

T.32 BC Complete File Checklist File 3117.03 Updated 12.02.2015 MT



KAIPARA DISTRICT COUNCIL

Application for Building Consent, Project Information Memorandum (PIM), Certificate of Acceptance (COA) and Minor Building Works
(Form 2) Section 33 or section 45 of The Building Act 2004

Applicant Details: 1 The Owner Name of Owner: <u>Simon & Tracy Hayward</u> Contact Person: <u>"</u> Postal Address: <u>112 Opouteke Rd</u> <u>R.O.9, Dargaville</u> Street Address/Registered Office: Phone No: <u>4395969</u> Fax No: Mobile No: <u>0212341716</u> Email: <u>tulipa@slingshot.co.nz</u> The following evidence of ownership is attached to this application: e.g Certificate of Title, less than 6 months old (if property has been recently sold a copy of Sale and Purchase Agreement is required)	BC No: <u>110157</u> 2 The Agent Name of Agent: Contact Person: Postal Address: Street Address/Registered Office: Phone No: Mobile No: Email: Relationship to Owner: <u>Kaipara District Council</u> First Point of Contact for Communications/Fees/Refunds to: ☒ The Owner ☐ The Agent																						
3 The Project (What is the work to be done) Description of the building work: <u>Addition to house bedroom/suite</u> Will the work result in a change of use of the building: ☐ Yes ☒ No If YES please state new use and provide details: List Building Consents previously issued for this project (if any): Floor area (proposed work - square metres) <table style="width:100%; border-collapse: collapse;"> <tr> <th></th> <th style="text-align: center;">Basement</th> <th style="text-align: center;">Ground Floor</th> <th style="text-align: center;">Other Floors</th> <th style="text-align: center;">Total</th> </tr> <tr> <td>Main Building</td> <td></td> <td></td> <td></td> <td align="center"><u>16</u></td> </tr> <tr> <td>Accessory</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Buildings</td> <td></td> <td></td> <td></td> <td></td> </tr> </table>		Basement	Ground Floor	Other Floors	Total	Main Building				<u>16</u>	Accessory					Buildings					4 Building Details: (Where work to be done) Valuation Roll No: <u>01000-123008</u> Legal Description: <u>1.0T.1 DP 332313</u> Street Address of Building: <u>112 Opouteke Rd</u> <u>R.O.9, Dargaville</u> Location of Building within site/block number (include nearest street access): <u>Opouteke Road</u> Building Name: Number of Levels: <u>One</u> Level/Unit No: <u>112</u> Certificate of Title No: Area of Site (m²/ha): <u>97.2035 ha</u> Current, lawfully established use: <u>Domestic</u> Year first constructed (if applicable): <u>1955?</u>		
	Basement	Ground Floor	Other Floors	Total																			
Main Building				<u>16</u>																			
Accessory																							
Buildings																							
5 Nature Of Consent ☐ New building - exclude domestic garages and domestic outbuildings ☐ Minor Works ☐ Foundations only ☒ Alterations, repairs, extensions, conversions, resiting ☐ Domestic garages and domestic outbuildings Intended Life: Indefinite, but not less than 50 yrs ☐ OR Specified as yrs Demolition ☐ Being stage of an intended stages	6 Value Of Work And Fees (GST Incl) <table style="width:100%; border-collapse: collapse;"> <tr> <td>Main buildings</td> <td align="right">\$ <u>135,000</u></td> </tr> <tr> <td>Accessory buildings</td> <td align="right">\$ <u>35,000</u></td> </tr> <tr> <td>Plumbing & Drainage</td> <td align="right">\$ <u>5,000</u></td> </tr> <tr> <td>Total Value of Work</td> <td align="right">\$ <u>40,000</u></td> </tr> <tr> <td colspan="2">Office Use Only</td> </tr> <tr> <td>PIM</td> <td align="right">\$ <u>143.00</u></td> </tr> <tr> <td>Building Consent</td> <td align="right">\$ <u>892.00</u></td> </tr> <tr> <td>BRANZ Levy</td> <td align="right">\$ <u>40.00</u></td> </tr> <tr> <td>DBH Levy</td> <td align="right">\$ <u>80.40</u></td> </tr> <tr> <td>Certificate of Acceptance</td> <td></td> </tr> <tr> <td>TOTAL</td> <td align="right">\$ <u>1155.40</u></td> </tr> </table> Receipt No: <u>21/4/11 621738</u> Date:	Main buildings	\$ <u>135,000</u>	Accessory buildings	\$ <u>35,000</u>	Plumbing & Drainage	\$ <u>5,000</u>	Total Value of Work	\$ <u>40,000</u>	Office Use Only		PIM	\$ <u>143.00</u>	Building Consent	\$ <u>892.00</u>	BRANZ Levy	\$ <u>40.00</u>	DBH Levy	\$ <u>80.40</u>	Certificate of Acceptance		TOTAL	\$ <u>1155.40</u>
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7 Tick box A to D below, as appropriate :

- ☐ **A** Application is for a Project Information Memorandum (PIM) *Sec 33 of The Building Act 2004*
- ☒ **B** Application is for Building Consent (BC) only, *Sec 45 of The Building Act 2004* in accordance with PIM No :
- ☐ **C** Application is for Building Consent & Project Information Memorandum *Sec 31(1)(a) of The Building Act 2004*
- ☐ **D** Application is for a Certificate of Acceptance (COA) *Sec 97 of The Building Act 2004*

8 Confidentiality (Plans and Specifications):

I/We require the following to be treated as confidential (proof of reasons for confidentiality will be required and will only be accepted if legally valid)

- ☐ Plans & Specifications (please specify which plans i.e. Floor Plans etc.,) :
- ☐ I/We require that **all details** of this application remain confidential as required by a Council directive applied for, or already issued, in relation to a protection order currently in force under The Domestic Violence Act 1995.

9 Vehicle Crossing Required

Is this application linked to a vehicle crossing application?

YES ☒ NO ☐ If 'YES', Application No :

(If 'YES' please include Vehicle Crossing Application)

10 Public Utility Connections Required

Is this application subject to a utility connection application?

(Sewer/stormwater, Water Connection or Water Meter Installation)

- ☐ YES - Application No:
- ☒ NO - Existing connections in place
- ☐ Mangawhai Eco-Care Drainage District

11 Historic Places Trust

☐ The property is a registered historic place, historic area or wāhi tapu area

☐ A PIM has already been issued for this project - PIM No :

If your property has an archaeological or historic site, you need to consult with the Historic Places Trust in regards to your project for review and approval prior to your project commencing

12 Fire Service Design Unit (3 copies - 4 where fire report required, 1 set to be A3)

Section 47 of The Building Act 2004, requires certain projects as specified by notice in the NZ Gazette to be reviewed by the New Zealand Fire Service, which may require a Memorandum, setting out advice on issues such as 'means of escape from fire' and 'water supply for fire fighting'. Not required when Fire Design Report shows compliance with the 'C' Documents of the New Zealand Building Code.

13 Compliance Schedule - (Compliance Schedule Form available from office or internet)

A Compliance Schedule is required for buildings with specified systems. This does **NOT** apply to single storey, residential property apart from when serviced by a cable car.

- ☐ The Specified Systems for the building are identified. (Complete Part E)
- ☐ There are **no** Specified Systems within the building.

14 Certificate of Acceptance

Is this application in relation to obtaining a Certificate of Acceptance (Section 96 Building Act 2004) ?

☐ Yes ☒ No If yes, please provide details below:

Description of Building work -

Date work carried out -

Personnel who carried out work – Please list over page in PART D: KEY PERSONNEL

Part B: Project Details

Project Information Memorandum (Complete this part only when applying for a PIM)

The project involves the following matters. Tick each applicable box and attach relevant information in **triplicate** for residential and **four copies** for Commercial Industrial or Multi-Storey. **Always include one set A3 size.**

- ☐ (a) Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings (Site Plan with elevations, Topography, drawn to scale).
- ☐ (b) Details of any known or potential erosion, avulsion, falling debris, filled ground, subsidence, slippage, alluvion, inundations, and hazardous contaminants on or near the site, land contours.
- ☐ (c) Provisions to be made for vehicular access, including parking. (To be shown on site plan).
- ☐ (d) Provisions to be made in building over or adjacent to any road or public place.
- ☐ (e) Provisions to be made for disposing of stormwater and wastewater. (To be shown on site plan).
- ☐ (f) Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains.
- ☐ (g) New connections to public utilities i.e. water supply, stormwater system, wastewater system.
- ☐ (h) Provisions to be made in any demolition work for the protection of the public, suppression of dust, suppression of noise, disposal of debris and disconnection from public utilities.
- ☐ (i) Details of any cultural or heritage significance of the building or building site, including whether it is on a marae or wahi tapu.
- ☐ (j) Copy of/or reference to, any resource consent or planning approval (including subdivision) for this project.
- ☐ (k) Details of volume of proposed excavations; include volumes for site preparation, basement and driveway.
- ☐ (l) Other matters known to the applicant that may require authorisations from the Territory Authority (specified)

Part C: Building Details

Complete this part only when applying for a Building Consent

This application is accompanied by: (tick each applicable box, attach relevant documents in **triplicate*** for residential and **four copies** for Commercial, Industrial or Multi-Storey).

- ☒ 1 The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the New Zealand Building Code, with supporting documents, if any, including:
 - ☐ 2 Building Certificates.
 - ☐ 3 Producer Statements (including TP 58 Effluent Design), and any alternative solutions.
 - ☐ 4 References to product certification issued by the Department of Building and Housing (DBH).
 - ☐ 5 References to determinations issued by the Department of Building and Housing (DBH).

For details on drawings and specifications etc, see checklist form. If applying for PIM and Building Consent together, then plans for PART B (a) can be included in PART C (1).**

If a PIM has already been applied for then include a copy of any relevant authorisations (eg Resource Consents) with this application.

***Triplicate** = 2 full sets plans and specifications, 1 set A3 (1 x Floor Plan, 1 x Site Plan and 1 x Elevations)

**** Four Copies** = 3 Full sets plans and specifications, 1 set A3 (1 x Floor Plan, 1 x Site Plan and 1 x Elevations)

Part D : Key Personnel

From March 2012, the Building Act 2004 requires all restricted building work to be carried out or supervised by a Licensed Building Practitioner. After this date, applications for consent can only be accepted where a Licensed Building Practitioner has been engaged and the registration number shown in the appropriate area below.

Designer

Name : Tony Hayward Reg No : Phone No : 09 423 8994
 Address : 421 Pan Hill Road, Wellsford, 0973
 Mobile No : Email :

Builder

Name : Les Sweeney Reg No : Phone No : 439 7524
 Address : P.O. Box 264, Dargaville
 Mobile No : 027 4972929 Email : lessweeney@hotmail.com

Registered Drainlayer

Name : Dreadon & Kelliher Reg No : Phone No : 439 6577
 Address : Beach Road, Dargaville
 Mobile No : 027 513 8623 Email :

Registered Plumber

Name : Reg No : Phone No :
 Address :
 Mobile No : Email :

Registered Electrician

Name : Graeme Barrel CEC Contractor Reg No : Phone No :
 Address : Dargaville
 Mobile No : 021 440 634 Email :

Registered Gas Fitter

Name : Reg No : Phone No :
 Address :
 Mobile No : Email :

Other

Name : Draft person: Kimberley Spurgeon Reg No : Phone No : 439 7190
 Address :
 Mobile No : 027 2485 869 Email : for-fared@yahoo.co.nz

Other

Name : Reg No : Phone No :
 Address :
 Mobile No : Email :

Part E - Compliance Schedule Details

The building will contain the following (please indicate by ticking the applicable box and attach proposed inspection, maintenance and reporting procedures).

Type of system	Existing	New	Altered	Added	Removed
1 Automatic systems for fire suppression	☐	☐	☐	☐	☐
2 Automatic or manual emergency warning systems	☐	☐	☐	☐	☐
3.1 Automatic doors	☐	☐	☐	☐	☐
3.2 Access controlled doors	☐	☐	☐	☐	☐
3.3 Interfaced fire or smoke doors or windows	☐	☐	☐	☐	☐
4 Emergency lighting systems	☐	☐	☐	☐	☐
5 Escape route pressurisation systems	☐	☐	☐	☐	☐
6 Riser mains for use by fire services	☐	☐	☐	☐	☐
7 Any automatic backflow preventers fitted to a potable water supply	☐	☐	☐	☐	☐
8.1 Passenger carrying lifts	☐	☐	☐	☐	☐
8.2 Service lifts	☐	☐	☐	☐	☐
8.3 Escalators and moving walks	☐	☐	☐	☐	☐
9 Mechanical ventilation systems, or air conditioning systems	☐	☐	☐	☐	☐
10 Building maintenance units for providing access to buildings (internal or external)	☐	☐	☐	☐	☐
11 Laboratory fume cupboards	☐	☐	☐	☐	☐
12.1 Audio loops	☐	☐	☐	☐	☐
12.2 FM radio frequency systems and infrared beam transmission	☐	☐	☐	☐	☐
13.1 Mechanical smoke control systems	☐	☐	☐	☐	☐
13.2 Natural smoke control	☐	☐	☐	☐	☐
13.3 Smoke curtains	☐	☐	☐	☐	☐
14.1 Emergency power systems for any of the above systems	☐	☐	☐	☐	☐
14.2 Signs for systems	☐	☐	☐	☐	☐
15.1 Systems for communicating spoken information for evacuation	☐	☐	☐	☐	☐
15.2 Final exits	☐	☐	☐	☐	☐
15.3 Fire separations	☐	☐	☐	☐	☐
15.4 Signs for fire systems	☐	☐	☐	☐	☐
15.5 Smoke separations	☐	☐	☐	☐	☐
A – Safety barriers	☐	☐	☐	☐	☐
B – Means of access and facilities	☐	☐	☐	☐	☐
C – Handheld hose reels	☒	☐	☐	☐	☐
16 Cable car	☐	☐	☐	☐	☐

Building Consent Application Checklist/Design Review

(To Be Completed By Applicant/Designer)

Return this **completed** checklist with your application.

Include all information and documents requested.

This will ensure your consent is processed in the quickest possible time.

Name: <u>Simon & Tracy Hayward</u>	Date: <u>16.4.11</u>
Address: <u>112 Opauteke Rd, Dargaville</u>	

Application Type				Application Number			
New building	YES	☒ NO	N/A	Certificate of title/Easements/Infringements	YES	NO	
Alterations	YES	☒ NO	N/A	Legal description checked	☒ YES	NO	
Additions	☒ YES	NO	N/A	Street address	☒ YES	NO	
Demolition	YES	☒ NO	N/A	Name of building			
Relocation	YES	☒ NO	N/A	Floor level	☒ YES	NO	N/A
Change of use	YES	☒ NO	N/A	Current lawful use			
Stage of	YES	☒ NO	N/A	Building history - listed	YES	NO	☒ N/A
Building Classification				Intended life			
Housing				Floor Area			
Detached	YES	☒ NO	N/A	Ground floor		<u>16</u>	M ²
Multi-unit	YES	☒ NO	N/A	Basement		-	M ²
Group dwelling	☒ YES	NO	N/A	1 st floor		-	M ²
Outbuildings				2 nd floor			
Garage, barn, shed	YES	☒ NO	N/A	Outbuildings		-	M ²
Swimming pool	YES	☒ NO	N/A	Decks/balconies		-	M ²
Glasshouse, pergola, other	YES	☒ NO	N/A	Other			M ²
Ancillary				TOTAL			
Bridge, Outdoor fire, retaining wall	YES	☒ NO	N/A			<u>16</u>	M ²
Office Use:				Contact Details, Address, Phone, Etc			
				Owner's details	☒ YES	NO	N/A
				Agent's details	YES	NO	☒ N/A
				Designer's details	YES	NO	N/A
				Engineer's details	YES	NO	☒ N/A
				Builder details	YES	NO	N/A
				Electrician details	YES	NO	N/A
				Plumber details	YES	NO	N/A
				Drainlayer details	YES	NO	N/A
				Means of compliance (as per application form)	YES	NO	N/A
Wind zone	Low	Med	High	Very high	Spec. Des	Corrosion zone	Earthquake region
Full Description Of Building Work							
<u>Addition to group dwelling of bedroom & ensuite</u>							
Provide Details Of Any Reports Submitted And Issue Date:							

Plans					Site plan				
Number of sets supplied					1:100 1:200 or 1:500	YES	NO	N/A	
Specifications					Legal description	YES	NO	N/A	
Number of sets supplied	2				Title – Easements/Infringements	YES	NO	N/A	
					Site area	YES	NO	N/A	
Bracing Calculations					Private drainage	YES	NO	N/A	
Subfloor/ Deck					Public drainage showing depth of drains, manholes etc.	YES	NO	N/A	
Wall (per floor)					Dimensions – 3 minimum	YES	NO	N/A	
Structural Engineering					Existing and proposed buildings	YES	NO	N/A	
Number of sets supplied					North point	YES	NO	N/A	
Beam layout plan	YES	NO	N/A		Contours, datum	YES	NO	N/A	
Connection details	YES	NO	N/A		Finished floor level	YES	NO	N/A	
Producer statement	YES	NO	N/A		Retaining walls	YES	NO	N/A	
Geotechnical Engineering					Extent of cut and fill	YES	NO	N/A	
Number of sets supplied					Site coverage	YES	NO	N/A	
Site plan	YES	NO	N/A		Parking and vehicle access	YES	NO	N/A	
Soils analysis/report	YES	NO	N/A		Protected trees	YES	NO	N/A	
Producer statement	YES	NO	N/A		HWC (gas)	YES	NO	N/A	
Drainage Report					Water meter (if applicable)	YES	NO	N/A	
Who	YES	NO	N/A		Natural water course	YES	NO	N/A	
Soil Analysis	YES	NO	N/A		Site Drainage away from house to suitable path	YES	NO	N/A	
System/Design recommended under	YES	NO	N/A		Ponding	YES	NO	N/A	
E2 Risk Matrix – 1 per face/elevation					Floor Plan				
• North	YES	NO	N/A		Room use denoted	YES	NO	N/A	
• South	YES	NO	N/A		Window size and position	YES	NO	N/A	
• East	YES	NO	N/A		Fixtures and fittings	YES	NO	N/A	
• West	YES	NO	N/A		Solid fuel heating	YES	NO	N/A	
Cross-Sections					HWC	YES	NO	N/A	
Minimum of one along the length	YES	NO	N/A		Wall bracing - height, position, type	YES	NO	N/A	
Minimum of one across the width	YES	NO	N/A		Lintels	YES	NO	N/A	
Details to include					Door/window size and position	YES	NO	N/A	
Fixings	YES	NO	N/A		Foundation Plan				
Footing size	YES	NO	N/A		Timber Floor And Fixings				
Subfloor ventilation and insulation	YES	NO	N/A		Pile size, centres, treatment	YES	NO	N/A	
Foundations steel – size and centres	YES	NO	N/A		Fixings	YES	NO	N/A	
Wall insulation	YES	NO	N/A		Footing size	YES	NO	N/A	
Wall framing - sizes, centres, treatment, height	YES	NO	N/A		Bracing layout, type and position	YES	NO	N/A	
Masonry and slab	YES	NO	N/A		Joists and bearers	YES	NO	N/A	
Cladding	YES	NO	N/A		Concrete floor				
Cavity and battens	YES	NO	N/A		Dimensions, bays, mesh size, plumbing fixtures, point load pads, slab thickenings,	YES	NO	N/A	
Building paper	YES	NO	N/A		Specific design (raft)	YES	NO	N/A	
Stairs - tread, rise, pitch, height	YES	NO	N/A		Roof Framing Plan				
Decks and balconies	YES	NO	N/A		Pitched roof	YES	NO	N/A	
Linings and finishes	YES	NO	N/A		Ridge beam, rafters, purlins, building paper insulation	YES	NO	N/A	
Ceiling insulation	YES	NO	N/A		Eaves	YES	NO	N/A	
					Pergola	YES	NO	N/A	
					Fixings	YES	NO	N/A	

Electrical Plan							
Smoke detectors	YES	NO	N/A	Trussed Roof	YES	NO	N/A
Mechanical light and ventilation	YES	NO	N/A	Truss type	YES	NO	N/A
Elevations				Point loads identified	YES	NO	N/A
• North	YES	NO	N/A	Roof bracing	YES	NO	N/A
• South	YES	NO	N/A	Fixings	YES	NO	N/A
• East	YES	NO	N/A	Weathertightness - Flashing Details			
• West	YES	NO	N/A	Windows	YES	NO	N/A
Wall cladding	YES	NO	N/A	Balconies	YES	NO	N/A
Roof cladding	YES	NO	N/A	Parapets	YES	NO	N/A
Finished floor levels	YES	NO	N/A	Decks	YES	NO	N/A
Height in relation to boundary	YES	NO	N/A	Roof and wall junctions	YES	NO	N/A
Maximum building height	YES	NO	N/A	More than one cladding	YES	NO	N/A
Deck Construction				Pergola	YES	NO	N/A
Foundation plan	YES	NO	N/A	Other penetrations	YES	NO	N/A
Pile size, centers, treatment	YES	NO	N/A	Solid Fuel Heating			
Bearer size, span, treatment	YES	NO	N/A	Specifications	YES	NO	N/A
Joist size, centers, treatment	YES	NO	N/A	Construction details	YES	NO	N/A
Detail at junction of house	YES	NO	N/A	Floor plan	YES	NO	N/A
Fixings	YES	NO	N/A	Energy source	YES	NO	N/A
Fencing Of Swimming Pools				Outbuildings			
Pool construction details	YES	NO	N/A	Foundation plan	YES	NO	N/A
Pool specification	YES	NO	N/A	Cross-section	YES	NO	N/A
In-ground or above-ground	YES	NO	N/A	Wall bracing	YES	NO	N/A
Fencing and gate plan	YES	NO	N/A	Roof framing	YES	NO	N/A
Fencing/construction details	YES	NO	N/A	Elevations	YES	NO	N/A
Floor plan if house forms fencing	YES	NO	N/A	Drainage	YES	NO	N/A
Backflow	YES	NO	N/A	Engineer design	YES	NO	N/A

Means Of Compliance Checklist

(To Be Completed By Applicant/Designer)

Please circle all parts of New Zealand Building Code that your project complies with.

If using a verified method or have gained a waiver, please provide verification method or waiver certificate.

NZBC Clause (which of the following clauses will be involved in the proposed building work)	Means Of Compliance (refer to the relevant compliance document(s) or detail or alternative solution in the plans and specifications)			Proposed Inspections (state means of inspection. Note PS4 or certification may be required) For Office Use Only		
B1 Structure	B1/AS1	NZS 3604	AS/NZS 1170	☐ Council	☐ Consultant	☐ Other
	NZS 4229					
B2 Durability	B2/AS1	NZS 3101	NZS 3602	☐ Council	☐ Consultant	☐ Other
	NZS 3604					
C1-C2-C3-C4 Fire	C1/AS1	C2/AS1	C3/AS1	☐ Council	☐ Consultant	☐ Other
	C4/AS1					
D1 Access routes	D1/AS1	NZS 4121		☐ Council	☐ Consultant	☐ Other
D2 Mechanical installations for access	D2/AS1	NZS 4322	EN/81	☐ Council	☐ Consultant	☐ Other
	EN/115					
E1 Surface water	E1/AS1	AS/NZS 3500		☐ Council	☐ Consultant	☐ Other
E2 External moisture	E2/AS1	SPECIFIC DESIGN		☐ Council	☐ Consultant	☐ Other
E3 Internal moisture	E3/AS1	COUNCIL STANDARDS		☐ Council	☐ Consultant	☐ Other
F1 Hazardous agents on site	F1/AS1			☐ Council	☐ Consultant	☐ Other
F2 Hazardous building materials	F2/AS1	NZS 4223		☐ Council	☐ Consultant	☐ Other
F3 Hazardous substances	F3/AS1			☐ Council	☐ Consultant	☐ Other
F4 Safety from falling	F4/AS1	FENCING OF SWIMMING POOLS ACT		☐ Council	☐ Consultant	☐ Other
F5 Construction and demolition hazards	F5/AS1			☐ Council	☐ Consultant	☐ Other
F6 Lighting for emergency	F6/AS1			☐ Council	☐ Consultant	☐ Other
F7 Warning systems	F7/AS1	NZS 4512	NZS 4515	☐ Council	☐ Consultant	☐ Other
	AS/NZS 1668					
F8 Signs	F8/AS1			☐ Council	☐ Consultant	☐ Other
G1 Personal hygiene	G1/AS1			☐ Council	☐ Consultant	☐ Other
G2 Laundering	G2/AS1			☐ Council	☐ Consultant	☐ Other
G3 Food preparation and prevention from contamination	G3/AS1			☐ Council	☐ Consultant	☐ Other
G4 Ventilation	G4/AS1	AS 1668.2		☐ Council	☐ Consultant	☐ Other

NZBC Clause (which of the following clauses will be involved in the proposed building work)	Means Of Compliance (refer to the relevant compliance document(s) or detail or alternative solution in the plans and specifications)			Proposed Inspections (state means of inspection. Note PS4 or certification may be required) For Office Use Only		
				☐ Council	☐ Consultant	☐ Other
G5 Interior environment	G5/AS1			☐ Council	☐ Consultant	☐ Other
G6 Airborne and impact sound	G6/AS1			☐ Council	☐ Consultant	☐ Other
G7 Natural light	G7/AS1			☐ Council	☐ Consultant	☐ Other
G8 Artificial light	G8/AS1	NZS 6703		☐ Council	☐ Consultant	☐ Other
G9 Electricity	G9/AS1			Energy works certificate		
G10 Piped services	G10/AS1	NZS 5261		Energy works certificate		
G11 Gas as an energy source	G11/AS1			Energy works certificate		
G12 Water supplies	G12/AS1	AS/NZS 3500.2	AS/NZS 3500.5	☐ Council	☐ Consultant	☐ Other
G13 Foul water	G13/AS1	AS/NZS 3500.2	BS 5572	☐ Council	☐ Consultant	☐ Other
		AS/NZS 1547	AS/NZS 1546	☐ Council	☐ Consultant	☐ Other
G14 Industrial liquid waste	G14/AS1			☐ Council	☐ Consultant	☐ Other
G15 Solid waste	G15/AS1			☐ Council	☐ Consultant	☐ Other
H1 Energy efficiency	H1/AS1	NZS 4218	NZS 4243	☐ Council	☐ Consultant	☐ Other
	NZS 4214					

Waiver or modification	B1	B2	C1	C2	C3	C4	D1	D2
	E1	E2	E3	F1	F2	F3	F4	F5
	F6	F7	F8	G1	G2	G3	G4	G5
	G6	G7	G8	G9	G10	G11	G12	G13
	G14	G15	H1					

Alternative solution	B1	B2	C1	C2	C3	C4	D1	D2
	E1	E2	E3	F1	F2	F3	F4	F5
	F6	F7	F8	G1	G2	G3	G4	G5
	G6	G7	G8	G9	G10	G11	G12	G13
	G14	G15	H1					

Application

☐ I have read the guidance notes and the information I have supplied with this application is true and complete to the best of my knowledge.

☒ I have completed the attached checklists

I request that you issue a (please tick):

☐ Project Information Memorandum

☒ Building Consent

☐ Certificate of Acceptance

for the building work described in this application

Signed by / ~~for and on behalf of~~ / the owner

Note : If acting for and on behalf of, please read the following declaration prior to signing

"I hereby declare that I am authorised to act as Agent of the Applicant"

Signature :

J. Hayward

Name :

Tracy Hayward

Date :

20.4.2011

Please Note :

Council is unable to accept your application as being lodged until **all details and relevant information are provided** and the **application is signed** and the **processing fee paid**. Fees for your application will be assessed by the Customer Services Section on application. Further fees may be incurred after the Building Consent is issued.



Kaipara District Council

Dargaville

Hours 8.00 am to 5.00 pm
9.30 am to 5.00 pm (Tuesday)

Telephone 0800 727 059

Postal Address Private Bag 1001
Dargaville 0340

Kaiwaka

Hours 8.30 am to 4.30 pm
8.30 am to 4.30 pm (Saturday)

Telephone 0800 100 388

Courier Address 1919 State Highway 1
Kaiwaka 0542

Postal Address PO Box 26
Kaiwaka 0542

060457

LOT 15
DP
400432

72
②

LOT 15 DP

MULLER

PHILIPPA

431 4095

100418 → 0122012345
OF

060457

Am 070293A

tracyhwr9@gmail.com.



Kaipara te Orangahui • Two Oceans Two Harbours

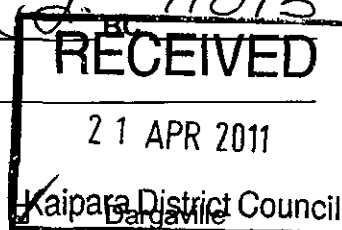
Application Acceptance Checklist

ENTERED
KAIPARA DISTRICT COUNCIL

***For Council Use Only**

Name Of Applicant S & T Hayward

Received By Louise Date Stamp



Office Received ☐ Kaiwaka

Received ☒ In Person ☐ By Mail ☐ By Courier ☐ By Email ☐ Other

- ☒ Print off 'General Property Information' to confirm legal description of property.
- ☒ Certificate of Title provided or other evidence of ownership.
as per Rates.
- ☒ Check that **all** sections (1 – 14) of the application have been filled in and the application has been signed and dated.
a
- ☒ Solid Fuel Heater Application.
- ☒ Check that all relevant details (plans, calc and specs) for Part B (PIM) and Part C (Building Consent) are provided.
- ☒ Check all **contractors** have been listed in Part D (Key Personnel).
- ☒ Check that Part E (Compliance Schedule Details) is completed.
- If Compliance Schedule required extra fees will be charged.**
- ☒ Is the **Building Consent Application Checklist** completed?
- ☒ Is the **Means of Compliance Checklist** completed?
as per specs.
- ☒ Are any other application forms required, ie
 - ☐ Vehicle Crossing
 - ☐ Fire Service Design
 - ☐ Rapid Application
 - ☐ Application for Reticulated Services
- ☐ **Is the connection to Mangawhai Eco-Care Drainage District**

Payment Method ☐ Cash ☒ Eftpos ☐ Cheque ☐ Direct Credit

No Payment Received ☐

Fees: 1155.40
 Receipt Number 621738 621895
 Date _____
 Received By _____

Tax Invoice

S & T Hayward
112 Opouteke Road
RD 9
Dargaville 0379

GST Reg No. 52-237-122
Date 26/04/11
Customer No: BC110157
Invoice Number 29454

110157 : 112 OPOUTEKE ROAD, WHATORO
Addition to house, bedroom and ensuite
Owner: S & T Hayward

Qty	Description	Rate	Amount
	Building Consent Fee		892.00 *
	PIM Fee		143.00 *
	BRANZ Fee		40.00 OG
	DBH Levy		80.40 OG
BEFORE GST			1,020.40
(* Includes GST) GST			135.00
Total incl. GST			\$1,155.40
LESS DEPOSIT PAID			1,155.40CR
Net Due			\$0.00
Payments by Direct Debit: BNZ Dargaville 02 0308 0090743 07			
Please ensure you quote your customer number when making a payment			

Remittance Advice

Please use this remittance when making your payment and make cheques payable to Kaipara District Council.

S & T Hayward
112 Opouteke Road
RD 9
Dargaville 0379

Customer Number BC110157
Invoice Date 26/04/11
Invoice Number 29454
Amount Due \$0.00



Kaipara District Council - The Oceans The Harbour

TAX INVOICE RECEIPT (GST NO. 52-267-122)
Received with thanks by
Kaipara District Council

21-04-11 11:08 Receipt no.621738

COPY *COPY* *COPY*

GL 01122266

S AND T HAYWARD 1,004.69-

.. G.S.T.

S AND T HAYWARD 150.71-

CO EFT TR

S AND T HAYWARD 1,155.40



Kaipara District Council - The Oceans The Harbour

* INVOICE RECEIPT (GST NO. 52-267-122)
Received with thanks by
Kaipara District Council

04-11 14.34 Receipt no.621855

01122266

IRPS TO BCI

* Refund + 1,004.69

G.S.T.

IRPS TO BCI

* Refund + 150.71

BCI110157

Office 20454

1,155.40-

T Hayward: 112 Opoukeke Road RD 9:0

Tax Invoice

S & T Hayward
112 Opouteke Road
RD 9
Dargaville 0379

GST Reg No. 52-237-122
Date 18/06/13
Customer No: BC110157
Invoice Number 34604

Qty	Description	Rate	Amount
	Extension of time		90.00 *
	(* Incl GST \$11.74)		
	Total incl. GST		\$90.00
PAID Receipt 34604. Payments by Direct Debit: BNZ Dargaville 02 0308 0090743 07 Please ensure you quote your customer number when making a payment			

Remittance Advice

Please use this remittance when making your payment and make cheques payable to Kaipara District Council.

S & T Hayward
112 Opouteke Road
RD 9
Dargaville 0379

Customer Number BC110157
Invoice Date 18/06/13
Invoice Number 34604
Amount Due **\$90.00**



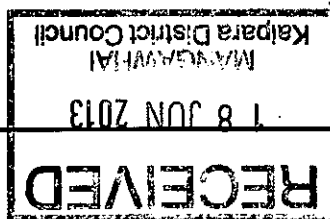
TAX INVOICE REFUSED POST NO 52-
received with thanks by 0/94
Kaipara District Council

To be 13 13.35 Receipt number

OR 3011011
EXTENSION OF TIME TO APP 20.0
1 & 1 Hayward: 112 Double Road: 110 St
14 0TH WHANGAREI
10 AND 1 HAYWARD 90.0



Kaipara te Orangahiri • Two Oceans Two Harbours



Application of Extension of Time to Apply
for a Code Compliance Certificate

KAIPARA DISTRICT COUNCIL

BC 110157

Applicant Name S & T Hayward
Project Addition and Alteration to dwelling
Location 112 Opauke Road
Dargaville

I apply for an extension of time to complete the building works in connection with the above project

Reason for request Some more building work to be completed.

Scope of outstanding works Cladding and verandah still to be completed.

Length of extension requested (maximum length 12months) 12 months

Fee for extension \$90.00

S. Hayward
Signature Owner/Applicant

14.6.2012
Date

Applicant: Please return form to Kaipara District Council, Building Department, P O Box 26, Kaiwaka, 0542
Including payment of \$90.00.

Office Use Only

Decision of Nominated Building Officer

Receipt Number:.....

Extension ☒ Approved ☐ Not Approved

Reason for decision Please allow 12 months as requested.

Notes entered

Des Shelton
Signature

Name Printed

18-6-13
Date

Building Consent 110157

(Form 5) Section 51, Building Act 2004

S & T Hayward
112 Opouteke Road
RD 9
Dargaville 0379

Issue Date: 6/07/11
Application Date: 21/04/11
Overseer: Western

THE PROJECT: (the following Building Work is authorised by this Building Consent)

Description:	Addition to house, bedroom and ensuite DWELLINGS - ALTERATIONS & ADDITIONS
Type of Work:	
Estimated Value:	\$40,000
Intended Use:	Housing Detached - Alteration and Addition
Intended Life:	Indefinite, but not less than 50 years
Stages:	Being Stage 1 of an intended 1 Stages

THE BUILDING:

Street Address of Building:	112 OPOUTEKE ROAD, WHATORO
Valuation Number:	0100012300B
Legal Description:	LOT 1 DP 332313 PT OPANAKE 1E3 1B4 1E2 B LKS IX XIII TUTAMOE SD - balance of land
Building Name:	
Location of Building within site/block number:	
Level/Unit Number:	

THE OWNER:

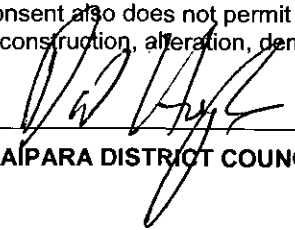
Owners Name: S & T Hayward			
Owners Mailing Address: 112 Opouteke Road, RD 9, Dargaville 0379			
Street Address/Registered Office:			
Phone	Landline: 09 439 5969	Daytime:	After Hours:
Number	Mobile: 021 234 1716	Fax:	
Email: tulipa@slingshot.co.nz		Website:	

FIRST POINT OF CONTACT: (with the Council/Building Authority)

First Point of Contact: Simon or Tracy			
Mailing Address: 112 Opouteke Road, RD 9, Dargaville 0379			
Phone	Landline: 09 439 5969	Daytime:	After Hours:
Number	Mobile: 021 234 1716	Fax:	
Email: tulipa@slingshot.co.nz		Website:	

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Signature  **Date:** 6/07/11 **Position** Building Services Officer

On behalf of KAIPARA DISTRICT COUNCIL

ADDENDA TO THIS BUILDING CONSENT:

1. This building consent will lapse and be of no effect if the building work to which it relates does not commence within 12 months after the date of issue. The consent may be extended for any further period at the discretion of council.
2. No deviation or alteration from the original plans and specifications can be carried out without written approval of Council and no building may be converted to any other use other than that stated on the building consent.
3. IMPORTANT: YOU ARE FULLY RESPONSIBLE FOR ANY DAMAGE DONE TO ANY WORKS SUCH AS TELEPHONE CABLES, POWER CABLES, WATER MAINS, GAS MAINS, SEWERS, PIPES, FOOTPATHS, ROADS OR OTHER SERVICES.
4. As the property owner is responsible for the correct siting of all works in accordance with the NZ Building Code and the Resource Management Act, the owner must ascertain the true position of survey pegs before work commences.
5. NOTICE THAT BUILDING WORK IS READY FOR INSPECTION. For the purposes of Section 222 of the Building Act 2004, and unless otherwise provided by the building consent, the owner or other person undertaking any building work shall give:
 6. At least 2 working days notice of the covering up of any
 7. i) drainage or plumbing
 8. ii) excavation for a foundation
 9. iv) timber required to have a specific moisture content
 10. v) other work required to give notice as a condition
11. Council MUST be notified at the completion of building work on the attached form.
12. This Building Consent is issued subject to site and soil conditions being 'good ground' as defined in NZS3604:1999.
13. Every household unit requires smoke alarms in accordance with NZBC Clause F7/AS 1.3.1. Smoke alarms may be battery powered but shall have a hush facility and must comply with at least one of the following: UL 217, CAN/ULC S531, AS 3786, BS 5446: Part 1. Smoke alarms shall be installed near the ceiling and located on escape routes, in every sleeping space or within 3.0m of every sleeping space door.
14. near the ceiling and located on escape routes, in every sleeping space or within 3.0m of every sleeping space door.

BUILDING CONSENT FEES:

Please note that further fees may be required to be paid before a Code Compliance Certificate is issued for this Building Consent. All fees must be paid before a Code Compliance Certificate will be issued.

Project Information Memorandum 110157

Section 31, Building Act 2004

S & T Hayward
112 Opouteke Road
RD 9
Dargaville 0379

Issue Date: 6/07/11
Application Date: 21/04/11
Overseer: Western

THE PROJECT:

Description: Addition to house, bedroom and ensuite
DWELLINGS - ALTERATIONS & ADDITIONS

Type of Work:

Estimated Value: \$40,000

Intended Use: Housing Detached - Alteration and Addition

Intended Life: Indefinite, but not less than 50 years

Stages: Being Stage 1 of an intended 1 Stages

THE BUILDING:

Street Address of Building: 112 OPOUTEKE ROAD, WHATORO

Valuation Number: 0100012300B

Legal Description: LOT 1 DP 332313 PT OPANAKE 1E3 1B4 1E2 B LKS IX XIII
TUTAMOE SD - balance of land

Building Name:

Location of Building within site/block number:

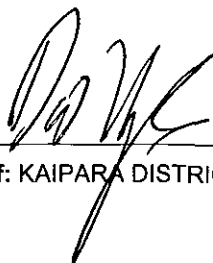
Level/Unit Number:

This Project Information Memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 2004, and any requirements of the Building Consent.

This project information memorandum includes:

- ☐ Information identifying special features of the land concerned
- ☐ Information about the land or building concerned notified to the Council by any statutory organisation having the power to classify land or buildings
- ☐ Details of relevant utility systems

Signature



Date: 6/07/11

Position Building Services Officer

On behalf of: KAIPARA DISTRICT COUNCIL



Kaipara te Orangahui • Two Oceans Two Harbours

KAIPARA DISTRICT COUNCIL

PIM Number: 110157

This Planning Information Memorandum confirms that building work may be carried out.

Council advises the applicant that:

- 1 This document is not approval to build.
- 2 Once a Building Consent is issued, the Council will follow up on building work not completed within two years of building consent issue.
- 3 A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
- 4 If the building is public premises it may not be occupied until either a Code Compliance Certificate or Certificate for Public Use has been issued.
- 5 If the building is wholly or partly a dam, a Project Information Memorandum and Building Consent must be obtained from the regional authority.
- 6 The Northland Regional Council has a register of contaminated sites. Please contact them on 0800 002 004 if you suspect that your property may be contaminated e.g. historic timber treatment sites, service stations, landfill sites etcetera.
- 7 Please check your Certificate of Title for any encumbrances (such as easements, section 73 notice etcetera) before you make an application for a Building Consent.
- 8 All archaeological sites are protected under the provisions of the Historic Places Act 1993. If subsurface archaeological evidence (shell, midden, hangi, storage pits, etc) should be unearthed during construction, work should cease in the immediate vicinity of the remains and the Historic Places Trust should be contacted.

This Planning Information Memorandum includes:

- **Information identifying special features of the land concerned**
 - The proposed project complies with the District Plan zoning as it does meet the Rural Zone Rules.
 - The Proposed District Plan was publicly notified on 21 October 2009. The rules in the proposed Plan do not have legal effect except for those listed in the attached document entitled: *Proposed Kaipara District Plan: How does the Resource Management Amendment Act 2009 affect the plan?*
- **having the power to classify land and buildings**
 - For your information: The Council has found that the site wind zone rating is high
 - For your information: The Council has found that the site exposure zone is Zone C – Inland.

Attachments:

- GIS map of property and utilities etcetera.



Kaipara te Orangahui • Two Oceans Two Harbours

KAIPARA DISTRICT COUNCIL

PIM Number: 110157

This Project Information Memorandum confirms that building work may be carried out.

Council advises the applicant that:

- 1 This document is not approval to build.
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- 3 A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
- 4 If the building is public premises it may not be occupied until either a Code Compliance Certificate or Certificate for Public Use has been issued.
- 5 If the building is wholly or partly a dam, a Project Information Memorandum and Building Consent must be obtained from the regional authority.
- 6 The Northland Regional Council has a register of contaminated sites. Please contact them on 0800 002 004 if you suspect that your property may be contaminated e.g. historic timber treatment sites, service stations, landfill sites etcetera.
- 7 Please check your Certificate of Title for any encumbrances (such as easements, section 73 notice etcetera) before you make an application for a Building Consent.

This Project Information Memorandum includes :

• **Information identifying special features of the land concerned**

- X o The proposed project complies with / ~~does not comply with~~ the District Plan zoning as it does/~~does not~~ meet the ... RURAL ... Rules. ~~Please see the attached Form 4.~~
- X o The Proposed District Plan was publicly notified on 21 October 2009. The rules in the proposed Plan do not have legal effect except for those listed in the attached document entitled: *Proposed Kaipara District Plan: How does the Resource Management Amendment Act 2009 affect the plan?*
 - o There are special planning restrictions (include exact reference from page 1 Heritage and Landscape Protection) known to affect this site which will have an impact on the proposed project. Please refer to the attached Heritage and Landscape Protection rules.
 - o The site contains an overland flow path that needs to be maintained e.g. through the building of a "swale drain". OR For your information: The site is low lying but is not known to flood. OR For your information: The site is located in a natural floodplain that is assisted by a number of flood drainage schemes.
 - o This property is subject to a section 73 notice - where an entry has been made on the Certificate of Title to allow land subject to certain hazards to be developed as long as the owner and future owners are aware of the risks. Under section 392 of the Building Act, the Council is not liable in any civil proceedings brought against it in respect of a Building Consent issued under section 72 where the building suffers damage directly or indirectly from the natural hazard noted on the Certificate of Title. Please also note that the existence of an entry

under Section 74 of The Building Act 2004 may limit statutory natural disaster insurance.

Refer to Clause 3(d) of Third Schedule to The Earthquake Commission Act 1993. Please call the Earthquake Commission on 0800 652 333 if you have any enquiries about your property.

- o The Council's records show that the building site may be subject to one or more natural hazards (list hazards). You will need to take both legal and engineering expert advice as this proposed building development will, or may, be subject to risks. You need to take these risks into account in this building project. The Building Consent, if the natural hazard is verified, will be subject to a section 73/74 notice which will be registered against the title of this property at Building Consent stage. The existence of an entry pursuant to section 73 / 74 of the Building Act 2004 may limit statutory natural disaster insurance. Refer Clause 3(d) of the Earthquake Commission Act

- o 1993. For further information please contact the Earthquake Commission on 0800 652 333.

• **Information about the land or buildings concerned notified to Council by any statutory organisation having the power to classify land and buildings**

- x o For your information: The Council has found that the site wind zone rating is ~~(low / medium / high / very high / exceeds very high. Special engineering will be required.~~
- b o For your information: The Council has found that the site exposure zone is ~~Sea Spray Zone~~
Zone 1 ~~Zone 2~~
- o The provisions (hoardings / gantries / temporary support) being made with regard to building over or adjacent to a road or public place are acceptable / not acceptable.
- o The existing building is classified as insanitary / dangerous / earthquake prone.
- o The site is known to be affected by hazardous contaminants (chemical contamination / underground tanks / asbestos) which may impact on the proposed project. The Northland Regional Council has been advised of your application, and ...
- o An evacuation scheme may be required for the proposed building, under section 21A of the Fire Services Act. Please see the attached form that, when completed, must be sent to the New Zealand Fire Services.
- o Council considers that notification to the New Zealand Historic Places Trust is required under section 39. A copy of the Project Information Memorandum application has therefore been sent to the New Zealand Historic Places Trust, under section 39 of the Building Act, as the application affects a (registered historic place / historic area / wahi tapu / wahi tapu area). The Historic Places Trust may impose conditions on the application, and a Building Consent will not be issued by the Council until approval, or conditions, from the Historic Places Trust is received.

• **Details of relevant infrastructure systems**

- o The proposed vehicle access (gradient / width / length) needs to comply with District Plan requirements. Attached, for your use, is a copy of the crossing application form and supporting information can be found in section 9 of the District Plan.
- o The Northland Regional Council Transitional Regional Rule for small domestic sewerage treatment systems, requires that there be a two metre separation between the lowest point of a septic tank effluent field and the highest ground water level. As this can only be determined by an examination of your site it is recommended that you seek professional advice on this

point. If you cannot obtain the required separation it will be necessary to apply to the Northland Regional Council for a Resource Consent to discharge effluent.

- The proposed methods for building over or near service pipes acceptable/ not acceptable. The application needs approval from the Assets section of Council, and design of the building needs to meet their requirements.
- Under section 38 of the Building Act, a copy of this Project Information Memorandum has been sent to (statutory / network utility authority) as they are affected by the proposal.
- **Details of authorisations which have been granted**
 - The provisions (removal of materials from the site / dust extraction) made for demolition are acceptable / not acceptable.
 - Previous Building Consents granted include ...
 - Previous resource consents granted include ...
 - Previous network utility operator authorisations include...
 - The building work referred to in this Project Information Memorandum will / may be affected by active resource consents - please see the attached conditions from Resource Consent (number).
- **Notification of any authorisation which must be obtained before the proposed building work may be undertaken**
 - The alterations to the property and/or the use mean/s that a review of the means of escape and access and facilities for people with disabilities may need to be upgraded. The building use type is listed in Schedule 2 of the Building Act, as such the provisions of sections 117–120 may apply and access and facilities for people with disabilities must be considered.
 - You will require a health license/liquor license to operate, and this requirement will be subject to the building consent being granted. Please see the enclosed application forms.
 - As the Project Information Memorandum application outlines plans for more than one unit, you may have to provide additional development contributions as per the Council's development contributions policy. Please note that a Code Compliance Certificate cannot be issued until all development contributions have been paid. Please find attached a Section 36 Development Contribution Notice, form 3.
 - The Project Information Memorandum is subject to a condition under section 75 of the Building Act (2004) where 1 or more of the specified allotments (provide allotment DPs) must not be transferred or leased except in conjunction with (provide allotment DPs) of those allotments. The attached certificate is to be signed by owner and proof of lodgement with the Registrar General of Land must be provided to Council before the building consent may be granted. If required, exemptions to section 75 are possible if the building work is constructed with a party wall on the boundaries of the allotments referred to, or if the owner provides evidence of an application to the Registrar-General of Land for amalgamation of the allotments.
 - Please apply for a section 363A Certificate of Public Use if you wish to continue to use the premises for public use while building commences.

- **Details of authorisations which have been refused**

- The provisions (removal of materials from the site / dust extraction) made for demolition are acceptable / not acceptable.
- Previous resource consents refused include...
- Previous network utility operator refusals include...

Attachments:

- X ○ GIS map of property and utilities etcetera.
- Form 4
- Application to the Fire Commissioner for approval of an evacuation scheme
- Form 3
- Section 73 Notification
- Section 74 removal of hazard condition
- Section 75 Allotment development condition
- Section 363A Application for certificate of public use
- Resource Consent application form
- Rapid Number application form
- Liquor License form
- Health license form
- Crossing application form
- Vehicle access rules
- Zone rules
- ~~○~~ Heritage rules



Kaipara te Orangahiri • Two Oceans Two Harbours

Building Consent Addenda Items

KAIPARA DISTRICT COUNCIL

TO: Building Administration Team

FROM: David Hughes / Jim Vallance / Derek Free / Des Sheldon / Dave Waetford

Please insert the addenda items indicated into BC No: 110157

- 01 This building consent will lapse and be of no effect if the building work to which it relates does not commence within 12 months after the date of issue. The consent may be extended for any further period at the discretion of council.
- 02 No deviation or alteration from the original plans and specifications can be carried out without written approval of Council and no building may be converted to any other use other than that stated on the building consent.
- 03 IMPORTANT: YOU ARE FULLY RESPONSIBLE FOR ANY DAMAGE DONE TO ANY WORKS SUCH AS TELEPHONE CABLES, POWER CABLES, WATER MAINS, GAS MAINS, SEWERS, PIPES, FOOTPATHS, ROADS OR OTHER SERVICES.
- 04 As the property owner is responsible for the correct siting of all works in accordance with the NZ Building Code and the Resource Management Act, the owner must ascertain the true position of survey pegs before work commences.
- 05 Restrictions on the Erection of Buildings near Overhead Electric Lines:- Under the Electrical Supply Regulations 1976, it is an offence to erect any building or structure etc, within certain prescribed distances of an overhead electric line.
- 06 To enquire about these restrictions, contact the nearest office of the NZ Electricity Department or your local Power Supply Authority.
- 07 NOTICE THAT BUILDING WORK IS READY FOR INSPECTION. For the purposes of Section 222 of the Building Act 2004, and unless otherwise provided by the building consent, the owner or other person undertaking any building work shall give:
 - 09 b) at least 2 working days notice of the covering up of any
 - 10 i) drainage or plumbing
 - 11 ii) excavation for a foundation
 - 12 iii) reinforcing steel for a foundation
 - 13 iv) timber required to have a specific moisture content
 - 14 v) other work required to give notice as a condition
- 15 Council MUST be notified at the completion of building work on the attached form.
- 16 This building MUST NOT be used for human habitation.
- 17 THIS CONSENT IS ISSUED SUBJECT TO AN ENTRY PURSUANT TO SECTION 72 OF THE BUILDING ACT 2004. EQC ADVISES THAT THIS MAY EFFECT THE NATURAL DISASTER INSURANCE. REFER TO THE ATTACHED STATEMENT AND CLAUSE 3(D) OF THE 3RD SCHEDULE TO THE EARTHQUAKE COMMISSION ACT 1993.
- 18 From 28 April 2003 all new dwellings, additions or alterations to dwellings must be provided with domestic smoke alarm(s) in order to comply with the Building Code.
- 19 This Building Consent is issued subject to Section 37 of the Building Act 2004 whereby no building work shall be carried out until Resource Consent is granted.
- 20 This building consent is issued subject to the condition that the element(s) of the building work with limited life/lives which is/are the subject of this building consent, is/are demolished, removed or altered on or before the end of the specified intended life.
- 21 Council will require a Producer Statement Construction from the installer for this project upon completion of the building work, and recommends that woodburners are installed by a member of the New Zealand Home Heating Association.
- 22 This Building Consent is issued subject to site and soil conditions being in 'good ground' as defined in NZS3604:1999
- 23 The design engineer or his agent is to INSPECT ALL ASPECTS OF THIS CONSTRUCTION as per the engineers Producer Statement covering engineering aspects of this project.
- 24 The engineers inspections are to be carried out in conjunction with Councils inspections to enable continuity throughout the project.
- 25 Council will require a Producer Statement Construction Review from the design engineer for this project upon completion of the building.
- 26 Every household unit requires smoke alarms in accordance with NZBC Clause F7/AS 1.3.1. Smoke alarms may be battery powered but shall have a hush facility and must comply with at least one of the following: UL 217, CAN/ULC S531, AS 3786, BS 5446: Part 1. Smoke alarms shall be installed near the ceiling and located on escape routes, in every sleeping space or within 3.0m of every sleeping space door.
- 27 A Compliance Schedule is required for the building

Condition/s:

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KAIPARA DC	PIM PROCESSING T- 08.2v3		Application Number	110157
Page 1 of 2	A checklist of procedure & contents: Planning Information Memorandum		Date Received	21/4/11
OWNER	Quality Manager	Category: 1.2	PIM & BC PIM only	Date Issued
Fees paid?	Y ☒ N ☐	Intended building use: <u>Housing Detached</u>		
Change of use?	Y ☐ N ☒	Zoning: <u>RURAL</u>		
Fire design outside of the C	Y ☐ N ☒	If change of use, what changes?		
Evacuation scheme required?	Y ☐ N ☒			
Notify Health Officers?	Y ☐ N ☒	If yes, done within 48 hrs?		Y ☐ N ☒
Notify Historic Places Trust?	Y ☐ N ☒	If yes, done within 5 days?		Y ☐ N ☒
More information required?	Y ☐ N ☒	If yes, done within 10 days?		Y ☐ N ☒
1: Are there any other licenses that may be required?				
Liquor	Y ☐ N ☒	Other		Y ☐ N ☒
Health	Y ☐ N ☒			
2: Any outstanding issues with the property?				
Certificate of Title:	Y ☐ N ☒	Resource Consent Notices:		Y ☐ N ☒
Two or more building sites?	Y ☐ N ☒	Property Comment:		
3: Any GIS or site specific information relevant to this application?				
Location of service adjacent to, or on, the site:	☒ water ☐ well ☐ storm water ☐ wastewater treatment on site ☐ wastewater utility ☒ manhole ☐ public place			
Wind Zone: <u>H</u> M <u>EH</u>	Site topography: <u>gentle</u>	moderate		<u>steep</u>
Spec Eng: <u>Zone D - Sea Spray</u>	Zone C-Inland			
Demolition arrangements requ	Y ☐ N ☒	Party wall on the Boundary?		Y ☐ N ☒
Earthquake/dangerous/insanitary building?	Y ☐ N ☒	Building over sewer/drains?		Y ☐ N ☒
4: Any flags with District Plan district wide issues?				
Earthworks RC required:	Y ☐ N ☒	Network Authority affected?		Y ☐ N ☒
Parking required:	Y ☐ N ☒			
Vehicle crossing required:	Y ☐ N ☒	DP Comment:		
5: Any flags with District Plan Heritage & landscape protection?				
Archaeological sites	Y ☐ N ☒	Ecological feature		Y ☐ N ☒
Historical buildings	Y ☐ N ☒	Trees of amenity value		Y ☐ N ☒
Biological interest	Y ☐ N ☒	Significance to Maori		Y ☐ N ☒
Heritage orders	Y ☐ N ☒	Coastal Hazard		Y ☐ N ☒
Designated Site	Y ☐ N ☒	Other Hazards*		Y ☐ N ☒
Places of heritage value	Y ☐ N ☒	Site susceptible to flooding		Y ☐ N ☒
*Includes natural hazards of potential erosion, avulsion, falling debris, subsidence, alluvion, inundation, slippage; alteration of existing earthquake prone building; or contaminants at or near the site. Check the Hazard Register for any historical information known to Council.				
6: Are District Plan zone rules exceeded?				
Boundary setbacks	Y ☐ N ☒	Minimum Floor Levels		Y ☐ N ☒
Location near water or sea	Y ☐ N ☒	Buildings near Infrastructure		Y ☐ N ☒
Height of buildings	Y ☐ N ☒	Private Open Space		Y ☐ N ☒
Relocated building	Y ☐ N ☒	Impermeable Surfaces		Y ☐ N ☒
Building coverage	Y ☐ N ☒	Other:		
7: Are Development Contributions required for this project?				
Wastewater - Mangawhai	Y ☐ N ☒			
Roading - Mangawhai	Y ☐ N ☒			
Roading - Otamatea	Y ☐ N ☒			
NOTES - If yes to any of the above - note section number, list issue & action taken:				
(PLEASE note any impacts on timeframes & anything that makes this application not standard - notes are to include date & initials of processor)				
PLEASE SEE OVER PAGE				

This project information memorandum includes:	
☒	Information identifying relevant special features of the land concerned
☒	Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings
	Details of relevant utility systems
☒	Details of authorisations that have been granted
	Notification of any other authorisations that must be obtained before the proposed building work may be undertaken
	Details of authorisations, which have been refused
Building work may be carried out? ☒ YES Building work may not be carried out? ☐ NO	
PROCESSED BY (Print Name): <i>[Signature]</i>	
SIGNED: <i>[Signature]</i>	DATE: 6-7-11

KAIPARA DISTRICT COUNCIL

Building Consent Status History Change

[New Current Status](#) , [Repeat Current Status](#) , [Enquiry](#) , [Search](#)

No: 110157

Applicant: S & T Hayward

Proposal: Addition to house, bedroom and ensuite

Location: 112 OPOUTEKE ROAD, WHATORO

Valuation No: 0100012300B

Overseer: Western

Change Status	Status date	Delete	Insert	Status Notes
Formally Received	21/04/11	delete status	insert status	
Invoiced	26/04/11	delete status	insert status	29454
Information Received	21/04/11	delete status	insert status	Fees paid receipt 621738
Further Information Requested	17/05/11	delete status	insert status	copy of email in file
Information Received	6/07/11			ok to issue

[New Current Status](#) , [Repeat Current Status](#) , [Enquiry](#) , [Search](#)

[Cancel](#)

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Author: Lesley Marshall



Residential Processing Checklist Kaipara District Council

Revision No.	Version 2		Date issued:	14 January 2010		GRANTED - 17-5-11	
Address	112 OPOUTEKE RD. WHATORO						
Date	17-5-11	Consent number	110157	Processed by:	D HUGHES		
Building Cat.	1.2	2	3	Comp. level	1	2	3.
Wind zone	L	M	(H)	VH	SD	Corrosion	Zone 1 Seaspray
Item checked		Comments (describe how compliance achieved)					
Project value checked	OK	Not	N/A				
Quality and N° of plans	OK	Not	N/A				
Specifications	OK	Not	N/A	Specifications must be relevant to project			
Description of work	OK	Not	N/A				
Scope within NZS3604	OK	Not	N/A				
Planning/ Project Issues							
Heritage site/building	OK	Not	(N/A)				
Power lines	OK	Not	(N/A)				
Geotechnical	OK	Not	(N/A)	NO KNOWN ISSUES / NOTICES			
Flooding	OK	Not	(N/A)				
Min. floor level or HIRB	OK	Not	(N/A)	Survey certificate required			
Drains (Bridging and close proximity)	OK	Not	(N/A)				
Section 37 / other	OK	Not	(N/A)				
Site plan							
Scale	OK	Not	(N/A)				
Vehicle access	OK	Not	(N/A)				
Vehicle crossing (existing / new application)	OK	Not	(N/A)				
Siting dimensions 3 minimum required	OK	Not	(N/A)	(NO SIGNIFICANT CHANGE TO EXISTING BLDG. PLATFORM)			
ROW >18m	OK	Not	(N/A)	N.B Fire Service approval required			
Buildings closer than 1.0m to boundary	OK	Not	(N/A)	N.B Check fire ratings			
Eaves closer than 670mm to boundary	OK	Not	(N/A)	N.B Check fire ratings			
Retaining wall (boundary assumed surcharge)	OK	Not	(N/A)				
Earthworks (cut and fill)	OK	Not	(N/A)	MINIMAL - SEE ELEVATIONS TO MATCH EXISTING			
Finished floor level	OK	Not	(N/A)				
Datum / contours	OK	Not	(N/A)				
Drains - public							
Public drains shown (depth / close proximity)	OK	Not	(N/A)				
Ground							
Geotechnical issues (report provided/required)	OK	Not	(N/A)	NO KNOWN PROBLEMS ON THIS SITE			
PS1/PS2 (register checked)	OK	Not	(N/A)	(ASSUMED CONDITIONS)			
NZS3604 >300 kPa	OK	Not	(N/A)				
Clay S, M, H, E soil	OK	Not	(N/A)				
Cut/Fill/Piling (certificates required)	OK	Not	(N/A)				
Supervision required	OK	Not	(N/A)				
Driven pile (certificate required)	OK	Not	(N/A)				
Special conditions	OK	Not	(N/A)				
Recommendations (correctly shown on plans)	OK	Not	(N/A)				
Retaining walls (specific design / other)	OK	Not	(N/A)				
Retaining walls (construction details)	OK	Not	(N/A)				
Retaining walls surcharge (slope >20° / driveway)	OK	Not	(N/A)				
Retaining walls (barrier if on access route)	OK	Not	(N/A)				

11227

2



Foundation - concrete			
Specific design	OK	Not	N/A
PS1/PS2 (register checked)	OK	Not	N/A
Recommendations (correctly shown on plans)	OK	Not	N/A
Footings (depth/width)	OK	Not	N/A
Reinforcing (steel size, type, c/s)	OK	Not	N/A
Concrete strength (20/25 mPa)	OK	Not	N/A
Point loads (depths/size)	OK	Not	N/A
Columns and posts (depth/size)	OK	Not	N/A
Steps (sloping sites)	OK	Not	N/A
Foundation - timber			
Specific design	OK	Not	N/A
PS1/PS2 (register checked)	OK	Not	N/A
Recommendations (correctly shown on plans)	OK	Not	N/A
Pile layout/spacing (check for point loads)	OK	Not	N/A
Pile (size/treatment/height)	OK	Not	N/A
Footing (depth/size/punch pad)	OK	Not	N/A
Connections - type (galvanised/stainless)	OK	Not	N/A
Ordinary (size/connections)	OK	Not	N/A
Anchor (size/connections)	OK	Not	N/A
Braced (size/connections)	OK	Not	N/A
Driven piles (NZS3604/specific design)	OK	Not	N/A
Driven pile (certificate required)	OK	Not	N/A
DPC to piles (<300mm)	OK	Not	N/A
DPC to ground (limited clearance or crossflow)	OK	Not	N/A
Chimney foundation	OK	Not	N/A
Columns and posts (depth/size)	OK	Not	N/A
Foundation - walls			
Block (size/type)	OK	Not	N/A
Block (height and dimensions)	OK	Not	N/A
Reinforcing - vertical (size/type/centres)	OK	Not	N/A
Reinforcing - horizontal (size/type/centres)	OK	Not	N/A
Block (Grade A/B/C)	OK	Not	N/A
Supervision required	OK	Not	N/A
Retaining (maximum height)	OK	Not	N/A
Retaining/split level (waterproofing/protection)	OK	Not	N/A
Subfloor ventilation	OK	Not	N/A
Subfloor access	OK	Not	N/A
Slabs - standard			
Granular fill (certificate required if >600mm)	OK	Not	N/A
Sand binding (25mm minimum)	OK	Not	N/A
Membrane (0.25 micron minimum)	OK	Not	N/A

PILES 1500 ϕ
 15 125 x 125 TIMBER
 AS PER NZS 3604
 'M-C' KIT APPROPRIATE
 6m
 12m

Finished floor level (shown on plans)	OK	Not	N/A	
Plumbing fixtures (position shown on plans)	OK	Not	N/A	
Pads/thickenings (shown on plans)	OK	Not	N/A	
Drainage pipes (floor thickenings)	OK	Not	N/A	
Slab thickness	OK	Not	N/A	
Saw-cuts (3.0m or 4.0m)	OK	Not	N/A	
Mesh - 668 (12m maximum)	OK	Not	N/A	
Mesh - 665 (24m maximum)	OK	Not	N/A	
Free joints (>24m)	OK	Not	N/A	
Supplementary steel (internal corners)	OK	Not	N/A	
Slabs - specialty				
Specific design	OK	Not	N/A	
PS1/PS2 (register checked)	OK	Not	N/A	
Recommendations (correctly shown on plans)	OK	Not	N/A	
Driven/bored pile\ (certificate required)	OK	Not	N/A	
Membrane (0.25 micron minimum)	OK	Not	N/A	
Finished floor level (shown on plans)	OK	Not	N/A	
Plumbing fixtures (position shown on plans)	OK	Not	N/A	
Pads/thickenings (shown on plans)	OK	Not	N/A	
Drainage pipes (floor thickenings)	OK	Not	N/A	
Subfloor				
Timber treatment (schedule showing type and level of treatment)	OK	Not	N/A	115 PILES/POSTS, 113.1 FRAMING
Bearers (size/centres/span)	OK	Not	N/A	2/140 x 45 SPAN
Bearers (cantilever/point loads)	OK	Not	N/A	
Bearers (fixing to foundation walls)	OK	Not	N/A	
Joist (size/centres/span/blocking)	OK	Not	N/A	140 x 45 450 @ SPAN 1700
Joist (blocking at 1.8m over bearer)	OK	Not	N/A	(NOT CRITICAL FOR THIS ADDITION)
Joist (cantilever/point loads)	OK	Not	N/A	
Bracing layout (location and type)	OK	Not	N/A	ANCHOR PILES
Bracing (calculations)	OK	Not	N/A	
Bracing (min. 4/evenly spread)	OK	Not	N/A	
Bracing (size/length/location)	OK	Not	N/A	
Insulation (isolation/polystyrene/other)	OK	Not	N/A	
Crawl space	OK	Not	N/A	
Subfloor ventilation	OK	Not	N/A	(SAME AS EXISTING)
Subfloor access	OK	Not	N/A	
Split-floors (framing/insulation)	OK	Not	N/A	
Flooring material (wet/dry areas)	OK	Not	N/A	20mm P.B

Framing - wall			
Timber treatment (schedule show type and level of treatment)	OK	Not	N/A
Wind and corrosion zones (to determine fixings)	OK	Not	N/A
Timber treatment (external/internal walls)	OK	Not	N/A
Bottom plate (treatment, size, fixing details)	OK	Not	N/A
Stud / post (size, height, c/s)	OK	Not	N/A
Lintel (size / shown on plans)	OK	Not	N/A
Lintels (selection charts provided)	OK	Not	N/A
Lintel (point load)	OK	Not	N/A
Engineered beams (size / fixing)	OK	Not	N/A
Cantilevered lintels (construction details provided)	OK	Not	N/A
Engineer design (details shown on plans)	OK	Not	N/A
PS1/PS2 (register checked)	OK	Not	N/A
Top plate (size)	OK	Not	N/A
Ceiling battens (type / size / centres)	OK	Not	N/A
Wall linings (wet/dry areas)	OK	Not	N/A
Building wrap (type / compatibility)	OK	Not	N/A
Wind barrier (rigid/non-rigid)	OK	Not	N/A
Cavity battens (size / type / treatment / fixing)	OK	Not	N/A
Cavity (wrap, 20mm, vermin proof)	OK	Not	N/A
Chimney framing (framing / restraint)	OK	Not	N/A
Insulation (type / R value)	OK	Not	N/A
Bracing calculations (provided for each floor level)	OK	Not	N/A
Bracing (type, height, length, location)	OK	Not	N/A
Bracing (evenly distributed)	OK	Not	N/A
Bracing (split levels / wet areas)	OK	Not	N/A
Diaphragms (ceiling / floor on plans)	OK	Not	N/A
Diaphragms (type, limitations, openings, size)	OK	Not	N/A
Mid-floor framing			
Timber treatment (external walls / wet areas)	OK	Not	N/A
Layout for each level (joist size, c/s, blocking)	OK	Not	N/A
Engineer designed beams (shown on plans)	OK	Not	N/A
Plumbing pipes / wastes	OK	Not	N/A
Floor diaphragm (openings/size)	OK	Not	N/A
Floor lining (wet/dry areas)	OK	Not	N/A

Handwritten notes:

- ~~Spec~~ REF. SPECS
- 20 x 45 NAILED TO SUBFLOOR
- 2.4 STUDS
- PG. L-01
- 140 x 35 ON 20 x 45
- 13mm GIB BETWEEN RAFTERS
- GIB + GIB AQUALINE (TYPICAL)
- R-2.4 BATTIS

Framing - roof			
Timber treatment (schedule detailing framing treatment)	OK	Not	N/A
Timber treatment (enclosed spaces)	OK	Not	N/A
Ceiling joists (size / centres / span)	OK	Not	N/A
Strongback / runners (size / centres / span)	OK	Not	N/A
Rafter (size / centres / span)	OK	Not	N/A
Ridge beam (size / span / fixing)	OK	Not	N/A
Skillion roof (sarking thickness / type)	OK	Not	N/A
Truss design (layout / type)	OK	Not	N/A
Bracing (type / fixings)	OK	Not	N/A
Building wrap (type / compatibility)	OK	Not	N/A
Insulation (Type / R value)	OK	Not	N/A
Under purlin (size / shown on plan)	OK	Not	N/A
Strutting beam (size / landing on L/B wall)	OK	Not	N/A
Purlin / tile batten (size / fixing / span / c/s)	OK	Not	N/A
Eaves (width specified)	OK	Not	N/A
Cladding - wall			
Type (specify type)	OK	Not	N/A
Acceptable Solution	OK	Not	N/A
Alternative Solution	OK	Not	N/A
Specifications (maintenance / installation)	OK	Not	N/A
Bottom edge clearances (ground / decks / walls)	OK	Not	N/A
Installer required (condition of consent)	OK	Not	N/A
M/F guarantee (condition of consent)	OK	Not	N/A
E2 risk matrix (provided / required)	OK	Not	N/A
Flashing / air-seals (windows / doors/corners)	OK	Not	N/A
Flashing details (other penetrations)	OK	Not	N/A
Apron flashing (detailed)	OK	Not	N/A
Control joints (details / shown on plans)	OK	Not	N/A
Flashings (multiple claddings)	OK	Not	N/A
Solid plaster - on cavity (continuous foundation)	OK	Not	N/A
Stud spacing (400 non-rigid, 600 rigid)	OK	Not	N/A
Plaster system (type / coats)	OK	Not	N/A
Approved applicator required	OK	Not	N/A
PS3 required (condition of consent)	OK	Not	N/A
Brick veneer (height, type, cavity width, rebate)	OK	Not	N/A

Instructions for completing this form. Circle appropriate column - all columns must be answered.

OK = complies, Not = non compliant, N/A = not applicable

Brick veneer (panel size, ties, angles, flashings)	OK	Not	N/A	
2-storey (plans must be detailed and checked against M/F requirements)	OK	Not	N/A	
Cladding - roof				
Type (specify type/s)	OK	Not	N/A	COLORSTEEL
Minimum roof pitch	OK	Not	N/A	16°
Specifications (maintenance / installation)	OK	Not	N/A	
Substrate (suitable for cladding)	OK	Not	N/A	BITUMAC 260
Roof penetrations (flashings detailed)	OK	Not	N/A	REFER VALLEY / LEAD FLASHING DETAIL
Discharge (spreaders)	OK	Not	N/A	
Internal gutter (size / capacity / timber treatment)	OK	Not	N/A	
Parapets (slope / capping / framing)	OK	Not	N/A	
Installer guarantee - roof (condition of consent)	OK	Not	N/A	
M/F guarantee (condition of consent)	OK	Not	N/A	
Installer guarantee - other (condition of consent)	OK	Not	N/A	
M/F guarantee (condition of consent)	OK	Not	N/A	
Fire/Acoustic				
Walls and ceilings (details shown on plans)	OK	Not	N/A	
Design checked (system specified - GBTL30a)	OK	Not	N/A	
Plans detailed (fixings, stopping, etc)	OK	Not	N/A	
Paths (open path 60m max, dead end 24m max)	OK	Not	N/A	
External FRR wall (30/30/30 - 200mm min. return)	OK	Not	N/A	
Penetrations FRR (pipes / electrical outlets)	OK	Not	N/A	
No openings within 1.0m	OK	Not	N/A	
Stability (gable ends)	OK	Not	N/A	
Non-combustible claddings on external walls	OK	Not	N/A	
Multi-units (continuous to underside of roofing)	OK	Not	N/A	
200mm return each end of wall	OK	Not	N/A	
Acoustics design checked (system specified)	OK	Not	N/A	
Wet areas				
Timber treatment (walls and floors)	OK	Not	N/A	
Showers (framed and lined or modular unit)	OK	Not	N/A	
Waterproofing (type / substrate)	OK	Not	N/A	KIT SET TYPE WITH ACRYLIC LINING
Installer guarantee (condition of consent)	OK	Not	N/A	B3b
Floor lining (substrate / waterproofing)	OK	Not	N/A	TILES ON FLOOR
Wall lining (substrate / waterproofing)	OK	Not	N/A	PAINT FINISH
Minimum 1 door between kitchen and WC	OK	Not	N/A	
Basin in WC (except where adjacent to bathroom)	OK	Not	N/A	

Mechanical light and ventilation	OK	☒ Not	N/A	NOT SPECIFIED - WINDOW PROVIDED
Laundry space (floor coverings if in garage)	☒ OK	Not	N/A	
Glazing (showers / joinery / skylights)	☒ OK	Not	N/A	SEE P223
Kitchen				
Oven / Fridge / Storage (floor coverings)	☒ OK	Not	N/A	
Stairs/entry				
Internal / external	☒ OK	Not	☒ N/A	
Tread / Rise / Pitch	☒ OK	Not	N/A	
Slip resistance	☒ OK	Not	N/A	
Landings	☒ OK	Not	N/A	
Clearance at doors	☒ OK	Not	N/A	
Max rise 4.0m	☒ OK	Not	N/A	(2 OR 3 TREADS)
Handrails	OK	Not	☒ N/A	
Barriers (900mm internal / 1.0m external)	OK	Not	☒ N/A	
Heating				
M/F details provided	OK	Not	☒ N/A	
Location (seismic restraint clearances)	OK	Not	☒ N/A	
NRC requirements met for wood burners	OK	Not	☒ N/A	
Installer guarantee (condition of consent)	OK	Not	☒ N/A	
Decks/balconies				
Timber treatment (framing / substrate)	☒ OK	Not	N/A	SEE Pg. L-03
Finished floor level (clearances / air-gap)	☒ OK	Not	N/A	
Floor joists (size / c/s / cantilever)	☒ OK	Not	N/A	
Waste / overflow (if internal)	OK	Not	☒ N/A	
Saddle flashings (construction details)	OK	Not	☒ N/A	
Decking (material / membrane)	☒ OK	Not	N/A	H 3/4 GRIP TREAD
Installer guarantee (condition of consent)	OK	Not	☒ N/A	
Slip resistance	☒ OK	Not	N/A	
Landings	☒ OK	Not	N/A	
Steps/ handrail / barrier	☒ OK	Not	N/A	
Tread / Rise / Pitch	☒ OK	Not	N/A	
Bracing calculations >2.0m wide (125 pile min)	OK	Not	☒ N/A	
3-storey - balcony top floor - specific design	OK	Not	☒ N/A	
D2 Mechanical Access				
D2/AS1 NZS4322 EN/81 EN/115	OK	Not	☒ N/A	
Lifts, escalators and travelators	OK	Not	☒ N/A	
Producer Statements	PS1/PS2 supplied	OK	Not	☒ N/A
	Register checked	OK	Not	☒ N/A
	Plans signed by engineer	OK	Not	☒ N/A
Cable car - Compliance schedule required	OK	Not	☒ N/A	
Alternative solutions - refer to procedure T-34	OK	Not	☒ N/A	
Specialist components (all inputs identified)	OK	Not	☒ N/A	

Instructions for completing this form. Circle appropriate column - all columns must be answered.

OK = complies, Not = non compliant, N/A = not applicable

3117.0

T-19 Residential checklist Jan 2010

F1 Hazardous agents			
FS1/AS1	OK	Not	N/A
Contamination checked on PIR	OK	Not	N/A
F5 Construction and Demolition hazards			
F5/AS1	OK	Not	N/A
Approval for work on or over street	OK	Not	N/A
Safety barriers, hoarding gantries	OK	Not	N/A
Traffic management plan	OK	Not	N/A
G9 Electrical			
G9/AS1	OK	Not	N/A
Included/excluded	OK	Not	N/A
(include if power required for appliance schedule item)	OK	Not	N/A
Is the building required to be accessible for people with disabilities	OK	Not	N/A
Are light switches horizontally aligned with door handles	OK	Not	N/A
Are switches of appropriate type	OK	Not	N/A
Are sockets located at least 500mm from corners and between and between 500mm and 1200mm above the floor	OK	Not	N/A
G10-G11 Gas supply			
G10/ASA1 G11/AS1 /NZS5261	OK	Not	N/A
Condition for energy certificate	OK	Not	N/A
H1 Energy efficiency			
H1/AS1 NZS4218 NZS4243 NZS4214	OK	Not	N/A

Other			
Smoke alarms (in or within 3.0m bedrooms / all exits)	OK	Not	N/A
Glazing (safety glass / skylights)	OK	Not	N/A
Restrictors (<760mm to floor)	OK	Not	N/A
Light and visual awareness	OK	Not	N/A
Ventilation	OK	Not	N/A
Producer statements – refer to procedure T-07	OK	Not	N/A
Alternative solutions - refer to procedure T-34	OK	Not	N/A
Specialist components (all inputs identified)	OK	Not	N/A

Plumbing							
PIM Issues							Comments
Sewer connections	OK	Not	N/A				
Stormwater connections	OK	Not	N/A				
Drains (bridging and close proximity)	OK	Not	N/A				
Flooding	OK	Not	N/A				
Min. floor level	OK	Not	N/A				
Section 37 / other	OK	Not	N/A				
Site Plan							
Scale	OK	Not	N/A				
Retaining walls (if on boundary assumed to incur a surcharge)	OK	Not	N/A				
Earthworks (cut and fill)	OK	Not	N/A				
Finished floor level	OK	Not	N/A				TO MATCH EXISTING
Datum / contours	OK	Not	N/A				
Drains - public							
Public drains shown depth	OK	Not	N/A				
Bridging or close proximity	OK	Not	N/A				
Location of drainage laterals	OK	Not	N/A				
Neighbours consent for right of entry	OK	Not	N/A				
Video Required / supplied	OK	Not	N/A				
Retaining walls	OK	Not	N/A				
Check location of drains	OK	Not	N/A				
Drains - private							
System	OK	Not	N/A	G13	AS/NZS3500	Other	
System type	OK	Not	N/A				
Total number of discharge units	OK	Not	N/A				230 NEW
Items checked							
TV <10m head of drain	OK	Not	N/A				NOT KNOWN - EXISTING PLUMBING NOT SHOWN
GT / ORG	Ground clearance	OK	Not	N/A			
	Below floor level and fixtures	OK	Not	N/A			MUST BE CHECKED ON SITE
	<3.5m of fixture	OK	Not	N/A			
	Clear of overland flow-path	OK	Not	N/A			
	Set above flood level	OK	Not	N/A			
Pipe	Size	OK	Not	N/A			CHECK ON SITE
	Gradient	OK	Not	N/A			
Cess-pits provision for at split floors/retaining walls	OK	Not	N/A				
Sloping site (provision for drainage)	OK	Not	N/A				
D/P	Size	OK	Not	N/A			
	Number	OK	Not	N/A			
	Location	OK	Not	N/A			
Internal gutter outlet/overflow	OK	Not	N/A				
On-site disposal							
Septic Tank	Effluent design	OK	Not	N/A			
	Type	OK	Not	N/A			
	Size	OK	Not	N/A			
	Location Plan	OK	Not	N/A			
Stormwater soakage (design/details provided)	OK	Not	N/A				

Potable water				
Town/Tank/Bore/Other	OK	Not	N/A	
New - application attached	OK	Not	N/A	
Test certificate (bore or spring water)	OK	Not	N/A	
Overflow from tank (calculations/details of soakage provided)	OK	Not	N/A	
Material compatibility	OK	Not	N/A	
Water reticulation				
System	OK	Not	N/A	G12 AS/NZS 3500 Other
Diagrammatical layout	OK	Not	N/A	(including location of plumbing fixtures shown on plans) - YES
Pipe	Size	OK	Not	N/A
	Material	OK	Not	N/A
HWC (exist)	Size	OK	Not	N/A
	Restraint	OK	Not	N/A
	Valves	OK	Not	N/A
	Type	OK	Not	N/A
				Electric Mains Low Pressure Gas Internal External Solar
Header Tank	Restraint	OK	Not	N/A
	Support	OK	Not	N/A
	Safe tray	OK	Not	N/A
	Overflow	OK	Not	N/A
Wetback - fires (open vented)	OK	Not	N/A	
Copper piping	OK	Not	N/A	
Cladding - Roof				
Internal gutter/valley (size/capacity/timber treatment/overflow)	OK	Not	N/A	
Overflows for internal spouting (Taylor fascia, etc)	OK	Not	N/A	
Pools				
Fencing compliance	OK	Not	N/A	
Gate compliance	OK	Not	N/A	
Immediate pool area	OK	Not	N/A	
Backflow (pools, spa baths, etc)	OK	Not	N/A	
Plumbing sanitary				
Diagrammatical or schematic layout	OK	Not	N/A	
System	OK	Not	N/A	G12 AS/NZS 3500 Other
Individual waste pipes	Discharge units	OK	Not	N/A
	Length	OK	Not	N/A
	Pipe size	OK	Not	N/A
	Gradient	OK	Not	N/A
	Fixings	OK	Not	N/A
	Venting	OK	Not	N/A
Soil waste and overflow stacks	Discharge units	OK	Not	N/A
	Pipe sizes	OK	Not	N/A
	Gradients	OK	Not	N/A
	Venting	OK	Not	N/A
	Fixings	OK	Not	N/A
	Expansion joints	OK	Not	N/A
Floor waste gully (recommended 2-storey)	OK	Not	N/A	
Slabs				
Finished floor level (shown on plans)	OK	Not	N/A	
Plumbing fixtures (shown on plans)	OK	Not	N/A	
No pipes running through slab thickenings	OK	Not	N/A	
Subfloor				
Joist (pipe penetrations/support)	OK	Not	N/A	
Mid-floor framing				
Plumbing pipes/wastes	OK	Not	N/A	

Instructions for completing this form. Circle appropriate column - all columns must be answered.
OK = complies, Not = non compliant, N/A = not applicable

3117.0

Wet areas			
Basin in WC (except where adjacent to bathroom)	OK	Not	N/A
Decks/balconies			
Waste/overflow (if internal)	OK	Not	N/A
Other			
Domestic fire sprinkler system	OK	Not	N/A
Producer statements – refer to T-07	OK	Not	N/A
Alternative solutions – refer to T-34	OK	Not	N/A
NRC approval required	OK	Not	N/A
Plans - sets collated and stamped	OK	Not	N/A
Time recorded accurately for processing	OK	Not	N/A
Fees assessed	OK	Not	N/A
Conditions entered into computer	OK	Not	N/A
Inspection requirements identified	OK	Not	N/A
Checklist completed in full standards referenced etc	OK	Not	N/A
Rationale for all decision making steps recorded	OK	Not	N/A

NZBC Clauses Processed							
B1	B2	C1	C2	C3	C4	D1	D2
E2	E3	F1	F2	F3	F4	F5	F6
G9	G10	G2	G12	G4	G5	G6	G7
G8	G11	G1	G13	G14	G15	H1	H2

Key

OK = Complies

Not = Non Compliant

N/A = Not applicable

Instructions:

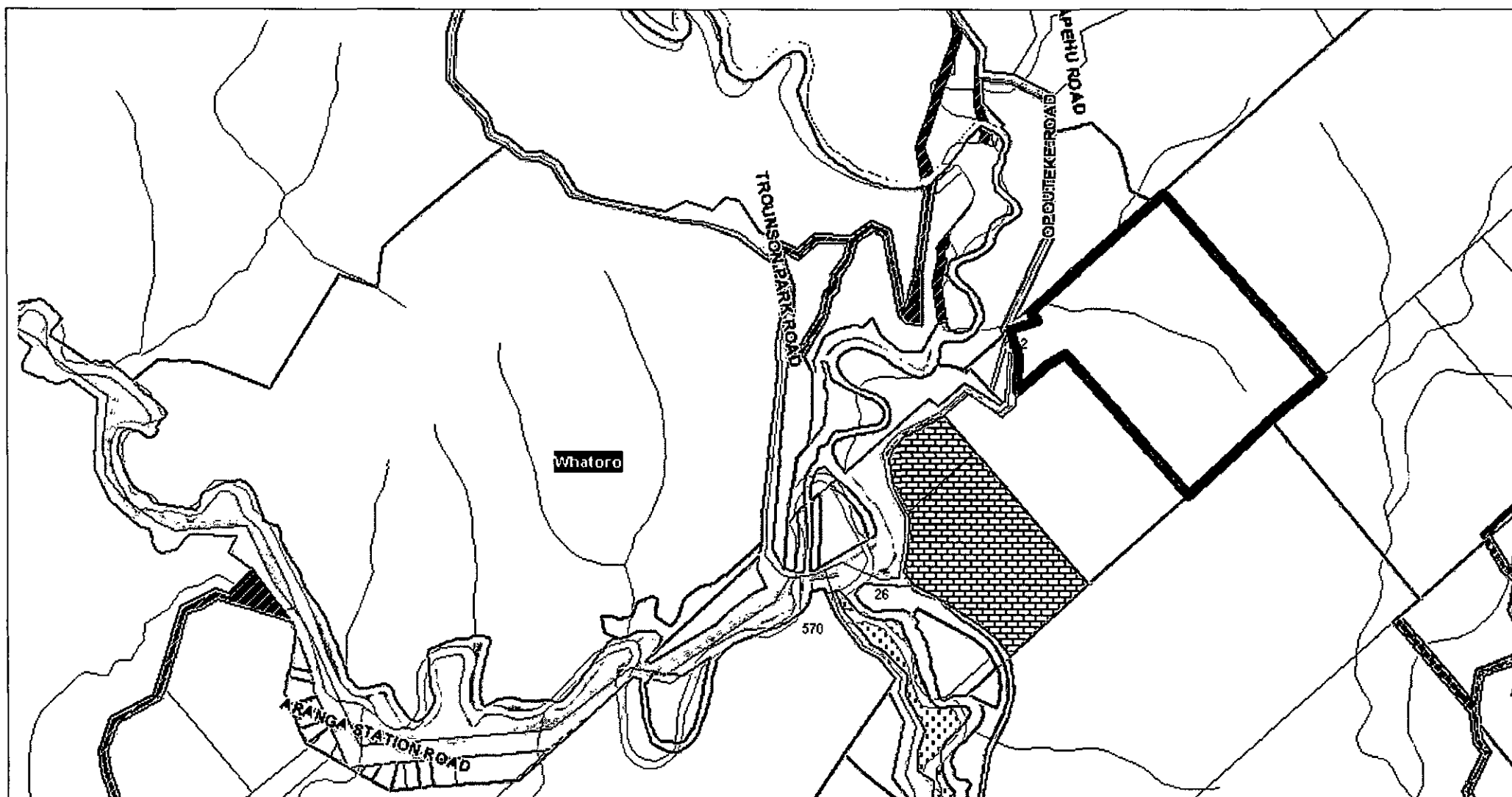
- 1 All sections must be completed
- 2 Record details of standards referenced/rationale for decisions
- 3 Record all communications/requests for further information on page 12

Approval	State outcome and reasons:
Granted/Refused	I am satisfied on reasonable grounds that if the work was built in accordance with the specifications and plans and the design assumptions are met that the work will comply with the Building Code

Checked by:	D HUGHES	Date:	6-7-11
Reviewed by:		Date:	

***Medium:** **L** - letter **E** = email **T** - telephone **F** = facsimile **I** = in person

Instructions for completing this form. Circle appropriate column - all columns must be answered.
OK = complies, Not= non compliant, N/A = not applicable



Kaipara te Ora ngahau
KAIKARA
DISTRICT
The Ocean The Harbour

0100012300B LOT 1 112 Opouteke Road Hayward Simon

The information displayed has been taken from Kaipara District Council's databases and maps. It is made available in good faith but its accuracy or completeness is not guaranteed.

Position of property boundaries is INDICATIVE only and must NOT be used for legal purposes. All services data should be verified before commencing work. Digital cadastral data supplied by Critchlow Associates Ltd. Sourced from Land Information New Zealand data. Crown Copyright Reserved.



General Property Information

Page 1 of 1

Kaipara District Council
General Property Information

Property

Valuation No.	0100012300B: (GIS)
Location	112 OPOUTEKE ROAD, WHATORO
Legal Description	LOT 1 DP 332313 PT OPANAKE 1E3 1B4 1E2 B LKS IX XIII TUTAMOE SD - balance of land
Owner	Hayward Simon John : Hayward Anthony James & ors
Owner Address	112 Opouteke Road : RD 9 : Dargaville : 0379
Area (hectares)	97.2035

Rates

Government Valuation	
Land	\$1,025,000
Improvements	\$ 305,000
Capital Value	\$1,330,000
Current Rates Year 2010 to 2011	
Annual Rates	\$ 2,988.70
Current Instalment	\$ 501.80
Outstanding Balance	
Arrears for Previous Years	
Next Instalment Date	1/05/11

Planning/Resource Management	
5/11/03	RESOURCE CONSENT 030159 : Sub of Opanake 1B2, 1B3 and easements over Lot 1 DP 114311 Opanake 1E3 & 1E4 into 2 lots. Created DP 332313. : Section 224 Issued 11/01/05 (Found on parent property: 0100012300)
	PLANNING NOTES FOREST SHRUBLAND N12 KAIHU FOREST NATIONAL SIGNIFICANCE (Found on parent property: 0100012300)
Building	
30/03/05	BUILDING CONSENT 050220 : New Farm Barn : Code Compliance Certificate issued 5/08/05 (Found on parent property: 0100012300)
23/05/00	BUILDING CONSENT 001302 : REPLACE HEATER WITH METRO PIONEER : Code Compliance Certificate issued 28/07/00 (Found on parent property: 0100012300)
14/05/99	BUILDING CONSENT 990265 : BRIDGE OVER WAINGARA STREAM FOR FARM : Code Compliance Certificate issued 3/02/00 (Found on parent property: 0100012300)
17/04/97	BUILDING CONSENT 970196 : ADD DINING ROOM, PORCH & EXTEND KITCHEN : Code Compliance Certificate issued 10/09/98 (Found on parent property: 0100012300)
25/07/94	BUILDING CONSENT BC 00236 J & H COATES LTD J GREENWOOD VERSATILE GARAGE FOR CALF SHED (Found on parent property: 0100012300)
4/02/87	BUILDING PERMIT D 046141 ALTER DAIRY SHED (Found on parent property: 0100012300)
28/07/83	BUILDING PERMIT A 74390 GARAGE (Found on parent property: 0100012300)
8/07/83	BUILDING PERMIT ALTER DAIRY SHED (Found on parent property: 0100012300)
17/12/71	BUILDING PERMIT ADD CARPORT TO DWELLING (Found on parent property: 0100012300)
Licences	
No information located	
Sewer & Drainage	
No information located	
Land and Building Classifications	
No information located	
Transport	
No information located	
Special Land Features	
No information located	
Swimming Pools	
No information located	
Other	
No information located	
** End of enquiry **	



Kaipara Te Ohāwhiri - The Heart of the Harbour

Conditions of the Building Consent Type of Inspections Required for Building Consent

Building Consent Number: 110157

T-19.4

Please circle	Description of Inspection	
01	Producer statement Construction (PS4)	As required by either the consent or BCA officer for specialist installations for ground conditions, pile driving, foundations, structural, all building work.
02	Foundations slab or wall concrete strip foundations	Boundaries are to be defined and foundations excavated, reinforcing placed as required. Depth/width of excavations, steel size, laps ties clearances ground bearing to be checked.
03	Footings pile or posts	Boundaries are to be clearly defined. Pile and/or post holes to be drilled/dug to required depth, cleaned and correct size. Depth/width of holes, ground bearing (i.e. firm original clay) anchor or bracing components identified, to be checked.
04	Slab drainage concrete floors	All sub floor drainage to be completed, and junctions exposed. Inspection to be carried out while under water test
05	Slab concrete floors	All slab steel, underlay, penetrations wrapped, thickenings and point loads, formwork complete. Please have a string line taught across slab for ready thickness check
06	Tilt Slabs	All Formwork complete. All steel in place, tied and on chairs. All welding plates lifting eyes as per engineer design.
07	Sub floor timber floor	Bearer support, fixings, and size, and joist span, support, fixings and size, and brace size, location, fixings to be complete (if this is carried out before the floor is laid it is useful). Decks – all fixings to be stainless steel or similar
08	Bond Beam	Any block work with bond beams or fill to be complete with steel correctly placed and if over 1200mm high washouts at the base of each starter
09	Framing	All framing to be completed, all bottom plate, stud to top plate, truss fixings, strapping diagonal braces, purlin fixings to be checked prior to building wrap or roof install
10	Flashing/Wrap/Cavity/ Waterproofing	All waterproofing inspected. All building wrap and flashing tape to be completed, roof can be installed by this stage. Check of Flashings and Battens to Cavity systems prior to cladding being installed / fitted
11	Cladding	Check of Flashings and Fixings to systems prior to coating being installed
12	Brick Veneer	Bricks half completed, brick tie spacing, slope, type checked, cavity width window flashings (dpc) checked
13	Preline	Cladding completed windows installed, building completely weather tight, pre-wire, pipe-out (see preline plumbing) wastes and soil stacks, vents and insulation complete.
14	Fireplace Chimney	Chimney to be inspected prior to the fire being installed (In Built)
15	Preline Plumbing often part of preline	All plumbing to be complete and mixers bypassed, outlets plugged and entire system to be under 1500kpa (250psi) pressure test for not less than 30 minutes, Pressure gauge to be on the line at time of inspection and under the above pressure
16	Post Line	When internal linings (gib) are installed and all bracing elements correctly fastened, fastening type and spacing to be inspected. Fire walls completed and fire wraps done. All fastening to be exposed, no stopping skirting, Scotia etc to be covering fasteners
17	Drainage	An inspection of all foul water, storm water drains, septic tanks, effluent fields, sewer connections is to be carried out when drains are completed prior to back filling all foul water lines to be under static water test at time of inspection. As built plan of drainage to be provided
18	Septic Tank	Septic Tank installed. Effluent systems completed and/or planted. As built plan of drainage required at time of inspection.
19	Swimming Pool Fence	The pool fence and gates must meet the requirements of the Swimming Pool and Fences Act 1987
20	Final – Heating Appliance	Required when appliance has been installed in strict compliance with the manufacturers instructions and NZ Building Code
21	Final – Building (Code Compliance Certificate inspection)	All work to be completed, all specified inspections on inspection sheet passed by a Kaipara District Council building officer, and all work complying to consented plans. (This may require landscaping against building to be complete also). All required documentation to be provided, see below Development levies to be paid prior to issue of CCC if applicable
22	As built drainage plan	This plan shows the location of drains laid, inspection, gullies, depth of connections, with distances off boundaries or buildings to enable accurate relocation of services in the future
23	Producer statements	As required by either the consent or BCA officer for work such as <u>water proof membranes</u> , or specialist installations
24	Other documentation	As required. Copies of Electrical certificates, or Gas certificates included. CCC application

Contact: Kaipara District Council

Telephone: Dargaville Telephone (09) 439 7059

Facsimile: (09) 439 6756

Kaiwaka Telephone (09) 431 2013

Facsimile: (09) 431 2023

Depending on the form of construction some of these inspections could be incorporated into one inspection. Other inspections may be necessary.

Note: This form is to be kept on site at all times together with the approved plans/specifications.

One working days notice is required for all inspections

3117.0 BCA Manual

T-19.4 T-19.1 Form: Inspection Conditions.doc

David Hughes

From: David Hughes
Sent: Tuesday, 17 May 2011 3:59 p.m.
To: 'tulipa@slingshot.co.nz'
Subject: House additions 112 Opouteke Rd

Hi Simon & Tracy,

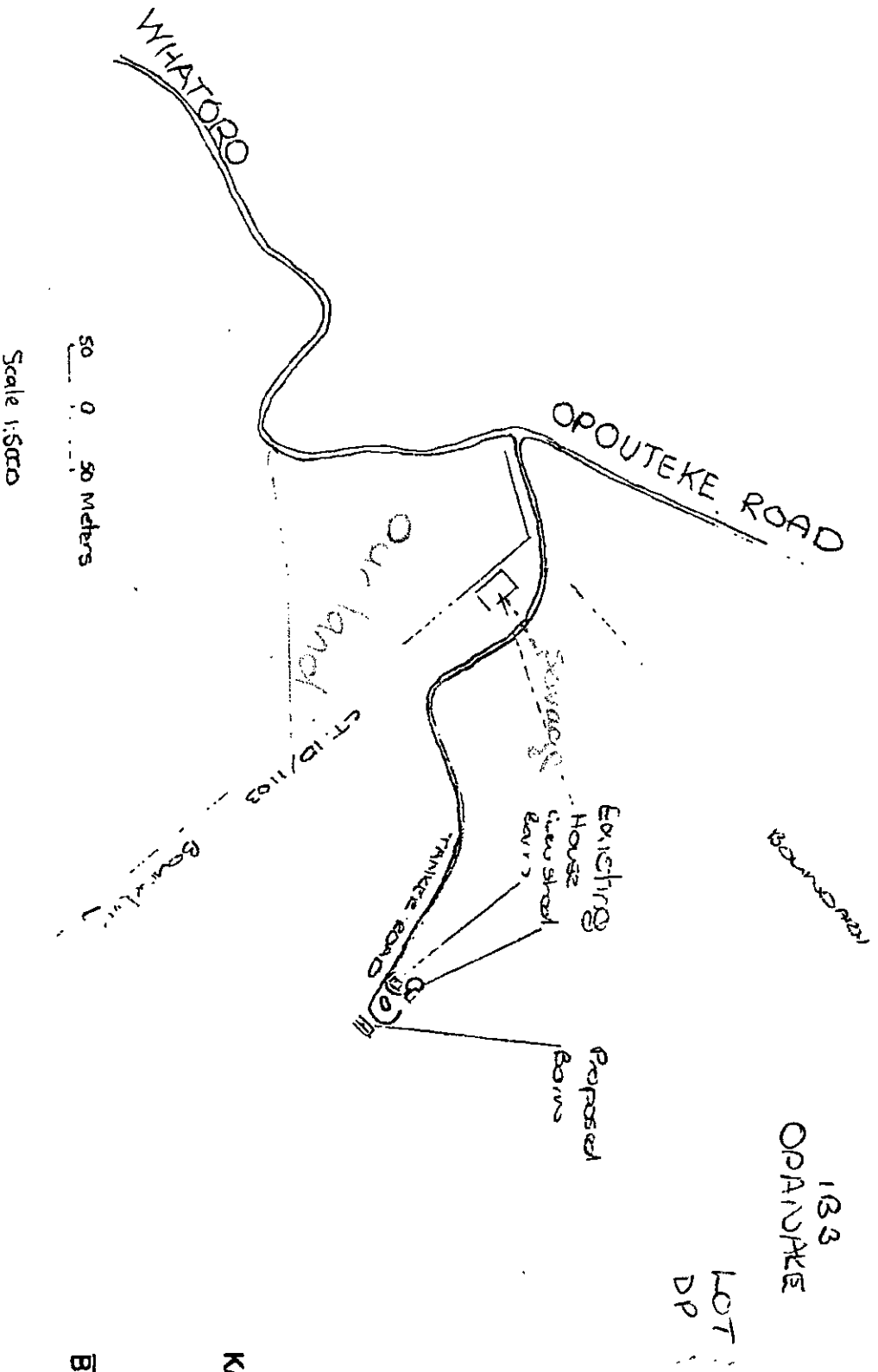
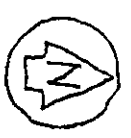
This project is a bit tricky as far as how the existing house and garage will join into the addition; overall the plans are acceptable but I need a specific detail of how the new valley will flash into the roofing (section 2 page S-01) as well as an apron flashing detail where the new section of roof joins the existing gable. (also section 2 page S-01) Please also include junction details where the addition meets the two existing structures (i.e, such as where the weatherboards meet the remaining part of the garage cladding, etc) The internal gutter detail where the garage meets the addition gable is ok, as are the rest of the construction details.

Please email the info to this address or post to: PO box 26 Kaiwaka 0542 attn: Building Team. If you have any questions call me at 0800 100 388. (Kaiwaka office)

Kind regards,
David Hughes
Kaipara District Council

Site Plan 112 Oputeke Rd
Hayward. Barn.

Val # 01000 - 12300 B



Scale 1:500
0 50 meters

KAIPARA DISTRICT COUNCIL
BC 050410
BUILDING INSPECTOR

27 May 2013

S & T Hayward
112 Opouteke Road
RD 9
Dargaville 0379

Dear Mr & Mrs Hayward

Building Consent Application 110157 Valuation Number 0100012300B Additions and Alterations to dwelling.

A review of our records have identified that you have not applied for a Code Compliance Certificate for granted Building Consent 110157.

Council would like to bring your attention to Section 93(2)(b) of the Building Act 2004:

93 Time in which building consent authority must decide whether to issue Code Compliance Certificate

(2)(b) if no application is made, the expiry of:

- (i) 2 years after the date on which the building consent for the building work was granted.*
- (ii) any further period that may be agreed between the owner and the building consent authority*

An owner must apply for a Code Compliance Certificate after all building work is completed. A one off 12 month extension of time, at a cost of \$90.00, may be approved after due consideration of the factors involved and at Council's absolute discretion.

If your work is finished please contact council on 0800100388 and book your final inspection.

Please be assured of our good intentions in assisting you with the best outcome possible.

Yours faithfully



Haydn Andrewes
Building Service Officer
Telephone 0800 100 388

27 June 2014

S & T Hayward
112 Opouteke Road
RD 9
Dargaville 0379

Dear Mr & Mrs Hayward

Building Consent Application 110157 Valuation Number 0100012300B Dwelling Addition

A review of our records have identified that you have not applied for a Code Compliance Certificate for granted Building Consent 110157.

Council would like to bring your attention to Section 93(2)(b) of the Building Act 2004:

93 Time in which building consent authority must decide whether to issue Code Compliance Certificate

(2)(b) if no application is made, the expiry of:

- (i) 2 years after the date on which the building consent for the building work was granted.*
- (ii) any further period that may be agreed between the owner and the building consent authority*

Now that your extension of time has expired, please contact council on 0800 127 059 and book your final inspection or contact the writer.

Please be assured of our good intentions in assisting you with the best outcome possible.

Yours faithfully



Haydn Andrewes
Building Service Officer

EXPIRES 18/06/2014,

18 June 2013

S & T Hayward
112 Opouteke Road
RD 9
Dargaville 0379

Dear S & T Hayward

Request for Extension of Time - BC 110157

Thank you for your letter requesting an Extension of Time to complete your building project.

Council has reviewed your building file and has agreed to extend the period of time by twelve months from the date of this letter.

Please remember to call and book any inspections required as you are ready for them, and inform Council as soon as possible when work is complete and apply for a Code Compliance Certificate.

If work is not complete within this extension period the Building Consent Authority may refuse to issue the Code Compliance Certificate.

Yours faithfully

Des Sheldon
Building Services Officer

S & T Hayward

Previous
 Next
 Change Inspection Load
 Print Forms
 Print Letters
 Search Search Resource Consents Change Log

PIM/Consent No110157

The Building

Valuation No0100012300B
 General Property Enquiry
 Street Address112 OPOUTEKE ROAD, WHATORO
 Legal DescriptionLOT 1 DP 332313 PT OPANAKE 1E3 1B4 1E2 B LKS IX XIII TUTAMOE SD - balance of land
 Levels1
 Floor (m²)16
 Current UseHousing Detached - Addition of bedroom and ensuite.
 Building CategoryR1
 Current StatusCCC Application Received 28/08/14
 See inspection notes, now ok to issue CCC.
 Process Days Taken To Issue16
 CCC Process Days To Date1
 OverseerWestern
 ZoneRural Zone

The Owner

NameS & T Hayward
 ContactSimon or Tracy
 Address112 Opouteke Road
 RD 9
 Dargaville 0379
 Landline Phone09 439 5969
 Mobile Phone021 234 1716
 Emailtulipa@slingshot.co.nz
 DebtorBC110157Edit Debtor
 Balance0.00
 Invoice29454

Building Work

Type of WorkAddition to house, bedroom and ensuite
 Intended UseHousing Detached - Alteration and Addition
 Intended Life/DurabilityINDEFINITE
 Being Stage1 OF 1
 Stats Code3100 DWELLINGS - ALTERATIONS & ADDITIONS
 Estimated Value\$40,000
 Resource Consent?
 Dev Contrib Notice?

Deposit	1,155.40
Building Consent (incl PIM/PA where applicable)	892.00
PIM only	143.00
BRANZ Levy	40.00
DBH Levy	80.40
Total Charges	1,155.40

Status History

Status	Status Date	Status Note
Deadline	25/09/14	
Formally Received	21/04/11	
Invoiced	26/04/11	29454
Information Received	21/04/11	Fees paid receipt 621738
Further Information Requested	17/05/11	copy of email in file
Information Received	6/07/11	ok to issue
PIM Issued	6/07/11	CONFIRMATION
Consent Granted	6/07/11	
Letter Sent	27/05/13	CCC1
CCC Extension	18/06/13	Extension granted - expires 18/06/2014
Letter Sent	27/06/14	
Letter Sent	27/08/14	
CCC Application Received	28/08/14	See inspection notes, now ok to issue CCC.

BuilderLes Sweeney Builders
 Phone027 497 2929 09 439 7524

Building Consent Enquiry

Designer	PO Box 264 Dargaville
Phone	Tony Hayward
	09 423 8994
Drainlayer	421 Pah Hill Road Wellsford
Phone	Dreadon & Kelliher
	027513 8623
Plumber	Beach Road Dargaville
Electrician	Same as above
Phone	Craig Barrel C & C Contractors
	021 440 634

Forms and Letters

Should be saved	
Consent	
PIM	
Actually saved	
110157 FI email to owner 17052011.pdf	110157L24MTH1_20130527.docx
110157L24MTH1_20140627.docx	110157LFICCC_20140827.docx
110157Lccext_20130618.docx	110157bc.doc
110157pim.doc	

Notes

Date	27/04/11
Officer	Hannah Davies
Note	Trfs to BC Receipt 621895
Date	17/06/11
Officer	Dave Waetford
Note	Spoke to Les the builder. he wants to start on Mon 20th. plan has been processed with 3 items on further information. Told him he can set out and cut concrete but BC must be issued before any further work to take place.
Date	6/07/11
Officer	David Hughes
Note	Specific flashing details i had requested have been received and are acceptable. Ok to issue.
Date	18/06/13
Officer	Michelle Nepia
Note	Application for Ext of time for CCC and payment of \$90.00 received
Date	18/06/13
Officer	Des Sheldon
Note	Extension of time notes under inspections.

Diary Reminders

None found

Standard and Non-Standard Conditions

This building consent will lapse and be of no effect if the building work to which it relates does not commence within 12 months after the date of issue. The consent may be extended for any further period at the discretion of council.

No deviation or alteration from the original plans and specifications can be carried out without written approval of Council and no building may be converted to any other use other than that stated on the building consent.

IMPORTANT: YOU ARE FULLY RESPONSIBLE FOR ANY DAMAGE DONE TO ANY WORKS SUCH AS TELEPHONE CABLES, POWER CABLES, WATER MAINS, GAS MAINS, SEWERS, PIPES, FOOTPATHS, ROADS OR OTHER SERVICES.

As the property owner is responsible for the correct siting of all works in accordance with the NZ Building Code and the Resource Management Act, the owner must ascertain the true position of survey pegs before work commences.

NOTICE THAT BUILDING WORK IS READY FOR INSPECTION. For the purposes of Section 222 of the Building Act 2004, and unless otherwise provided by the building consent, the owner or other person undertaking any building work shall give:

At least 2 working days notice of the covering up of any

- i) drainage or plumbing
- ii) excavation for a foundation
- iv) timber required to have a specific moisture content
- v) other work required to give notice as a condition

Council MUST be notified at the completion of building work on the attached form.

This Building Consent is issued subject to site and soil conditions being 'good ground' as defined in NZS3604:1999.

Every household unit requires smoke alarms in accordance with NZBC

Building Consent Enquiry

Page 3 of 4

Clause F7/AS 1.3.1. Smoke alarms may be battery powered but shall have a hush facility and must comply with at least one of the following: UL 217, CAN/ULC S531, AS 3786, BS 5446: Part 1. Smoke alarms shall be installed near the ceiling and located on escape routes, in every sleeping space or within 3.0m of every sleeping space door.
near the ceiling and located on escape routes, in every sleeping space or within 3.0m of every sleeping space door.

Standard and Non-Standard PIM Notes

None found

Inspections

Type	B03 B03 Footings - Pile or posts	
Inspected		8/07/11
Officer	Jim Vallance	
Result	Okay	
Note	FS 1, 07725: Anchor and ordinary pile holes dug into firm clay. Ok to pour.	
Type	B09 B09 Framing	
Inspected		21/07/11
Officer	Jim Vallance	
Result	Okay	
Note	FS 2, 08074: Timber treatment, grade and framing members ok. Fixings ok. Discussed bracing with builder. Ok to to wrap and clad.	
Type	B13 B13 Preline	
Inspected		14/12/11
Officer	Jim Vallance	
Result	Okay	
Note	FS 2, 08339: Moisture content, insulation and framing members ok. Seal around windows and doors ok. Plumbing installed and pressure tested ok. Ok to line.	
Type	B16 B16 Post Line	
Inspected		16/01/12
Officer	Jim Vallance	
Result	Okay	
Note	FS 2, 08345: Further fixings needed at odd corner to complete required fixing pattern, then ok to cover.	
Type	B21 B21 Final - Building Code Compliance Certificate	
Inspected		14/06/13
Officer	Haydn Andrewes	
Result	Reinspection Required	
Note	FAN 3 08270 Final on extension. Smoke alarms are fitted as per F7. Note 1 - The shower base to the glass door surround is still to be siliconed. Note 2 - The terminal needs to be extended up and away from the ensuite window and both vents need to have vermin proofing fitted. Note 3 - The cladding and veranda is still to be completed outside the back door. Note 4 - A 1200mm high screen is to be fitted around the existing spa pool as per the swimming pool act. Once complete we will come and do another final inspection. I have received a \$90.00 cheque for an extension of time and I have passed that on to Michelle.	
Type	EX EXTENSION OF TIME GRANTED RM SH	
Inspected		18/06/13
Officer	Des Sheldon	
Result	Okay	
Note	As per Haydens recent visit work is progressing here albeit slowly.....Owner is now aware, after that visit, what is needed to complete this project and obtain a CCC for it...	
Type	B25 B25 Re-inspection of Final	
Inspected		16/07/14
Officer	David Hughes	
Result	Okay	
Note	FAN 08909; All outstanding items from Haydn`s final inspection complete. Note- the spa pool is empty and is broken. The owner intends to get rid of it. Emailed CCC app to owner. Once signed/returned can issue CCC.	

Print Summary

Standard and Non-Standard CCC Conditions

None found

Work to be Stopped and Notice to Fix Conditions

None found

RM Certificate

None found

Building Consent Enquiry

Page 4 of 4

Letter 1 and Letter 2 Paragraphs

None found

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BC # 110157

FIELD ADVICE NOTICE - 2

Date: 16-01-12

P O Box 26, Kaiwaka, Northland
Free Phone: 0800 100 388
Phone: (09) 431 2013
Fax: (09) 431 2023
www.kaipara.govt.nz

Applicant: S. HAYWARD

Contractor:

Site Address: 112 OPOUTAKE RD.

Inspection
Reinspection Required:

Passed / Failed
Yes / No

VAL #

Travelling Time:

Inspection Time: 11.05 am

Officer: JIM JALLANE

Signature: *[Signature]*

08345

10	CLADDING INSPECTION	OK	Not	N/A	Reason for the decision / Comments	If further inspection needed please indicate
1	Plaster: reinforcing, flashings, sealants, construction					
2	Waterproofing / Coating					
3	EPS (polystyrene), nailing, flashings etc.					
4	Sheet Systems: layout, nailing, flashing, construction					
5	Weatherboard: grading, type, fixing, flashing					
6	Other					
9	FRAMING INSPECTION					
13	PRELINE BUILDING INSPECTION					
1	Trusses: fixing, spacing, bracing, support, purlins					
2	Pitched roof: fixing, spacing, bracing, strutting, span					
3	Ceiling: joists/Batten: fixing, spacing, support					
4	Bottom-Top plate: fixing, size, DPC					
5	Bracing: Strapping, bolts, check plan					
6	Moisture content					
7	Frame timber treatment					
8	Frame: stud size, spacing, lintel fixings, grade					
9	Recheck cladding: flashing, nog spacing (480mm-board/batten)					
10	Insulation: type, thickness					
11	Glazing: safety glass, thickness					
12	Fire & Sound walls: sealer, staggered laps, fire collars					
13	Other					
15	PRELINE PLUMBING INSPECTION					
1	Pressure Test					
2	Pipe material, size, support, insulation					
3	Stacks / Wastes					
4	Supply Tank					
5	Other					
16	POST LINING INSPECTION					
1	Sheet brace nailing, placement options					
2	Fire & Sound walls: sealer, staggered laps, fire collars					
3	Waterproofing under tiles					
4	Other					
17	DRAINAGE INSPECTION					
1	Accurate "as built" plan provided					
2	Depth of drain					
3	Bedding					
4	Gradient Line: Inspections, diameter correct					
5	Water test - connection to main					
6	Gullies: max 600mm depth, finish 25mm above protected or 100mm above protected ground					
7	Drains within boundaries, too close to foundations					
8	Other					
18	SEPTIC TANKS					
1	AS/NZS 1546, 1547 design					
2	Depth of beds, length, scoria, matting, cut off drain					
3	Tank installed properly on level					
4	Ventilation provided-distribution box					
5	Aerated mechanical systems installed to manufacturers specifications					
6	Access or tank maintenance (no vertical air loading)					
7	Other					

Next Inspection: FINAL

This notice Received By:
Owner / Agent / Contractor



FIELD ADVICE NOTICE - 2

P O Box 26, Kaiwaka, Northland

Free Phone: 0800 100 388

Phone: (09) 431 2013

Fax: (09) 431 2023

www.kaipara.govt.nz

BC # 110157

Date: 04-12-11

Applicant: J & T HAYWARD

Contractor:

Site Address: 112 OPOUTERAKI RD

Inspection
Reinspection Required:Passed / Failed
Yes / No

VAL #

Travelling Time:

Inspection Time: 11.15 a.m.

Officer: JIM WILKINSON

Signature: [Signature]

08339

10	CLADDING INSPECTION	OK	Not	N/A	Reason for the decision / Comments	If further inspection needed please indicate
1	Plaster: reinforcing, flashings, sealants, construction					
2	Waterproofing / Coating					
3	EPS (polystyrene), nailing, flashings etc.					
4	Sheet Systems: layout, nailing, flashing, construction					
5	Weatherboard: grading, type, fixing, flashing					
6	Other					
9	FRAMING INSPECTION					
13	PRELINE BUILDING INSPECTION	OK	Not	N/A		
1	Trusses: fixing, spacing, bracing, support, purlins					
2	Pitched roof: fixing, spacing, bracing, strutting, span					
3	Ceiling: joists/Batten: fixing, spacing, support					
4	Bottom-Top plate: fixing, size, DPC					
5	Bracing: Strapping, bolts, check plan					
6	Moisture content					
7	Frame timber treatment					
8	Frame: stud size, spacing, lintel fixings, grade					
9	Recheck cladding: flashing, nog spacing (480mm-board/batten)					
10	Insulation: type, thickness					
11	Glazing: safety glass, thickness					
12	Fire & Sound walls: sealer, staggered laps, fire collars					
13	Other					
15	PRELINE PLUMBING INSPECTION	OK	Not	N/A		
1	Pressure Test					
2	Pipe material, size, support, insulation					
3	Stacks / Wastes					
4	Supply Tank					
5	Other					
16	POST LINING INSPECTION	OK	Not	N/A		
1	Sheet brace nailing, placement options					
2	Fire & Sound walls: sealer, staggered laps, fire collars					
3	Waterproofing under tiles					
4	Other					
17	DRAINAGE INSPECTION	OK	Not	N/A		
1	Accurate "as built" plan provided					
2	Depth of drain					
3	Bedding					
4	Gradient Line; Inspections, diameter correct					
5	Water test - connection to main					
6	Gullies: max 600mm depth, finish 25mm above protected or 100mm above protected ground					
7	Drains within boundaries, too close to foundations					
8	Other					
18	SEPTIC TANKS	OK	Not	N/A		
1	AS/NZS 1546, 1547 design					
2	Depth of beds, length, scoria, matting, cut off drain					
3	Tank installed properly on level					
4	Ventilation provided-distribution box					
5	Aerated mechanical systems installed to manufacturers specifications					
6	Access or tank maintenance (no vertical air loading)					
7	Other					

Next Inspection: POST LINE

This notice Received By:
Owner / Agent / Contractor



KAIPARA ke Orangani - Two Oceans Two Harbours

BC # 110157

FIELD ADVICE NOTICE - 2

Date: 21-07-11

P O Box 26, Kaiwaka, Northland

Free Phone: 0800 100 388

Phone: (09) 431 2013

Fax: (09) 431 2023

www.kaipara.govt.nz

Applicant: S + T HAYWARD

Contractor: L SURREY

Site Address: 112 OPOUTAKA RD

Inspection
Reinspection Required:Passed / Failed
Yes / No

VAL #

Travelling Time:

Inspection Time: 11-15am

Officer: JIM VALLANCE

Signature: [Signature]

08074

10	CLADDING INSPECTION	OK	Not	N/A	Reason for the decision / Comments	If further inspection needed please indicate
1	Plaster: reinforcing, flashings, sealants, construction					
2	Waterproofing / Coating					
3	EPS (polystyrene), nailing, flashings etc.					
4	Sheet Systems: layout, nailing, flashing, construction					
5	Weatherboard: grading, type, fixing, flashing					
6	Other					
9	FRAMING INSPECTION	OK	Not	N/A		
13	PRELINE BUILDING INSPECTION	OK	Not	N/A		
1	Trusses: fixing, spacing, bracing, support, purlins					
2	Pitched roof: fixing, spacing, bracing, strutting, span					
3	Ceiling: joists/Batten: fixing, spacing, support					
4	Bottom-Top plate: fixing, size, DPC					
5	Bracing: Strapping, bolts, check plan					
6	Moisture content					
7	Frame timber treatment					
8	Frame: stud size, spacing, lintel fixings, grade					
9	Recheck cladding: flashing, nog spacing (480mm-board/batten)					
10	Insulation: type, thickness					
11	Glazing: safety glass, thickness					
12	Fire & Sound walls: sealer, staggered laps, fire collars					
13	Other					
15	PRELINE PLUMBING INSPECTION	OK	Not	N/A		
1	Pressure Test					
2	Pipe material, size, support, insulation					
3	Stacks / Wastes					
4	Supply Tank					
5	Other					
16	POST LINING INSPECTION	OK	Not	N/A		
1	Sheet brace nailing, placement options					
2	Fire & Sound walls: sealer, staggered laps, fire collars					
3	Waterproofing under tiles					
4	Other					
17	DRAINAGE INSPECTION	OK	Not	N/A		
1	Accurate "as built" plan provided					
2	Depth of drain					
3	Bedding					
4	Gradient Line: Inspections, diameter correct					
5	Water test - connection to main					
6	Gullies: max 600mm depth, finish 25mm above protected or 100mm above protected ground					
7	Drains within boundaries, too close to foundations					
8	Other					
18	SEPTIC TANKS	OK	Not	N/A		
1	AS/NZS 1546, 1547 design					
2	Depth of beds, length, scoria, matting, cut off drain					
3	Tank installed properly on level					
4	Ventilation provided distribution box					
5	Aerated mechanical systems installed to manufacturers specifications					
6	Access or tank maintenance (no vertical air loading)					
7	Other					

TIMBER TREATMENT, GRADING & FRAMING MEMBERS OK

FIXINGS OK

OK TO UNRAIL & CLAD

Next Inspection:

PRELIM

This notice Received By:
Owner / Agent / Contractor

**FIELD ADVICE NOTICE - 1**

P O Box 26, Kaiwaka, Northland
Free Phone: 0800 100 388
Phone: (09) 431 2013
Fax: (09) 431 2023
www.kaipara.govt.nz

BC # 110157

Date: 8-07-11

Applicant: S & T HAYWARD

07725

Contractor: LAS SWANNY

Site Address: 112 OPOUTAKE RD.

Inspection
Reinspection Required:

Passed / Failed
Yes / No

VAL #

Travelling Time:

Inspection Time:

Officer: TIM VALLANCE

Signature: *[Signature]*

OK - Complies with BC Consent, Not - Does Not Comply With BC Issued, N/A - Not Applicable, Crossed Out - Deleted.

02/03	FOUNDATION INSPECTION	OK	Not	N/A	Reason for the decision / Comments If further inspection needed please indicate
1	Boundary Pegs Sited	✓			
2	Correct site & building siting (closer than 1.1m to boundary surveyors Certificate required)	✓			
3	Ground bearing, fill, expansive clay	✓			
4	Reinforcing: spacing, size, clearance etc			✓	ANCHOR 3 ORDINARY PILE HOLES DUG INTO FIRM CLAY
5	Excavation: depth, width			✓	
6	Pile/pole holes: depth, diameter	✓			
7	Pile / Pole: Correct grade, diameter	✓			OK TO POUR
8	Driven Piles: Engineers Certification			✓	
9	Retaining Wall: polythene underneath			✓	
10	Other				
04	UNDER SLAB PLUMBING INSPECTION	OK	Not	N/A	
1	Pipes: gradient, protection, sizing, tested				
2	Other				
05	SLAB INSPECTION / 06 TILT slab inspection	OK	Not	N/A	
1	Slab thickness: D.P.M., Tape, rebates				
2	Slab Reinforcing: Thickenings, tying, cover etc				
3	Fill: Compaction, depth, binding				
4	Other				
07	SUBFLOOR INSPECTION	OK	Not	N/A	
1	Sub floor brace connectors				
2	Bracing: washers, timber size etc				
3	Bearer / Joist: Size, spacing, joist hangers				
4	Notching/holes/clocking for lines of horizontal supports				
5	Ventilation & Insulation				
6	Other				
08	BOND BEAM - BLOCK INSPECTION	OK	Not	N/A	
1	Block size				
2	Reinforcing: Size, grade, laps, tied				
3	Washouts: If pour exceed 1.2m in height				
4	Design Calculation on site				
5	Retaining Wall: DPM, type, protection, Novacoil siting				
6	Adequate propping				
7	Services Installation (Fire Collars)				
8	Identify proprietary pre-stress components				
9	Other				
11	FLASHING/WRAP/CAVITY INSPECTION	OK	Not	N/A	
1	Flashings				
2	Battening (air cavity)				
3	Wrap				
4	Vermin protection				
12	BRICK VENEER INSPECTION	OK	Not	N/A	
1	Brick Ties SS / Galv				
2	Other				
14	FIREPLACE CHIMNEY INSPECTION	OK	Not	N/A	
1	Solid fuel heating, chimney check, setback				
2	fixing, flue flashing, mantel shelf, hearth construction				
19	SWIMMING POOL FENCE INSPECTION	OK	Not	N/A	
1	Swimming pool: backwash, fencing, registration				

An Inspection of the above mentioned premises has been undertaken and the matters as listed must be completed within Days or otherwise stated

Action to be taken:

Issued by:

Designation: Building Officer

Next Inspection: FRANK

This notice Received By:

Owner / Agent / Contractor



Kaipara District

BC # 110157

Applicant: HAYWARD

Contractor:

Site Address: 112 O PUTEKE RD.

VAL #

Travelling Time: WHATARO

Officer: DAVID HUGHES

FIELD ADVICE NOTICE - 3 Pg 1

Date: 16-7-14

P O Box 26, Kaiwaka, Northland

Free Phone: 0800 100 388

Phone: (09) 431 2013

Fax: (09) 431 2023

www.kaipara.govt.nz

Inspection OF FINAL

Reinspection Required:

Recommended to issue CCC:

Inspection Time:

Signature:

Passed / Failed

Yes / No

Yes / No

08909

21 FINAL INSPECTION	OK	Not	N/A	Reason for the decision / Comments If further inspection needed please indicate
1 Peer Review required (over 5 yrs)			X	
2 Owners Application for CCC / Contractors List		X		
3 Consent Documents on Site	X			
4 Photos Taken			X	
20 FINAL FIREPLACES INSPECTION	OK	Not	N/A	
1 Smoke Alarms with Hush			X	
2 Hearth size and & secured				
3 Fire Place Clearances				
4 Fire Place secured				
5 Flue Shield				
6 Flashings / Flue Height				
7 Wet back circulators correct size and fall				
PLUMBING	OK	Not	N/A	
1 Waste pipe correct support & gradient			X	
2 Water filtration system installed				
3 Hot water pipe lagged				
4 1 metre minimum of copper outlet of HWC				
5 Hot water cylinder seismic restraint				
6 Hot water tempering value set at 45/55 degrees				
7 Hot water energy cut out switch to all valve vented systems				
8 Hot water drain OK (falls to outside of building)				
9 Filter, non return, stop, cold water expansion, pressure reducing & pressure relief valves				
10 Notches & holes in joists & bearers				
11 Waste pipes sizing / fall / support to gully trap				
12 Soil pipe sizing / fall / support				
13 Adequate support to water pipes				
14 Water supply tank / bore / supply				
15 Back flow prevention where required				
16 Other				
FINAL INTERNAL INSPECTION	OK	Not	N/A	
1 Smoke alarms with hush			X	
2 Sink insert secured correctly				
3 Service rooms impervious walls				
4 Service rooms impervious floors				
5 Producer statement membrane in wet areas				
6 Ceiling insulation (clear of downlights)				
7 Safety glass where required				
8 Ventilation				
9 Stairs gap / tread / rise / handrails				
10 Barrier Height 1.0m / 1.1m / Stairs 900mm				
11 Safety from falling eg. 100mm balustrade gaps				
12 Access for disabled (commercial only)				
13 Facilities for disabled (commercial only)				
14 All surfaces completed	X			

WILL EMAIL CCC APPLICATION

ALL OUTSTANDING

ITEMS OF SHEET

3220 HAVE BEEN

COMPLETED. OK

ISSUE CCC.

EMailed
TO OWNER.

An Inspection of the above mentioned premises has been undertaken and the matters as listed must be completed within Days or otherwise stated

Action to be taken:

Issued by:

Designation: Building Officer

Next Inspection:

T-04 FAN 3
VERSION : 1
ISSUE 1ST MAY 2014

This notice Received By:
Owner Agent / Contractor



BC# 110157

FIELD ADVICE NOTICE - 3 Pg 1

Date: 14/6/13

P O Box 26, Kaiwaka, Northland
Free Phone: 0800 100 388
Phone: (09) 431 2013
Fax: (09) 431 2023
www.kaipara.govt.nz

Applicant: HAYWARD

ENTERED

Contractor: LES SWEENT BUILDERS

Site Address: 112 OPOUTEKE RD.

Inspection FINAL
Reinspection Required:
Recommended to issue CCC:

Passed / Failed
Yes / No
Yes / No

VAL #

Travelling Time:

Inspection Time:

Officer: HAYON ANDREWS

Signature:

08270

21 FINAL INSPECTION	OK	Not	N/A	Reason for the decision / Comments If further inspection needed please indicate
1 Peer Review required (over 5 yrs)				
2 Owners Application for CCC / Contractors List				
3 Consent Documents on Site				
4 Photos Taken				
20 FINAL FIREPLACES INSPECTION	OK	Not	N/A	
1 Smoke Alarms with Hush				
2 Hearth size and & secured				
3 Fire Place Clearances				
4 Fire Place secured				
5 Flue Shield				
6 Flashings / Flue Height				
7 Wet back circulators correct size and fall				
PLUMBING	OK	Not	N/A	
1 Waste pipe correct support & gradient				
2 Water filtration system installed				
3 Hot water pipe lagged				
4 1 metre minimum of copper outlet of HWC				
5 Hot water cylinder seismic restraint				
6 Hot water tempering valve set at 45/55 degrees				
7 Hot water energy cut out switch to all valve vented systems				
8 Hot water drain OK (falls to outside of building)				
9 Filter, non return, stop, cold water expansion, pressure reducing & pressure relief valves				
10 Notches & holes in joists & bearers				
11 Waste pipes sizing / fall / support to gully trap				
12 Soil pipe sizing / fall / support				
13 Adequate support to water pipes				
14 Water supply tank / bore / supply				
15 Back flow prevention where required				
16 Other				
FINAL INTERNAL INSPECTION	OK	Not	N/A	
1 Smoke alarms with hush				
2 Sink insert secured correctly				
3 Service rooms impervious walls				
4 Service rooms impervious floors				
5 Producer statement membrane in wet areas				
6 Ceiling insulation (clear of downlights)				
7 Safety glass where required				
8 Ventilation				
9 Stairs gap / tread / rise / handrails				
10 Barrier Height 1.0m / 1.1m / Stairs 900mm				
11 Safety from falling eg. 100mm balustrade gaps				
12 Access for disabled (commercial only)				
13 Facilities for disabled (commercial only)				
14 All surfaces completed				

FINAL ON EXTENSION
OWNER WILL APPLY FOR AN
EXTENSION OF TIME

SHOWER BASE TO DOOR STILL TO
BE SILENCED.
TERMINAL VENT NEEDS TO BE
EXTENDED AWAY FROM ENSUITE
WINDOW, ALSO VERMIN PROOFING
NEEDED ON BOTH VENTS.
CLADDING AND VERANDA STILL TO
BE COMPLETED OUTSIDE BACK
DOOR.
1200mm HIGH SCREEN NEEDED
AROUND EXISTING SPA POOL.
ONCE COMPLETE I WILL DO
A FINAL INSPECTION.

I HAVE RECEIVED THE EXTENSION
ON TIME FROM OWNER, ALSO
I RECEIVED \$90.00 CHEQUE,
WILL START OUT REPAIRS

Haydon Andrews

An Inspection of the above mentioned premises has been undertaken and the matters as listed must be completed within Days or otherwise stated

Action to be taken:

Issued by:

Designation: Building Officer

Next Inspection:

This notice Received By:
Owner / Agent / Contractor

Tracy



BC # 110157

FIELD ADVICE NOTICE - 3 Pg 1

Date: 16-7-14

P O Box 26, Kaiwaka, Northland

Free Phone: 0800 100 388

Phone: (09) 431 2013

Fax: (09) 431 2023

www.kaipara.govt.nz

Applicant: HAYWARD

Contractor:

Site Address: 112 O PUTEKE RD.

VAL #

Travelling Time: WHAKARU

Officer: DAVID HUGHES

Inspection OF FINAL

Reinspection Required:
Recommended to issue CCC:

Passed / Failed

Yes / No

Yes / No

Inspection Time: 11/1/14

Signature: [Signature]

08909

21 FINAL INSPECTION	OK	Not	N/A	Reason for the decision / Comments If further inspection needed please indicate
1 Peer Review required (over 5 yrs)			X	
2 Owners Application for CCC / Contractors List		X		
3 Consent Documents on Site	X			
4 Photos Taken			X	
20 FINAL FIREPLACES INSPECTION	OK	Not	N/A	
1 Smoke Alarms with Hush			X	
2 Hearth size and & secured				
3 Fire Place Clearances				
4 Fire Place secured				
5 Flue Shield				
6 Flashings / Flue Height				
7 Wet back circulators correct size and fall				
PLUMBING	OK	Not	N/A	
1 Waste pipe correct support & gradient			X	
2 Water filtration system installed				
3 Hot water pipe lagged				
4 1 metre minimum of copper outlet of HWC				
5 Hot water cylinder seismic restraint				
6 Hot water tempering value set at 45/55 degrees				
7 Hot water energy cut out switch to all valve vented systems				
8 Hot water drain OK (falls to outside of building)				
9 Filter, non return, stop, cold water expansion, pressure reducing & pressure relief valves				
10 Notches & holes in joists & bearers				
11 Waste pipes sizing / fall / support to gully trap				
12 Soil pipe sizing / fall / support				
13 Adequate support to water pipes				
14 Water supply tank / bore / supply				
15 Back flow prevention where required				
16 Other				
FINAL INTERNAL INSPECTION	OK	Not	N/A	
1 Smoke alarms with hush			X	
2 Sink insert secured correctly				
3 Service rooms impervious walls				
4 Service rooms impervious floors				
5 Producer statement membrane in wet areas				
6 Ceiling insulation (clear of downlights)				
7 Safety glass where required				
8 Ventilation				
9 Stairs gap / tread / rise / handrails				
10 Barrier Height 1.0m / 1.1m / Stairs 900mm				
11 Safety from falling eg. 100mm balustrade gaps				
12 Access for disabled (commercial only)				
13 Facilities for disabled (commercial only)				
14 All surfaces completed	X			

WILL EMAIL CCC APPLICATION

ENTER

ALL OUTSTANDING
ITEMS OF SHEET
08270 HAVE BEEN
COMPLETED. OK
TO ISSUE CCC.

An Inspection of the above mentioned premises has been undertaken and the matters as listed must be completed within Days or otherwise stated

Action to be taken:

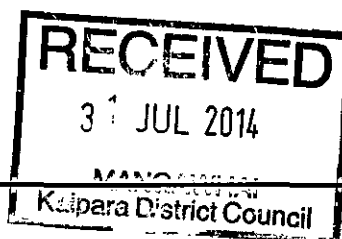
Issued by:

Designation: Building Officer

Next Inspection:

T-04 FAN 3
VERSION :1
ISSUE 1ST MAY 2014

This notice Received By:
Owner Agent / Contractor



KAIPARA DISTRICT COUNCIL

Application for a Code Compliance Certificate for 110157

(Form 6) Section 92 Building Act 2004

S & T Hayward
112 Opouteke Road
RD 9
Dargaville 0379

Issue Date: 6/07/11
Application Date: 21/04/11
Overseer: Western

IMPORTANT:

You need to submit this form when requesting your final inspection. Please check that the details below are still current when submitting it, and that all information required is provided. Once you make this request, Council will have 20 working days within which to deal with it. You will need to insure that all fees relating to this Building Consent are paid. The Code Compliance Certificate will not be issued while fees are owing.

THE OWNER:

Owners Name: S & T Hayward			
Owners Mailing Address: 112 Opouteke Road, RD 9, Dargaville 0379			
Street Address/Registered Office:			
Phone Number	Landline: 09 439 5969	Daytime:	After Hours:
	Mobile: 021 234 1716	Fax:	
Email: tulipa@slingshot.co.nz		Website:	

THE BUILDING (The following building work was authorised by this Building Consent)

Description:	Addition to house, bedroom and ensuite
Street Address of Building:	112 OPOUTEKE ROAD, WHATORO
Valuation Number:	0100012300B
Legal Description:	LOT 1 DP 332313 PT OPANAKE 1E3 1B4 1E2 B LKS IX XIII TUTAMOE SD - balance of land

THE AGENT:

Agents Name:			
Agents Mailing Address:			
Street Address/Registered Office:			
Phone Number	Landline:	Daytime:	After Hours:
	Mobile:	Fax:	
Email:		Website:	
Relationship to Owner: (State details of authorisation from the owner to make the application on the owner's behalf)			

FIRST POINT OF CONTACT: (with the Council/Building Authority)

First Point of Contact: Simon or Tracy			
Mailing Address: 112 Opouteke Road, RD 9, Dargaville 0379			
Phone Number	Landline: 09 439 5969	Daytime:	After Hours:
	Mobile: 021 234 1716	Fax:	
Email: tulipa@slingshot.co.nz		Website:	

tracyhward9@gmail.com

KEY PERSONNEL: The Personnel who carried out the building work are as follows:

Designer

Name : Reg No : Phone No: :.....
 Address :
 Mobile No : Email:

Builder (Licensed Building Practitioner From 01/03/12)

Name : Reg No : Phone No: :.....
 Address :
 Mobile No : Email:

Registered Drainlayer

Name : Reg No : Phone No: :.....
 Address :
 Mobile No : Email:

Registered Plumber

Name : Reg No : Phone No: :.....
 Address :
 Mobile No : Email:

Registered Electrician

Name : Reg No : Phone No: :.....
 Address :
 Mobile No : Email:

Registered Gas Fitter

Name : Reg No : Phone No: :.....
 Address :
 Mobile No : Email:

Other

Name : Reg No : Phone No: :.....
 Address :
 Mobile No : Email:

Other

Name : Reg No : Phone No: :.....
 Address :
 Mobile No : Email:

SPECIFIED SYSTEMS: The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent.

Type of system	Existing	New	Altered	Added	Removed
1 Automatic systems for fire suppression	☐	☐	☐	☐	☐
2 Automatic or manual emergency warning systems	☐	☐	☐	☐	☐
3/1 Automatic doors	☐	☐	☐	☐	☐
3/2 Access controlled doors	☐	☐	☐	☐	☐
3/3 Interfaced fire or smoke doors or windows	☐	☐	☐	☐	☐
4 Emergency lighting systems	☐	☐	☐	☐	☐
5 Escape route pressurisation systems	☐	☐	☐	☐	☐
6 Riser mains for use by fire services	☐	☐	☐	☐	☐
7 Any automatic backflow preventers fitted to a potable water supply	☐	☐	☐	☐	☐
8/1 Passenger carrying lifts	☐	☐	☐	☐	☐
8/2 Service lifts	☐	☐	☐	☐	☐
8/3 Escalators and moving walks	☐	☐	☐	☐	☐
9 Mechanical ventilation systems, or air conditioning systems	☐	☐	☐	☐	☐
10 Building maintenance units for providing access to buildings (internal or external)	☐	☐	☐	☐	☐
11 Laboratory fume cupboards	☐	☐	☐	☐	☐
12/1 Audio loops	☐	☐	☐	☐	☐
12/2 FM radio frequency systems and infrared beam transmiss	☐	☐	☐	☐	☐
13/1 Mechanical smoke control systems	☐	☐	☐	☐	☐
13/2 Natural smoke control	☐	☐	☐	☐	☐
13/3 Smoke curtains	☐	☐	☐	☐	☐
14/1 Emergency power systems for any of the above systems	☐	☐	☐	☐	☐
14/2 Signs for systems	☐	☐	☐	☐	☐
15/1 Systems for communicating spoken information for evacuation	☐	☐	☐	☐	☐
15/2 Final exits	☐	☐	☐	☐	☐
15/3 Fire separations	☐	☐	☐	☐	☐
15/4 Signs for fire systems	☐	☐	☐	☐	☐
15/5 Smoke separations	☐	☐	☐	☐	☐
A – Safety barriers	☐	☐	☐	☐	☐
B – Means of access and facilities	☐	☐	☐	☐	☐
C – Handheld hose reels	☐	☐	☐	☐	☐
16 Cable car	☐	☐	☐	☐	☐

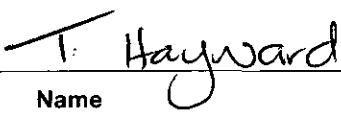
ATTACHMENTS: The following documents are attached to this application:

☐	Certificates from the personnel who carried out the work
☐	Certificates that relate to the energy work
☐	Evidence that specified systems are capable of performing to the performance standards set out in the Building Consent

EVIDENCE OF OWNERSHIP: (The following evidence of ownership is attached to this application):

☐	Copy of Certificate of Title
☐	Lease Agreement for Sale and Purchase
☐	Other document showing full name of legal owner(s) of the building/property
Please state other document:	

REQUEST TO ISSUE A CODE COMPLIANCE CERTIFICATE FOR BC 110157:

All of the building work relating to the Building Consent 110157 was completed on:		
I request that the Kaipara District Council issue a Code Compliance Certificate for the Building Consent 110157 under Section 95 of the Building Act 2004:		
Signed by / for and on behalf of/ the owner		
Note: If acting for and on behalf of, please read the following declaration prior to signing		
'I hereby declare that I am authorised to act as the Agent of the Applicant':		
Signed:		
	Signature	Name
		Date
		24-7-2014
The Code Compliance Certificate should be sent to:		
Name:	S & T Hayward	
	Owner / Agent (delete one)	
Address:	112 Opoutere Rd.	
	Dargaville 0379	



Kaipara te Orangahau • Two Oceans Two Harbours

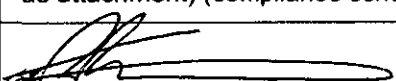
Code Compliance Certificate Checklist

KAIPARA DISTRICT COUNCIL

Code Compliance Certificate Checklist

Address of Property		112 OROUTEKE ROAD, WHATORO			
Consent Number		110157	Date	28/8/14	
Staff Responsible		HAYON A	Building Category	R1	
Note: In some cases some of the following items may not need to be checked					
Number	Issue	Yes	No	N/A	
1 *	Change of owner or address	Yes	☒ No	N/A	
2 *	Request for CCC within 2 year timeframe	Yes	☒ No	N/A	
3 *	All inspections completed	☒ Yes	No	N/A	
4 *	Development contributions paid	Yes	No	☒ N/A	
5 *	Energy works certificate provided	☒ Yes	No	N/A	
6 *	Inspections				
	Extra inspections to be charged	Yes	☒ No	N/A	
7 *	All building consent conditions fulfilled	☒ Yes	No	N/A	
8 *	Ensure that conditions of geotechnical reports, engineers reports of producer statements are complied with	Yes	No	☒ N/A	
9 *	Work complies with approved building consent documentation	☒ Yes	No	N/A	
10 *	Check that items are completed from Final Checklist (FAN)	☒ Yes	No	N/A	
11 *	Survey certificates – siting, height in relation to boundary, maximum height of building or minimum floor level	Yes	No	☒ N/A	
12 *	List of contractors/ LBP Memoranda	☒ Yes	No	N/A	
13 *	Amendments, variations and associated documentation properly completed	Yes	No	☒ N/A	
14 *	Document applies to building work for which a building consent has been issued before the date on which the compliance document came into force	Yes	No	☒ N/A	

15 *	Reference (if applicable) to acceptable solutions of verification methods	Yes	No	☒ N/A	
16 *	File forwarded to Senior Building Services Officer to undertake a Peer Review (over 5 years old) and arrange issue of CCC	Yes	No	☒ N/A	
17 *	If compliance schedule must be issued, co-ordinate issue with issue of CCC	Yes	No	☒ N/A	
18 *	Photographs	Yes	No	☒ N/A	
19 *	CCC Consent issued under the transitional provisions of Section 436 Building Act 2004 noted added to CCC	Yes	No	☒ N/A	
20 *	Regulatory approvals, dispensations, waivers or modifications	Yes	No	☒ N/A	

Issue CCC	☒ Yes	☐ No
Reason for Decision	I am satisfied on reasonable grounds that the: Building work complies with the building code at the time the Building Consent was granted (see number 19) Building work complies with the Building Consent issued; and The specified systems in the building are capable of performing to the performance standards set out in this building consent (Added to CCC and the compliance schedule as attachment) (compliance schedule statement issued)	
Signed		

"Yes" means Approved

"No" Means not Approved

"N/A" means Not Applicable

Code Compliance Certificate 110157

Form 7, Section 95, Building Act 2004

S & T Hayward
112 Opouteke Road
RD 9
Dargaville 0379

Issue Date: 3/09/14
Overseer: Western

THE BUILDING:

Street Address of Building:	112 OPOUTEKE ROAD, WHATORO
Valuation Number:	0100012300B
Legal Description:	LOT 1 DP 332313 PT OPANAKE 1E3 1B4 1E2 B LKS IX XIII TUTAMOE SD - balance of land
Building Name:	
Location of Building within site/block number:	
Level/Unit Number:	
Current Lawfully Established Use:	Housing Detached - Addition of bedroom and ensuite.
Year First Constructed:	2011

THE PROJECT:

Description:	Addition to house, bedroom and ensuite
Type of Work:	DWELLINGS - ALTERATIONS & ADDITIONS
Intended Use:	Housing Detached - Alteration and Addition
Intended Life:	Indefinite, but not less than 50 years
Stages:	Being Stage 1 of an intended 1 Stages

THE OWNER:

Owners Name: S & T Hayward			
Owners Mailing Address: 112 Opouteke Road, RD 9, Dargaville 0379			
Street Address/Registered Office:			
Phone	Landline: 09 439 5969	Daytime:	After Hours:
Number	Mobile: 021 234 1716	Fax:	
Email: tulipa@slingshot.co.nz		Website:	

FIRST POINT OF CONTACT:

First Point of Contact: As above

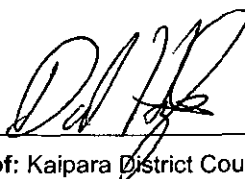
BUILDING WORK:

Building Consent Number: 110157
Issued By: Kaipara District Council

This Code Compliance Certificate is issued by the Kaipara District Council. As the Building Consent Authority it is satisfied, on reasonable grounds that:

- The building work complies with the Building Consent 110157

Signature



Date: 3/09/14

Position Building Services Officer

On behalf of: Kaipara District Council

COUNCIL

PROPOSED
NEW HOUSE

SPECIFICATION

&
CALCULATIONS

FOR
SIMON & TRACY HAYWARD

112, Opouteke Road,
DARGAVILLE.
Ph. 09 4395969

DRAUGHTED BY
KIMBERLEY SPURGEON
NDAT

09 439 7190
027 248 5869

KAIPARA DISTRICT COUNCIL
110157
BC
BUILDING INSPECTOR

CONTENTS

GENERAL SPECIFICATION & CALCULATIONS

- Risk Matrix Sheet
- HI Northland Glazing Statement
- Wall Bracing Calcs
- Gib Bracing Construction Details
- LUMBERLOK Fixing Details
 - Stud to Top Plate
 - Sheet Brace Straps
 - Lintel Fixings
 - Purlin & Batten Fixing Chart
 - Roof Strip Brace
 - Anchor Pile Fixing
- Steel & Tube Roof Cladding Fixing Spec.
- Rainwater Head Details

GENERAL SPECIFICATION

1.0 GENERAL: All construction work undertaken must comply with the NZS 3604 1999
NZBC.
Fixings and connections between elements in accordance with
NZS 3604.1999

2.0 BUILDING PERMITS: Building permits shall be applied for by the owner or building
contractor.

3.0 THE SITE

3.1 TERRAIN: Inland
3.2 EXPOSURE: Exposed
3.3 TOPOGRAPHY: Gentle
3.4 WIND ZONE: HIGH
3.5 EQ ZONE: C
3.6 SOIL TYPE: Volcanic

4.0 FOUNDATIONS 1.5kPa Floor load
4.1 TIMBER PILES 125 x 125 H5 Radiata Pine – 2000 crs max spacings
4.2 CONCRETE Concrete strength = 17.5MPa
Footing dims stated on L-02

5.0 SUBFLOOR # RP = Radiata Pine
5.1 BEARERS 140 x 90mm RP H3.1 (dry) MSG8
5.1.1 CALCS Table 6.6 NZS3604 1999 amendment2
1.5 kPa Floor load
Actual Loaded Dimension 1.8
Permitted Loaded Dimension 1.85
Max span over 2 or more spans 2000mm.
5.2 JOISTS 140 x 45mm RP H3.1 (dry) MSG8
5.2.1 CALCS Table 7.1a NZS3604 1999 amendment2
1.5 kPa Floor load
Max span of joist @ 600 crs 1800mm
Max span permitted 1800mm

5.3 INSULATION Sisalation perforated underfloor foil drooped 100mm
between joists

5.4 SUB FLOOR BRACING

1.5 kPa floor loads

Ref: Table 5.8 Light / Light / Light Roof pitch 0°- 25°

Earthquake zone C

Floor area = 38m²

4.7 BU's / m² of floor area = 178.6 BU's

Bracing Units for Earthquake zone for anchor piles = 120

Bracing Units for Wind zone for anchor piles = 160

Bracing Units recommended = 5 anchor piles

= 600 BU's Equ

= 800 BU's Wind

6.0 FLOOR

6.1 FLOORING

20mm HD Particle Board. Sheet layout and fixing to manufactures specifications. Flooring set back 6mm from house perimeter egde.

7.0 WALLS

7.1 FRAMING

RP = Radiata Pine

Stud height raking from 2400mm

90 x 45mm RP H1.2 MSG8

Studs at 400 crs nogs at 800 crs

Bottom plate 90 x 45mm H1.2 fixed with 2 / 100 x 3.75 nails at 600crs

Double top plate 140 x 40mm on 90 x 45mm.

CENTRE LOAD BEARING WALL = 90 x 70 at 600 crs

7.2 INSULATION

Pink Batts R2.4 wall

7.3 BRACING

Ref to bracing plan L-01 & calc sheet

7.4 LINTELS

Ref to plan L-01

8.0 INTERNAL LININGS

8.1 WALLS

10mm Standard Gib board, 10mm Braceline where applicable.

8.2 CEILING

13mm Standard Gib board between rafters.

9.0 ROOF

9.1 RAFTERS

190 x 70 rafters at 600 crs

Fixing Type B. 2/100 skewed galv nails & 1 wire dog at each end

9.1.1 CALCS

Table 10.2c NZS3604 1999 amendment2

High Wind Zone

Max span of rafters @ 600 crs 4700mm

Max span permitted 5000mm

9.2 PURLINS

90 x 45mm RP H1.2 MSG8 on edge

9.2.1 CALCS

Table 10.9a NZS3604 1999 amendment2

HIGH Wind Zone

Max span of purlins 600mm @ 1000 crs spacings

Fixing Type C & D refer to Lumberlok Purlin Fixing Chart

- 9.3 UNDERLAY Bitumac 860 self supporting roofing underlay
- 9.4 BRACING 2 pairs Lumberlok steel strip tensioners
- 9.5 INSULATION Pink Batts R3.2 ceiling
- 9.6 CEILING BATTENS 70 x 40mm H1.2 at 600 crs inbetween rafters

10.0 EXTERNAL CLADDINGS

- 10.1 WALLS H3.2 timber weatherboards, over building wrap to match existing
- 10.2 SUBFLOOR 6mm Hardiflex sheets with vents at 1800 crs max
- 10.3 ROOF Corrugated Zincalume or Colorsteel 0.4mm to match existing
Flashings – as above
- 10.4 SOFFIT 6mm Hardisoffit Linings – painted

11.0 EXTERNAL JOINERY

- Timber framed windows – some recycled
- Glazing in accordance to NZS 4223 pt3
- Windows – 4mm Annealed glass (above 500mm from FL)
- Doors – Grade A Safety glass (no Transom)
Or 5mm Annealed with transom
- All windows & doors to be single glazed as glazing area is 14% of total wall area.
- Flashings – aluminium

12.0 EXTERNAL TIMBERS

- 12.1 FASCIA & BARGE 20mm H3.1 dressed MSG8 – painted

13.0 SPOUTING Marley PVC Classic & 80mm downpipes

14.0 FIXINGS AND CONNECTION MATERIALS

- Corrosion Zone 1
- Closed areas / internal = mild steel
- Sheltered - subfloor and other situations
vented more than 7000mm² /m² = Stainless steel
- subfloor and other situations
vented 7000mm² /m² or less = HD Galv
- Exposed - =Stainless steel
- Or HD Galv + added protection.

15.0 WALL COVERINGS - in accordance with NZBC E3/AS1

- 15.1 WET AREAS Resene Spacecote Low Sheen Kitchen & Bathroom – waterbourne enamel
- 15.2 DRY AREAS Resene Wall board Sealer under Zylon 20 – waterbourne flat int/ext
- 15.3 CEILINGS Resene Ceing Paint – waterbourne flat int.
- 15.4 INT. TRIM Resene Spacecote Low Sheen - waterbourne enamel.
- 15.5 EXT.TIMBERS Resene Spacecote Flat Cool Colour - waterbourne enamel exterior.

16.0 INTERIOR PLUMBING

Water pipes & fixture discharge pipes, sizes, locations & calculations as on plan L-01

All sanitary plumbing & drainage work to be carried out in accordance with NZBC G13/AS1 or AS/NZS3500

Water supply in accordance with NZBC G12

DECK

17.0 DECK 2kPa Floor Load

- 17.1 TIMBER PILES 125 x 125 H5 Radiata Pine
- 17.2 BEARER 140 x 90mm RP H3.2 MSG8
- 17.2.1 CALCS 2 kPa Floor load
 - Loaded Dimension 0.8
 - Loaded Dimension/ spacings 1600 crs
 - Max span permitted over 2 or more spans 2000mm
- 17.3 JOISTS 140 x 45mm RP H3.2 (wet) MSG8
 - Leave 12mm gap between wall cladding & joists
- 17.3.1 CALCS Table 7.1b NZS3604 1999 amendment2
 - 2 kPa Floor load
 - Max span of joist @ 600 crs 2600mm
 - Max span permitted 2000mm
- 17.4 STRINGERS 140 x 45 RP H3.2 MSG8
 - Use 12mm H3.2 packers between stringer & wall cladding.
- 17.4.1 CALCS Table 6.7
 - Max span of joist 1600mm
 - Max span permitted 3000mm
 - Max M12 bolt spacing 1600mm
- 17.5 DECKING 90 x 32mm RP H3.2 Griptread

The deck surface that provides access to the building shall have a slip resistance not less than 0.4 when wet. (NZBC D1 Access Routes). Boards spaced at least 6mm apart to avoid trapping water between boards.

18.0 VERANDAH

- 18.1 POSTS 90 x 90mm RP H5
 - Max span 1800mm
- 18.1.1 FOOTINGS 17.5MPa concrete – volume = 0.05m3
- 18.2 BEAM to posts 140 x 45mm RP H3.1 MSG8
- 18.2.1 CALCS Table 10.8
 - Loaded dimension 0.85
 - Max span 1800mm
 - Max span permitted 1900mm
- 18.2.2 FIXINGS 1 M12 bolt & 3x50x50 washers
- 18.3 BEAM centre 240 x 70mm RP H3.1 MSG8
- 18.3.1 CALCS Table 10.8
 - Loaded dimension 1.7
 - Max span 2800mm
 - Max span permitted 3.100mm

18.4 RAFTERS 140 x 45mm RP H3.1 MSG8
18.4.1 CALCS Table 10.2c NZS3604 1999 amendment2
High Wind Zone
Max span of rafters @ 900 crs 1700mm
Max span permitted 2700mm
Fixing Type : 2/ 100 x 3.75 skewed galv nails & 1 wire dog to beams

18.4 PURLINS 90 x 45mm RP H3.1 MSG8
18.4.1 CALCS Table 10.9a NZS3604 1999 amendment2
High Wind Zone
Max span of purlins @ 900 crs 1000mm spacings
Fixing Type : 2/ 100 x 3.75 skewed galv nails

18.5 BRACING Lumberlok steel strip tensioners

19.0 SPOUTING Marley PVC Classic & 80mm downpipes.

20.0 ROOF CLADDINGS

Corrugated Colorsteel or Zincalume to match existing.
Fixed to manufacturers recommendations

Table 2 sets out the risk matrix that shall be used to define the risk score for a building within the scope of the Acceptable Solution. A risk score is calculated for each elevation of the building. Claddings are then selected from Table 3 according to the risk scores, or the highest risk score may be used for all walls.

Building envelope risk matrix
Paragraph 3.1.2, Figure 1

Elevation or Wall	NORTH								
Risk factor	Low		Medium		High		Very High		Subtotals for each risk factor
	Score		Score		Score		Score		
Wind zone (per NZS 3804)	0		0		1	1	2		1
Number of storeys	0	0	1		2		4		0
Roof/wall intersection design	0	0	1		3		5		0
Eaves width	0	0	1		2		5		0
Envelope complexity	0	0	1		3		6		0
Deck design	0	0	2		4		6		0
[Enter the appropriate risk severity score for each risk factor in the score columns. Transfer these figures across to the right-hand column. Finally, add up the figures in the right-hand column to get the total risk score.]							Total risk score:		1

Elevation or Wall	EAST								
Risk factor	Low		Medium		High		Very High		Subtotals for each risk factor
	Score		Score		Score		Score		
Wind zone (per NZS 3804)	0		0		1	1	2		1
Number of storeys	0	0	1		2		4		0
Roof/wall intersection design	0	0	1		3		5		0
Eaves width	0	0	1		2		5		0
Envelope complexity	0	0	1		3		6		0
Deck design	0	0	2		4		6		0
[Enter the appropriate risk severity score for each risk factor in the score columns. Transfer these figures across to the right-hand column. Finally, add up the figures in the right-hand column to get the total risk score.]							Total risk score:		1

Elevation or Wall	SOUTH		Risk Severity							
Risk factor	Low	Score	Medium	Score	High	Score	Very High	Score	Subtotals for each risk factor	
Wind zone (per NZS 3804)	0		0		1	1	2		1	
Number of storeys	0	0	1		2		4		0	
Roof/wall intersection design	0		1		3		5	5	5	
Eaves width	0	0	1		2		5		0	
Envelope complexity	0	0	1		3		6		0	
Deck design	0	0	2		4		6		0	
[Enter the appropriate risk severity score for each risk factor in the score columns. Transfer these figures across to the right-hand column. Finally, add up the figures in the right-hand column to get the total risk score.]							Total risk score:		6	

Elevation or Wall	WEST		Risk Severity							
Risk factor	Low	Score	Medium	Score	High	Score	Very High	Score	Subtotals for each risk factor	
Wind zone (per NZS 3804)	0		0		1		2		1	
Number of storeys	0	0	1		2		4		0	
Roof/wall intersection design	0	0	1		3		5		0	
Eaves width	0	0	1		2		5		0	
Envelope complexity	0	0	1		3		6		0	
Deck design	0	0	2		4		6		0	
[Enter the appropriate risk severity score for each risk factor in the score columns. Transfer these figures across to the right-hand column. Finally, add up the figures in the right-hand column to get the total risk score.]							Total risk score:		1	

Tick (✓) Information Included/Attached	Strike Out When Not Applicable = (Strike out can be in any direction)	Cross (x) Council Requires Further Information
--	--	--

Guidance for using single glazing in Northland

- Department of Building and Housing analysis shows that houses in Northland will comply using single glazing provided.
- the glazing area is 50% or less than the total wall area
- the R-values for walls, floors and roofs in the following table are used, and its notes observed...

GIB® EzyBrace™ SYSTEMS



Wall Bracing Calculation Sheet A

10/20/2016

Job Details (tick appropriate boxes)

Box 1

Name	SIMON + TRACEY HAYWARD		
Street Address	112 OPOUTEKAE ROAD		
Lot No		DPS No	
City/Town	DARGAVILLE		
Location of Storey:		Floor type:	Floor load:
Single/upper storey	☒	Sub-floor	☒
Upper storey of two		Slab	
Lower storey of two			
Key dimensions			
Building height to apex	4.4	Metres	
Roof height above eaves	—	Metres	
Stud height	2.4	Metres	
Average roof pitch	16	Degrees	
Building Length	BL	5.2	Metres
Building Width	BW	6.4	Metres
Gross Plan Area	GPA	33	Sq Metres
Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW			
Cladding weight	Light	Medium	Heavy
Sub-floor	☒		
Lower storey			
Upper or Single Storey	☒		
Roof weight	Light	Medium	
	☒		
Room in roof space	Yes	No	
		☒	

Wind Zone

Box 2

Factors	Select relevant option	Points	Enter points from the relevant options
Region	R1	0	
	R2	1	1
Terrain	Inland	0	0
	Coastal	1	
Exposure	Sheltered	0	
	Exposed	1	1
Topography	Gentle	0	0
	Moderate	1	
	Extreme	3	
		Total Points	2

Total Points	Applicable Wind Zone	Tick
0	Low	
1	Medium	
2	High	☒
3	Very High	
4	Requires specific design	

Earthquake Zone

Box 3

From Earthquake Region EQ1 select Earthquake Zone

A	B	C
		☒

BUs required Wind

Box 4

Refer to NZS 3604: 1999 Tables 5.6 or 5.7 to determine the BUs required for Wind (W Across and W Along)

W Across	W Along	BUs per m	BUs per m
35	49		

Total Wind Load

W Across	Enter BL from box 1	Multiply by	BUs per m Across	Equals Across W required	W Along	Enter BW from box 1	Multiply by	BUs per m Along	Equals Along W required
	5.2	x	35	182		6.4	x	49	313

BUs required Earthquake

Box 5

Refer to NZS 3604: 1999 Tables 5.8, 5.9 or 5.10 to determine the BUs required for Earthquake (EQ)

E = EQ 1	3.3	BUs per m²

Note: For a room in the roof space use E + 3 BU/m²

Total Earthquake Load

EQ Requirement Along and Across	Enter GPA from box 1	Multiply by	E	Equals E required
	33	x	3.3	108

Transfer to calculation sheet B

GIB® EzyBrace™ SYSTEMS



Along

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED		
1	2	3	4	5
Line Label	Minimum BLs Required	Bracing Element No.	Bracing Type	Length Element (m) L
A	100	1	GSI	1200
		2	GSI	1000
B	100	3	GSI	3600
C				
D				
E				

Totals Achieved	
From Sheet A	Totals Required

WIND	
6W	7W
Rating BL/m W	BLs Achieved (BL/m x L) W
70	84
60	60
70	266

EARTHQUAKE	
6E	7E
Rating BL/m E	BLs Achieved (BL/m x L) E
55	66
55	55
55	209

W achieved	410	E achieved	330
W required*	313	E required*	108
W achieved must exceed W required*		E achieved must exceed E required*	

* See Calculation Sheet A

Across

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED		
1	2	3	4	5
Line Label	Minimum BLs Required	Bracing Element No.	Bracing Type	Length Element (m) L
M	70	4	GSI	1200
		5	BLI	700
N	70	6	GSI	1700
O				
P				
Q				

Totals Achieved	
From Sheet A	Totals Required

WIND	
6W	7W
Rating BL/m W	BLs Achieved (BL/m x L) W
70	84
120	84
70	119

EARTHQUAKE	
6E	7E
Rating BL/m E	BLs Achieved (BL/m x L) E
55	66
100	70
55	93

W achieved	287	E achieved	229
W required*	182	E required*	108
W achieved must exceed W required*		E achieved must exceed E required*	

* See Calculation Sheet A

GIB® EzyBrace™ SYSTEMS



Design and Construction

APRIL 2009

Framing

General framing requirements such as grade, spacings and installation shall comply with the provisions of NZS 3604:1999. Winstone Wallboards Ltd recommends the use of kiln-dried machine stress graded framing (KD MSG). To achieve the published bracing performance the minimum actual framing dimensions are 90 x 35mm for external walls and 70 x 35mm for internal walls. Wall bracing tests on GIB® EzyBrace™ Systems were undertaken without nogs. Nogs are not considered to add to the bracing performance of the wall.

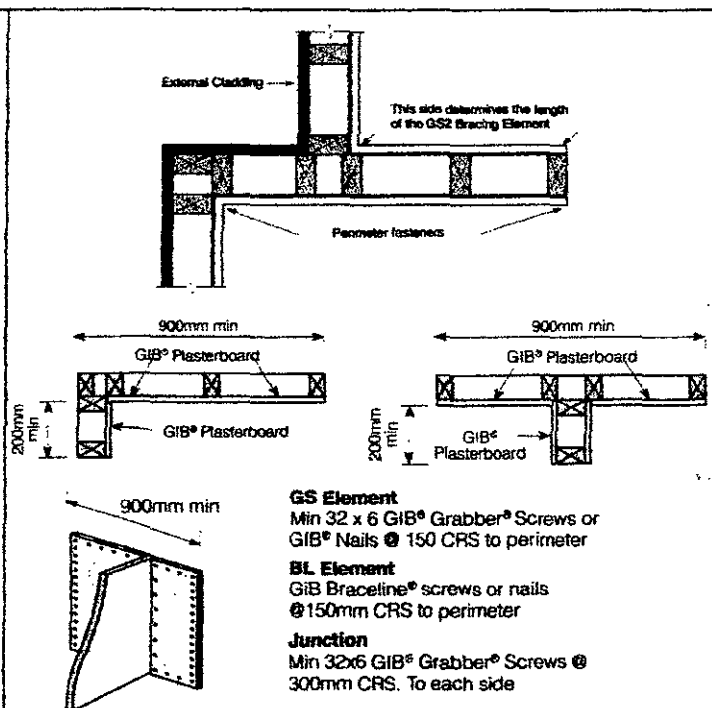
Guidelines for intersection walls

Where the lining on a double lined internal GS2 Bracing Element is shorter on one side, the length of the element is taken as the shorter wall length but bracing fasteners can still follow the wall perimeter on both sides.

GIB® Bracing Elements may have intersecting walls with a minimum length of 200mm. Fasteners are required around the perimeter of the bracing element. Vertical joints at T-junctions shall be fixed and jointed as specified for intermediate sheet joints. **The bracing element length must be no less than 900mm.**

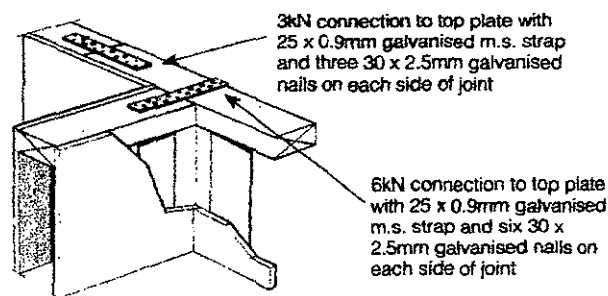
Where a Wall Bracing Element is interrupted by a T or L junction the element is deemed to be continuous for the whole length (900mm in the example illustrated).

When fixing part sheets of GIB® Plasterboard, a minimum width of 300mm applies for bracing elements.

**Top Plate Connections**

The top plate of a wall that contains one or more wall bracing elements shall be jointed according to the rating of the highest-rated individual wall bracing element as follows:

- Rating not exceeding 100 bracing units: A 3kN connection as shown or by an alternative fixing of 3kN capacity in tension or compression along the plate;
- Rating exceeding 100 bracing units: A 6kN connection as shown or by an alternative fixing of 6kN capacity tension or compression along the plate.

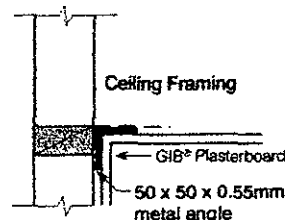
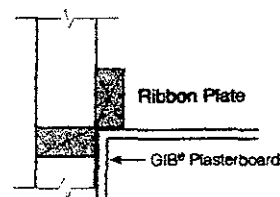
**Parapets and Gable End Walls**

Bracing elements must be fixed from top plate to bottom plate. Fixing to a row of nogs is not acceptable unless either:

A continuous member such as an ex 90x45mm ribbon plate is fixed across the studs just above a row of nogs at the ceiling line.

OR

A minimum 50x50x0.55mm metal angle is installed as shown. The angle is fixed to a row of nogs with 30x2.5mm galv FH nails at 300mm centres.



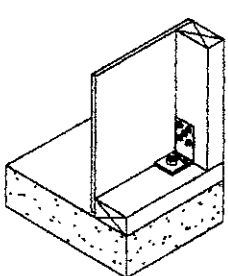
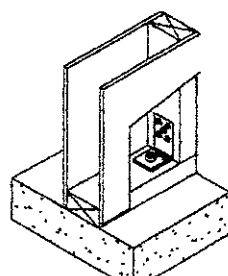
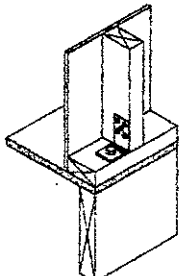
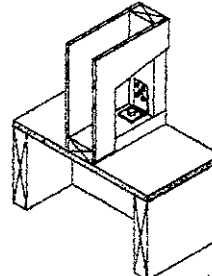
GIB® EzyBrace™ SYSTEMS

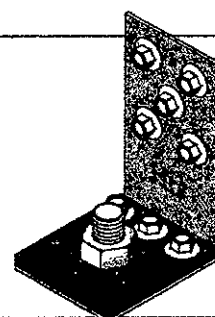
GIB® Bottom Plate Fixing

APRIL 2009

Bottom plate fixing for GIB® Bracing Elements			
Brace type	Concrete slabs		Timber Floors
	External wall	Internal walls	External and Internal walls
GS1 (10 and 13)	As per NZS 3604:1999. No specific additional fastening required	As per NZS 3604:1999. Alternatively use 75 x 3.8mm shot fired fasteners with 16mm washers, 150mm and 300mm from each end of the element and 600mm thereafter.	Pairs of hand driven 100x3.75mm FH nails or 3 power driven 90x3.15 nails at 600mm centres maximum in accordance with NZS 3604:1999.
GS2 (10 and 13)	Not applicable		
BL1 (10 and 13) BLP	Intermediate fastenings to comply with NZS 3604:1999 In addition; GIB HandiBrac® and a concrete anchor with a minimum characteristic uplift capacity of 15kN at each end of the bracing element, or Metal wrap-around strap and a concrete anchor with a minimum characteristic uplift capacity of 15kN fitted with a 50x50x3mm square washer within 100mm of each end of the bracing element		Pairs of hand driven 100x3.75mm FH nails or 3 power driven 90x3.15 nails at 600mm centres maximum in accordance with NZS 3604:1999. In addition; GIB HandiBrac® and a 12x150mm galvanised coach screw at each end of the bracing element, or Metal wrap-around strap and a 12x150mm galvanised coach screw fitted with a 50x50x3mm square washer within 100mm of each end of the bracing element, or Double metal strap to boundary joist (external walls only)
BLG	Not applicable	As for BL1 and BLP on concrete slabs above	

GIB® Panel Hold-down Details

GIB HandiBrac® – RECOMMENDED METHOD			
Developed in conjunction with MiTek™ NZ, the GIB HandiBrac® has been designed and tested for use as a hold-down in GIB® BL and UP bracing elements. - The GIB HandiBrac® registered design provides for quick and easy installation - The GIB HandiBrac® provides a flush surface for the wall linings because it is fitted inside the framing. There is no need to check in the framing as recommended with conventional straps - The GIB HandiBrac® is suitable for both new and retrofit construction - The design also allows for installation and inspection at any stage prior to fitting internal linings			
Concrete Floor		Timber Floor	
External walls	Internal walls	External walls	Internal walls
			
Position GIB HandiBrac® as close as practicable to the internal edge of the bottom plate.	Position GIB HandiBrac® at the stud / plate junction	Position GIB HandiBrac® in the centre of the perimeter joist or bearer	Position GIB HandiBrac® in the centre of floor joist or full depth solid block
Hold-down fastener requirements			
A mechanical fastening with a minimum characteristic uplift capacity of 15kN.		12x150mm galvanised coach screw	



GIB® EzyBrace™ SYSTEMS



Bracing System Specification – GS1 (10 or 13)

APRIL 2009

Specification Number	Length (m) minimum	Lining requirements
GS1	0.4	10 or 13mm GIB® Standard Plasterboard one side

WALL FRAMING

Wall framing to comply with,

- NZBC B1 – Structure: AS1 Clause 3 – Timber (NZS3604)
- NZBC B2 – Durability: AS1 Clause 3.2 – Timber (NZS3602)

Framing dimensions and height as determined by NZS3604 stud and top plate tables for load-bearing and non load-bearing walls. The use of kiln dried machine stress graded timber is recommended.

BOTTOM PLATE FIXING**Timber floor**

Pairs of 100 x 3.75mm hand driven nails or three 90 x 3.15mm power driven nails at 600mm centres.

Concrete floor*Internal bracing lines*

In accordance with the requirements of NZS3604 for internal wall plate fixing or alternatively 75 x 3.8mm shot fired fasteners fitted with 16mm disks, spaced at 150mm and 300mm from the end studs and thereafter at 600mm centres.

External wall bracing lines

In accordance with the requirements of NZS 3604:1999 for external plate fixing.

WALL LINING

One layer of 10 or 13mm GIB® Standard Plasterboard.

Vertical or horizontal fixing permitted. Sheet joints shall be touch fitted. Use full length sheets where possible.

PERMITTED SUBSTITUTION

The Bracing Unit ratings for system GS1(10) apply to 10mm GIB® Standard Plasterboard and any other GIB® Plasterboard. The ratings for GS1(13) apply to 13mm GIB® Standard Plasterboard and any other 13mm GIB® Plasterboard.

FASTENING THE LINING**Fasteners**

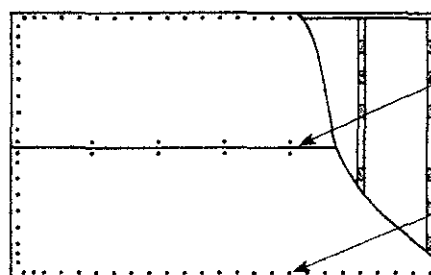
32mm x 6g GIB® Grabber® Drywall Screws or 30mm GIB® nails.

Fastener Centres

50, 100 and 150mm from each corner and 150mm thereafter around the perimeter of the bracing element. For vertical fixing place fasteners at 300mm centres at sheet joints in the tapered sheet edge. For horizontal fixing place single fasteners in the tapered edge where sheets cross studs. Use daubs of GIBFix® Adhesive at 300mm centres to intermediate studs. Place fasteners 12mm from tapered paper bound sheet edges and 18mm from sheet end or cut sheet edges.

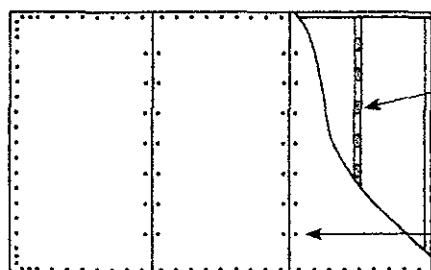
JOINTING

All fastener heads stopped and all sheet joints paper-tape reinforced and stopped in accordance with the "GIB® Site Guide".



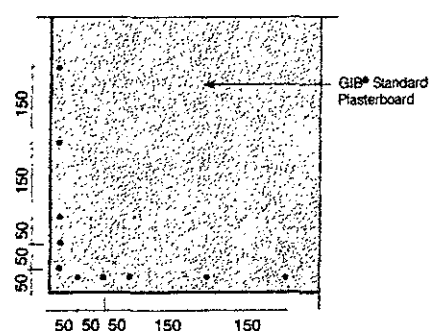
Single 32mm x 6g GIB® Grabber® Drywall Screws or 30mm GIB® Nails where sheets cross studs

32mm x 6g GIB® Grabber® Drywall Screws or 30mm GIB® Nails at 150mm centres to perimeter of bracing element

Horizontal Fixing

Daub of GIBFix® adhesive at 300mm centres to intermediate studs and noggs

Single 32mm x 6g GIB® Grabber® Drywall Screws or 30mm GIB® Nails at 300mm centres

Vertical Fixing

Fasteners are placed at 150mm centres around the bracing element perimeter starting at 50, 100, and 150mm from the bracing element corner. Fasteners are placed no closer than 12mm to a paper bound machine edge of the sheet and no closer than 18mm to a sheet end or cut edge.

In order for GIB® systems to perform as tested, all components must be installed exactly as prescribed. Substituting components produces an entirely different system and may seriously compromise performance. Follow the specifications. This Specification sheet is issued in conjunction with the publication GIB® EzyBrace™ Systems, 2009 and has been appraised in accordance with the BRANZ Appraisal No. 294 (2009).

GIB® EzyBrace™ SYSTEMS



Bracing System Specification – BL1 (10 or 13)

APRIL 2009

Specification Number	Length (m) minimum	Lining requirements	Other requirements
BL1	0.4	10 or 13mm GIB Braceline® one side	Hold-downs

WALL FRAMING

Wall framing to comply with,

- NZBC B1 – Structure: AS1 Clause 3 – Timber (NZS3604)
- NZBC B2 – Durability: AS1 Clause 3.2 – Timber (NZS3602)

Framing dimensions and height as determined by NZS3604 stud and top plate tables for load-bearing and non load-bearing walls. The use of kiln dried machine stress graded timber is recommended.

BOTTOM PLATE FIXING

Timber floor

Use panel hold-down connections at each end of the bracing element. The GIB HandiBrac® is recommended. Details are specified separately. In addition use pairs of 100 x 3.75mm hand driven nails or three 90 x 3.15mm power driven nails at 600mm centres along the length of the bracing element.

Concrete floor

Use panel hold-down connections at each end of the bracing element. The GIB HandiBrac® is recommended. Details are specified separately. Within the length of the bracing element bottom plates are fixed in accordance with the requirements of NZS 3604:1999.

WALL LINING

One layer of 10 or 13mm GIB Braceline®. Vertical or horizontal fixing permitted. Sheet joints shall be touch fitted. Use full length sheets where possible.

PERMITTED SUBSTITUTION

The Bracing Unit ratings for system BL1 apply to 10mm GIB Braceline® (fixed with GIB Braceline® Screws or GIB Braceline® Nails) or 13mm GIB Braceline® (fixed with GIB Braceline® Screws only). For other permitted GIB® Plasterboard substitutions refer to page 23 in GIB® EzyBrace™ Systems, 2009.

FASTENING THE LINING

Fasteners

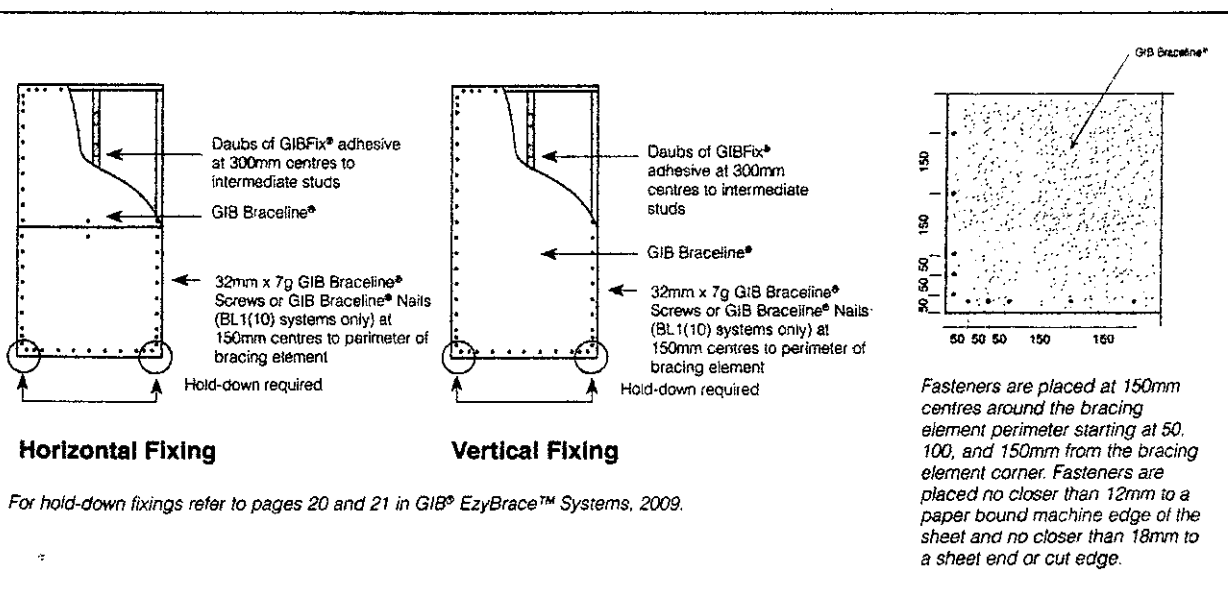
32mm x 7g GIB Braceline® Screws or 35mm GIB Braceline® Nails (BL1(10) systems only).

Fastener Centres

50, 100 and 150mm from each corner and 150mm thereafter around the perimeter of the bracing element. For vertical fixing place fasteners at 300mm centres at sheet joints in the tapered sheet edge. For horizontal fixing place single fasteners in the tapered edge where sheets cross studs. Use daubs of GIBFix® Adhesive at 300mm centres to intermediate studs. Place fasteners 12mm from tapered paper bound sheet edges and 18mm from sheet end or cut sheet edges.

JOINTING

All fastener heads stopped and all sheet joints paper-tape reinforced and stopped in accordance with the "GIB® Site Guide".



In order for GIB® systems to perform as tested, all components must be installed exactly as prescribed. Substituting components produces an entirely different system and may seriously compromise performance. Follow the specifications. This Specification sheet is issued in conjunction with the publication GIB® EzyBrace™ Systems, 2009 and has been appraised in accordance with the BRANZ Appraisal No. 294 (2009).



LUMBERLOK®

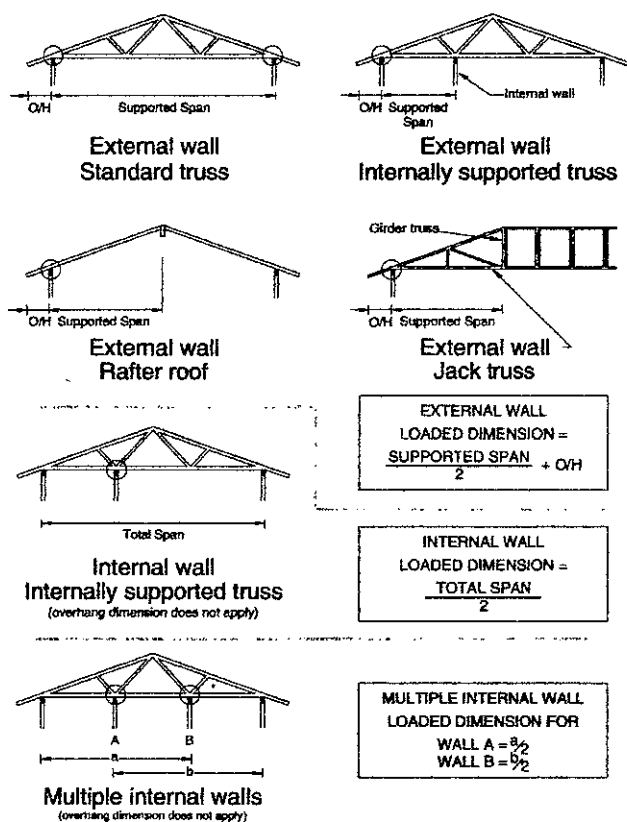
04/2008

STUD TO TOP PLATE FIXING SCHEDULE ALTERNATIVE TO TABLE 8.18 NZS 3604:1999

NOTE:

- * All fixings are designed for vertical loads only. Dead loads include the roof weight and standard ceiling weight of 0.20 kPa.
- * Refer to Table 8.19, NZS 3604:1999 for nailing schedule to resist horizontal loads.
- * These fixings assume the correct choice of rafter/truss to top plate connections have been made.
- * Gable end wall top plate/stud connections require only 2 x 90mm x 3.15 dia. nails driven vertically into stud through top plate.
- * All fixings assume top plate thickness of 45mm maximum. Note: TYLOK options on timber species.
- * Wall framing arrangements under girder trusses are not covered in this schedule.
- * All timber selections are as per NZS 3604:1999.

LOADED DIMENSION DEFINITION



FIXING OPTIONS

FIXING TYPE A 0.7kN



2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

FIXING TYPE B 1.7kN



2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

Plus
1 x Tylok 2T4 (min.) plate for Radiata Pine
1 x Tylok 2T5 (min.) plate for Douglas Fir

FIXING TYPE C 2.7kN



2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

Plus
2 x Tylok 2T4 (min.) plate for Radiata Pine
2 x Tylok 2T5 (min.) plate for Douglas Fir

FIXING TYPE D 6.0kN

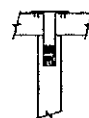
CHOOSE ANY OF THE 4 OPTIONS

2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.



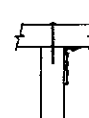
Plus
LUMBERLOK Stud Tie

2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.



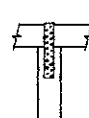
Plus
LUMBERLOK Stud Strap

2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.



Plus
LUMBERLOK 6kN Stud Anchor

2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

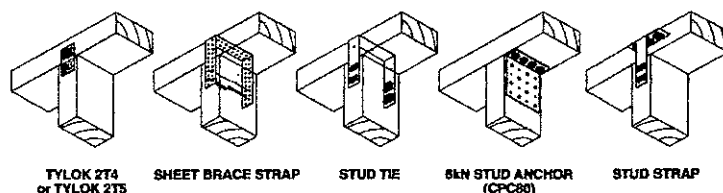


Plus
LUMBERLOK Sheet Brace Strap
(Fix 3 x 30mm x 3.15 dia. nails to each stud face.)

FIXING SELECTION CHART

(Suitable for walls supporting roof members at 600, 900 or 1200mm crs.)

Loaded Dimension (m)		Light Roof Wind Zone				Heavy Roof Wind Zone			
Stud Centres		L	M	H	VH	L	M	H	VH
400mm	600mm								
2.25	1.5	A	A	B	B	A	A	B	B
3.0	2.0	A	B	B	C	A	A	B	B
3.8	2.5	A	B	C	C	A	A	B	C
4.5	3.0	B	B	C	D	A	A	B	C
5.3	3.5	B	B	C	D	A	A	B	D
6.0	4.0	B	C	D	D	A	A	C	D
6.8	4.5	B	C	D	D	A	B	C	D
7.5	5.0	B	C	D	D	A	B	C	D
8.3	5.5	B	C	D	D	A	B	C	D
9.0	6.0	B	C	D	D	A	B	C	D



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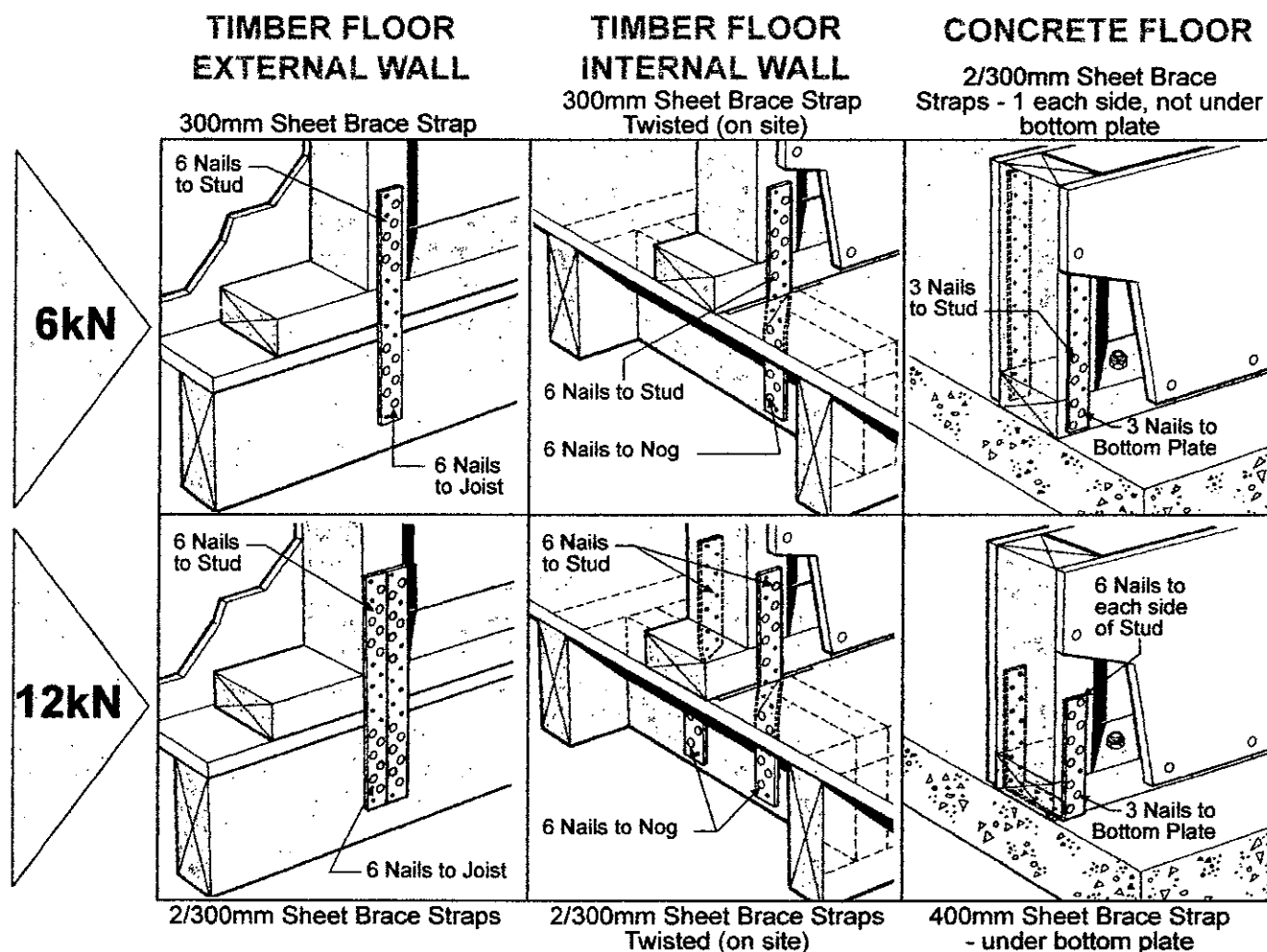
07/2007



SHEET BRACE STRAPS

- ★ Comply with NZS 3604:1999
- ★ Provides hold down for all types of sheet bracing
- ★ 6kN and 12kN fixings
- ★ 200, 300, 400 and 600mm lengths
- ★ Quick and easy to apply

USE STAINLESS STEEL
OPTION IN
EXTERIOR SITUATIONS



- LUMBERLOK Sheet Brace Straps are available in 200, 300, 400 and 600mm lengths. Steel is 25 x 0.91mm pre-galvanised. In addition to a sheet brace hold down, this product can be used for a multitude of 6kN fixing situations, as detailed in NZS 3604:1999.
- Nailing. LUMBERLOK Product Nail - 30mm x 3.15 diameter is recommended.
- Also available in 0.91mm Stainless Steel 304-2B for exterior situations.

**Available from leading Builders Supply Merchants
throughout New Zealand**



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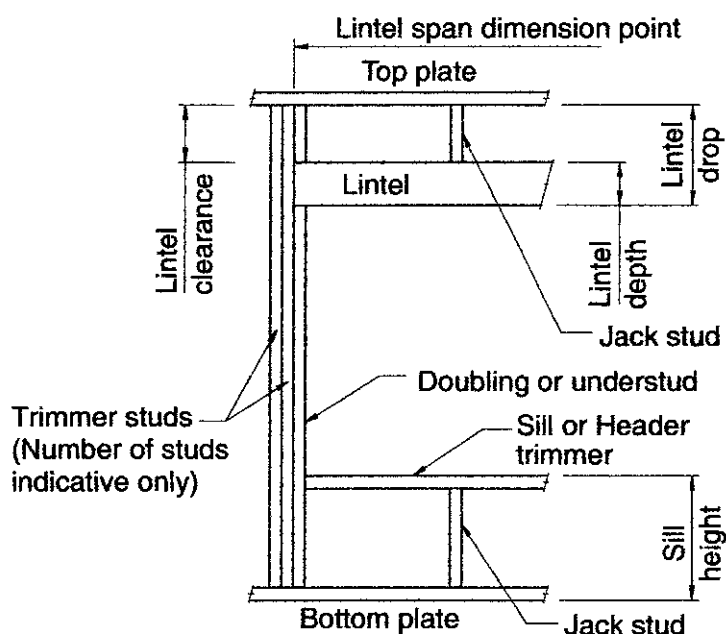
04/2008

LINTEL FIXING SCHEDULE ALTERNATIVE TO TABLE 8.14 & FIGURE 8.12 NZS 3604:1999

NOTE:

- ★ All fixings are designed for vertical loads only. Dead loads include the roof weight and standard ceiling weight of 0.20 kPa.
- ★ Refer to Table 8.19 NZS 3604:1999 for nailing schedule to resist horizontal loads.
- ★ These fixings assume the correct choice of rafter/truss to top plate connections have been made.
- ★ All fixings assume bottom plate thickness of 45mm maximum. Note: TYLOK options on timber species.
- ★ Wall framing arrangements under girder trusses are not covered in this schedule.
- ★ All timber selections are as per NZS 3604:1999.

DEFINITIONS



SELECTION CHART FOR LINTEL FIXING

Lintel Span	Loaded Dimension (See Fig. 1.3 NZS 3604:1999)	Light Roof Wind Zone				Heavy Roof Wind Zone			
		L	M	H	VH	L	M	H	VH
1.5	2.0	E	E	F	F	E	E	F	F
	3.0	E	E	F	G	E	E	F	F
	4.0	E	F	G	G	E	E	F	G
	5.0	E	F	G	G	E	E	G	G
	6.0	E	F	G	H	E	E	G	G
2.0	2.0	E	F	F	G	E	E	F	F
	3.0	E	F	G	G	E	E	F	G
	4.0	E	F	G	G	E	E	G	G
	5.0	E	G	G	H	E	E	G	G
	6.0	F	G	G	H	E	F	G	H
2.4	2.0	E	F	F	G	E	E	F	F
	3.0	F	F	G	G	E	E	G	G
	4.0	F	G	G	H	E	E	G	G
	5.0	F	G	G	H	E	F	G	H
	6.0	F	G	H	H	E	F	G	H
3.0	2.0	E	F	G	G	E	E	F	G
	3.0	F	F	G	H	E	E	G	G
	4.0	F	G	G	H	E	F	G	H
	5.0	F	G	H	H	E	F	G	H
	6.0	G	G	H	-	E	F	H	H
3.6	2.0	F	F	G	G	E	E	F	G
	3.0	F	G	G	H	E	F	G	G
	4.0	F	G	H	H	E	F	G	H
	5.0	F	G	H	-	E	F	H	H
	6.0	G	H	H	-	E	F	H	-
4.2	2.0	F	F	G	G	E	E	G	G
	3.0	F	G	H	H	E	F	G	H
	4.0	G	G	H	-	E	F	H	H
	5.0	G	H	H	-	E	F	H	-
	6.0	G	H	-	-	E	G	H	-
4.8	2.0	F	G	G	H	E	E	G	G
	3.0	F	G	H	H	E	F	G	H
	4.0	G	G	H	-	E	F	H	H
	5.0	G	H	-	-	E	F	H	-
	6.0	G	H	-	-	E	G	H	-

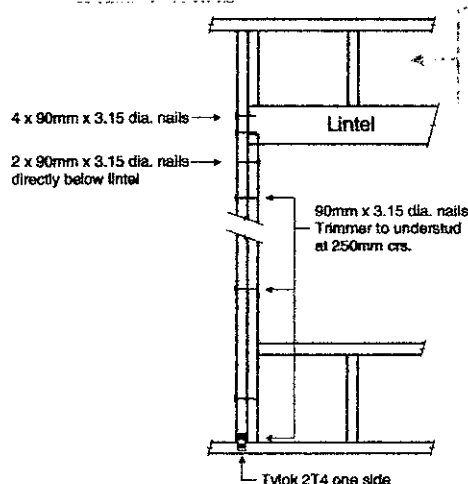
NOTES:

- Lintels supporting Girder trusses for ALL load cases use:
- Fixing Type G where contributory area = 10m²
- Fixing Type H where contributory area = 20m²
- All cases outside this require specific design.



LINTEL FIXING OPTIONS

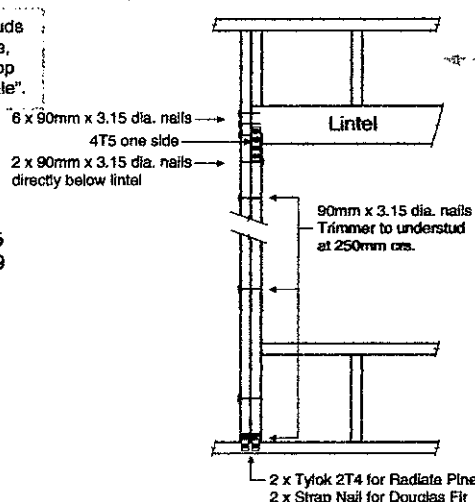
TYPE E 1.4kN



For fixing of jack studs to lintel & top plate, refer to "Stud to Top Plate Fixing Schedule".

Stud numbers indicative only. Refer Table 8.5 NZS 3604:1999

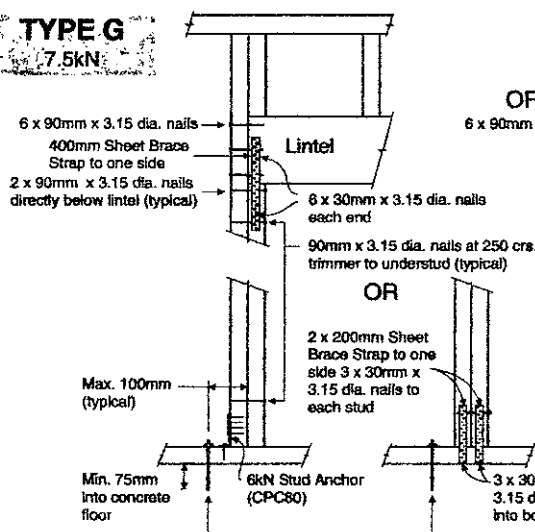
TYPE F 4.0kN



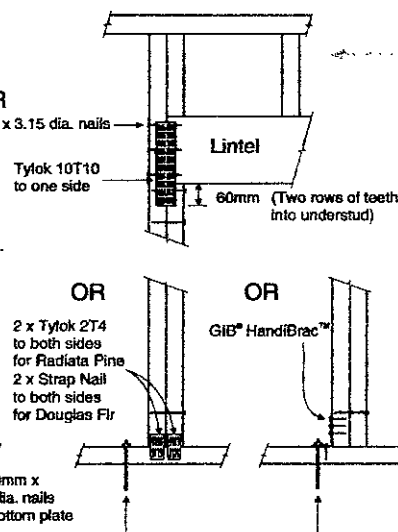
For fixing of jack studs to lintel & top plate, refer to "Stud to Top Plate Fixing Schedule".

Stud numbers indicative only. Refer Table 8.5 NZS 3604:1999

TYPE G 7.5kN



OR

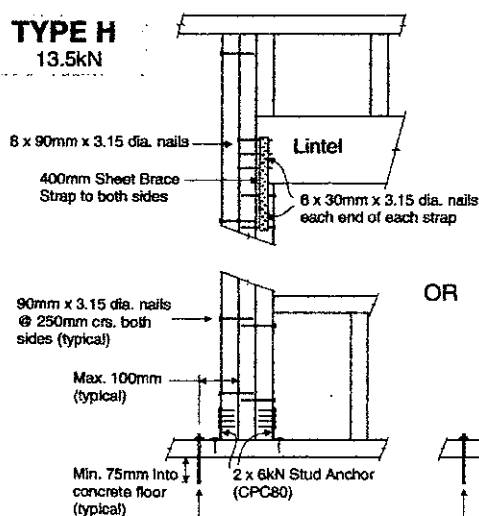


For fixing of jack studs to lintel & top plate, refer to "Stud to Top Plate Fixing Schedule".

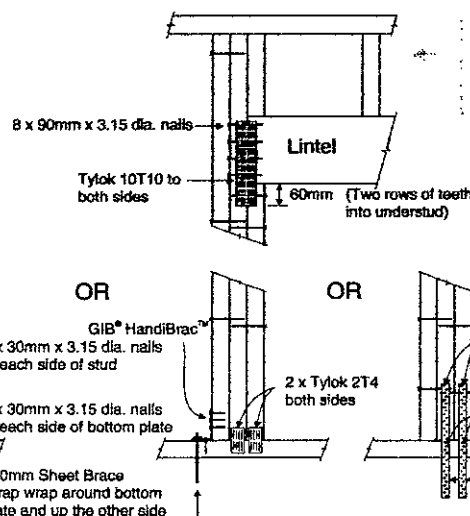
Stud numbers indicative only. Refer Table 8.5 NZS 3604:1999

M12 proprietary concrete fixing bolt with 50x50x3mm square washer or M12 x 150mm coach screw with 50x50x3mm square washer into timber joist/bearer

TYPE H 13.5kN



OR



For fixing of jack studs to lintel & top plate, refer to "Stud to Top Plate Fixing Schedule".

Stud numbers indicative only. Refer Table 8.5 NZS 3604:1999

M12 proprietary concrete fixing bolt with 50x50x3mm square washer or M12 x 150mm coach screw with 50x50x3mm square washer into timber joist/bearer



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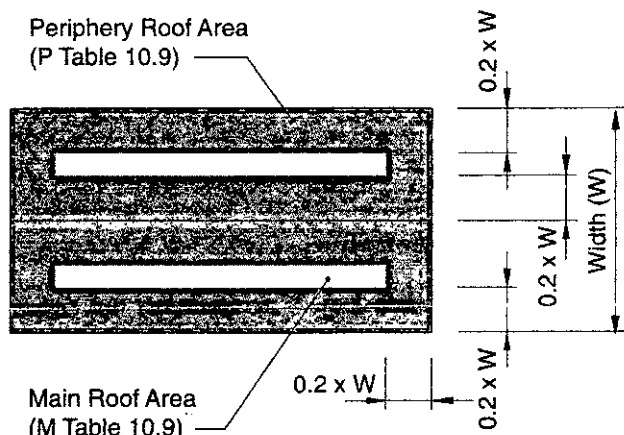
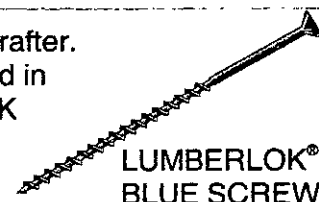


PURLIN & BATTEN FIXING CHART

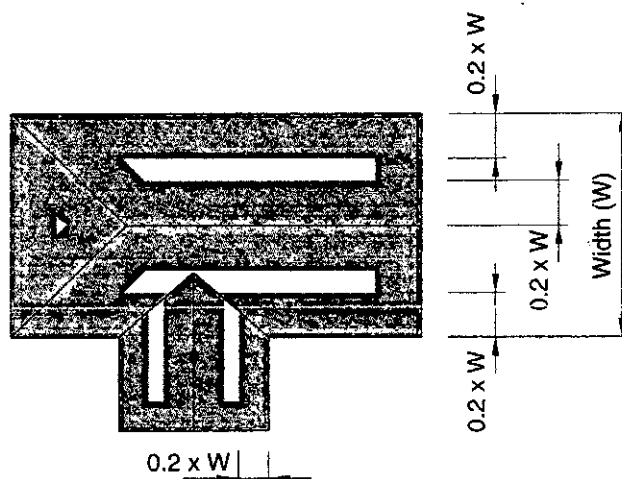
ALTERNATIVE SOLUTION TO NZS 3604:1999

NOTE:

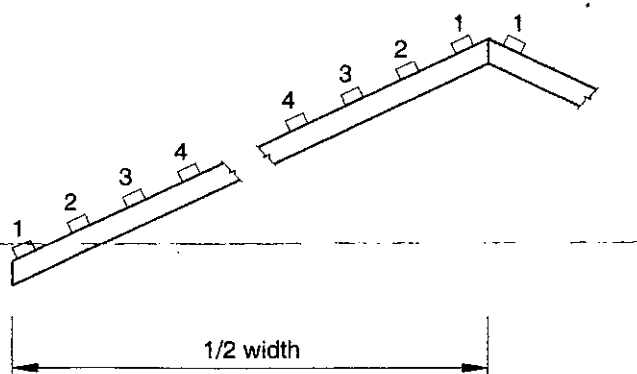
- ★ Max. truss overall roof span 12m.
- ★ All purlin and batten sizes as NZS 3604:1999, incorporating Amendments 1 and 2, May 2006, Table 10.9.
- ★ These fixings assume purlins or battens are fixed over the top of truss or rafter.
- ★ The LUMBERLOK BLUE SCREW is different from the purlin screw quoted in NZS 3604. This chart needs to be used when specifying the LUMBERLOK BLUE SCREW and not NZS 3604:1999, Table 10.9.



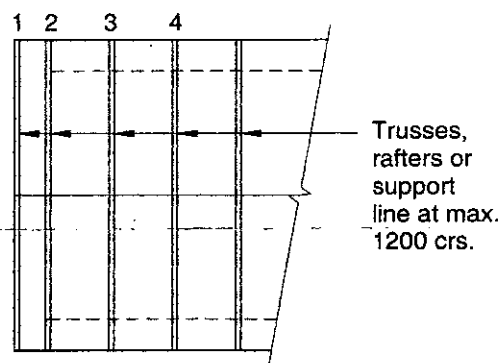
GABLE ROOF



HIP & VALLEY ROOF



PURLIN LAYOUT (Max. 1200 crs.)



LAYOUT ON GABLE END



SELECTION CHART

(minimum fixing requirements)

1. HEAVY ROOFS

All purlins and/or battens use fixing Type A only on roof width (W) up to 12m.

2. LIGHT ROOFS

- A. BATTENS** - Max. span 1200
 - Max. crs. 400
 - Roof width (W) up to 12m

L and M wind loads use Type B fixing on all battens.

H and VH wind loads use Type C on all battens.

- B. PURLINS** - Max. span 900, max. crs. 900

L and M wind loads use Type C fixing on purlin No. 2 and Type B on all other purlins for all roof widths (W) up to 12m.

H and VH wind loads

- On roof width (W) up to 8m – use Type D fixing on purlin No. 2 and Type C on all other purlins.
- On roof width (W) up to 12m – use Type D fixing on purlins No. 2 and 3 and Type C on all other purlins.

C. PURLINS AND BATTENS ON GABLE END

- Max. span 900, max. crs. 900

L and M wind loads use Type B fixing on support line No. 1, Type C on support lines No. 2, 3 and 4 and all other support lines as per Section A or B above.

H and VH wind loads use Type C fixing on support line No. 1, Type D on support lines No. 2, 3 and 4 and all other support lines as per Section A or B above.

STANDARD FIXING OPTIONS

FIXING DEFINITIONS

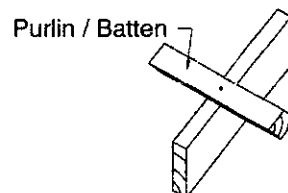
NAIL = Either 90 x 3.15 Power driven or 100 x 3.75 Hand driven

SCREW = 80 x 10 gauge **LUMBERLOK BLUE SCREW**

WIRE DOG = Either left hand or right hand **LUMBERLOK Wire Dog**

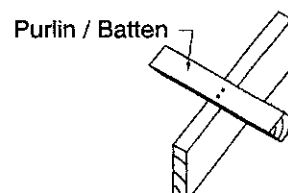
FIXING TYPE A
0.40kN

1 NAIL



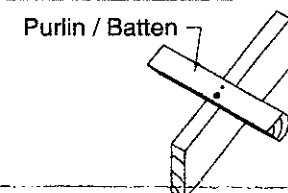
FIXING TYPE B
0.70kN

2 NAILS



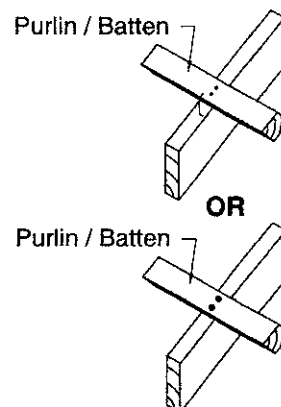
FIXING TYPE C
1.80kN

1 NAIL + 1 SCREW



FIXING TYPE D
2.70kN

2 NAILS + 1 WIRE DOG
OR
2 SCREWS

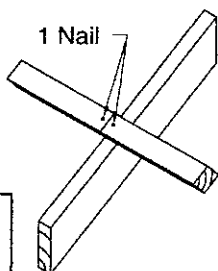


PURLIN / BATTEN SPLICE FIXING OPTIONS

NOTE:

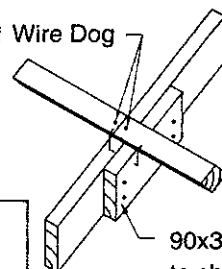
Skew nail when fixing to 35mm rafter or truss.

FIXING TYPE A & B OVER PURLIN SPLICE



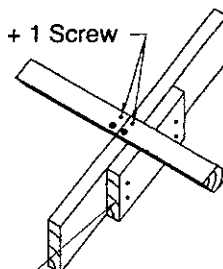
FIXING TYPE C & D OVER PURLIN SPLICE

1 Nail + 1 Wire Dog



1 Nail + 1 Screw

OR



90x35mm block fixed to chord or rafter with 4/75mm nails

MiTek New Zealand Ltd.



HOME OF GANG-NAIL® BUILDING SYSTEMS

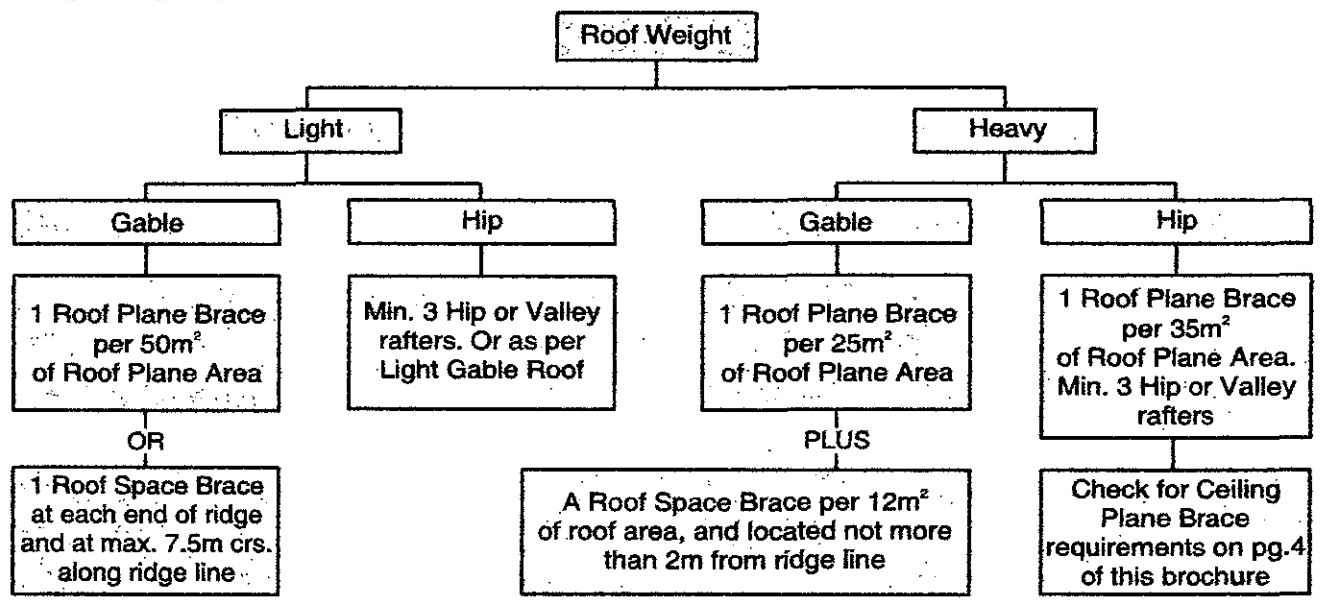
AUCKLAND
PO Box 58-014, Greenmount
Phone: (09) 274 7109
Fax: (09) 274 7100
www.mitek.nz.co.nz

CHRISTCHURCH
PO Box 8387, Riccarton
Phone: (03) 348 8691
Fax: (03) 348 0314

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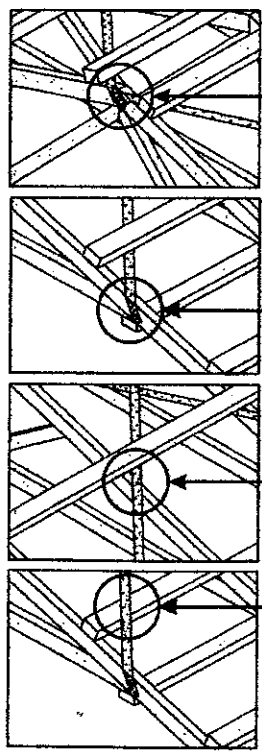
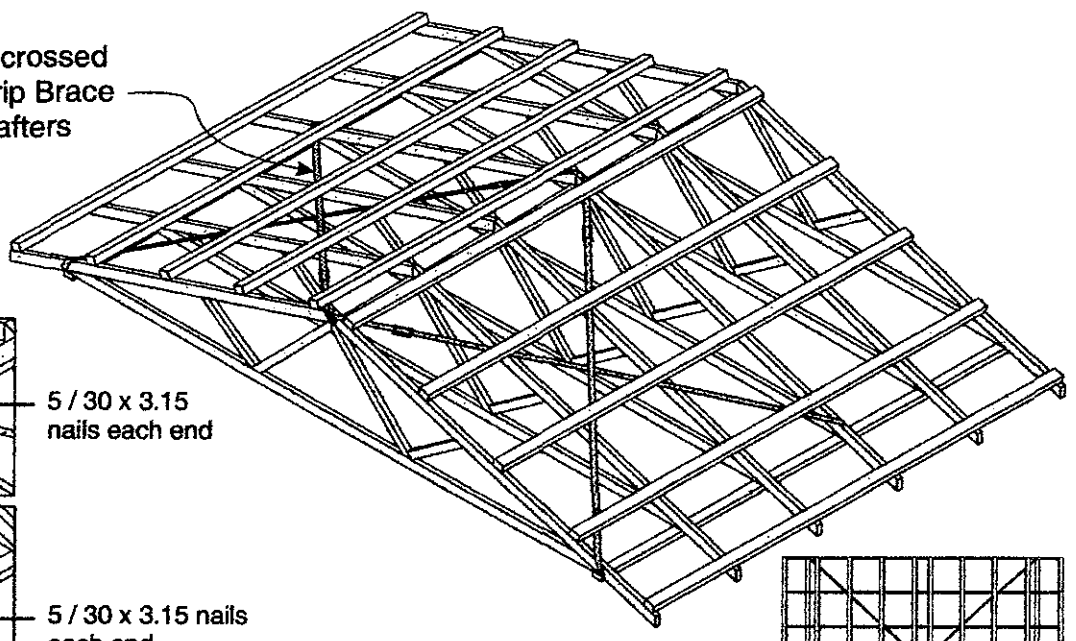


Roof Plane & Roof Space Brace Requirements Flow Chart



Roof Plane Brace & Installation

Single tensioned crossed LUMBERLOK Strip Brace over top chords/rafters



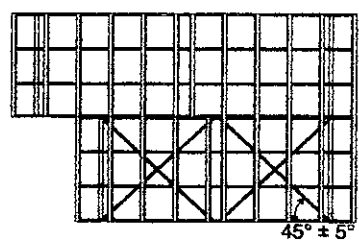
5 / 30 x 3.15 nails each end

5 / 30 x 3.15 nails each end

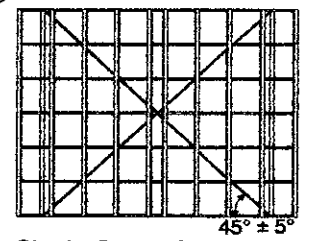
1 / 30 x 3.15 nail at crossing

When purlin depth above truss chord is 50mm or less, Strip Brace can be installed over top of purlins

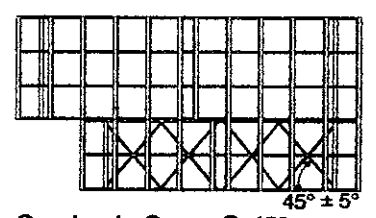
Alternative Layout Options



Double Cross @ 45°



Single Cross @ 45°



Quadruple Cross @ 45°

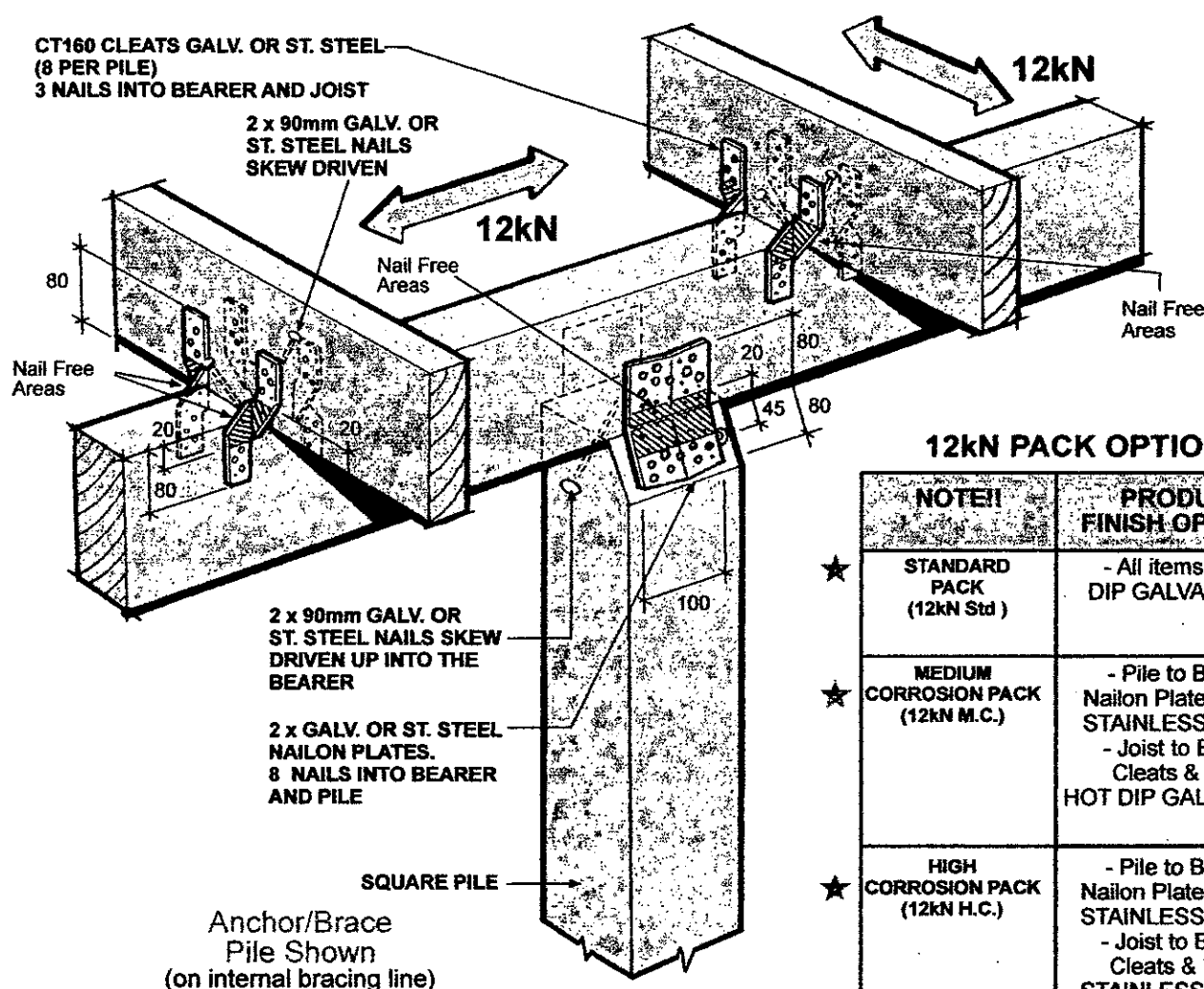


07/2008



12kN PILE FIXING FOR BRACED PILES OR ANCHOR PILES

- ★ The 12kN Pile Fixing must be installed in accordance with this brochure
- ★ Auckland University Tested. Test Ref. 4613
- ★ All subfloor construction must be in accordance with NZS 3604:1999
- ★ NZS 3604 requires lines of lateral support to floor joists within 300mm of bearer or bracing lines, refer to Clause 7.1.2



12kN PACK OPTIONS

NOTE!	PRODUCT FINISH OPTIONS
★ STANDARD PACK (12kN Std)	- All items HOT DIP GALVANISED
★ MEDIUM CORROSION PACK (12kN M.C.)	- Pile to Bearer Nailon Plate & Nails STAINLESS STEEL - Joist to Bearer Cleats & Nails HOT DIP GALVANISED
★ HIGH CORROSION PACK (12kN H.C.)	- Pile to Bearer Nailon Plate & Nails STAINLESS STEEL - Joist to Bearer Cleats & Nails STAINLESS STEEL

★ See Over For Corrosion Table.

**Available from leading Builders Supply Merchants
throughout New Zealand**



Product Specification

Northland



Profile	Material	Thickness	Finish	Coating
Custom Orb ☐	Steel ☐	.40mm ☐	Zincalume ☐	Endura ☐
Trimline ☐		.55mm ☐	Colorsteel ☐	Maxx ☐
Hi Rib ☐	Aluminium ☐	.70mm ☐	Plain Mill ☐	ARX* ☐
Euroline ☐		.90mm ☐	*Embossed ☐	*(Unpainted Only)
Environment	Mod. Inland ☐	Mod. Marine ☐	Severe Marine ☐	V. Severe Marine ☐
Special Conditions	Geothermal ☐	Corrosive Industrial ☐	Other (Specify)	
Wind Zone	Low ☐	Medium ☐	High ☐	Very High ☐

1. Storage: Stack roofing and accessories on clean, level areas of the site. Cover and protect from damage and weather until ready to fix in place. If wet, separate sheets and allow them to dry.

2. Set Out: Plan layout to ensure true lines and correct relationship to module, grid and roof features. Confirm that roof structure is complete and suitable before commencing the laying of sheets.

3. Underlay: Lay and fix in accordance with Acceptable Solution E2/AS1 and NZS 3604 Section 11.2.2.

4. Prevent Damage: Take care to avoid damaging sheet before and after fixing. Do not mark with graphite pencil, cut only by shear, wear only clean soft-soled shoes and remove metal filings daily. Separate or protect roofing from incompatible or corrosive materials. Foot traffic to take place only along purlin lines, across two crests or in the pan of the profile.

5. Install: Fix roofing complete with matching fasteners and accessories in accordance with NZ Steel "Installer's Guide" NZMRM Code of Practice, and good trade practice.

6. Fixings and Sealants: Use fasteners compatible with the material being fastened and with a durability rating of Minimum

Class #4. Use neutral cure silicon, MS polymer sealant or lap seal tape strictly in accordance with the manufacturer's recommendations. Colour match accessories prior to installation.

7. Flashings: Design and install flashings to hips, ridges and verges, intersections and penetrations to achieve a weatherproof and attractive appearance in accordance with Steel & Tube Roofing "Design Solutions" and good trade practice.

8. Complete: Ensure the work is complete with all fasteners installed and all flashings completed and finished to ensure roof is completely watertight and will withstand the necessary design loads.

9. Clear: Remove trade debris and unused materials from roof and surrounding areas regularly and at completion. Sweep down the completed roof and flush out spoutings and gutters.

10. Protect: Protect roof from sub-trades following.

11. Installers: A list of Approved Installers for your area is available from your local Steel & Tube Roofing office or at www.stroofing.co.nz.

Fasteners per sheet required supported at 1.200m centres. (Lined buildings)

Profile	Ends	Wind Zone to NZS 3604:1994 ¹			
		Low	Medium	High	Very High
Custom Orb .40	5	2	2.5	3	4
Trimline .40	5	2	2	3	4
Trimklad	4	3	3	3	3
Hi Rib .48	Clip fasten at each purlin line				

Maximum spans (Metres)

Profile		Custom Orb		Trimline		Hi Rib
Roof Traffic *	Gauge (mm)	.40	.55	.40	.55	.48
Controlled Traffic	Internal	1.200	1.600	1.700	2.300	2.100
	Ends	.800	1.000	1.450	1.700	1.700
Heavy Traffic	Internal	N/A	1.000	1.100	1.800	2.100
	Ends	N/A	.800	.800	1.400	1.600

*Controlled Traffic assumes foot placement will be as in paragraph no.4 above. Set purlins out for Heavy Traffic when construction loads are high or regular access to roof is required.

WHANGAREI
9 Southend Avenue,
Otaika.
PO Box 1869,
Whangarei.
Tel: 09 438 4600
Fax: 09 438 0342

NORTH SHORE
2 Ride Way,
North Harbour
Industrial Estate,
PO Box 100182,
North Shore
Tel: 09 415 8080
Fax: 09 415 9192

AUCKLAND
14 Kerwyn Avenue,
East Tamaki.
PO Box 58216,
Greenmount.
Tel: 09 274 4056
Fax: 09 274 8972

HAMILTON
32 Kaimiro Street,
Pukete Industrial
Estate.
PO Box 10458,
Te Rapa.
Tel: 07 850 9200
Fax: 07 850 9330

TAURANGA
67 Koromiko Street,
Tauranga.
PO Box 2001,
Tauranga.
Tel: 07 578 1089
Fax: 07 577 0186

WELLINGTON
201 Gracefield Road,
Petone.
PO Box 36082,
Moera.
Tel: 04 568 4359
Fax: 04 568 6770

CHRISTCHURCH
106 Antigua Street,
Sydenham.
PO Box 7306,
Sydenham,
Christchurch.
Tel: 03 377 0994
Fax: 03 377 2680

Sales: 09 438 4600 Technical Helpline: 0800 333 247 Website: www.stroofing.co.nz Email: info@stroofing.co.nz



ISTRO321

Box Gutter, Rainwater Head & Downpipe Calculator allowing for rainshadow effects.

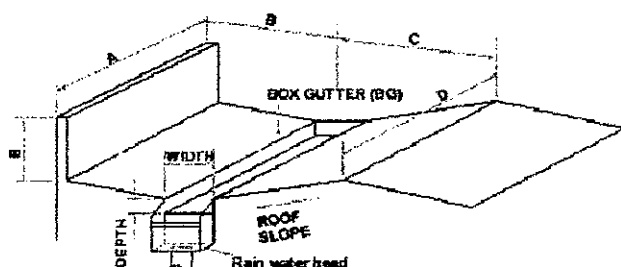
To AS 3500.3.2:2003 "Stormwater Drainage Acceptable Solutions".

ALLOWING FOR RAIN SHADOW EFFECTS

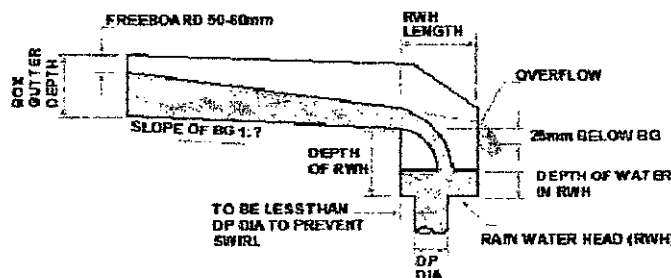
NOTE: If the program does not appear, you may have to update your browser, or alternatively load the Java Runtime Environment (JRE) plug in from [Java Download](#)

If the program used to appear, but doesn't appear anymore, it is because Microsoft has removed java from your operating system.

Downloading the JRE will reload it.



EG. FOR RECTANGULAR CATCHMENT AREAS :-
HORIZONTAL AREA LHS = A x B
HORIZONTAL AREA RHS = C x D
VERTICAL FACE LHS = A x E

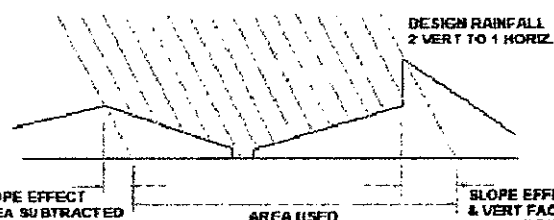
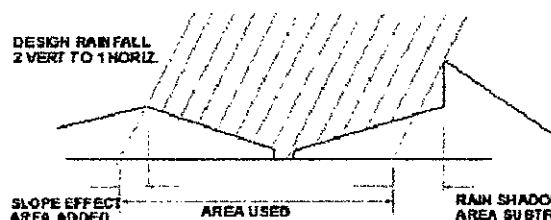


RAIN WATER HEAD WITH OVERFLOW, AT END OF BOX GUTTER

(NOTE: WIDTH OF RWH = WIDTH OF BOX GUTTER)

LOAD AND RUN BOX GUTTER CALCULATOR

Note: Site is changing location, please update bookmarks.



METHOD OF CALCULATING CATCHMENT AREA

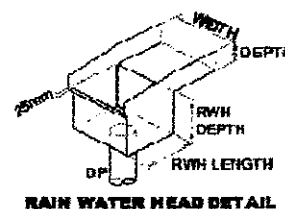
RAINFALL APPLIED FROM ALL 4 DIRECTIONS, AND WORST CASE ADOPTED

MINIMUM WIDTH = 300 mm for Commercial construction, and 200 mm for Domestic construction.

REQUIRED SLOPE 1:40 TO 1:200

MAXIMUM ALLOWABLE LENGTH

Material	Base Metal Thickness (mm)	Max Length (metres)	Minimum expansion space (mm)	To use Rectangular DP (mm*mm)	To find RWH sizes, enter Equivalent circular DP dia (mm)
Aluminum	0.90	12	50	100 * 75	97.5
Copper	0.60	9	50	100 * 100	112.5
Copper	0.80	15	50	150 * 100	137.5
Copper	1.0	26	50	125 * 125	140
Steel					
Colorbond	0.55	20	50	150 * 150	168
Zincalume					
Steel	0.75	25	50		
Stainless Steel	0.55	20	50		
PVC	-	10	30		
Zinc	0.80	10	50		



Instructions & Notes:

The program makes allowance for rain shadow effects as shown in the diagram. It doesn't matter which side you call the LHS or the RHS as long as you are consistent with slope, area, and vertical face. The program will compute which wind direction will give the worst effect. Also, This calculation is only suitable when the box gutter drains to a rainwater head, (with overflow) at the end of the box gutter, as shown.

For other conditions, eg a sump somewhere along the length of the box gutter, a separate formula applies, usually resulting in a larger gutter.

Click on the [OTHER HYDRAULIC CALCULATORS](#) link below.

Note: The roof catchment area, is the total of all roof areas draining to **all sides of the box gutter**, including the area of any vertical faces that may run off into the box gutter.



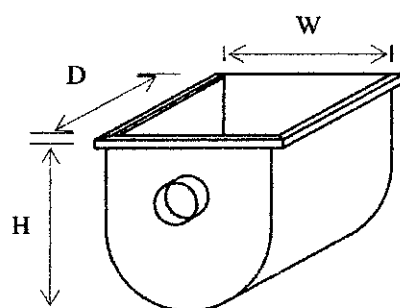
Rainwater Heads and Downpipes

Once the water is removed from the roof it is then the function of the rainwater goods to get it to ground level. By utilizing Calder Stewart Roofing's product range this can be done using components that are both functional and pleasing to the eye.

Please note The over-flow shall be 25mm below the sole of the gutter (COP 8.6.2)

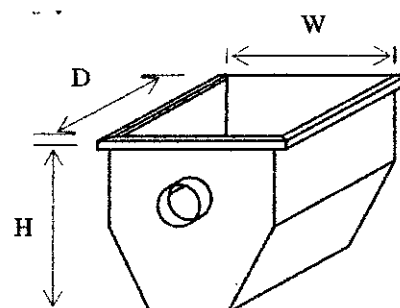
RAINWATER HEADS

Standard Rain Water Head RWH #1 (all measurements inside)



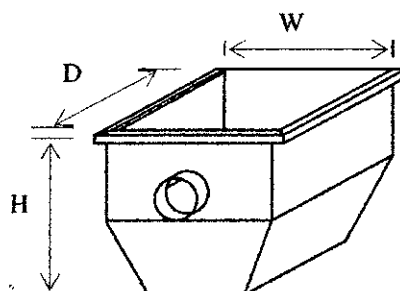
SIZE	W	H	D
250	250	350	170
350	350	400	180
450	450	450	190
600	600	500	200

Standard Rain Water Head RWH #2 (all measurements inside)



SIZE	W	H	D
250	250	250	175
350	350	300	200
450	450	350	225
600	600	400	250

Standard Rain Water Head RWH #3 (all measurements inside)

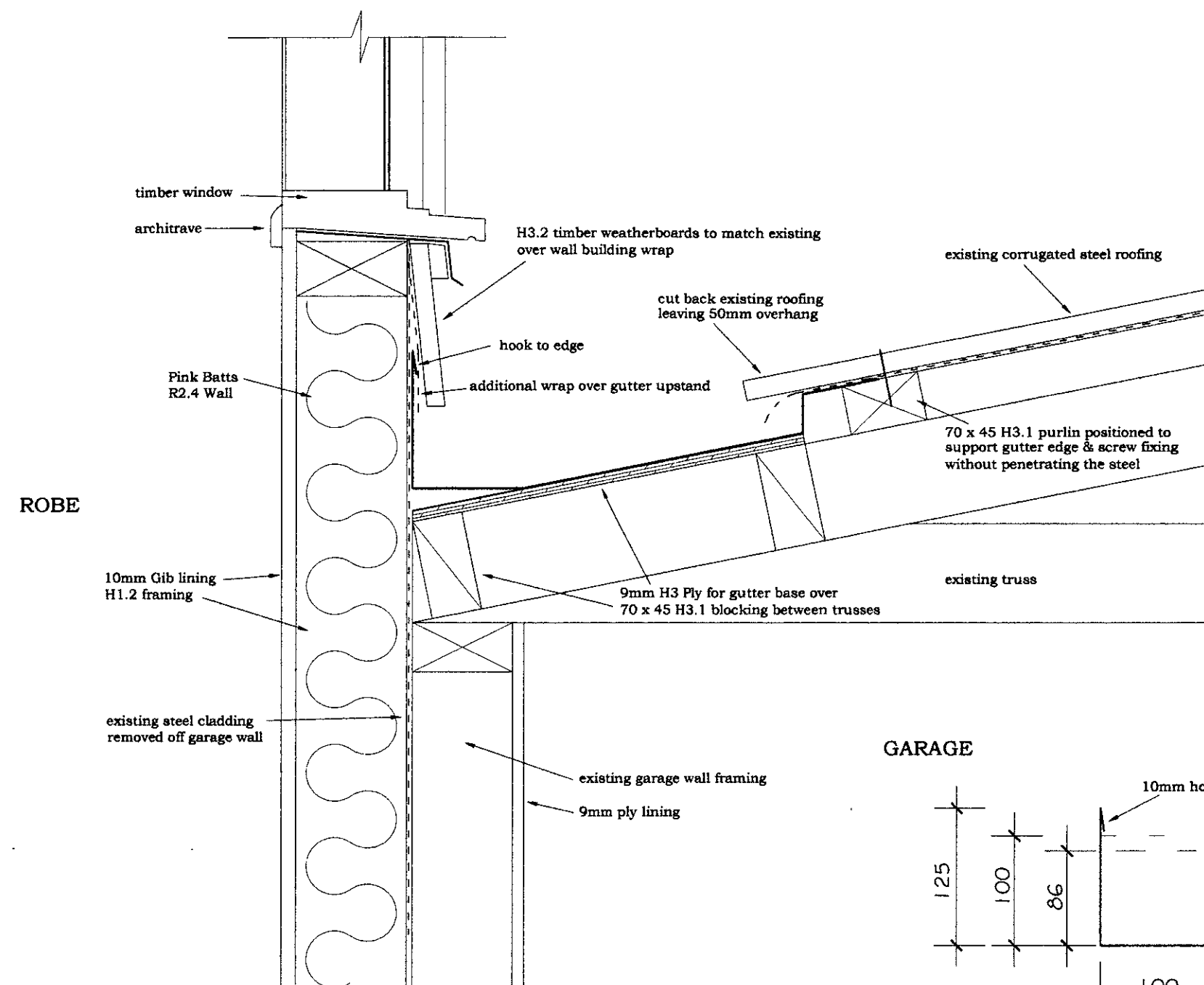


SIZE	W	H	D
250	250	250	175
350	350	300	200
450	450	350	225
600	600	400	250

Information subject to change without notification

website www.roofer.co.nz

Calder Stewart
Roofing



NOTES:

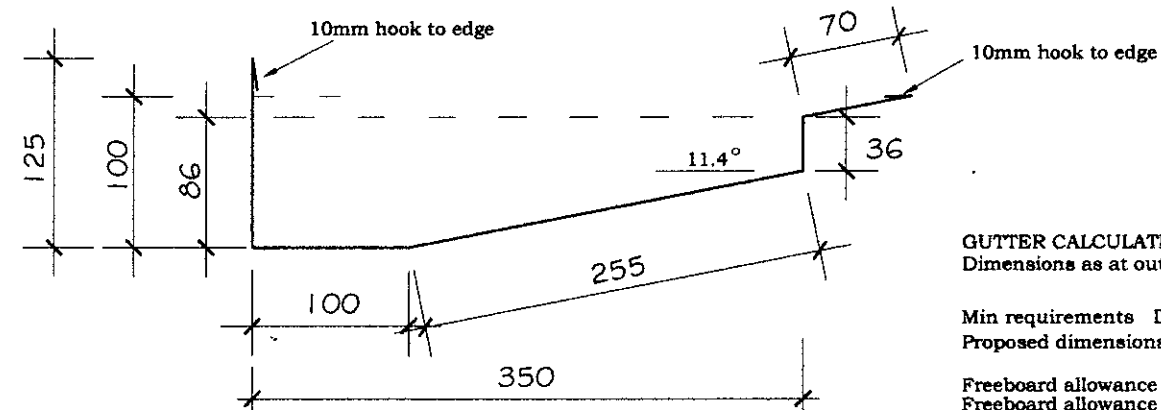
Catchment area = 26.6 m²
 Gutter length = 7m
 Gutter fall = 1 in 200'
 35mm depth difference over 7m

KAIPARA DISTRICT COUNCIL
 BC
 BUILDING INSPECTOR

NOTES:

Builders to check existing garage roof pitch to match proposed gutter pitch.
 Also existing garage roof cladding material for compatibility to gutter material.

GARAGE



gutter material to be compatible with existing roof cladding BMT 0.55

GUTTER CALCULATIONS as per E1/AS1
 Dimensions as at outlet end

Min requirements Depth = 70mm Width = 300mm
 Proposed dimensions Depth = 86mm Width = 350mm

Freeboard allowance required = 20mm min
 Freeboard allowance available = 30mm

Min cross sectional area required = 21,000 mm²
 Area below dash line = 23,850 mm²

Ref to spec for RAINWATER HEAD

1
D01

INTERNAL GUTTER
 FITTING DETAIL 1:5

INTERNAL GUTTER 1:5

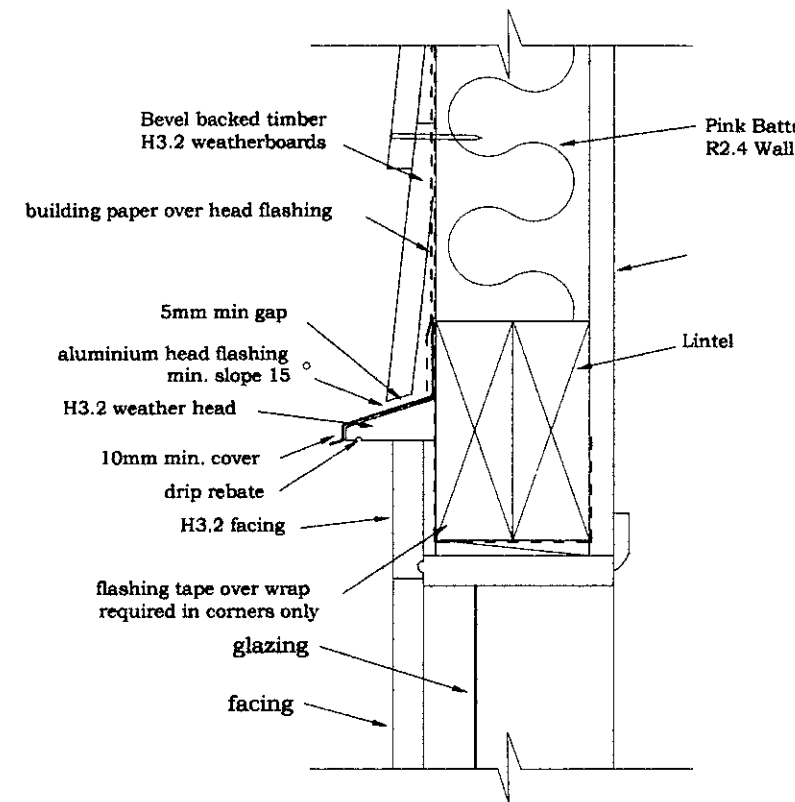
DRAWN BY:
 Kimberley Spurgeon NDAT
 153, Morrison Rd, RD4, Dargaville
 PH: 09 439 7190
 Email : forfared@yahoo.co.nz

JOB TITLE
 PROPOSED EXTENSION

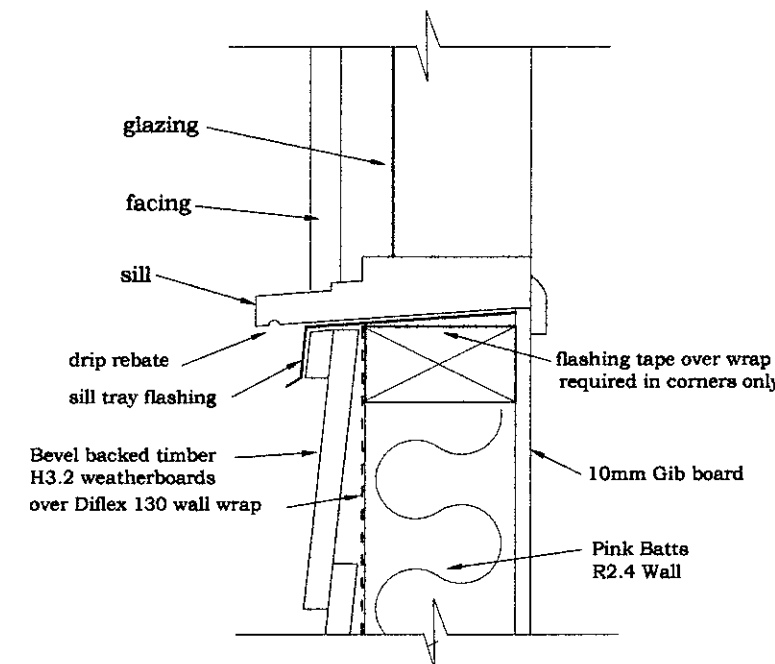
CLIENT'S NAME & ADDRESS
 SIMON & TRACY HAYWARD
 112, Opouteke Road, DARGAVILLE.
 PH: 09 439 5969

DRAWING TITLE
 INTERNAL GUTTER
 DATE 05/04/2011 SCALE 1:5

NO:
 D1



HEAD FLASHING 1:5

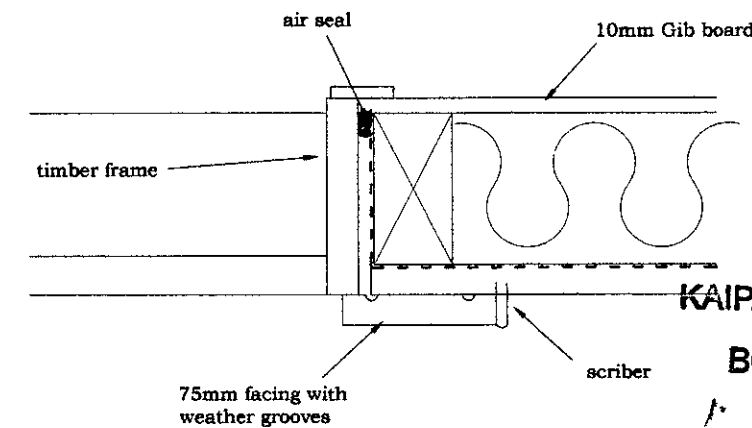


SILL FLASHING 1:5

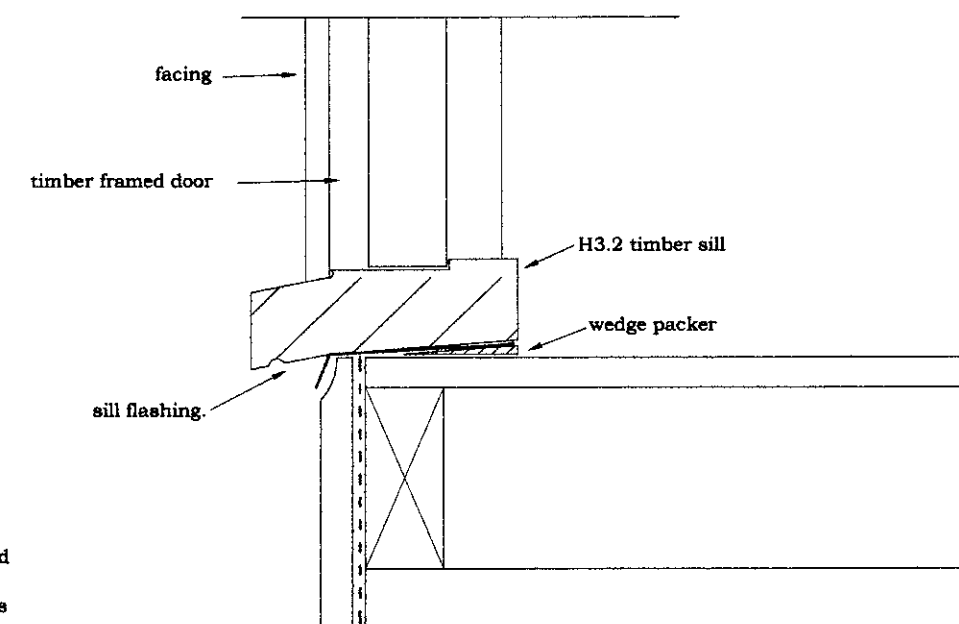
NOTE:
Overall dimensions are close approximates
exact dimensions are dictated by existing
house height, width & roof pitch

NOTES:
Exposure ZONE 1
All exposed fixing to be
Type 304 Stainless steel
Sheltered HDG

NOTES:
All timber framing spans calculated
to meet tables for MSG 8
H1.2 treatment for internal timbers
H3.1 for external timber (dry)
H3.2 for external timber (wet)
H5 for posts & piles
in a HIGH Wind Zone



JAMB 1: 10



DOOR SILL 1:10

TYPICAL TIMBER FRAMED JOINERY FLASHING DETAILS

KAIPARA DISTRICT COUNCIL
BC 10157
BUILDING INSPECTOR

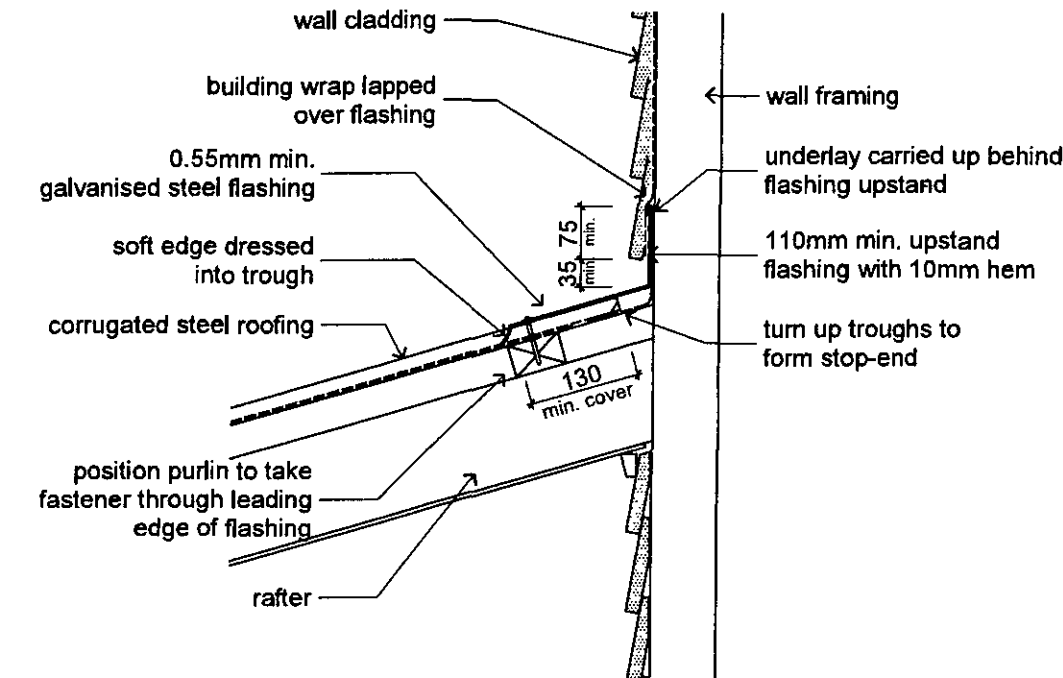
DRAWN BY:
Kimberley Spurgeon NDAT
153, Morrison Rd, RD4, Dargaville
PH: 09 439 7190
Email : forfared@yahoo.co.nz

JOB TITLE
PROPOSED EXTENSION

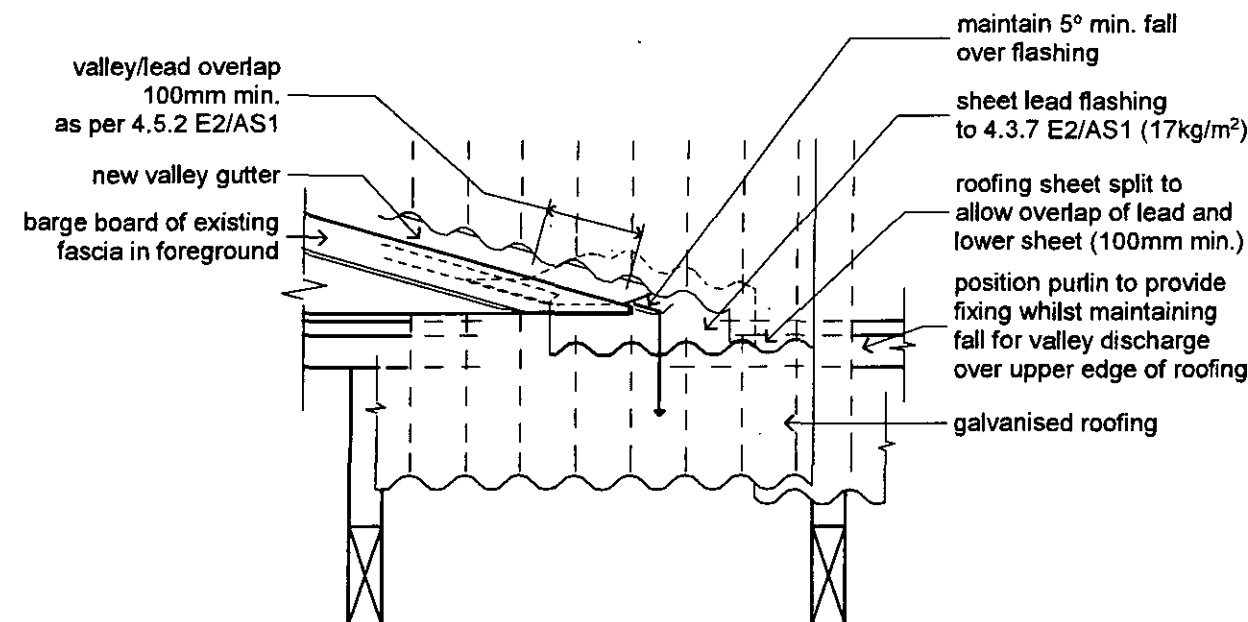
CLIENT'S NAME & ADDRESS
SIMON & TRACY HAYWARD
112, Opouteke Road, DARGAVILLE.
PH: 09 439 5969

DRAWING TITLE
FLASHINGS
DATE 05/04/2011 SCALE 1:5

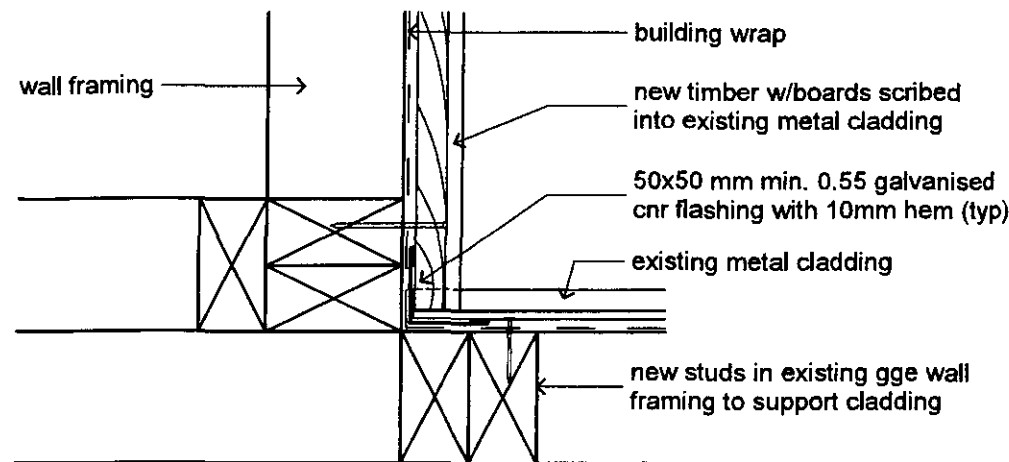
NO:
D2



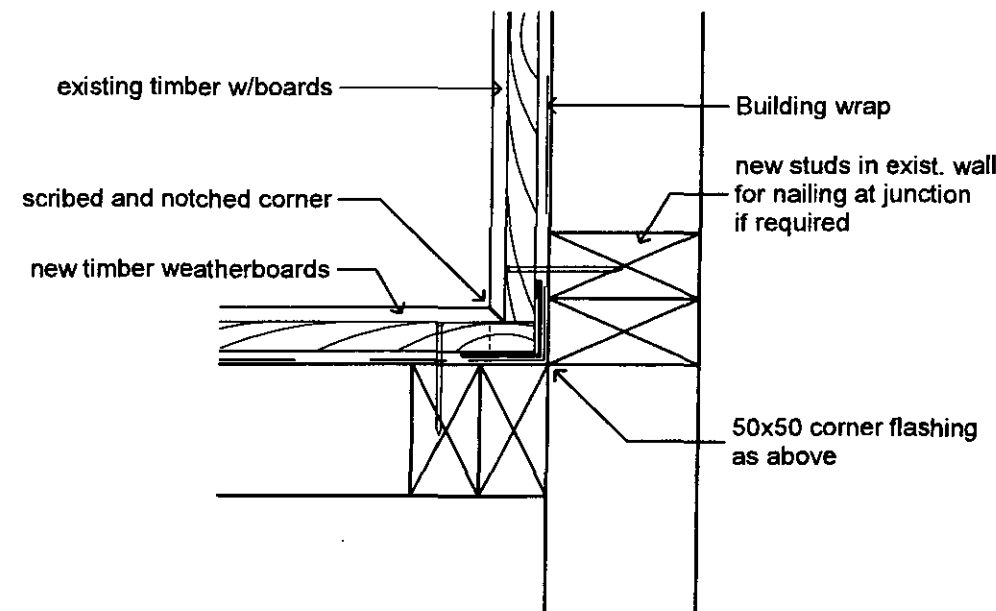
05 Apron Flashing 1:10



08 valley to roof flashing 1:10



06 Int. Corner Flashing (new timber to exist. metal cladding) 1:5



07 Int. Corner Flashing (new to exist. timber cladding) 1:5

- CONTRACTOR TO VERIFY DIMENSIONS ON SITE BEFORE COMMENCING WORK
- ALL BUILDING WORK TO COMPLY WITH NZS 3604:2011, THE NZ BUILDING CODE AND CURRENT BEST TRADE PRACTICE

NOTES:

KAIPARA DISTRICT COUNCIL

BC 110 57

BUILDING INSPECTOR

Consent

No	Description	Date
----	-------------	------

Revisions

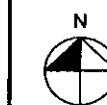
Pah Hill Design

421 Pah Hill Road, Wellsford 0973
Phone/fax: 09 423 8994
email: haywards.6@slingshot.co.nz

Job Title
Bedroom Addition

For
Simon and Tracy Hayward

At 112 Opouteke Road
Dargaville



Drawn	AJH
Checked	AJH
Creation Date	02/05/06
Plot Date	20/06/2011

Drawing Title

Suplimentary Details

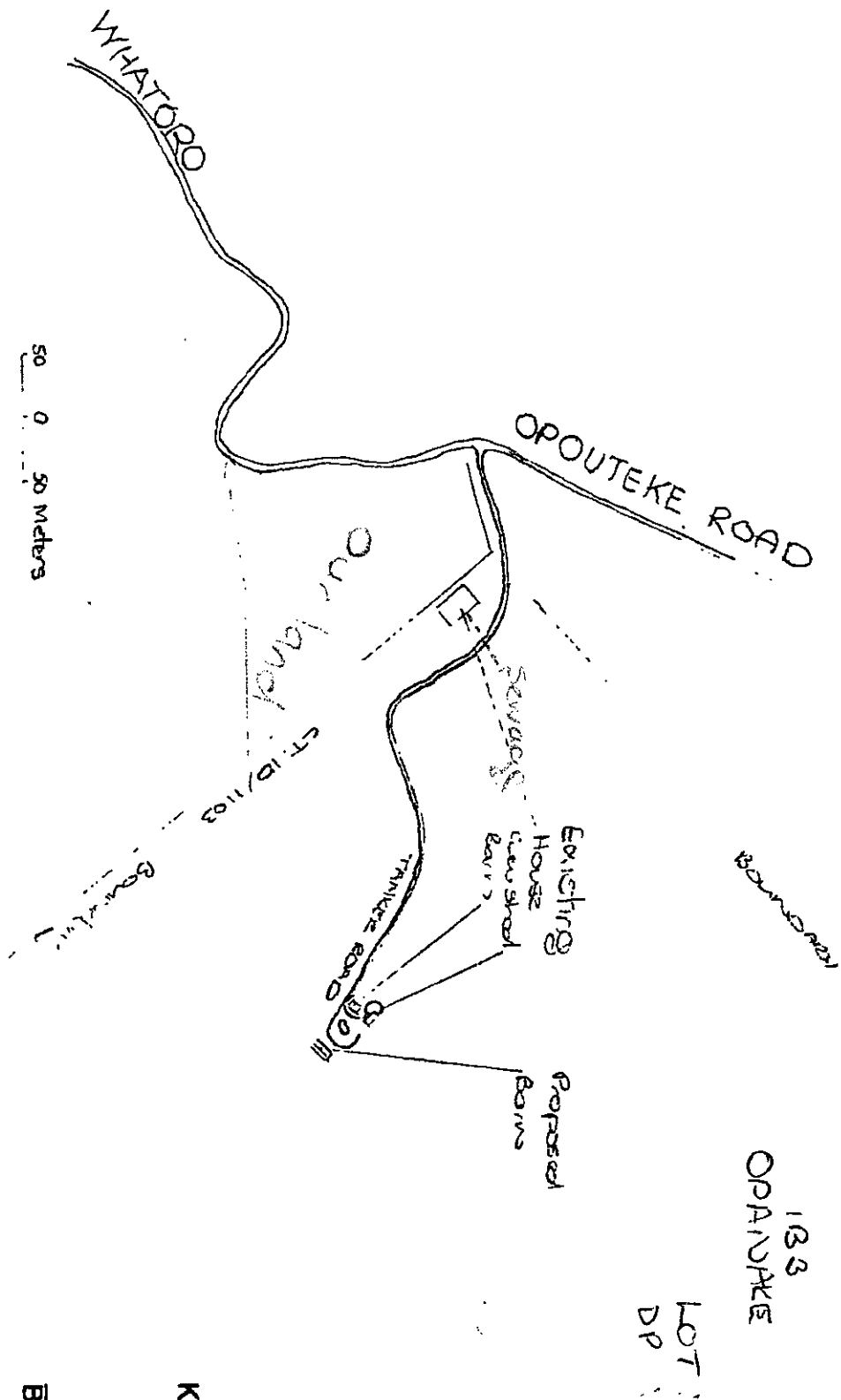
Drawing Number	Scale
D-02	1:10, 1:5

ALL DIMENSIONS TO BE VERIFIED ON SITE

Site Plan 112 Oputeke Rd
Hayward Barn.

Val # 01000 - 123006

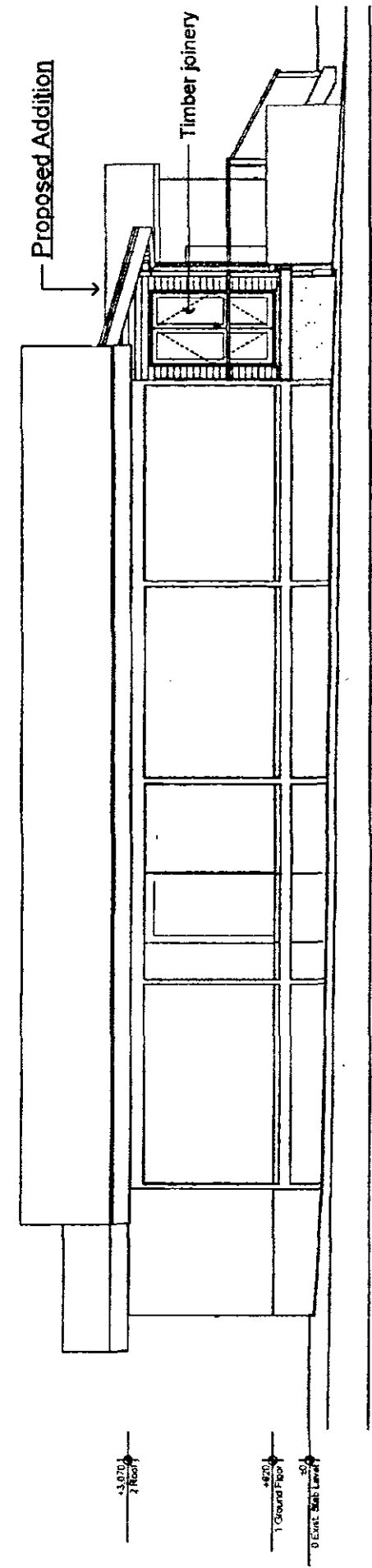
COUNCIL



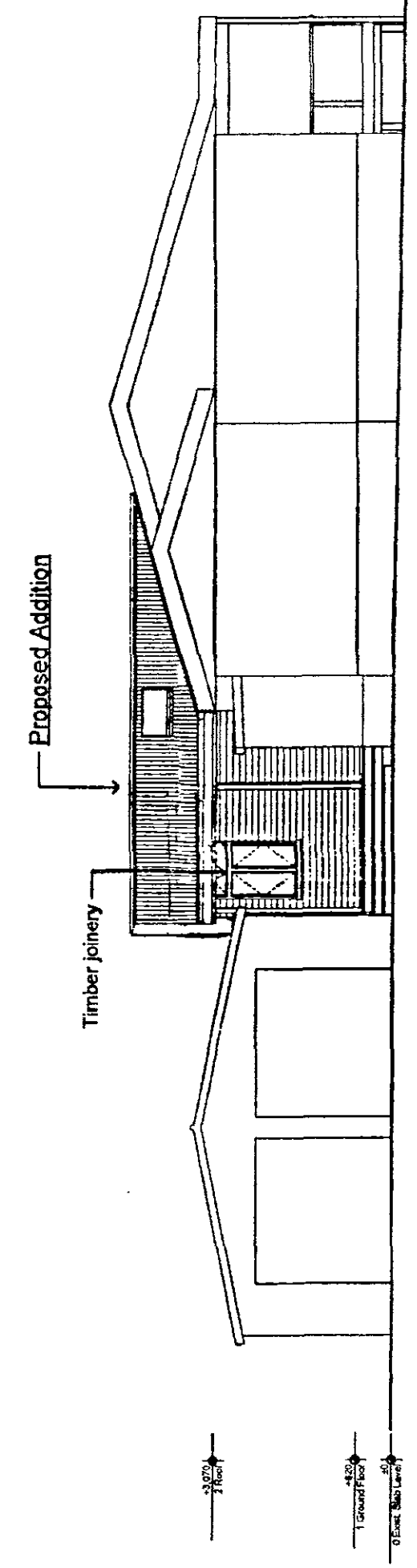
KAIPARA DISTRICT COUNCIL

BC 050410

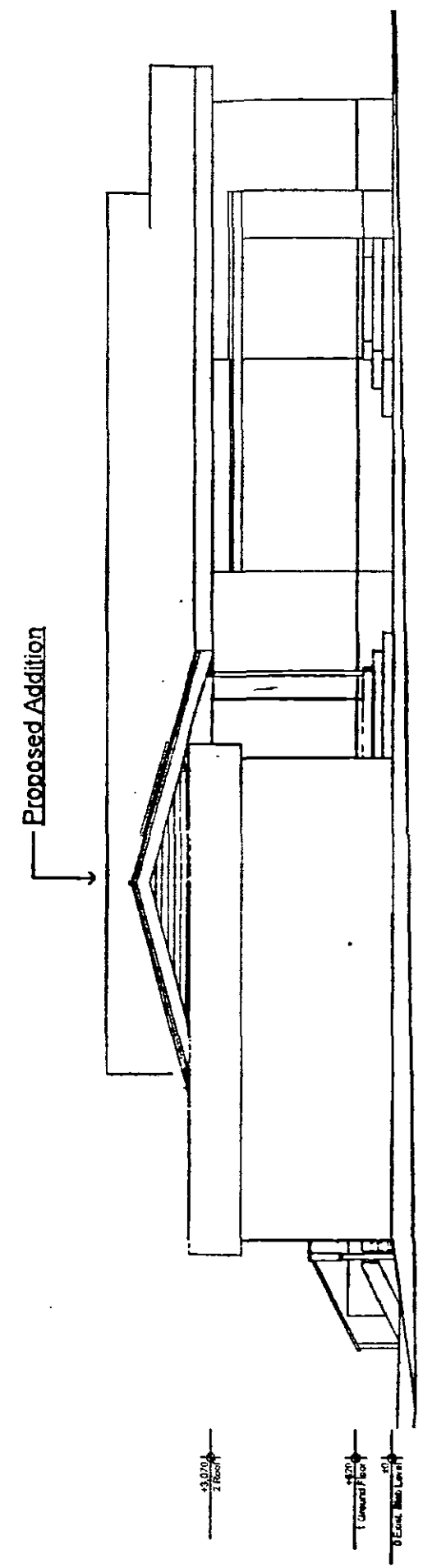
Building Inspector



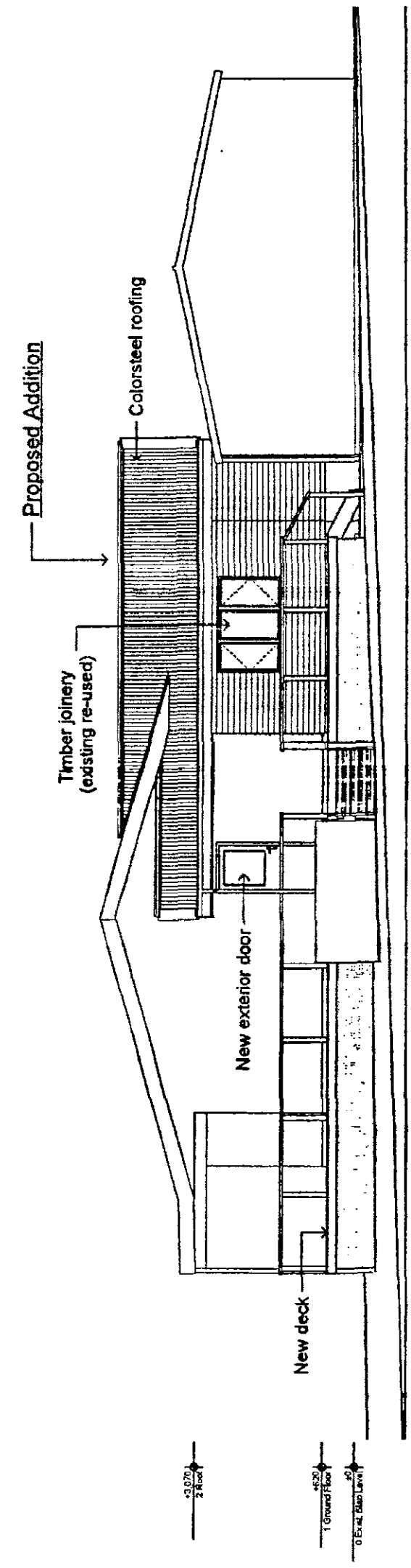
North Elevation



East Elevation



South Elevation



West Elevation

•CONTRACTOR TO VERIFY DIMENSIONS ON SITE BEFORE COMMENCING WORK
•ALL BUILDING WORK TO COMPLY WITH NZS3604-1999, THE NZ BUILDING CODE AND CURRENT BEST TRADE PRACTICE

NOTES

KAIPARA DISTRICT COUNCIL
BC 1101571

BUILDING INSPECTOR

Tender

No	Description	Date
Revisions		
Pah Hill Design		
421 Pah Hill Road, Wellsford 0973 Phone/fax: 09 423 8994 email: haywards.6@slingshot.co.nz		
Job Title Bedroom Addition For Simon and Tracy Hayward At 112 Opouteke Road Dargaville		
	Designed	AJH
	Drawn	AJH
	Series of	7
	Plot Date	18/10/2010
Drawing Title Elevations		
Drawing Number E-01		Scale (A2) 1:100

-CONTRACTOR TO VERIFY DIMENSIONS ON SITE BEFORE COMMENCING WORK
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NOTES

Tender

Kaipara District Council

BC 1157

BUILDING INSPECTOR

No	Description	Date

Revisions

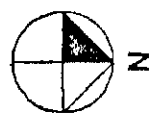
Pah Hill Design
421 Pah Hill Road, Wellsford 0973
Phone/fax: 09 423 8994
email: haywards.6@slingshot.co.nz

Job Title
Bedroom Addition

For
Simon and Tracy Hayward

At
112 Opoutake Road
Dargaville

Designed	ALH
Drawn	ALH
Series of	7
Plot Date	18/10/2010



Drawing Title

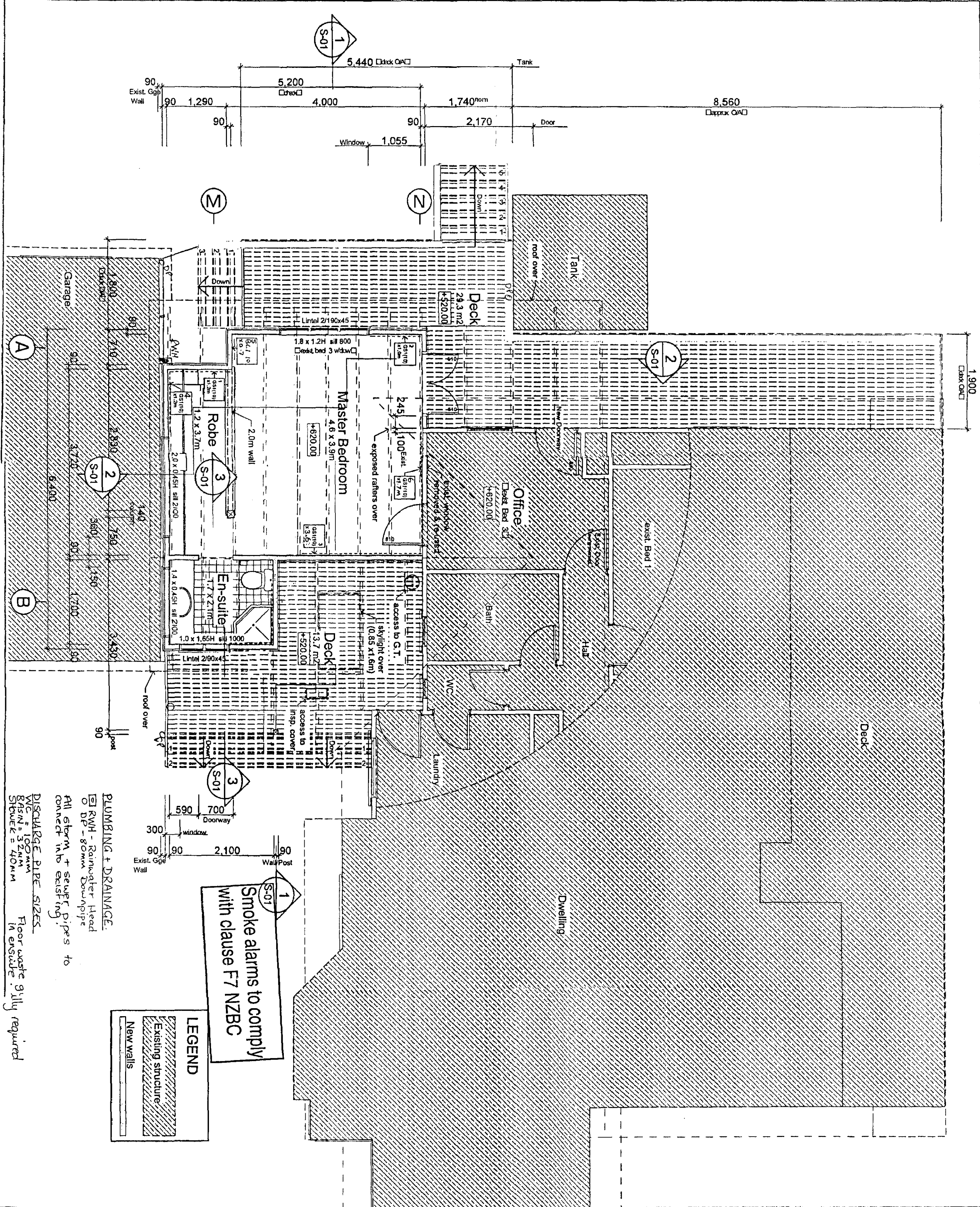
Ground Floor

Drawing Number

L-01

Scale (A2)

1:50

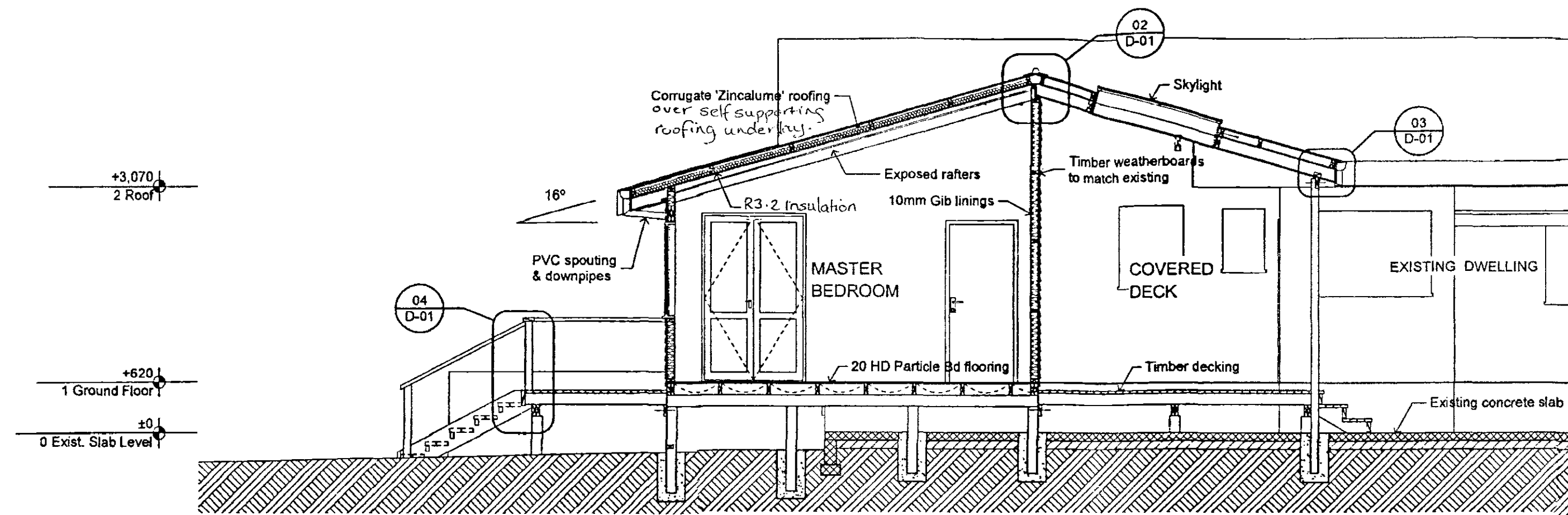


PLUMBING + DRAINAGE:
RWH - Rainwater Head
D/P - 80mm Downpipe
All storm + septic pipes to connect into existing.

DISCHARGE PIPE SIZES:
WC = 100mm
BASIN = 32mm
Shower = 40mm

Floor waste gully required in ensuite.

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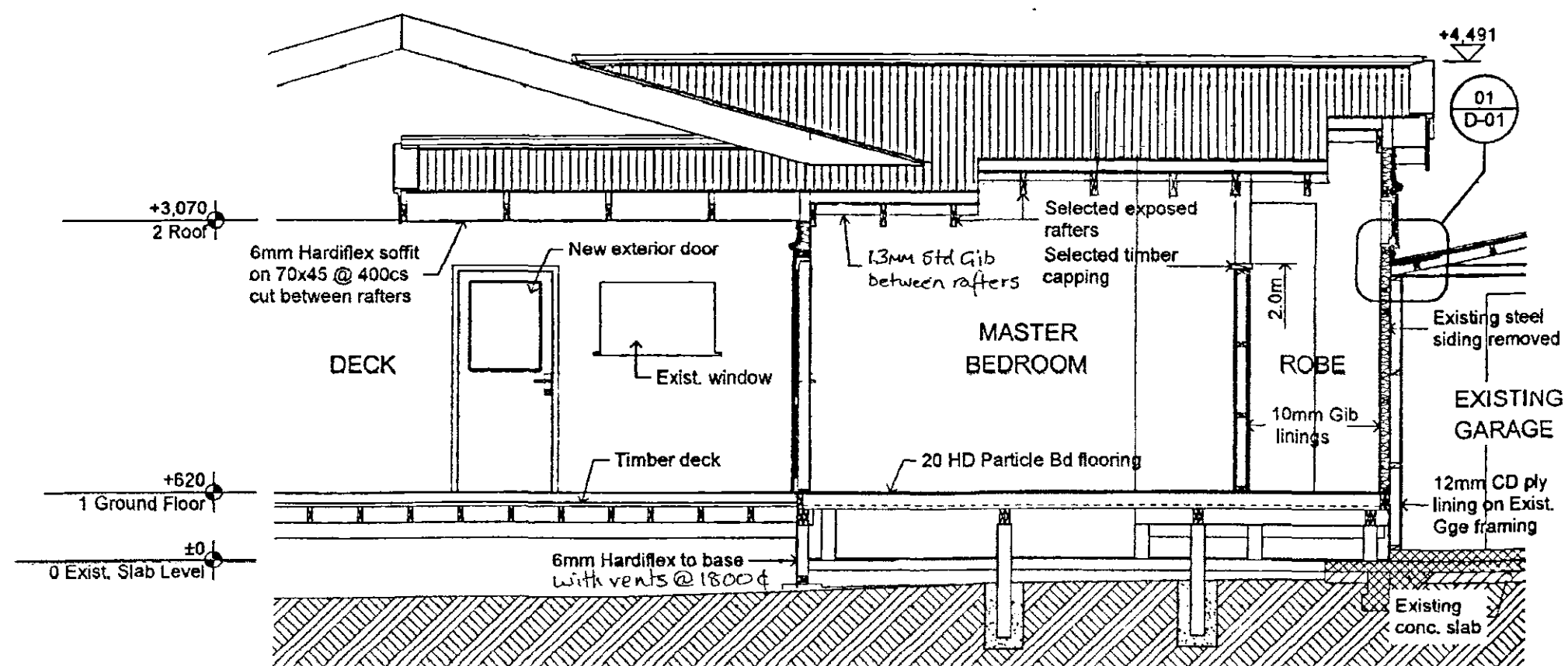


Section 1

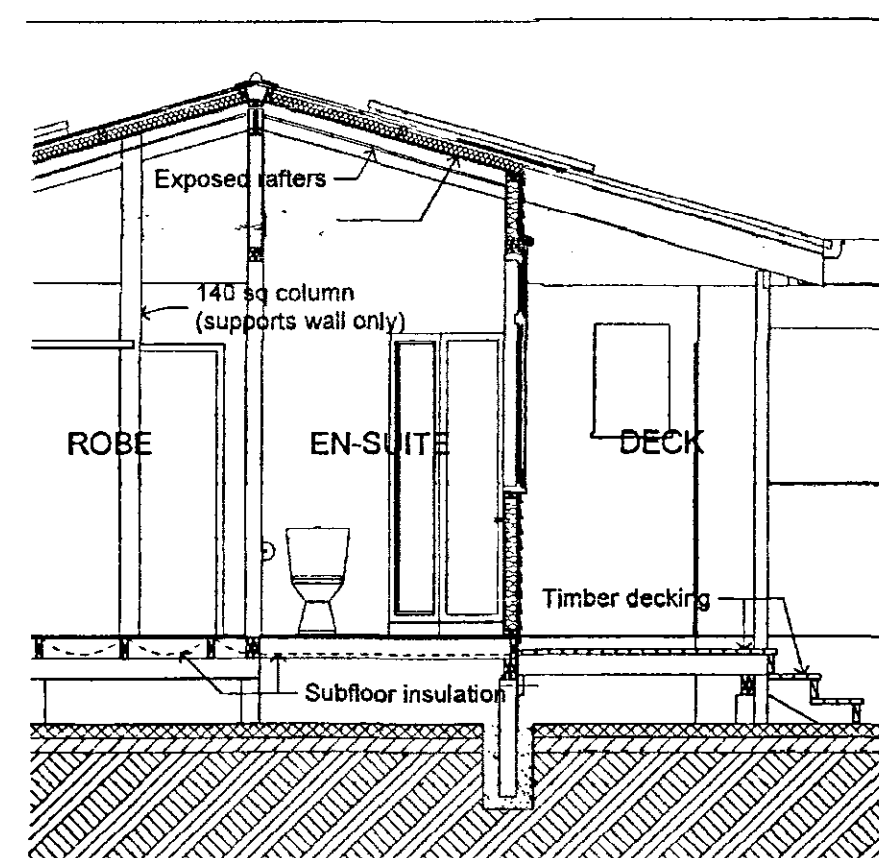
KAIPARA DISTRICT COUNCIL

BC 110 157

BUILDING INSPECTOR



Section 2



Section 3

•CONTRACTOR TO VERIFY DIMENSIONS ON SITE BEFORE COMMENCING WORK
•ALL BUILDING WORK TO COMPLY WITH NZS3604-1999, THE NZ BUILDING CODE AND CURRENT BEST TRADE PRACTICE

NOTES

Tender

No	Description	Date
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Revisions

Pah Hill Design

421 Pah Hill Road, Wellsford 0973
Phone/fax: 09 423 8994
email: haywards.6@slingshot.co.nz

Job Title
Bedroom Addition
For
Simon and Tracy Hayward

At
**112 Opouteke Road
Dargaville**



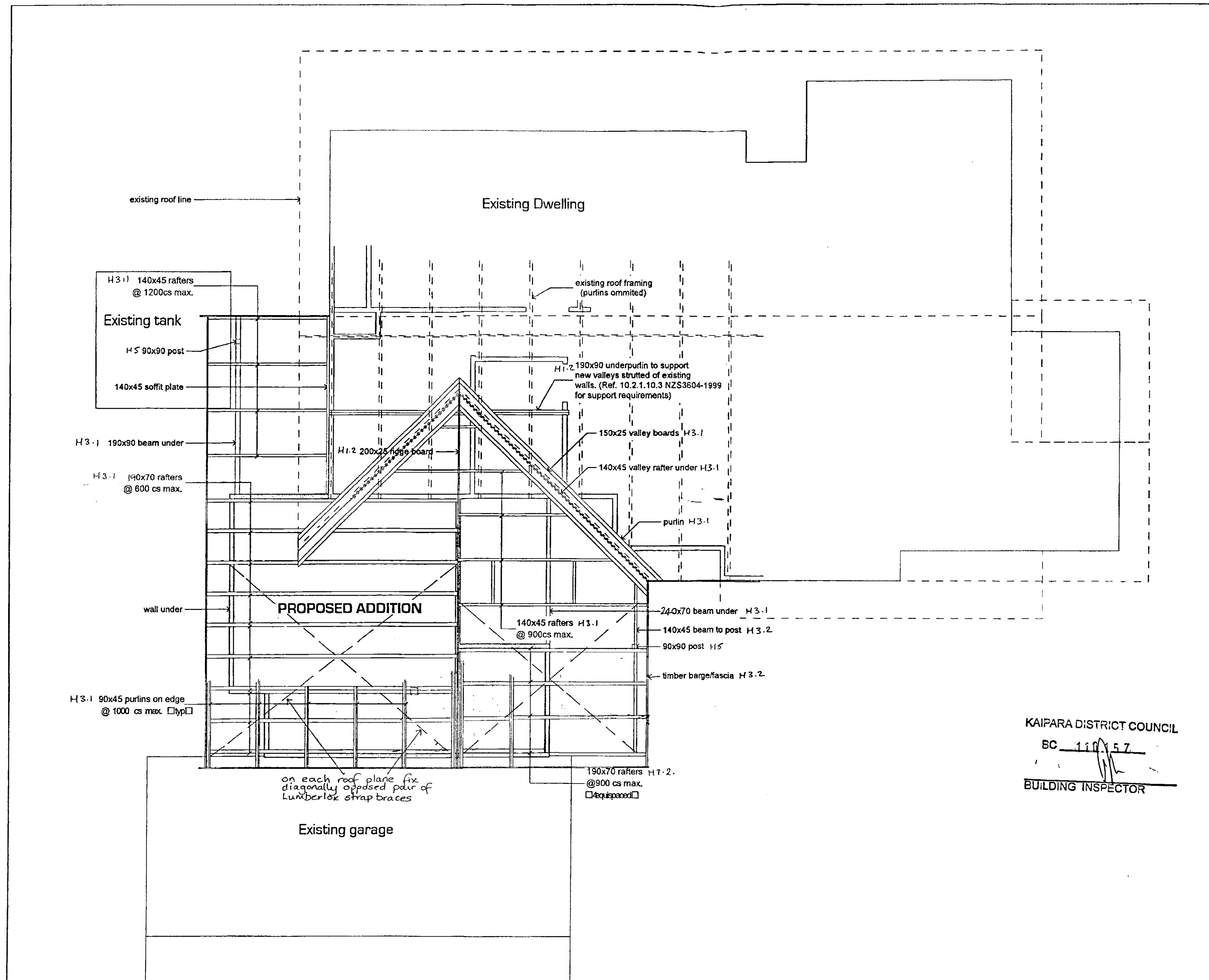
Designed	AJH
Drawn	AJH
Series of	7
Plot Date	18/10/2010

Drawing Title

Sections

Drawing Number	Scale (A2)
S-01	1:50

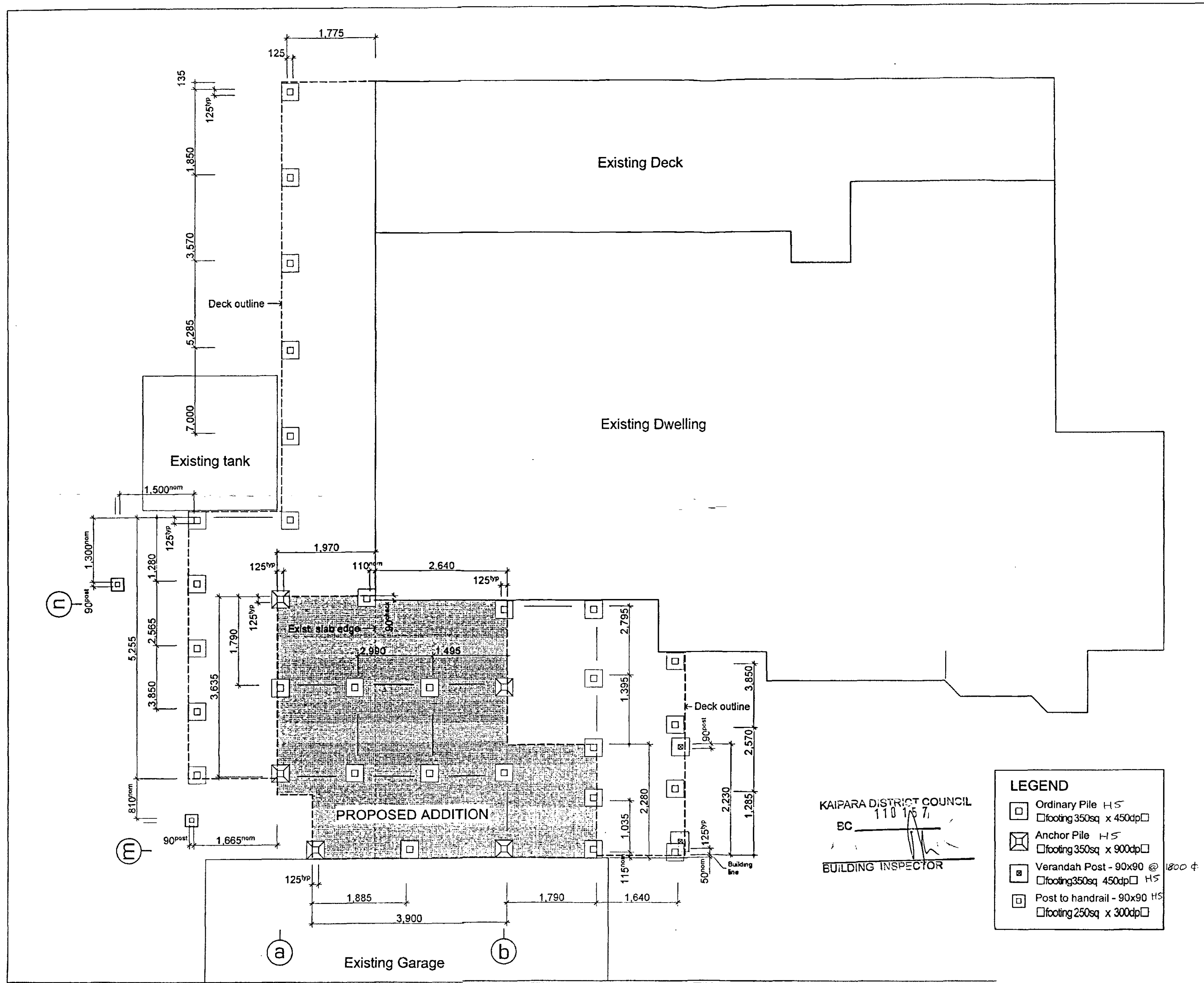
RECEIVED: 5 Jan 2016 SCANNED: 5 Jan 2016 BOX: 1 BATCH: 136262 DOC: KDCAXXJ



•CONTRACTOR TO VERIFY DIMENSIONS ON SITE BEFORE COMMENCING WORK •ALL BUILDING WORK TO COMPLY WITH NZS3604-1999, THE NZ BUILDING CODE AND CURRENT BEST TRADE PRACTICE		
NOTES		
Tender		
No	Description	Date
Revisions		
Pah Hill Design		
421 Pah Hill Road, Wellsford 0973 Phone/fax: 09 423 8994 email: haywards.6@slingshot.co.nz		
Job Title Bedroom Addition		
For Simon and Tracy Hayward		
At 112 Opouteke Road Dargaville		
	Designed	AJH
	Drawn	AJH
	Series of	7
	Plot Date	18/10/2010
Drawing Title Roof Framing Plan		
Drawing Number L-04		Scale (A2) 1:50

Tender

Drawing Number	Scale (A2)
L-03	1:50



- CONTRACTOR TO VERIFY DIMENSIONS ON SITE BEFORE COMMENCING WORK
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NOTES

No bracing required to decks
as per 7.4.2.1 NZS3604 1999

Tender

No	Description	Date
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Revisions

Pah Hill Design

421 Pah Hill Road, Wellsford 0973
Phone/fax: 09 423 8994
email: haywards.6@slingshot.co.nz

Job Title

Job Title
Bedroom Addition

For

Simon and Tracy Hayward

At **112 Opouteke Road**
Dargaville



Designed	AJ
Drawn	AJ
Series of	7
Plot Date	18/10/201

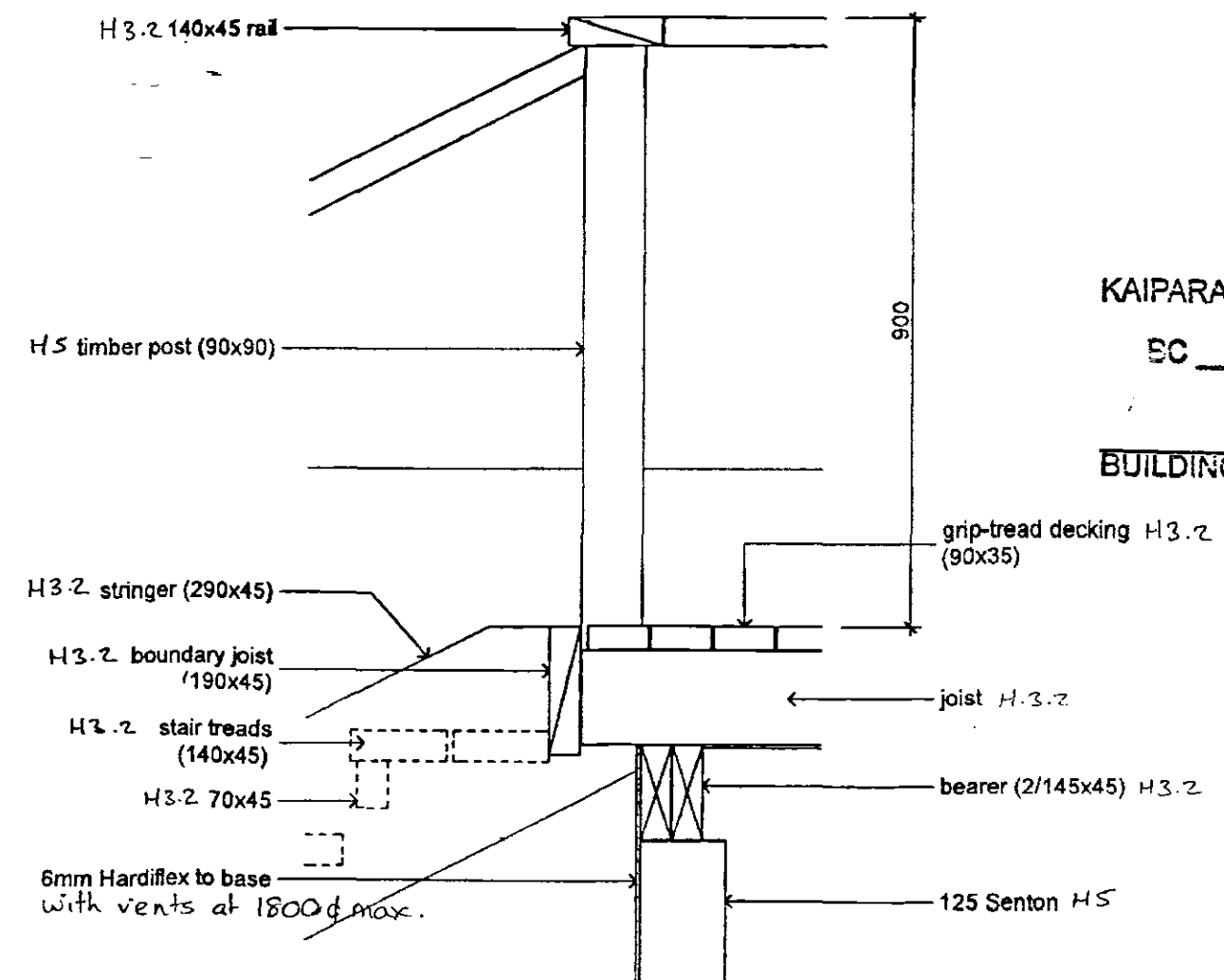
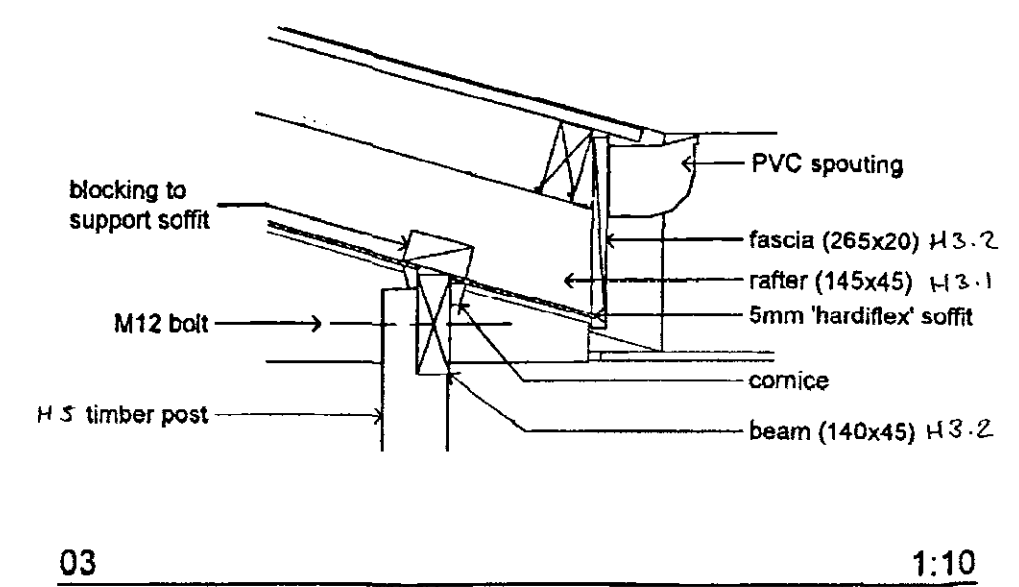
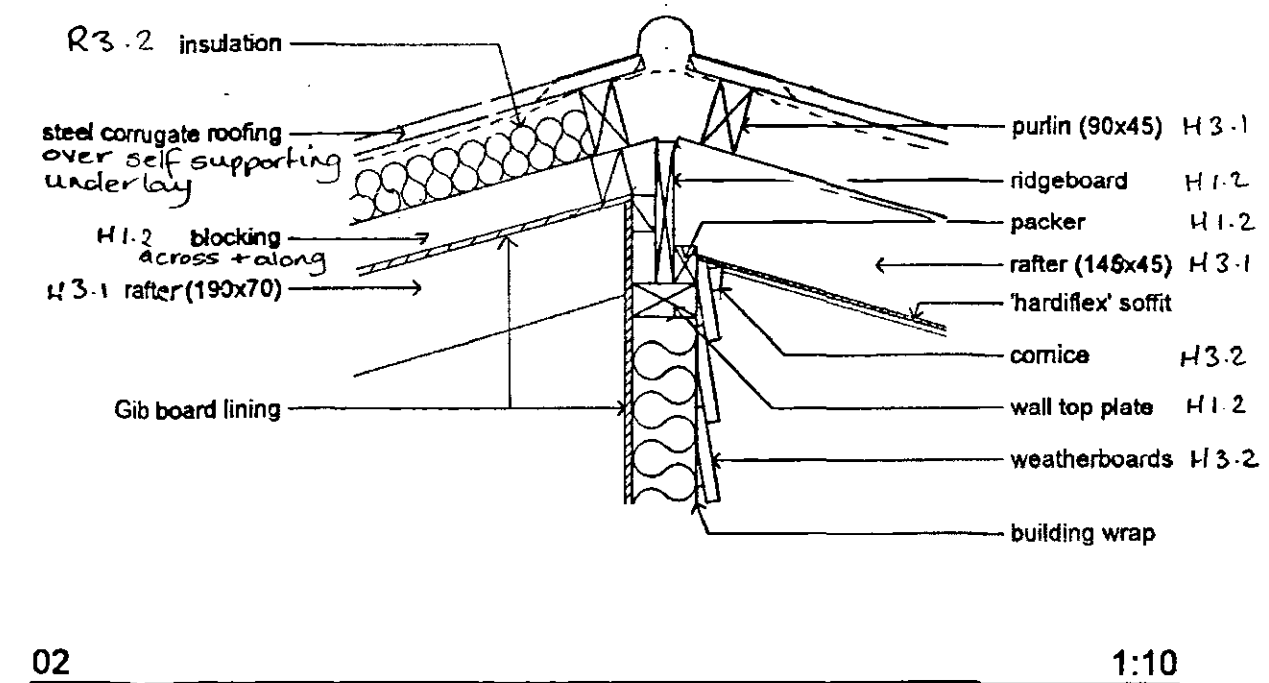
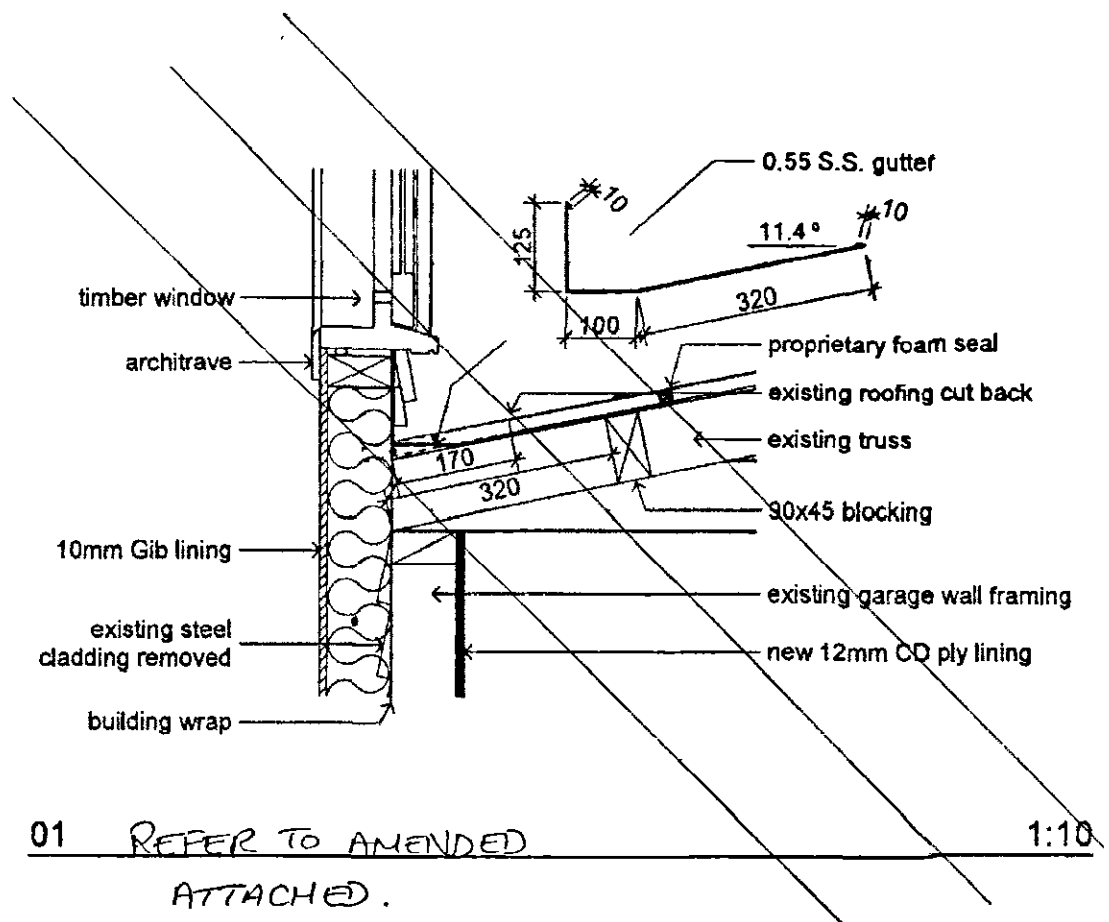
Drawing Title

Foundation Plan

Drawing Number
L-02

Scale (A2)	1:50
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04 1:10

CONTRACTOR TO VERIFY DIMENSIONS ON SITE BEFORE COMMENCING WORK
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Revisions		
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For Simon and Tracy Hayward		
At 112 Opouteke Road Dargaville		
	Designed	AJH
	Drawn	AJH
	Series of	7
	Plot Date	18/10/2010

Drawing Title	
Details	
Drawing Number	Scale (A2)
D-01	1:10

Tender