEET LEAD:

THIS SHALL BE THE BEST NEW MILLED LEAD OF MINIMUM AVERAGE WEIGHT 6 KG. PER SQ. FT. FOR SANITARY PURPOSES.

GENERAL FLASHINGS:

THESE ARE TO BE OF 26 G. GALVANISED FLAT IRON AND FITTED IN ACCORDANCE WITH STANDARD BUILDING PRACTICE.

PIPE RUNNING:

FROM THE TOP OF EACH HOT WATER CYLINDER A 19MM DIA EXPANSION PIPE SHALL BE FITTED, AND CONTINUED VERTICALLY UP THROUGH THE ROOF AS A 13MM DIA EXHAUST PIPE TERMINATING AT A HEIGHT OF NOT LESS THAN 1800 ABOVE THE ROOF. 13MM DIA. BRANCHES SHALL BE TAKEN FROM THE EXPANSION PIPE TO EACH SINK, TUB, VANITY, SHOWER, BATH, BASIN AND WASHING MACHINE. A 19MM DIA. SLUDGE PIPE SHALL BE TAKEN FROM THE BOTTOM OF EACH CYLINDER AND FITTED WITH A SCREWED BRASS CAP.

PIPE LAGGING:

ALL PIPING AND FITTINGS CONVEYING HOT WATER INCLUDING THE EXHAUST PIPE UP THE UNDERSIDE OF THE ROOFING AND 900MM OF THE COLD WATER FEED PIPE ADJACENT TO THE CYLINDER SHALL BE LAGGED WITH FELT, TIGHTLY WRAPPED AROUND THE PIPING AND SECURED.

TERMINAL VENT:

SHALL BE 100MM DIA. P.V.C. CARRIED UP TO THE HEIGHT DEMANDED BY THE LOCAL AUTHORITY, AND FITTED WITH A VERMIN CAGE, GALVANISED AFTER FABRICATION. IT SHALL BE WELL SECURED TO THE WALL, SO AS TO KEEP NOT LESS THAN 38MM CLEAR OF WALL. CONNECT TO DRAIN.

WASTES:

ALL WASTES TO BE P.V.C. OF PRESCRIBED DIA. JOINTS SHALL BE MADE WATERTIGHT AND ALL WASTES SHALL BE WELL SECURED.

TRAPS:

ALL TRAPS WHERE POSSIBLE, SHALL HAVE UNIONS AT BOTH ENDS AND SHALL BE INSTALLED IN A MANNER ALLOWING FOR COMPLETE REMOVAL. SUFFICIENT CLEANING PLUGS SHALL BE PROVIDED. TRAP TO EACH BASIN (IN W.C.) SHALL BE CHROMED.

VANITIES:

SHALL BE SUPPLIED BY JOINER. PLUMBER TO ALLOW TO CONNECT.

BATHS:

TO EACH UNIT FIT A 1500MM WHITE BATH IN TIMBER FRAME CRADLE TO BE COMPLETE WITH PLUG AND SHAIN, WASHER CAP AND LINING, AND A 38MM P-TRAP WITH 38MM P.V.C. WASTE.

BASINS:

TO SEPERATE W.C. ROOM IN UNITS 1, 3 AND 5 ALLOW TO SUPPLY AND INSTALL A SMALL PORCELAIN WALLHUNG HANDBASIN.

AUTO WASHING MACHINES:

CARPENTER TO SUPPLY. PLUMBER TO ALLOW TO INSTALL A SELECTED AUTOMACTIC WASHING MACHINE TO EACH LAUNDRY (TOTAL 5).

WASTE DISPOSAL UNIT:

ELECTRICIAN TO SUPPLY. ALLOW NECESSARY PLUMBING WORK FOR SAME. (TOTAL 5).

SPOUTING AND DOWNPIPES:

SHALL BE A SELECTED BRAND OF P.V.C. INSTALLED TO MANUFACTURER'S RECOMMENDATIONS.

HOT WATER CYLINDERS:

INSTALL A 272 LITRE CYLINDER TO EACH UNIT. LAG WITH HAIR FELT AND PROVIDE COMPLETE WITH NECESSARY FLANGES ETC.

WATER CONNECTION:

ALLOW FOR P.V.C. SUPPLY LINE FROM SUPPLY TO EACH UNIT.

OUTSIDE HOSE TAPS:

ALLOW TO INSTALL TWO 12MM OUTSIDE HOSE TAPS TO EACH UNIT. (ONE TO FRONT, ONE TO REAR.)

SHOWER TRAYS:

PROVIDE AND INSTALL WHERE SHOWN STAINLESS STEEL TRAYS. (TO UNITS 1,2,3 AND 4 - 900 X 760, TO UNIT 5 - 900 X 900).

MIXING VALVES:

TO WALL OF EACH SHOWER BOX PROVIDE AND INSTALL A FELTON MIXING VALVE.

WATER CLOSETS:

FIT APPROVED PANS COMPLETE WITH HINGED PLASTIC SEAT WITH TOP COVER FLAPS. ALLOW TO SCREW PANS SECURELY TO FLOOR

TUBS:

JOINER TO SUPPLY AS PART OF LAUNDRY UNIT.

DRAINLAYER.

GENERAL:

ALL DRAINAGE WORK IS TO BE CARRIED OUT BY A LICENSED DRAINLAYER AND SHALL BE STRICTLY IN ACCORDANCE WITH LOCAL BY-LAWS AND TO THE DRAINAGE AND PLUMBING REGULATIONS 1959 AND AMENDMENTS THERETO.

MORTAR AND CONCRETE:

WATER, CEMENT, SAND AND GRAVEL SHALL BE OF THE SAME GRADES AND QUALITIES AS THOSE SPECIFIED IN "CONCRETOR" HEREOF, EXCEPT THAT THE SAND IS PASSED THROUGH A 12MM MESH. ALL MORTAR IS TO BE COMPOSED OF ONE PART OF CEMENT AND TWO PARTS SAND, BUT 10% OF THE CEMENT MAY BE REPLACED BY LIME TO ALLOW FOR EASY WORKING. CONCRETE IS 1:2:4: NORMAL MIX.

GULLY TRAPS:

GULLY TRAPS SHALL BE SET ON A CONCRETE FOUNDATION AND PROPERLY CONNECTED TO DRAIN. CONCRETE SURROUNDS TO GULLY TRAPS ARE KEPT UP 150MM ABOVE GROUND AND PLASTERED WITH 2:1 SAND CEMENT TROWELLED SMOOTH. A CAST IRON GRATING AND CONCRETE LID SHALL BE PROVIDED.

INSPECTION PIPES:

THESE ARE TO BE PROVIDED WHERE REQUIRED.

LAYING DRAINS:

DRAINS SHALL BE LAID PROCEEDING IN LINES AS DIRECT AS POSSIBLE AND WITH REGULAR FALLS NOWHERE LESS THAN ONE IN FORTY.

JOINTING W.C.s

THE JOINT BETWEEN THE WATER CLOSET AND THE SOILPIPE IS TO BE MADE WITH BITUMEN OR OTHER APPROVED MASTIC.

SEWERAGE DRAIN.

SHALL BE 100MM DIA. FIRST QUALITY SALT GLAZED SOCKETTED PIPES CONNECTED INTO EXISTING SEWER DRAIN ON NORTHERN BOUNDARY. BED DRAIN IN 150MM OF PEA METAL. WHERE DRAIN PASSES UNDER FLOOR OF UNIT, ALLOW TO ENCASE IN REINFORCED CONCRETE TO LOCAL AUTHORITY REQUIREMENTS. MINIMUM FALL 1 IN 40.

STORMWATER DRAIN:

CARRY STORMWATER FROM EACH DOWNPIPE IN A P.V.C. PIPE AND CONNECT INTO MAIN STORMWATER DRAIN NEAR NORTHERN BOUNDARY

PAINTER.

GENERAL:

THE PAINTING MAY BE DONE EITHER BY PERSONS DIRECTLY EMPLOYED BY THE BUILDER OR BY A SUITABLE SUB-CONTRACTOR. SUCH SUB-CONTRACTOR SHALL BE UNDER DIRECT CONTROL OF THE BUILDER.

FINISH:

IN ALL CASES, PRIOR TO THE APPLICATIONS OF A FINISHING COAT, THE RECOMMENDATION OF THE MANUFACTURER OF THE FINISHING COAT SHALL BE STRICTLY ADHERED TO, NOTWITHSTANDING THAT THE GENERAL TERM "PAINT" HAS BEEN USED, AND A MINIMUM NUMBER OF COATS HAS BEEN SPECIFIED.

MATERIALS:

ALL MATERIALS SHALL BE SELECTED BRAND AND DELIVERED ON THE SITE IN UNBROKEN PACKAGES. NO MATERIALS SHALL BE MIXED ON ANY UN-PROTECTED FLOOR SURFACES.

WORKMANSHIP:

ALL WORK SHALL BE OF THE HIGHEST STANDARD AND SHALL BE PERFORMED BY COMPETENT TRADESMEN. PAINT SHALL NOT BE APPLIED TO CAMP SURFACES, AND EXTERNAL PAINTING SHALL NOT BE DONE DURING FROSTY OR OTHER UNSUITABLE WEATHER. ALL CARE SHOULD BE TAKEN NOT TO STAIN OR MAR ANY EXISTING FINISH AND ALL WORK TO BE LEFT CLEAN AND CLEAR.

PREPARATION OF SURFACES:

NO PAINTING, OR VARNISHING ETC. SHALL BE DONE ON ANY SURFACE UNLESS AND UNTIL SUCH SURFACES ARE IN A SUITABLE CONDITION TO RECEIVE THE FINISH, INCLUDING SANDING, PUTTYING ETC.

INTERIOR:

ALL CEILINGS SHALL HAVE TWO COATS OF ALKYD FLAT PAINT BRUSHED OR ROLLED ON.

ALL INTERIOR WOODWORK SHALL BE EITHER PAINTED, VARNISHED OR STAINED IN ACCORDANCE WITH SCHEDULE TO BE SUBMITTED.

ALL NAIL HOLES SHALL BE STOPPED WITH PUTTY.

KITCHEN JOINERY ETC, SHALL BE EITHER PAINTED OR VARNISHED INCLUDING BOTH SIDES OF CUPBOARD DOORS. THE INSIDES OF THESE CUPBOARDS. (SHALL BE GIVEN TWO COATS OF ACRYLIC PAINT OF A LIGHT COLOUR.

THE INTERIOR OF WARDROBES SHALL BE PAPERED TO MATCH THE ADJOINING ROOM. OTHER CUPBOARDS SHALL BE SINGLE COAT ACRYLIC PAINTED WHERE POSSIBLE.

ALL WALLS, SHALL BE GIVEN A SEALING COAT OF SIZE AND COVERED WITH SELECTED WALLPAPER. ALLOW A P.C. SUM OF \$6 PER ROLL FOR SUPPLY ONLY, ALLOW TO HANG.

EXTERIOR:

ALL WEATHERBOARDS, SHUTTERS, DOORS, TRIMS, ETC. SHALL BE GIVEN TWO COATS OF SELECTED ACRYLIC PAINT.

FLAT ROOFS SHALL RECEIVE ONE COAT OF SELECTED ACRYLIC ROOF PAINT.

ALLOW TO PRIME ALL WOODWORK AND METALWORK PRIOR TO FIXING SAME.

COLOUR SCHEDULE:

SHALL BE SUPPLIED WHEN REQUESTED BY PAINTER.

GENERAL:

ALLOWANCE SHALL BE MADE FOR THE CONNECTING UP TO THE SUPPLY MAINS AT THE POINT CUSTOMARILY ALLOWED FOR IN THE DISTRICT AND THE NECESSARY PERMITS FROM THE SUPPLY AUTHORITIES AND ALL FEES AND OTHER CHARGES SHALL BE PAID.

THE INSTALLATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE ELECTRICAL WIRING REGULATIONS 1935, AND AMENDMENTS THERETO. DRAW-IN BOXES, INSPECTION ELBOWS AND TEES SHALL BE SO LOCATED THAT ALL CONDUCTORS ARE DRAWN FROM POINT TO POINT WITHOUT DAMAGING THE INSULATION OR THE CONDUCTOR.

ALL CUTTING, DRILLING AND FITTING NECESSARY FOR THE ELECTRICAL INSTALLATION IS TO BE INCLUDED IN THIS WORK, BUT NO WORK OF OTHER TRADES SHALL BE CUT INTO SO THAT IT MAY CAUSE DAMAGE OR INJURY TO STRUCTURAL OR FINISHED WORK.

ALL WORK IS TO BE PROTECTED FROM THE WEATHER IN AN APPROVED MANNER AND AGAINST POSSIBLE INJURY DURING THE PROGRESS OF WORK.

ALL EXPOSED SCREW-HEADS ON FITTINGS ARE TO BE OF FINISH AND PATTERN TO MATCH THEIR SURROUNDINGS.

ALL SWITCHES (FLUSH TYPE), POWER SOCKETS (FLUSH TYPE) AND OTHER FITTINGS SHALL BE OF FIRST QUALITY STANDARD, PLACED AS SHOWN OR DIRECTED,

ANY SPECIAL FITTINGS SHALL BE BY SPECIAL ARRANGEMENT WITH THE OWNER.

ONE COMPLETE SET OF APPROVED WATTAGE LAMPS SHALL BE PROVIDED TO ALL LIGHTING POINTS.

POWER POINTS SHALL BE 10AMP WITH SWITCHES.

CONNECTION TO MAINS:

SUPPLY MAINS SHALL ENTER A METAL MAINS JUNCTION G.E.C. PATTERN. PROVIDE UNDERGROUND MAINS TO EACH UNIT.

METER SWITCHBOARDS:

THESE ARE TO BE MEATLY BOXED IN WITH DOOR, ETC, AS REQUIRED BY THE ELECTRICAL SUPPLY AUTHORITY AND EACH TO BE PLACED IN A SELECTED POSITION, RECESSED BETWEEN STUDS.

EARTHING OF NEUTRAL:

THE NEUTRAL AT THE SWITCH BOARD IS TO BE BONDED TO THE WATER SYSTEM.

CYLINDERS:

ALLOW FOR SUPPLY OF AN ELEMENT AND THERMOSTAT TO EACH HOT WATER CYLINDER (272 LITRES EACH.)

STOVES:

ALLOW A P.C. SUM OF \$350 FOR SUPPLY ONLY OF A SELECTED STOVE TO EACH UNIT. (TOTAL \$1750). ALLOW TO INSTALL.

DOOR CHIMES:

ALLOW TO INSTALL ONE PER UNIT.

EXPELAIRS:

PROVIDE AND INSTALL ONE EXPELAIR (OR SIMILAR) EXTRACTOR FAN TO WALL OF EACH UNIT OVER STOVE, (SEE PLAN).

WASTE DISPOSAL UNITS:

SUPPLY AND CONNECT ONE BELOW EACH SINKBENCH. (TOTAL 5) .
SEE ALSO PLUMBER.

AUTOMATIC WASHING MACHINES:

ALLOW TO CONNECT ELECTRICALLY ONLY.

LIGHT POINTS, POWER POINTS ETC.

	UNITS 1 AND 3.	UNITS.2 AND 4.	UNITS 5.
CEILING LIGHTS			
WALL LIGHTS			
EXTERIOR LIGHTS			
POWER POINTS (10AMP 3PIN) (WITH SWITCHES)			
T.V.POINTS.			
SHAVING POINTS.			
PANEL HEATERS:			

ALLOW TO SUPPLY AND INSTALL A SELECTED BRAND OF THE FOLLOWING
HEATERS:-

	UNITS 1 AND 3.	UNITS.2 AND 4.	UNIT 5.
LOUNGE			
DINING			
BEDROOM 1.			
BEDROOM 2.			
BEDROOM 3.			
BATH.			
WASH.			
HALL.			

HASTINGS DISTRICT COUNCIL
STORMWATER AND DRAINAGE SURVEY
HAVELOCK NORTH

71909

2/54/1

6

PROPERTY DATA

Property Address: 37 Middle Road
Legal Description: Lot 1 DP 15248 Record Sheet No. 130.72
Person Interviewed: 2 Mrs. Lerner (Owner)/Tenant/Other
How Long Has Person Lived At This Address: 15 years
House Floor Level : Above Road/ Below Road /Level/Other

SITE PLAN

Trace and/or paste plan in this space

STORMWATER

1. Has Resident any complaints/reports about private or Councils stormwater system? YES/NO -
Details on back. SW2 runs off road. Grate is adequate.

SEWERS

1. Has Resident experienced high water levels in W.C. Pan? YES/NO.
2. Has Resident any reports/complaints about private or Councils Sanitary Drainage System.
YES/NO - Details on back.

OTHER MATTERS

Has Resident volunteered reports/complaints on any other services Council provides? YES/NO -
Details on back.

Signed Wilson Drainage Surveyor Checked [Signature] Team Leader

Date 15.9.93