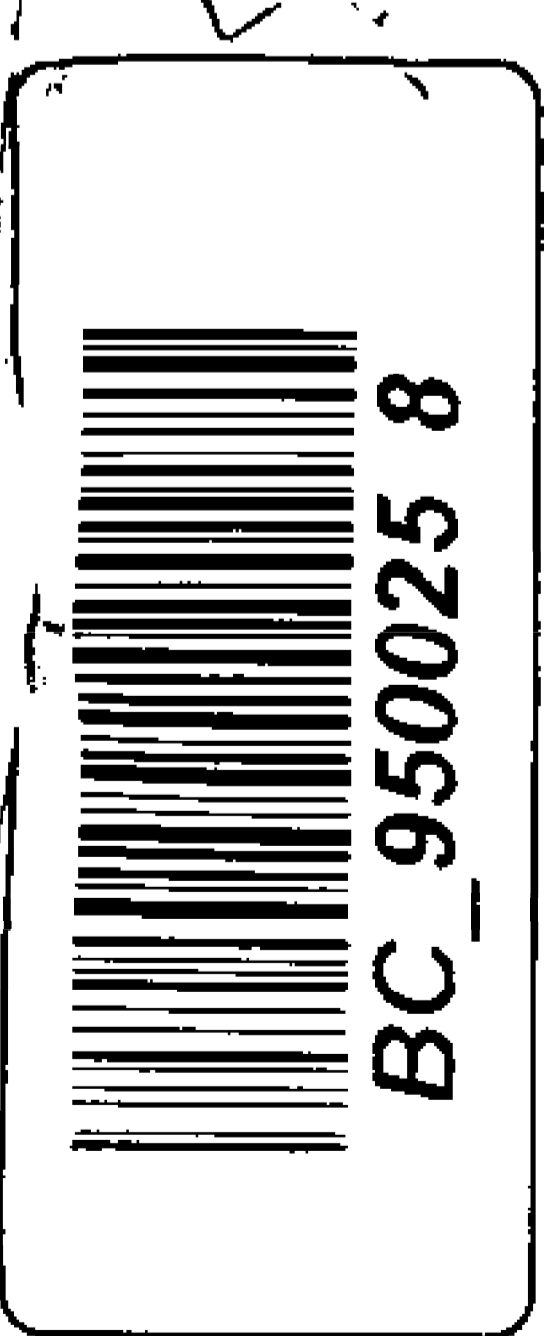


ms
2/93
ms

~~Mc & Supply~~

3RD FIVE



M.D. & F.L. GYNN

25/93

DARGAVILLE BOROUGH COUNCIL

P.O. Box 34,
Dargaville

(Office, Hokianga Road, Dargaville)

Phone 8225
Dargaville

APPLICATION FOR BUILDING PERMIT

TO THE BOROUGH ENGINEER,

Sir,

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan detailed 'plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:—

OWNER Name MCKAY NEIL CLIFFORD AND DIANE MARIE
Postal Address 38 MCKAY CRESCENT, DARGAVILLE Phone 7163.

BUILDER Name AS ABOVE
Postal Address _____ Phone _____

PLUMBER Name C.S. PLUMBERS LTD
Postal Address P.O. Box 51, DARGAVILLE Phone 7217

DRAINLAYER Name C.S. PLUMBERS LTD
Postal Address P.O. Box 51, DARGAVILLE Phone 7217

EXISTING USE OF SITE AND BUILDINGS NIL NEW SITE

NATURE OF PROPOSED BUILDING WORK NEW
e.g., additions to Dwelling, Bedroom, Lwnge extensions etc.

VALUATION DEPT. ASSESSMENT No.: (from rate demand) PT 95/58/1
OF SITE: (from rate demand or title deeds) _____

Road or Street: (H.I.) AVENUE, DARGAVILLE

AREA OF SITE: _____ Acres _____ Roods _____ Perches
square metres

NATURE OF SOIL: (rock, clay, sand, loam, etc.) _____

FLOOR AREA: (proposed work—square metres)

	Basement	Ground Floor	Other Floors	Total
Main Building	<u>193m²</u> <u>0 180</u>	<u>193m²</u> <u>0 180</u>		<u>386m²</u>
Accessory Buildings				<u>47000.00</u>

ESTIMATED VALUE OF WORK:

Main Buildings (excluding plumbing and drainage)			
Accessory Buildings (excluding plumbing and drainage)			<u>\$ 55000.00</u>
Plumbing and Drainage		<u>\$ 926.00</u>	<u>\$ 55926.00</u>
Total of Work			<u>\$ 52500.00</u>

CERTIFICATE: I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Dargaville Borough Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant: Neil McKay

Date: 27/2/78

FOR OFFICE USE ONLY

TO ADMINISTRATIVE OFFICER Date Received

Check List: **Forms** completed () Valuation **No.** () **Fees** received ()

Remarks:

Signature: Date:

TO PLANNING OFFICER: (Check with District Planning Scheme. Refer to Council *if* required)

Approved by Council Minute **No.** Date: :.....

Checked and approved by Officer Signature: Date:

TO HEALTH INSPECTOR: (Check for drainage, health, etc.)

Checked and approved Signature: Date:

TO BUILDING INSPECTOR: (Check for by-laws, etc.)

Checked and approved Signature: Date:

TO FIRE INSPECTOR: (Check for by-laws, etc.)

Remarks:

.....

.....

.....

Checked and approved Signature: Date:

TO STRUCTURAL ENGINEER. (Check design calcs, etc.)

Remarks:

.....

.....

Checked and approved Signature: Date:

REMARKS:

.....

.....

.....

PERMIT TO BE ISSUED SUBJECT TO:

.....

.....

.....

GENERAL INFORMATION

(1) The following MUST accompany this Application:

PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATE (in ink or on print paper) including—

- (a) Ground plans of proposed work showing position of all sanitary fittings and names and sizes of various rooms.
- (b) Where the building is on a sloping site the correct height of foundations must be shown.
- (c) Front and side elevations.
- (d) Cross-section showing framing with bracing.
- (e) Where a building requires Plumbing and Drainage work a separate Application Form must be filled in and fee paid before a Building Permit can be issued.
- (f) Such drawings and information in detail as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the By-laws.
- (g) A report and calculations showing how the design complies with the By-laws in the case of buildings requiring specific designs.
- (h) Applications for (in so far applicable):
 - (1) Drainage and plumbing
 - (2) Sewer connections
 - (3) Water supply connection
 - (4) Crossing
 - (5) Footpath damage deposit
 - (6) Hoarding licence
 - (7) Vehicular crossing
 - (8) Stormwater connection
- (i) In duplicate a location drawing showing the site (all four boundaries) the buildings already on the site and the new proposed building shown in black. The measurements from the proposed building to all buildings on the site and the boundary lines should be given.

(2) FEES may be forwarded later on advice of availability of permit and the amount of fees required.

FOR OFFICE USE ONLY

FEES (where applicable)		Receipt No.	Date	Permit No.
Building Permit	\$ 48.00	49576	22.3.18	
Building Research Levy	\$ 26.50			
Plumbing and Drainage Permit	\$ 57.00			
Footpath Damage Deposit	\$ 20.00			
Sewer Connection	\$ 12.00			
Water Connection	\$ 50.00			
Stormwater Inspection	\$ 2.00			
Hoarding Licence	\$ 197			
Vehicular Crossing	\$ 200.00			
Off-Street Parking				
Spaces				
Contribution	\$:			

Deposit only

TOTAL FEES \$ 462.50

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to the value, the Borough Engineer shall have the absolute determination of the value of the proposed work or building.

BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK. (Value to exclude value of Plumbing and Drainage work).

ESTIMATED VALUE OF WORK

Not exceeding \$20					50
Over	\$20	and not	exceeding	\$200	\$1.00
"	\$200	"	"	\$400	\$2.00
"	\$400	"	"	\$600	\$3.00
"	\$600	"	"	\$800	\$4.00
"	\$800	"	"	\$1000	\$5.00
"	\$1000	"	"	\$1200	\$6.00
"	\$1200	"	"	\$1400	\$7.00
"	\$1400	"	"	\$1600	\$8.00
"	\$1600	"	"	\$1800	\$9.00
"	\$1800	"	"	\$2000	\$10.00
"	\$2000	"	"	\$2500	\$12.00
"	\$2500	"	"	\$3000	\$14.00
"	\$3000	"	"	\$3500	\$16.00
"	\$3500	"	"	\$4000	\$18.00
"	\$4000	"	"	\$5000	\$21.00
"	\$5000	"	"	\$6000	\$24.00
"	\$6000	"	"	\$7000	\$27.00
"	\$7000	"	"	\$8000	\$30.00
"	\$8000	"	"	\$9000	\$33.00
"	\$9000	"	"	\$10,000	\$36.00
"	\$10,000	"	"	\$12,000	\$40.00
"	\$12,000	"	"	\$14,000	\$44.00
"	\$14,000	"	"	\$16,000	\$48.00
"	\$16,000	"	"	\$18,000	\$52.00
"	\$18,000	"	"	\$20,000	\$56.00
"	\$20,000	"	"	\$25,000	\$64.00
"	\$25,000	"	"	\$30,000	\$72.00
"	\$30,000	"	"	\$35,000	\$80.00
"	\$35,000	"	"	\$40,000	\$88.00
"	\$40,000	"	"	\$50,000	\$98.00
"	\$50,000	"	"	\$60,000	\$108.00
"	\$60,000	"	"	\$70,000	\$118.00
"	\$70,000	"	"	\$80,000	\$128.00
"	\$80,000	"	"	\$90,000	\$138.00
"	\$90,000	"	"	\$100,000	\$148.00
"	\$100,000	"	"	\$120,000	\$158.00
"	\$120,000	"	"	\$140,000	\$168.00
"	\$140,000	"	"	\$160,000	\$178.00
"	\$160,000	"	"	\$180,000	\$188.00

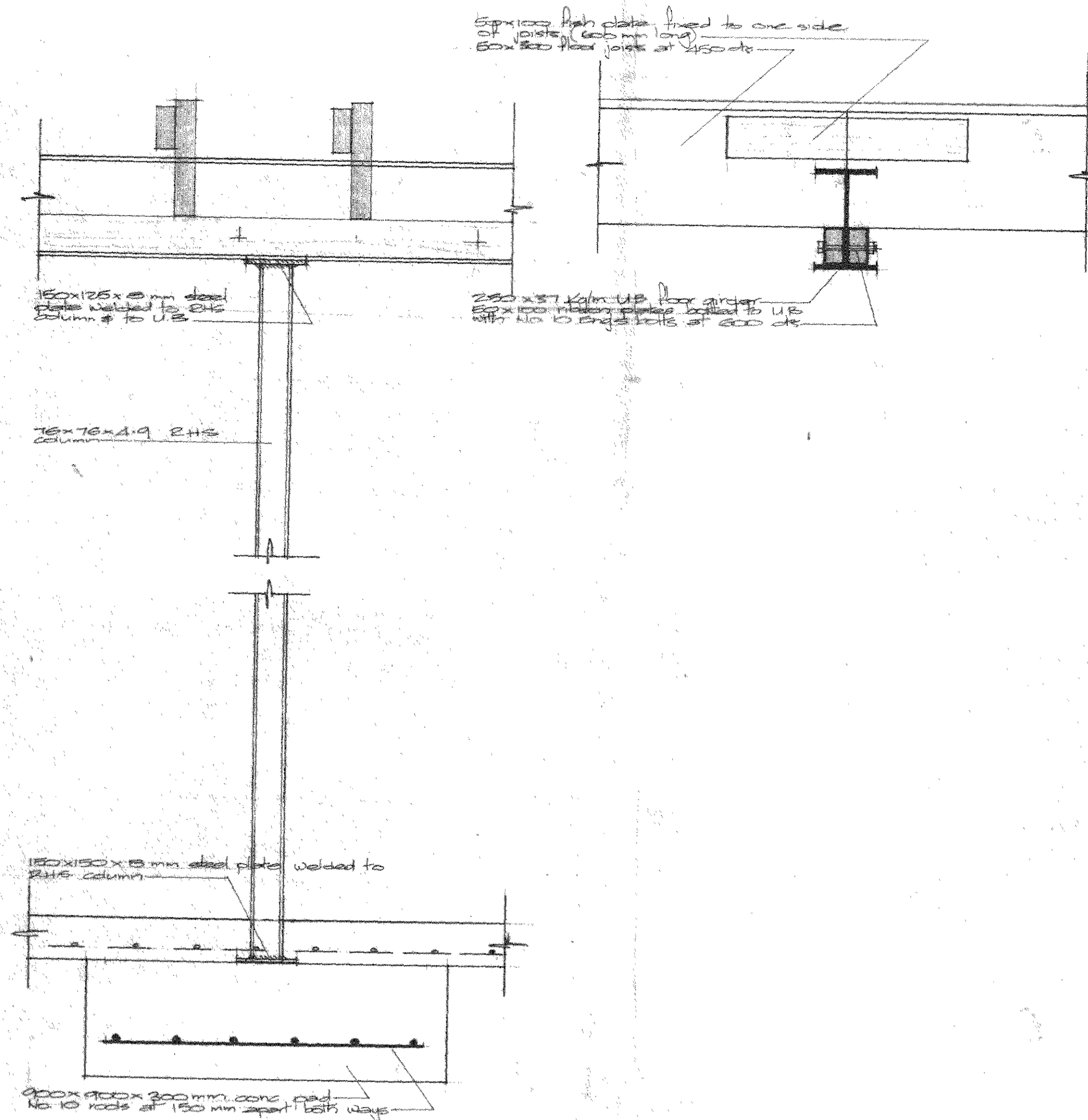
BUILDING RESEARCH LEVY FEE

In addition to the above fees there will also be payable a Building Research Levy in accordance with the Building Research Levy Act, 1969, which is set at 50c in each \$1000 or part thereof of the value of each Building Permit issued. Permits for work of a value less than \$3000 are exempted.

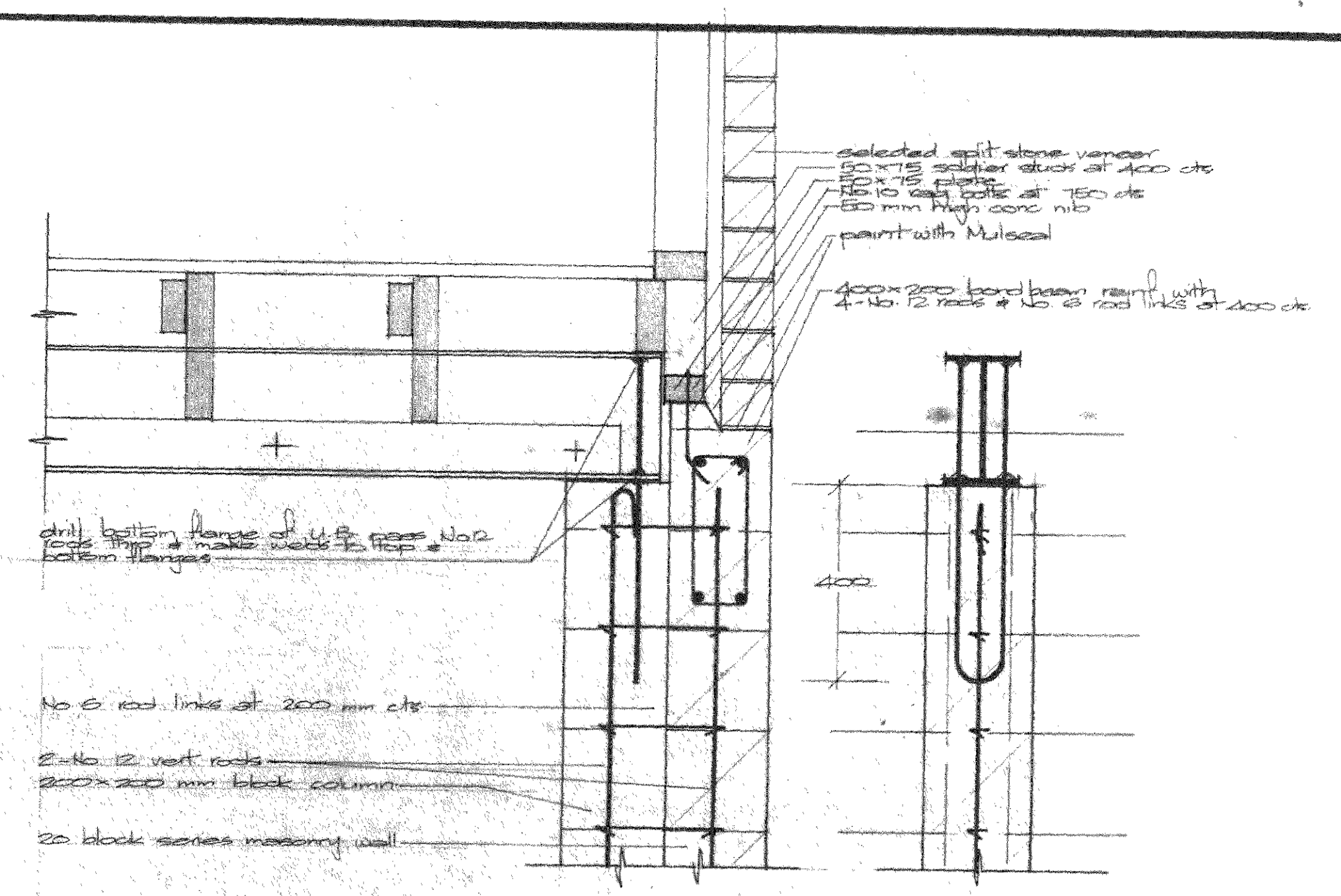
PLUMBING AND DRAINAGE PERMIT FEES

Up to \$50	\$1.00
\$51-\$100	\$2.00
\$101-\$200	\$3.00
\$201-\$400	\$5.00

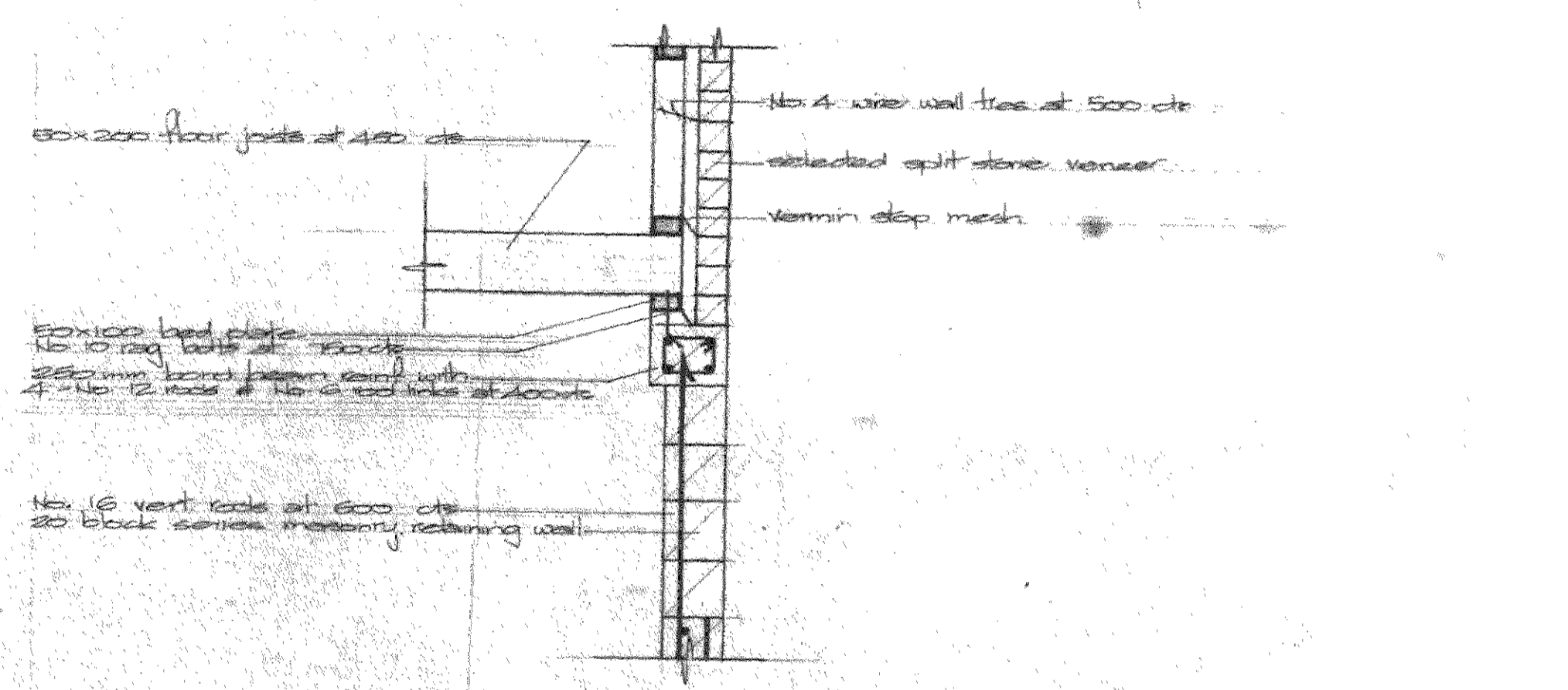
Plus \$2.00 for every \$200 or part hereof in excess of the first \$400.



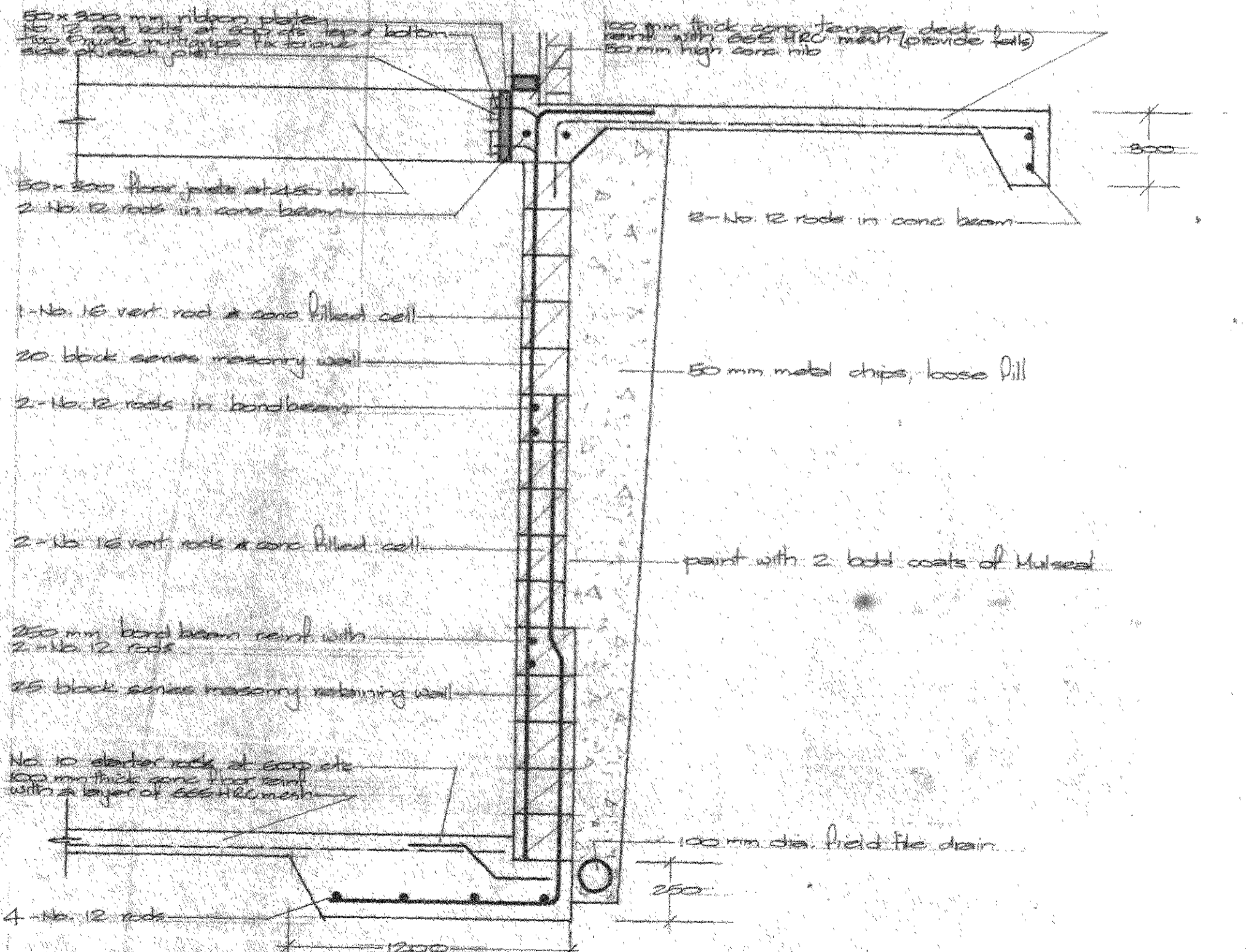
DETAIL_4



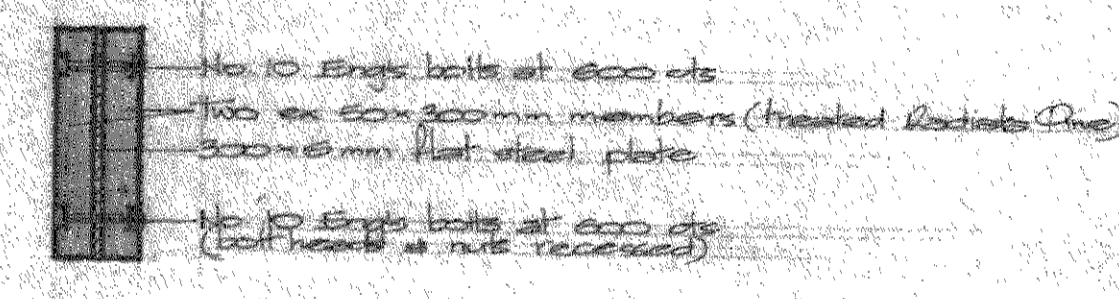
DETAIL_5



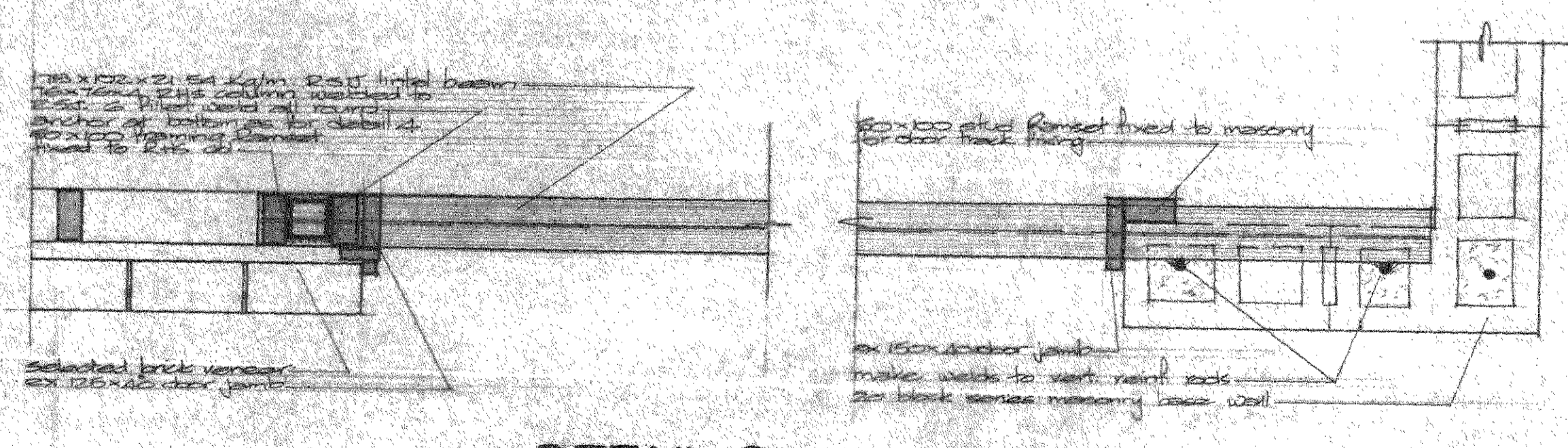
DETAIL_6



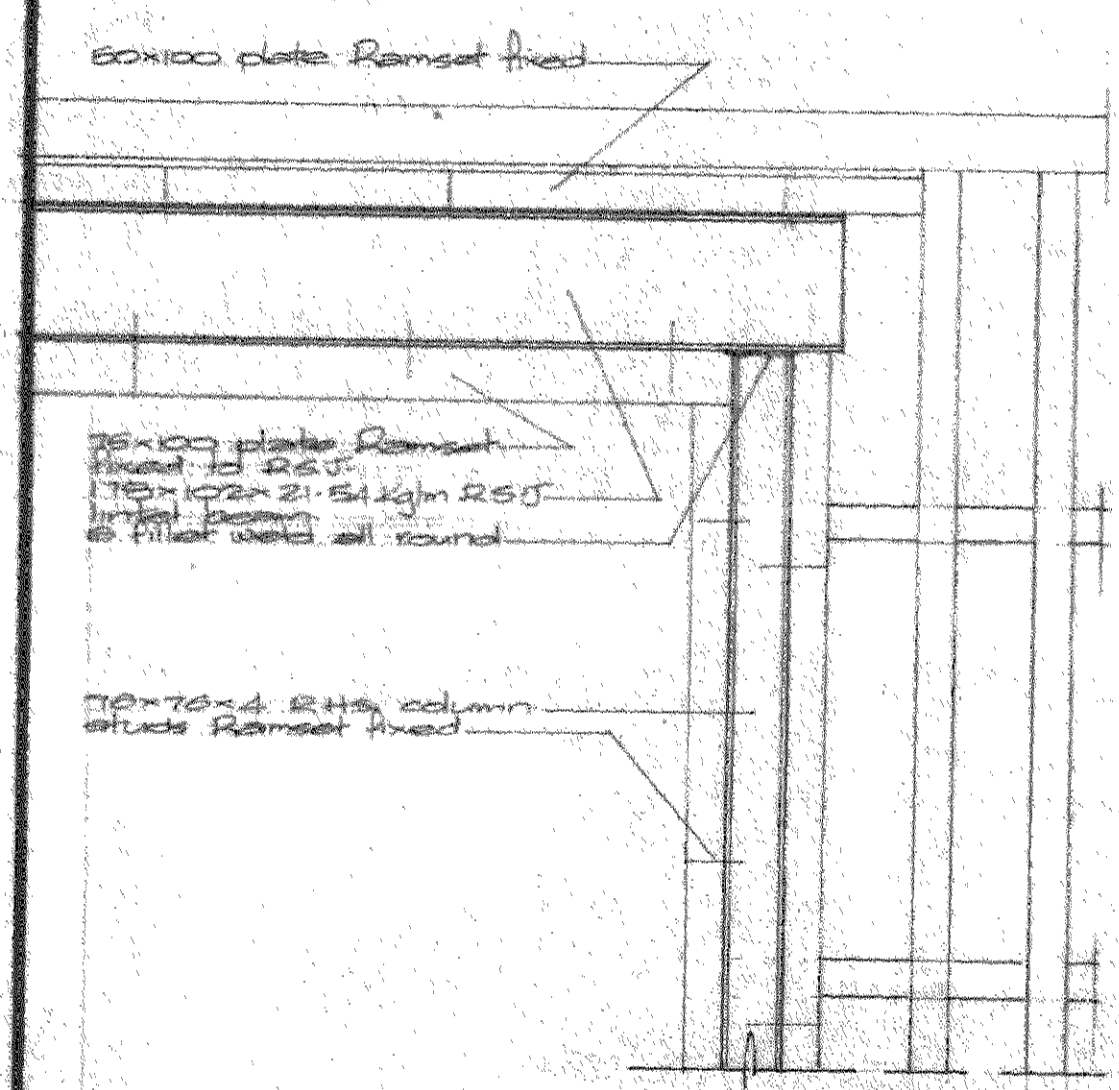
DETAIL_10



DETAIL_7



DETAIL_9



DETAIL_8

SCALE 1:20 1:10

PLAN NO. 869/77

PROPOSED NEW RESIDENCE FOR _____ N.C. & D.M. MCKAY
THIRD AVE. _____ DARGAVILLE _____

SHEET_2/2

IVAN EDMONDSON A.M.N.Z.I.D. M.N.Z.I.D.
DESIGN & PLAN SERVICE
DARGAVILLE PHONE 7513

PARGAVILLE

BOROUGH

COUNCIL

APPLICATION FOR PERMIT FOR DRAINAGE AND/OR PLUMBING WORK

The Town Clerk,

Dargaville Borough Council,
Private Bag,
DARGAVILLE.

I, the undersigned NEIL CLIFFORD MURRAY hereby apply for permission to have the work described herein and set out in the plan attached hereto, carried out in the premises situated at T.H.I. ANE DARGAVILLE and situated on land legally described as Assessment No.....

Name & Address of person for whom) NEIL CLIFFORD & DIANE MARIE MURRAY

work is to be carried out.) MURRAY

Name of Plumber C.S. MURRAY (Undertaking such work)

Name of Regd. Drainlayer C.S. PLUMBERS (Undertaking such work)

Description of Work (Sanitary Plumbing and Drainage, but excluding roofing)

State type of premises HOUSE (e.g. house, beach cottage, shop, factory etc.)

State extent of work COMPLETE D.P AS PER PLAN AND SPECIFICATION DEPOSITED

(e.g. Urinal, W.C., septic tank, bath, shower, washtub, water reticulation, Hot water reticulation, stormwater drainage or sanitary drainage - and whether New, additional, renewal or repair.)

Estimated Value of Work:-

Drainage \$ _____

Plumbing \$ _____

\$ 5,500.00 Total

(These amounts should be the real value of the work as opposed to the possible cost of work or material.)

Dated 2/3 1978

Signature Neil Murray

OFFICE USE ONLY

Received \$ _____

Approved for permit _____

Receipt No. _____

Permit No. 1036

Date _____ 19 ____

Issued _____

Scale of permit fees payable:

<u>Estimated Value of Work:-</u>	<u>Fees Payable</u>
Not exceeding \$50	\$1.00
Exceeding \$ 50 but not exceeding \$100	\$2.00
Exceeding \$100 but not exceeding \$200	\$3.00
Exceeding \$200 but not exceeding \$400	\$5.00

Plus \$2.00 for every \$200 or part thereof in excess of the first \$4.00

Plan:-

A suitable small plan should be provided here indicating position, and length of the walls of the building, the position of sanitary fittings, the proposed position of drainage and septic tank, distances from boundaries and the position and dimensions to nearest sewer.

NOTE:

No application will be entertained unless:-

1. (a) Work to be carried out by a registered plumber or drain layer,
 (b) A plan of the proposed work is drawn on this sheet; or attached hereto.
 (c) "As built" plans of the completed work must be submitted before a certificate of completion will be issued. Blank block drainage plan sheets for this purpose are obtainable at the office of the Dargaville Borough Council.
2. Permit fees are payable on sanitary plumbing and drainage, but not on roofing.

ORIGINAL

BUILDING PERMIT

Refer to cover for general instructions regarding completion of this form.

"12882%

1. LOCATION AND OWNERSHIP

Local Authority: DARGAVILLE BOROUGH Date: 31/3/78

Number on Valuation Roll: PT 95/58/1 Receipt No. 49576

Lot: _____ D.P.: _____ Section: _____ Block: _____

Site of Building: S.D. _____

Street: 3RD AVE

Township or Rural District: DARGAVILLE

Riding: _____

OFFICE USE ONLY

Received from N MCKAY

Authorised Officer

for Building Permit Fee, etc. - - - \$ 98-00

[Signature] A.P.

Building Research Levy - - - \$ 28-50

21 3 1978

the sum of (Total) - - - \$ 126-50

Owner - Name M C & D M MCKAY

Full Address 28 MCKAY CRESC DGV.

Builder - Name: _____

Full Address: OWNERS & OTHERS

New building including separate buildings added to existing complex

Repairs, alterations or extensions to an existing building

Conversion

Demolition

3. VALUE AND AREA OF BUILDING

Est. value of building work \$ 47000.00

Est. value of plumbing and drainage if not included in permit \$ 5500.00

If valued at more than \$20,000 state:

Est. commencement date APRIL Mth. 1978

Est. completion date OCT Mth. 1978

Building registration No. _____

Total floor area (sq ft)

193 + 193

Sq metres 86.42

4. DESCRIPTION OF BUILDING OR STRUCTURE AND MAIN PURPOSE FOR WHICH IT WILL BE USED:

OWNER FAMILY

Permission is hereby granted you to carry out the works as proposed in accordance with the drawings and other documents submitted; such work to be subject at any time during progress to inspection, and to be carried out in strict conformity with the requirements of the council bylaws, and subject to the builder taking full responsibility for any damage done to any works such as telephone cables, power cables, water mains, sewers, pipes, footpaths, roads, or other services.

Stats. — B.C./MP/01

Issuing Officer. 311 317

DARGAVILLE BOROUGH COUNCIL

NOTICE OF COMPLETION OF DRAINAGE WORK

Permit No 636

To the Borough Engineer,
Dargaville Borough Council,
DARGAVILLE.

I HEREBY give notice that I have completed at premises situated
at Street, owned
by Mr the drainage
work specified on the above Permit No.

issued on the day of
19....., and hereby request that the work be inspected.

Dated this day of
19.....

Reg. Drainlayer.

CERTIFICATE OF COMPLETION

I HEREBY certify that the above work has been examined and found
satisfactorily completed and in accordance with the DRAINAGE
and PLUMBING REGULATIONS, 1959.

Dated this day of
19.....

Inspector.

DARGAVILLE BOROUGH COUNCIL

NOTICE OF COMPLETION OF PLUMBING WORK

Permit No 636

To the Borough Engineer,
Dargaville Borough Council,
DARGAVILLE.

I HEREBY give notice that I have completed at premises situated
at Street, owned
by Mr the plumbing
work specified on the above Permit No.

Dated this day of
19.....

CERTIFICATE OF COMPLETION

I HEREBY certify that the above work has been examined and found
satisfactorily completed and in accordance with the DRAINAGE
and PLUMBING REGULATIONS, 1959.

Dated this day of
19.....

Inspector.

DARGAVILLE BOROUGH COUNCIL

PERMIT FOR PLUMBING OR DRAINAGE WORK

Permit No 636

Mr C & S PLUMBERS e Plumber

No. of DEU

Mr C & S PLUMBERS a Reg. Drainlayer,

No. of

is/are hereby authorised to carry out the work described herein,
as set forth in the plans deposited with me, on the premises
owned by Mr NC MCKAY.

Lot

Description of Work COMPLETE DR P ON
TOWN DWELLING

Receipt No. for Permit Fee 49576 Fee \$ 57.00

Received from Mr NC MCKAY

Such work is to be carried out in strict accordance with the
Drainage and Plumbing Regulations, 1959, and shall be completed

on or before the day of

19

Date 21-3-78

Inspector,

SPECIFICATION

PROPOSED NEW RESIDENCE

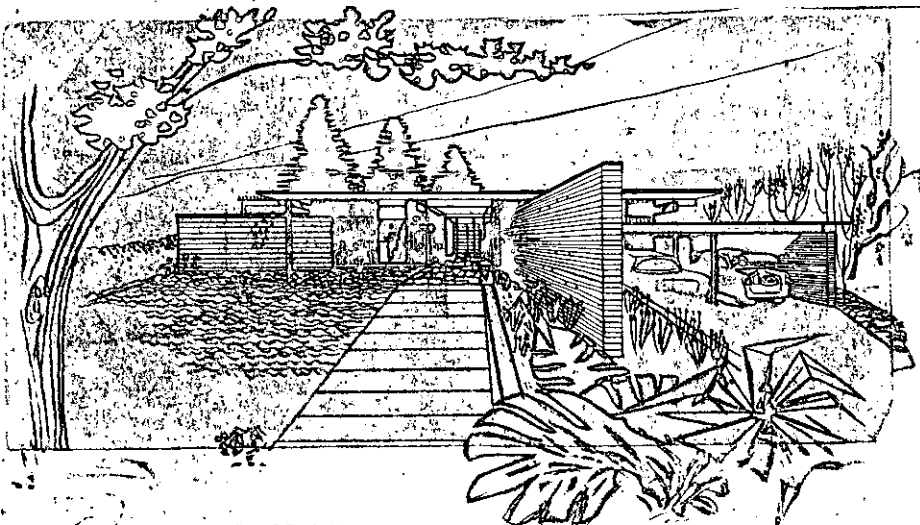
FOR

N.C. and D.M. MCKAY

IN

THIRD AVENUE

DARGAVILLE



IVAN EDMONDSON

DESIGN AND PLAN SERVICE
EDWIN ABCADE
DARGAVILLE



I N D E X :

Preliminary and General:	1	-	7
Indemnity and Insurance:			7
Excavations :			8
Drainlayer:	9	-	10
Concrete :	11	-	16
Blocklayer:	17	-	19
Bricklayer:	19	-	20
Stonelayer:	21	-	23
Carpenter and Joiner:	24	-	36
Rofer:			37
Plumber:	38	-	41
Electrician:	42	-	46
Plasterer:	47	-	48
Painter :	49	-	53
Paperhanger :			54
Glazing:			55

SPECIFICATION OF WORK TO BE DONE AND MATERIALS SUPPLIED
FOR THE ERECTION AND COMPLETION OF A PROPOSED NEW RESIDENCE
FOR.....N.C. and D.M. MCKAY, IN THIRD AVENUE AT
DARGAVILLE, IN ACCORDANCE WITH THE PLAN NUMBERED 869/77 ONLY
AND WITH SPECIFICATIONS SUPPLIED.

PRELIMINARIES AND GENERAL:

The Design, Drawings and Details for the accompanying Plans of this Specification are designed to the requirements of the 'NEW ZEALAND CODE OF BUILDING REGULATIONS' and MUST be strictly adhered to.

The work consist of erection and completion of a proposed new residence for N.C. and D.M. MCKAY in Third Avenue at Dargaville.

The Contractors in all trades must make a personal inspection of the site mentioned above so as to be fully acquainted with the facilities and/or difficulties of access thereto and/or all matters relating to conditions of work and rights of interests which may be interfered with by the execution of these works and all matters referred to in the accompanying Plans and this Specification which may influence the Contractor in making up his Tender.

Protect adjacent properties and make good any damage, if any, caused by the execution of this contract.

Should the Contractor find it necessary for the purpose of the Contract to enter adjoining private land, he shall, at his own expense and on his own responsibility, enter into such agreement with the Owner of the said land.

Rubbish fires will be permitted only during working hours, when workman are on the site. Remove all plant, rubbish etc., at completion of the works.

The Contractor shall provide and maintain the required, tools, plant, scaffolding etc., and provide all materials and labour.

A building permit shall be obtained before the work is commenced and the Contractor shall pay for same when uplifting. Pay all dues and generally complete the Contract in the highest possible trade manner in accordance with the true intent and meaning of the accompanying Plans and This Specification, taken separately or collectively.

Any work indicated on Plans but not specifically mentioned in this Specification or vice-versa, shall be taken as if no error or omission existed, and shall be executed wholly, as no extra charge shall be allowed.

Cont.....

..... The Contractor shall in no case assign or sublet the whole or any portion of work, unless he first obtains from the employer a Written Approval permitting him to do so. provided, that the Employer shall not unreasonably withhold his consent. Provided further that notwithstanding any consent to sub-letting, the Contractor's responsibility to the Employer shall not be restricted or determined.

The Contractor shall enter into this Contract with his sub-Contractors, making similar conditions to those under which he himself has contracted.

Execute all part or parts omitted from this Specification and/or accompanying Plans, in full, as no extra charge shall be allowed.

Execute full all work in this contract that is not shown on the Plans and/or this Specification, but is necessary to complete the work and/or suit the regulations, as no extra charge shall be allowed.

FINANCE:

If the Contract is partly or wholly financed by any lending Institute, the Contractor shall be satisfied with the manner of payment set out by such an institution.

AMBIGUITY:

Should there be any doubt or ambiguity, the Contractor shall set forth same in writing and submit at the time of making his tender in order that such doubt or ambiguity may be removed or provided for, otherwise, such portion shall bear the meaning put upon them by the Designer.

LIENS ACT:

This Contractor is subject to the "Wages Protection and Contractors' Liens Act., 1339 and it's Amendments".

BY LAWS:

The Contractor must conform in all respects to the requirements of the Local Authority and by-Laws, having jurisdiction over the work.

DEFAULT AND BANKRUPTCY:

The usual laws of default and bankruptcy apply to this contract.

ARBITRATION:

In any dispute arising between the Owner-Employer and Contractor-Builder, not soluble by the terms of the Contract shall be referred to the Arbitration within the meaning of the Arbitration Act, 1908.

PROGRESS PAYMENTS:

Unless otherwise agreed upon progress payments shall be paid monthly, up to 90% value of the **work** performed and materials on the site. Up to 95% of value of the work will be paid within 31 days after tentative acceptance and completion, the balance of 5% will be paid at the end of the maintenance period which shall be 90 days.

MAINTENANCE:

Any defects or other faults which appear within 90 days from the completion of the works shall be made good by the Contractor at his own expense and the Contract shall not be considered to be completed until any such defects have been made good.

ACCOUNTS :

The Contractor shall submit within 30 days of the completion date a final statement showing all variations. expenditure of a lump sum, P.C. Amounts etc.

MAKE GOOD:

Repair all contiguous property or footings, lawns etc., where damaged by reason of these operations and make good in all trades after all trades. Care shall be taken to ensure that the least damage is made to the property and all damage made good to its original condition.

STABILITY:

Carefully brace and support all parts of **work** in all trades against damage by winds and/or elements, any damage shall be made good by the appropriate contractor at his own expense.

IMCLUDED SUMS :

All P.C. Sums shall be NETT price in the district of DARGAVILLE and the Contractor shall add for any additional profit, if any, all freights, cartage to the site and fixing complete.

All included sums shall be wholly under the control or" the Owner or Supervisor and any portion, or the whole of such sums, if any not expended, shall be deducted in full on completion of the Contract.

The Owner reserves the right to purchase or select items under the F.C. (PRIME COST) Sum and the accounts shall be adjusted accordingly on complete of the **work**.

INFERRED WORK:

All work reasonably to be inferred and necessary to complete the work in the best workmanlike manner shall be deemed to be included as no extra charge shall be allowed for same.

The Contractor shall visit the site and ascertain the amount of work involved in completing the work indicated. No extra shall be allowed for failure to comply with this Clause.

SETTING OUT AND BOUNDARY PEGS :

The Contractor shall be responsible for all setting out of work, any error that may arise due to faulty setting out shall be rectified at the Contractor's own expense.

The Contractor shall allow For a registered surveyor to check pegs and replace where necessary all boundaries.

HOARDINGS:

The Contractor shall erect all necessary hoardings that may be required and maintain same with lights all as required by the Local Authority.

WORKMAN'S SHEDS AND W.C:

As required, provide temporary workmen's sheds and W.C. accommodation.

SCAFFOLDING:

The Contractor shall supply and maintain all required scaffolding which shall be in accordance with the Government Scaffolding Regulations.

TEMPORARY POWER AND WATER SUPPLY:

Arrange for and supply temporary electric power and water supply for works and allow use for all trades.

N.Z.S.S:

N.Z.S.S. applies to the 'NEW ZEALAND STANDARD SPECIFICATION'

SUB CONTRACTORS:

The sub-divisions of this specification into trade sections and clauses is for the convenience only, and has no bearing on the interpretation of any clause and shall not be construed that each trade section is an entire and separate contract, hence, no claim shall be allowed from sub-Contractors for work not specifically mentioned in a trade section but which is provided for, expressed or implied elsewhere in this Specification and or accompanying Plans.

.... All clauses in all sections apply to the entire contract and whereas reasonable care is taken to classify under each trade, the onus is on all trades to make themselves conversant with all clauses which may effect their trade.

Every trade jointly and severally shall collaborate wait on and assist and render all necessary assistance to complimentary trades.

AVAILABILITY OF MATERIALS:

Should any of the materials specified for the contract be unprocurable, or prohibited by Government regulations negotiations shall be made for the inclusion of substitutes. Before any such substitute is included in the Contract the approval of the Owner or Supervisor must first be obtained. Substitutes must be acceptable to Local Authority.

CONTINGENCIES:

Provision shall be made by: the Owner and Contractor to meet any contingencies that may arise due to the fluctuations in prices of various materials and/or labour. Should there be either a rise or fall in prices of materials and/or labour from the date the tender is submitted until final payment, an adjustment shall be made accordingly, provided, that such rise or fall in prices have effected the contract price.

DIMENSIONS:

The Contractor shall verify all dimensions shown on Plans and Specifications. At no time shall scaled dimensions be used or accepted.

CONTINGENCY FUND:

4 Contingency Fund of \$ _____ to cover all miscellaneous items shall be allowed. This sum shall be expended at the approval of the Owner or Supervisor.

ADDITIONAL WORK OR OMISSIONS::

The Employer shall have the right to vary the contract as may become necessary, either by deletion or additions and such variations shall be deducted from or added to the contract sum as may be the case, at the scheduled rate or at the agreed rate between the Employer and Contractor. No claim to the variation to the Contract shall be allowed unless directed in writing by the Employer and such authority for variation shall accompany each claim.

EXTENSION OF TIME:

Any extension of time for the completion of the Contract shall be entirely at the discretion of the Employer. No extension will be considered unless the Contractor makes a written application, giving specific reasons why an extension should be granted.

ACCESS TO THE SITE:

Each Tenderer shall visit the site before tendering for reasons specified under "Preliminaries and General" in this Specification and failure to observe this clause shall not enable the successful tenderer to enter into negotiations on this matter.

TENDERS CLOSE :

Tenders close with-----

On-----

The lowest *or* any tender shall not necessarily be accepted.

Telephoned tenders shall not be accepted unless confirmed by telegram or letter stamped before time of closing of tenders.

CLEANING :

All rubbish, timber etc., that may accumulate on the site during the construction of the job shall be removed from time to time. The building shall be left broom clean. The Painting Contractor shall clean all windows on completion of his job and leave them free from paint or varnish stains, this contractor shall ensure that all adjacent surfaces are also free from paints and stains.

WORKMANSHIP:

All materials must be new and the best of their respective kinds and be of approved manufacture.

The quality of workmanship shall be of the highest standard of tradesman throughout the whole of the job, carried out and completed by skilled tradesman in these trades. Work shall be carried out and completed to the complete approval of the Owner or Supervisor.

Work shall be executed to the complete approval of the Local Building Inspector.

EFFECT CERTIFICATE :

A final certificate shall NOT absolve the Contractor from his liability for any defective work due to fraudulent conduct on the part of the Contractor or any sub-contractor and the defects of which developed or were ascertained after the ordinary period of maintenance. or by any person employed by the Contractor.

FINAL SETTLEMENT:

As a condition of payment of the final account due to the Contractor under the Contract, the Contractor shall furnish to the Employer a Certificate that he has no further claims due to him under the Contract.

LABOUR CONTRACT:

Should the Owner erect this Contract under LABOUR ONLY or COST PLUS basis of construction, no work shall be started on this Contract until a Legal Contract has been drawn up between the Owner/Employer and Worker/Employer as to the conditions of employment, payments, materials, shortages, fees etc. All other aspects of this 'Preliminaries and General' part of the Contract shall be covered by the new Contract.

I N D E M N I T Y A N D I N S U R A N C E S

Before commencing this Contract the Contractor shall effect a correct Worker's Compensation Policy to cover all liability to the Owners for accidents or workers compensation for accidental injury to workman or death of same in the course of his employment, the Contractor must maintain such insurances until the completion of the job.

The Contractor shall insure the works and keep them similarly insured against loss or damage by fire, in an approved Insurance Company, in the joint names of the Owners and Contractor for the full insurable sum of the value of the works executed, until delivered.

In addition, the Contractor shall effect and maintain during the course of execution of the works, in an approved Insurance Company, maintain and effect a 'PUBLIC LIABILITY POLICY' indemnifying himself against all liability to pay damages, costs, compensation etc., or expenses in respect of injury to persons other than his employees or members of his family, and in respect damage to real or personal property, other than property belonging to the assured or his employees or in his custody, control or in use. The Public Liability Insurance shall be effected with an Insurer and in the terms approved by the Principal for at least an amount of \$100,000-00 (One hundred thousand dollars) to any one claimant or to any number of claimants arising out of any one occurrence.

E X C A V A T I O N

GENERAL :

Strip the building site of all top soil, rubbish building debris and foundations (if any) to be covered by the building. Deposit the topsoil where directed by the Owner.

Check positions of existing services, adjacent to and on site before commencing work.

GENERAL EXCAVATIONS :

Excavate for all foundations, footings, drainage, walls, driveways, basements etc., as required for the Contract, to the various depths and levels and grades required and necessary to carry out the job.

All trenches must be level on the bottom with sides neatly cut. If accumulated water has been imprisoned in the trenches it shall be removed just prior to the concrete being placed.

FLOOR LEVELS :

The Contractor shall verify the floor level above datum with the Designer before commencing operations.

GROUND LEVELS :

The existing ground levels are shown on Drawings. SHOULD any variations occur an extra shall be charged which shall be expended from the Contingency Fund as authorised by the Owner or Supervisor. Should no Contingency fund be entered, a written guarantee agreement shall be arranged between the Owner and main Contractor.

FILLING :

Hardfill shall consist of brown rock, carefully consolidated using a mechanical vibrating roller or pad, screen off with fine dust to make a true, even surface before the concrete is placed.

Hardfill shall be brought up to the required level before being dressed with 25mm thickness of coarse sand or similar material. Make ready to receive film and fabric mesh.

Backfill and ram carefully around all foundations etc., well consolidating as work proceeds and make up to adjoining site levels.

BULK EXCAVATIONS :

Shall be arranged by the Owners.

D R A I N L A Y E R

PROVIDE AND FIX:

Provide and fix all materials which must be new and the best of their respective kinds of approved manufacture, lay in accordance with the requirements of the Local Authority and Health Department.

PERMITS:

The Drainage Contractor must obtain and pay for all Permits for this trade.

EXCAVATE:

Excavate as required for all trenches, gully traps, sumps, etc., as required to the various depths, levels and grades for the approved laying of the fittings to complete the work.

WATER METER:

Provide and fix an approved 20mm diameter water meter and service from the water main.

SEWAGE DRAINS:

Commencing at the lowest point of the system lay and solidly bed all drains to sizes and gradients as required for the approved laying of the sanitary fittings.

The whole of the drains must be accurately layed with flexible type joints, rubber ring, solidly bedded. Form neatly dished concrete cesspits. Build in all discharge pipes. concreting same and finishing of the whole in 1 to 1 cement mortar.

GENERAL:

The Drainage Contractor must fully execute all or any work in his trade that is not shown on the Plans accompanying this Specification and/or specified in this Specification, but is necessary to complete the work and/or suit the regulations, as no extra charge shall be allowed.

The Drainage Contractor shall fully execute all or any work in his trade that is shown on the Plans accompanying this Specification but not specified in this Specification or vice-versa, as no extra charge shall be allowed.

The Contractor in this trade shall fully execute all part or parts omitted from this Specification and/or accompanying Plans in his trade, as no extra charge shall be allowed.

SEWER CONNECTION:

Allow for connection to the Borough Sewage line and payment of fee.

MATERIALS :

Materials must be new and the best of their respective kinds and be of approved manufacture, in perfect condition.

Provide and lay all materials to drains in 100mm internal diameter glazed earthenware socket pipes complete with all required accessories such as bends and junctions etc., these shall be of similar quality.

Provide lidded pipes to bends and at junctions.

COMPLETION AND TESTING:

The Drainage Contractor shall ensure that all drains are free from timber or any rubbish whatsoever before sealing the inspectivns openings, he will also be responsible for the clearance of any materials left in the drains causing subsquence blockage, that may be attributed to this. This work shall be carried out at the expense of the Drainage Contractor.

AFTER - the drainage work has been completed, tested and passed by the Local Sanitary Inspector, refill the trenches and leave the whole clean and smooth, level on completion.

STORMWATER :

Stormwater disposal shall be arranged by the Owner - refer Site,Plan.

C O N C R E T E

MATERIALS :

Cement must be Portland cement and shall comply with requirements of the N.Z.S.S. 1844 for Portland cement.

Sand shall be clean beach sands, free from earthy matter.

Water must be clean and fresh, of drinking quality.

METAL AGGREGATE :

Metal aggregate shall be hard metal chip, free from dust or earthy matter, in accordance with the requirements of the N.Z.S.S.

The nominal maximum size of the coarse aggregate shall be 20mm except that where the minimum clear lateral distance between reinforcing bars is less than 25mm the maximum size shall be reduced to 5mm less than such clear distance.

All aggregate shall be well graded within the smallest and largest size of the particular aggregate and in accordance with the limit set down in the N.Z.S.S. 1051

FORMWORK :

Formwork must be of sufficient strength and so designed and constructed that it can be removed without shock, vibration or damage to the concrete, allow the concrete to take gradually and uniformly the stresses due to its own weight. Formwork shall be braced and shored to prevent sagging or bulging to any surface whatsoever or at joints. Joints must be close enough to prevent undue loss of liquid from concrete. Formwork shall be fixed to proper line and level, trued up before the concrete is placed. Re-used panels must be thoroughly cleaned and repaired. Provide fillets at corners of the formwork for concrete members not to be plastered.

Clean traps shall be provided at base of all columns and at intervals not greater than 4.5m apart horizontally and at 2.4m vertically and/or at top of concrete lifts.

Boxing must be wet just prior to concrete being placed

CONCRETING :

Unless otherwise specified compaction of concrete shall be carried out by the use of vibrators. Concrete shall be poured so that separation of coarse aggregate does not occur, worked and consolidated around steel reinforcement and into all parts of the formwork, leaving no voids or cavities. At construction joints surfaces shall be hacked and grouted with 2 to 1 cement grout 12.5mm thick, before pouring concrete against set work or at 5mm thickness of freshly made cement paste shall be used.

.....construction joints shall be truly vertical or horizontal. Generally construction joints in beams and slabs shall be located at centre spans or as shown on Drawings, left boxed for at least twenty four hours.

New concrete shall be protected from sun or drying winds. New concrete and timber boxing shall be kept damp not less than seven days when normal drying cement is used and not less than four days when rapid hardening cement is used.

After stripping formwork, rough surface patches shall be made good by removing loose stones and thoroughly cleaning, grouting and filling with stiff cement mortar 2 to 1 well pressed home, this treatment only applies when surfaces are not plastered, except, where there is looseness or large holes. Trim off any projecting fins.

Surfaces shall be hacked while green to ensure a good adherence of concrete.

Boxing wire left projecting from the concrete shall be cut off to a depth of not less than 20mm beneath the surface, holes made for this purpose shall be filled in on unplastered surfaces with 2 to 1 cement mortar.

SLUMP AND COMPRESSION TESTS:

Slump and compression tests shall be in accordance with the N.Z.S.S. 192 and shall be regularly made, costs born by the Builder.

BOLTS:

Bolts set into concrete work for fixing timber or structural steel members not encased in concrete shall be Galvanised.

HOOKS AND LAPS:

Hooks shall have interval diameters equal to four times the bar diameter if with a straight end equal to five times the bar diameter. Unless otherwise specified, bars shall be either lapped twenty four diameters if with a hooked end or forty diameters if without hooks. Mesh reinforcements shall be lapped a distance of one square.

GENERAL:

The Contractor in this trade shall fully execute all work in his trade that is shown on the Plans accompanying this Specification but not specified in this Specification, or vice-versa, as no extra charge shall be allowed.

The Contractor in this trade shall fully execute all work in his trade that is not shown on the Plans accompanying this Specification and/or specified in this Specification, but is necessary to complete the work and/or suit the regulations, as no extra charge shall be allowed.

The Contractor in this trade shall fully execute all part or parts omitted from this Specification and/or accompanying Plans, in his trade, as no extra charge shall be allowed.

COVER TO STEEL:

Members	<u>Below Ground Level</u>		<u>Against Ground Level</u>		
	Against Natural Ground.	Against Boxing or Hardened Concrete.	Exposed to Weather - Unplastered.	Exposed to Weather and Plastered.	Not Exposed to Weather
	mm	mm	mm	mm	mm
Footings					
Beams					
Columns	75	50	-	-	-
(a) Principal reinforcement	75	50	50	40	40
(b) Secondary reinforcement such as stirrups transverse tee spiral and the like.	65	40	40	25	25
Slabs	50	30	30	20	20
Walls	50	40	40	25	25

READY MIXED CONCRETE:

Ready mixed concrete shall comply in all respects with the N.Z.S.S. 1900.

Concrete used For Filling cells shall be 20.68 MPa.

Concrete used for foundations shall be 17.24 MPa.

Concrete used for floor slabs shall be 20.68 MPa.

SITE MIXED CONCRETE:

NO concrete shall be site mixed unless with approval of the Local Engineer.

An **approved** power driven concrete mixer shall be used. Concrete shall consist of 1 part cement - 2 parts sand and 4 parts aggregate, measured by volume, add just sufficient water to give a workable mass.

Each cubic metre of concrete shall contain 332 Kg. of cement.

Mixing time shall be not less than two minutes after all materials are in the mixer.

HAND MIXED CONCRETE:

Hand mixing of concrete must be authorised by the Local Authority. When hand mixing is passed 10% extra cement must be added. Materials shall be turned on a clean hard surface until thoroughly mixed.

STEEL:

Steel used for reinforcing must be of round mild steel rods complying with the conditions and tests embodied in the N.Z.S.S. 197 accurately fabricated, fix in position. Hook ends of all rods and lap at least 40 diameters. Laps and intersections bound together with 1.60mm wire ties. Bend horizontal rods not **less** than 600mm around the angle. Welding of reinforcement steel shall be permitted only where **shown** on the Drawings.

FOUNDATIONS :

Should any portion of the foundations, footings, sills *etc.*, be placed in recently formed filling, it must be excavated through to the original solid ground. The **'term'** "recently" as used above is based on the **NEW ZEALAND STANDARD CODE OF BUILDING 1900'**.

Plans, Detail Drawings, Sections and Specifications must be strictly adhered to.

- (a) Foundations to retaining walls shall be 250mm thick reinforced concrete sill - refer to Detail Drawings Sheet-2.
- (b). Foundations to base, front walls shall be 300mm high 400mm wide, reinforced with four No.12 rods and No.6 rod links at 400mm centres. Provide No.10 starter rods at 600mm centres which shall be later bent into the floor slab.
- (c) Foundation sills under load bearing partitions shall be 300mm high, 400mm wide, reinforced with two No.12 rods tied together with No.10 starter rods at 600mm centres.
- (d) Foundation pad to steel column shall be 900 x 900 x 300mm concrete pad reinforced with No.10 rods at 150mm apart. both ways. **Build** in necessary bolts to anchor column.

HARDFILL AND POLYTHENE UNDER SLABS:

Build up hardfill to the required height using sandstone or similar approved; to a minimum thickness of 100mm, tightly compress - Vibration compaction of each layer.

Ensure the surface is perfectly free from large or loose stones that may puncture the film.

Provide and lay POLYTHENE 0.200mm film under the concrete slabs.

Lay film continuously over the entire building area UNROLL DIRECTLY ON TOP OF THE BASE FILL IN DIRECTION OF THE POUR and with NOT LESS THAN 100mm projecting beyond the outer limits of the foundation line.

Film shall have joints lapped by not less than 75mm, seal with 50mm wide self-adhesive strip tape. Seal Film around all services with tape mentioned.

CARE MUST BE TAKEN throughout the construction so that the vapour barrier is not punctured by workman and/or construction materials or equipment and any defects must be made good immediately with tape mentioned.

CONCRETE SLAB TO BASEMENT AND GARAGES:

Slabs shall be 100mm thick concrete, reinforce with 665 H.R.C. fabric mesh.

Pour slabs in bays not more than 3.6m wide, screen off with a power float machine to a straight, level and even surface, prepare, treat and finish as mentioned under "CONCRETE" in 'this Specification.

Provide necessary falls to Garage doorways - 1 in 60 starting 2 metres back.

Form rebates and recesses to door entrances - refer "PLASTERER" for sill tiles.

Finish shower floor 50mm lower than main slab, finish around with concrete upstand nib finishing 50mm above main slab. Build in waste trap to gully with required falls.

CONTROL JOINTS :-

Control joints shall be cut into floor slab not less than five days after pouring of the slab.

Cuts shall be $\frac{1}{3}$ the depth of slab, fill with EXPANDITE EXPOSEAL.

Note:- Filling must NOT BE CARRIED OUT UNTIL THE END OF THE CONTRACT and cuts shall be cleaned out thoroughly and LEFT TO DRY COMPLETELY before filling as mentioned.

REFER TO DETAILS FOR CONCRETE NOT MENTIONED.

BUILDING IN:

Build into concrete as **work** proceeds all holding down bolts for steel columns, frames and the like and all steel straps, bolts for door tracks, and fixings described under "CARPENTER" or elsewhere in this Specification and/or accompanying Plans.

PIPING AND WIRING BEFORE CONCRETE SLAB IS PLACED:

The PLUMBER must carry out **all** required plumbing, wastes, piping etc., before the concrete is placed.

All piping in connection with the hotwater must be FULLY WGGED.

Hotwater pipes under floor slab MUST BE FULLY LAGGED AND PLACED IN THE HARDFILL to prevent direct contact between the copper piping and concrete slab.

ANY PIPES PASSING THROUGH THE WATER-PROOFING MEMBRANE shall be SEALED WITH CONTACT TAPE AND WATER-PROOFED strictly in accordance with the instructions of the membrane used, and specified as PIPING MUST IN NO WAY COME IN CONTACT WITH THE CONCRETE.

The ELECTRICIAN must carry out all required wiring before the concrete **slab** is placed.

TERRACE SLAB:

Shall be 100mm thick concrete slab, reinforce with one layer of 665 H.R.C. mesh. Provide a 300mm high 150mm wide concrete sill to the outside edge, reinforce with two No.12 rods See Detail-10 Sheet-2.

B L O C K L A Y E R :

MATERIALS :

Blocks shall be 20 and 25 block series masonry complete with all required accessories. Sill. blocks as required.

Blocks supplied by the Owner.

MORTAR:

Mortar shall consist of 1 part cement to 4 parts sand adding 1/6 by volume of NEWPLI mortar. Machine mixed

WORKMANSHIP:

Workmanship in this trade must be of the highest possible standard carried out and completed by skilled Tradesman in this trade.

Work must be carried out and completed to the complete approval of the Owner or Supervisor.

BLOCKWORK:

Any blockwork that is not of the highest quality and/or any blocks layed that are chipped shall be condemned, removed and re layed using blocks free from blemishes and/or chips at the expense of the Contractor in this trade.

Angles and intersections shall be properly bonded not more than 10mm.

Exposed blockwork to interior and exterior shall be struck jointed with mortar, joints compressed, pointed with a hand-tool.

Blocks shall be delivered to the site in good condition, free from chips etc., layed DRY in courses true and level and plumb, neatly Fitted.

Blockwork shall be Stretcher bonded unless otherwise specified.

Work must be carried out and completed strictly to Details AND Dimensions shown on the Plans and as Specified.

Build up to the required height as shown.

NO BLOCKWORK or any portion of blockwork shall be built up more than 1200mm in advance of another in any one day, the former being built up first.

Blockwork must be carried out uniformly and to Details.

Openings and chases shall be provided for as shown and as Specified.

GENERAL :

The Blocklayer shall fully execute all work in his trade that is not shown on the Plans accompanying this Specification and/or specified in this Specification but is necessary to complete the work and/or suit the regulations, as no extra charge shall be allowed.

The Blocklayer shall execute fully all work in his trade that is shown on the accompanying Plans of this Specification but not specified in this Specification, or vice-versa as no extra charge shall be allowed.

The Blocklayer shall fully execute all part or parts omitted from this specification and/or accompanying Plans in his trade, that are required to make the whole of the works a sound construction and/or suit the regulations and as required, as no extra charge shall be allowed.

CEMENT AND WATER :

Cement and water used in this trade shall be as specified under "CONCRETE".

SAND :

Sand used for concrete work shall be clean sieved, hard and sharp, **free** from earthy matter.

Build in all ties, frames, straps, bolts etc., and form chases and openings for all trades, and fixing describe ³ under "CARPENTER" or elsewhere in this Specification. Rag bolt: at 750mm centres.

BLOCK EASE WALLS :

Build up to required height as shown and as specified under "BLOCKWORK" in this Specification, reinforce and finish as shown on Details.

REINFORCEMENT TO BLOCKWORK :

Shall be as shown on Section Drawings.

RETAINING WALLS :

Shall be built up with 25 and 20 block series masonry blockwork, reinforce as shown on Details Sheet-2.

The back of all retaining walls shall be flush jointed and painted with two good bold coats of 'MULSEAL' emulsion.

Lay 100mm diameter field tile drains at base of all retaining walls. Provide outlets. Backfill to ground level with 50mm clean metal chips loose filled.

ENSURE the protection of the Mulseal while backfilling to these walls.

LINTELS OVER WINDOWS:

Provide two additional No.12 rods over windows and door openings in Basement, which shall extend 1200mm in length and shall extend 600mm past the openings.

WINDOW SILLS TO BLOCKWORK:

Provide bond beams under windows, reinforce with two No.10 rods extending 600mm past the corners, finish under windows with sill blocks.

B R I C K L A Y E R

MATERIALS :

Bricks selected by the Owner.

WORKMANSHIP:

The whole of the Brickwork shall be built up to the required height by skilled Tradesman in this trade carry out and complete to the approval of the Owner or Supervisor.

All Brickwork shown on the Elevations, Plans etc., must be carried out in strict accordance with the N.Z.S.S. and relevant sections in same. Carried out strictly to the dimensions shown and/or specified.

Work must be carried out uniformly. NO PORTION of the Brickwork shall be built up more than 1200mm in advance of another in any one day, the former being built up first.

Brickwork shall be layed level and true, and plumb. Wall ties shall be of No.4 galvanised wire, build in at every fourth course of the brickwork, six ties to each square metres, secure to alternate studs with 3mm gauge staples. Ties spaced horizontally 500mm. Ties must slope from framing down Brickwork so as NOT to act as a channel for water. Keep channels free from mortar droppings etc.

BRICKWORK:

Brickwork shall be stretcher bonded. Bricks must be well soaked with clean water just prior to being used.

Mortar joints shall be 10mm thick. compressed and raked back from brick face to a depth of 6mm show a square recess finish.

Any bricks that are not of the highest quality and/or any bricks layed that are chipped shall be condemned, removed and re layed at the expense of the Contractor in this trade.

SAND:

Clean and well sieved. hard, sharp and free from earthy matter

CEMENT AND WATER:

As specified under "CONCRETE" in this Specification.

MORTAR:

Mortar shall comprise of 1 part PLIMORTAR to 8 parts sand and 2 parts cement. Dry materials measured loose. These materials shall be mixed as recommended by the Manufacture of the Plimortar.

Note: A liberal amount of Oxide colour of the Owner's choice shall be added to the mortar.

WEEP HOLES:

Rake out each alternate vertical joint in the mortar in the first course of the brickwork above the base wall to act as weep holes. Great must be taken by this Contractor to ensure that weep holes are kept clear and free in the cavities.

CLEANING:

After the Brickwork has been completed, wash down the whole surface with a diluted solution of Spirit of Salt to take off any mortar stains etc., then hose down with clean water.

The Painting Contractor shall cover Brickwork prior to commencing his work and shall be responsible for the protection of these and other finished surfaces from paints, stains etc. Any finished work that has been so damaged in any way by this trade shall be made good by the Painting Contractor, at his expense.

BUILDING IN:

Build in all ties, straps, frames, bolts etc., and form all chases and openings for all trades.

GENERAL:

The Contractor in this trade must fully execute all work in his trade that is shown on the Plans accompanying this Specification, but not specified in this Specification or vice-versa, as no extra charge shall be allowed.

The Contractor in this trade shall fully execute all work in his trade that is not shown on the Plans accompanying this Specification and/or specified in this Specification but is necessary to complete the work and/or suit the regulations as required to make the whole of the works a sound construction and as if no error or omission existed, as no extra charge shall be allowed.

The Contractor in this trade must fully execute all part or parts omitted from this Specification and/or accompanying Plans in his trade that are required to make the whole of the works a sound construction, and/or suit the regulations as if no error or omission existed. as no extra charge shall be allowed.

DAMP PROOF COURSE :

Before commencing Brickwork, paint top of foundation sills under Brickwork, with two coats of 'MULSEAL' emulsion.

VERMIN STOP MESH:

Build into mortar joints at bottom plate level 6mm galvanised expanded metal, staple to bottom plate at 150mm apart. ENSURE good bedding into mortar joints.

S T O N E L A Y E R

MATERIALS :

Split stone veneer and 400 x 200 x 50mm paving sills to match Stonework - selected by the Owner.

WORKMANSHIP :

The whole of the Stonework shall be built up by skilled tradesman in this trade. Build up to the satisfaction of the Local Building Inspector and approval of the Owner.

All Stonework shown on the Elevations! Plans etc., shall be carried out in strict accordance with the N.Z.S.S. reievent sections.' Carry out strictly to dimensions shoun and as specified.

work must be carried out uniformly. NO PORTION of the Stonework shall be built up more than 1200mm in advance of another, the former being built up first.

All Stonework must be layed level, true and plumb. Wall ties shall be No.4 galvanised wire ties built in at every fourth course of the Stonework, six ties to each square metre, secure to alternate studs with 3mm gauge staples. Ties spaced horizontally 500mm.

Ties must slope from framing down Stonework so as NOT to act as a channel for water. Keep channels free from mortar droppings.

STONEMWORK :

Stonework shall be Stretcher bonded and must be layed DRY

Mortar joints shall be 10mm thick, compressed and raked back from the Stone face to a depth of 6mm.

DAMP PROOF COURSE :

Before commencing Stonework, paint the top of the blocks . . . under Stonework and vertical face of the concrete nib with two coats of 'MULSEAL' rubberised bituminuous emulsion.

SAND :

Sand shall be clean and well sieved, hard and sharp free from earthy matter.

CEMENT AND WATER :

As specified under "CONCRETE" in this Specifcations.

MORTAR :

Shall comprise of 1 part PLIMORTAR to 8 parts sand and 2 parts cement, dry materials measure loose. these materials shall be mixed as recommended by the Manufacture of the Plimortar.

Note+ A liberal amount of oxide colour to the Owner's choice shall be added to the mortar.

WEEP HOLES:

Rake out each alternate vertical joint in the mortar in the first course of the Stonework above base wall to act as weep holes. Great care must be taken to ensure that weep holes are kept clean and free in the cavities.

SILLS :

Sills as specified under "MATERIALS". Lay with a 15° slope to outside. Provide and fix 300mm wide two-ply Malthoid strip full length under windows in veneer portion, fix to 25 x 20mm fillets to the bottom edge which shall be fixed to the face of the framework.

CLEANING :

After the Stonework has been completed, the whole surface shall then be washed down with clean water to take off any stains.

PROTECTION OF WORK:

The Painting Contractor shall cover Stonework prior to commencing his work and shall be responsible for the protection of the Stone surfaces and any other finished work, from paints and stains etc., Any finished work that has been so damaged in any way by this trade shall be made good by the Painting Contractor at his expense.

BUILDING IN:

Build in all ties; straps, frames, bolts etc., and form all chases and openings for all trades.

GENERAL:

The Contractor in this trade shall fully execute all work in his trade that is shown on the Plans accompanying this Specification, but not specified in this Specification or vice-versa, as no extra charge shall be allowed.

The Contractor in this trade shall fully execute all work in this trade that is not shown on the Plans accompanying this Specification and/or specified in this Specification but is necessary to complete the work and/or suit the regulations to make the whole of the works a sound construction, as if no error or omission existed in same, as no extra charge shall be allowed.

The Contractor in this trade must fully execute all part or parts omitted from this Specification and/or accompanying Plans in his trade that are required to make the whole of the works a sound construction and to suit the regulations as if no error or omission existed, as no extra charge shall be allowed.

FINISH TO WINDOWS:

Finish stonework neatly to windows and press against a heading of selastic to ensure a good watertight finish

VERMIN STOP MESH:

Build into mortar joints at bottom plate level 6mm galvanised expanded metal, staple to the bottom plate at 150mm apart.

ENSURE good bedding into the mortar joints.

VENTILATORS :

Build in pre-cast concrete ventilators into Stonework where shown on rear wall.

Point around to match remaining stonework.

CARPENTER AND JOINER

TIMBER GENERALLY:

Timber must be in as long lengths as possible, free from large or loose knots and waney edges, suitable for its purpose. Gauged to a uniform width and thickness. Timber must be new and the best of its kind.

SEASONING:

All timbers must be well seasoned as procurable. Joinery and Dressing timbers must be thoroughly air-seasoned or kiln-dried (provided it is not air-dried) machine materials must be dry-run. Sand free from machine marks.

DIMENSIONS:

Timber must be of FULL DIMENSIONS shown on Plans and as specified.

WORKMANSHIP:

Workmanship must be of the highest possible standard, work shall be carried out and completed by skilled Tradesman in this trade, to make the whole of the work a sound construction, complete to the satisfaction and approval of the Owner or Supervisor.

Work shall be carried out in accordance with the regulations of the Local Authority and the 'NEW ZEALAND CODE OF BUILDING REGULATIONS' and MUST BE STRICTLY ADHERED TO.

Work shall be carried out in accordance with the best workmanlike practice with tongue and groove, mitres etc., with work trussed, braced and assembled, joinery mortice and tennon etc., of the highest possible manner. Plates and bearers shall be halved and spiked together.

Interior finishing timber shall be clean and dry and be of SAPELE MAHOGANY timber, dry machine dressed and glass papered free from machine marks. Shelving in cupboards and wardrobes etc., shall be of clean dry PINE timber.

GENERAL:

The Contractor in this trade shall execute fully all work in his trade shown on the Plans accompanying this specification but not specified in this specification or vice-versa as no extra charge shall be allowed.

The Contractor in this trade shall execute fully all work in this trade that is not shown on Plans accompanying this Specification and/or specified in this Specification but is necessary to complete the work and/or suit the regulations as no extra charge shall be allowed.

The Contractor in this trade shall fully execute all part or parts omitted from this Specification and/or this Specification in his trade as no extra charge shall be allowed.

PRIMING:

Fascia boards, fillets, facings, weather boards and all finishing timbers later inaccessible shall be primed before fixing.

BUILDER'S IRONMONGERY.

The Building Contractor shall provide nails, brads, screws, hinges, bolts etc., and all other ironmongery required to complete the contract. Nails for weather boards shall be 75mm and those for flooring shall be 55mm x 2.65mm floor brads. Lead head and spring head nails shall be supplied by the Roofing Contractor. Exterior and interior finishing timbers must be punch nailed (unless otherwise specified) Galvanised nails shall be used externally and in Redwood, Cedar or Totara timbers.

SCHEDULE OF MATERIAL :

<u>Material</u>	<u>Size</u>	<u>Grade</u>	<u>Spacing</u>
<u>BASEMENT FRAMING</u>			
Bed plates	50 x 100	No.1 Tanalised Pine	
Bottom plates	50 x 100	No.1 Tanalised Pine	
Top plates	75 x 100	No.1 Tanalised Pine	
Studs	50 x 100	No.1 Tanalised Pine	400mm centres
Noggings	50 x 100	No.2 Tanalised Pine	600mm centres
Floor joists	50 x 300 & 50 x 200	No.1 Tanalised Pine	450mm centres
Floor stringers	Refer Drawings	<u>Universal Steel Beam</u>	
Herring bone strutting	50 x 050	No.2 Tanalised Pine	Centre of each span.
Bottom plates	50 x 100	No.1 Tanalised Pine	
Top plates	50 x 100	No.1 Tanalised Pine	
Studs external and main bearing	50 x 100	No.1 Tanalised Pine	400mm centres
Studs to openings over 940mm	75 x 100	No.1 Tanalised Pine	
Top & bottom plate to minor partitions	50 x 075	No.1 Tanalised Pine	
Studs to minor partitions	50 x 075	No.2 Tanalised Pine	600mm centres
Noggings to walls	50 x 100 & 50 x 075	No.2 Tanalised Pine	600mm centres
Bottom trimmers to window openings exceeding 2400mm	75 x 100	No.1 Tanalised Pine	
Bottom trimmers to windows	50 x 100	No.1 Tanalised Pine	
Wall bracing	25 x 150	No.1 Tanalised Pine	Wherever possible
Roof Trusses	'PRYDE' design M501	No.1 Douglas Fir	900mm centres
Soffit framing	40 x 075	No.2 Tanalised Pine	450mm centres
Roof tile battens ex	40 x 050	No.1 Tanalised Pine	368mm centres
Ceiling strapping	50 x 050	No.1 Tanalised Pine	400mm centres
Fascia board ex	30 x 200	No.1 Tanalised Pine	
Barge board ex	30 x 200	No.1 Tanalised Pine	
Interior door jambs	ex 25 x 150 & 25 x 100	Sapele Mahogany	Rebated for linings

Schedule of Material (Continued)

Material	Size	Grade	Spacing
Architraves	ex 12 x 25	Sapele Mahogany	
Skirting	ex 12 x 75	Sapele Mahogany	Bevelled.
Door stops	ex 12 x 50	Sapele Mahogany	
Door sills	Refer "PLASTERER"		
Flooring	19mm flooring grade 'PARTICLE BOARD' T.W.P. high/density		

Internal Staircase

Runners	ex 50 x 300	No.1 Treated Pine
Treads	ex 50 x 250	No.1 Treated Pine
Rises	ex 25 x 200	No.1 Treated Pine
Balustrade	ex 40 x 200	Sapele Mahogany
Balustrade supports	ex 40 x 040	Sapele Mahogany.

B E A M S T O O P E N I N G S :

75 x 100 up to 940mm span	Beams of spans from 100 x 125mm
100 x 100 up to 1200mm span	and upward may be formed
100 x 150 up to 2000mm span	with 50mm members well spiked
100 x 200 up to 2400mm span	together. Refer to Drawings for
100 x 250 over 2400mm span	lintels exceeding 3000mm.

Check beams of spans over 940mm and not exceeding 2700mm span - 12mm into studs. Support beams exceeding 2700mm at each end on full length 50 x 100mm studs.

FINISHING TIMBERS:

Unless otherwise specified all interior finishing timbers shall be of clean dry, SAPELE MAHOGANY timber, dry machine dressed and glass papered free from machine marks. Exterior finishing timbers unless otherwise specified shall be of Tanalised Native.

FRAMING:

Framing timbers unless otherwise specified shall be spaced 400 and 600mm centres. Plates and bearer halved together at joints, dovetailed halved at partition intersections. The whole of the framework shall be well and properly braced and securely spiked together.

WALL FRAMING TO BASEMENT AREA:

Frame up walls to basement where shown, Bottom plate 50 x 100mm RAMSET fixed to concrete floor.

Top plate 75 x 100mm. Studs 50 x 100mm at 400mm centres.

Provide two 50 x 100mm studs at load bearing points and three at partition intersections.

Provide and fix solid bracing 50 x 100mm wherever possible.

Minor partitions framed as for partitions to upper floor.

FLOOR FRAMING:

a.

Joists shall be 50 x 200mm and 50 x 300mm gauged over plates of the lower portion. Provide herring bone bracing specified as required.

Support joists at mid span over Garage area with a Universal Steel beam and R.H.S. Column - refer Detail Drawings Sheet-2.

Provide and fix 178 x 102 x 1.54 Kg/m R.S.J. lintel beams over Rumpus room doors and garage door - See Details 1 & 3 Sheet-1 and further Details on Sheet-2.

WALL FRAMING:

Wall Framing braced with flush braces cut in at 45 degree angles or as near as possible with not less than one brace to each bay. where this is not practicable cut in dogleg bracing as required. External angles framed with 3 studs. Angles and intersections blocked with 50mm packing blocks spiked together not more than 450mm centres. Provide three rows of noggings to suit wall sheets and further noggings and necessary framing for all trades.

ROOF, CEILING AND SOFFIT FRAMING:

Refer to Section Drawings.

Frame for roof and ceilings as shown on Drawings using 'PRYDE' designed trusses M501 fixed at 900mm centres.

Roof tile battens as specified shall be fixed to top chord of the trusses at 368mm centres. These battens shall be supplied by the Roofing Contractor, run to pattern of the tile Manufacture.

Provide and fix 50 x 50mm strapping for fixing Gibraltar board and Seratone ceilings at maximum spacing of 400mm centres and to suit ceiling sheets. Pinex Softboard ceiling at 400mm also. Fix strapping to underside of the lower chord and to floor joists.

Frame for flat soffit to eaves where shown with 40 x 75mm as detailed. Line soffit of eaves with 4.5mm thick flat HARDIFLEX sheets, finish joints with plastic jointer mould, and suitable wooden moulding to edges.

Provide and fix ex 30 x 200mm spouting board to outside edge and finish inside edge with ex 30 x 200mm barge board.

Trim out for vents etc., passing through the roof. with a recommended clearance to flue etc.

EXTERIOR SHEATHING:

- (a) Base as specified under "BLOCKLAYER".
- (b) Stone and Brickwork as specified under "STONELAYER" and "BRICKLAYER".
- (c) Provide and fix 300mm wide Pinex 'WEATHERSIDES' where shown, fix as specified by the Manufacture.
- (d) Provide and fix 'HIGHLINE' Fibrolite where shown on Rear Elevations and to Gable ends. Fix as specified by the Manufacture.

Note Provide and fix black building paper to framing before fixing Weathersides and Highline Fibrolite.

FLOORING:

Flooring shall be Flooring-grade PARTICLE BOARD High/density T.W.?. Before laying flooring remove all traces of trade debris from under floor joists.

Fix flooring as specified by the Manufacture.

The surface of the Particle board must be kept clean by all trades and protected from weather or disfigurement of any kind that may mar the finished surface.

Sand flooring on completion with an electric sanding machine.

FRIEZE BOARD:

Provide and fix ex 25 x 150mm frieze board right around the building to line top of all openings and finished underneath soffit on top edge and lap over sheathing on the bottom edge.

WINDOWS :

Windows shall be 'ALTHERM' Awning Hung windows 'BRONZE-ANODISED' position where indicated on the Plans and Elevations.

Windows shall be complete with fixing devices, weather piles seals, glaze with BROWN vinyl gaskets. The glass weight shall be as recommended by the Manufacture - refer under "GLAZING".

SCHEDULE OF WINDOWS :

<u>Window</u>	<u>Size</u>	<u>Type</u>
<u>Basement Areas</u>		
Rumpus room:	Door/Window combination frames - refer under "DOORS".	
Stairwell:	Two - 10 light fixed glazing frames - all glazed CLEAR. Check size on the Site.	
Garages :	Two double frames, total height 1600mm with two 900mm high - 1000mm wide sashes to each and fixed glass panels below. All sashes.....	Awning Hung
	Two double frames with two 800mm high - 1000mm wide sashes to each. All sashes.....	Awning Hung
<u>Upper Floor Areas</u>		
Lounge :	Five light frame, total height 1800mm with five 900mm high 1000mm wide sashes and fixed glass panel below. All sashes.....	Awning Hung
	Three light frame, total height 1800mm with three 900mm high, 1000mm wide sashes and fixed glass panels below. All sashes.....	Awning Hung
Dining room:	Three light frame, total height 1500mm with three 900mm high 1000mm wide sashes and fixed glass panels below. All sashes.....	Awning Hung
Bedroom 1	Landscape frame with a 1500 x 1500mm square plate glass, a 900mm high 1000mm wide sash one side and a fixed glass panel below. Sash....	Awning Hung
	Single frame same height as for above Landscape with a 900mm high 1000mm wide sash, and fixed glass panel below. sash.... ...	Awning Hung
Bedroom 2	As for Bedroom 1	
Bedroom 3	Double frame, total height 1500mm with two 900mm high, 1000mm wide sashes and fixed glass panels below. Both sashes.....	Awning Hung

Schedule of Windows (Continued)

Window	Size	Type
Bedroom 4	Landscape as for Bedroom 1	
Kitchen :	Double frame with two 1000 x 1000mm sashes.....	Awning Hung
Laundry :	Double frame with two 1000mm high 800mm wide sashes.....	Awning Hung
Vanity :	Single frame, total height 1500mm with a 900mm high, 800mm wide sash and a fixed glass panel below. Sash... Glazed <u>CLEAR</u> .	Awning Hung
W.C's:	Single frame to each with a 1000mm high 700mm wide sash to each..... Both glazed OBSCURE.	Awning Hung

DOORS AND THEIR FRAMES:

As specified. Provide planted stops to interior doors.

SCHEDULE OF DOORS :

Door	Size	Type
Exterior Front:	1980 x 860mm two-light 'ALTHERM' Aluminium door and frame. BRONZE Anodised to match windows. Provide a 'ALTHERM' Aluminium frame with a fixed light over and to one side of the door (check size on the Site).	
Exterior Rumpus Room:	'ALTHERM' Aluminium sliding Door/Window combination frame, with two 1200mm wide sliding door panels, glazed CLEAR - Vision-rails. Two 600mm high, 1200mm wide sashes each side of doors and fixed glass panels below and above (check height on the Site). All sashes.....	Awning Hung
Garage doors :	ROLL-A-DOORS of an approved brand 2700mm high, 2700mm and 5300mm wide (check on the Site).	
Exterior Back:	1980 x 810mm two light 'ALTHERM' Aluminium door and frame.	

Schedule of Doors (Continued)

<u>Door</u>	<u>Size</u>
<u>Interior doors generally:</u>	
	1980 x 810, 760 and 660mm flush wooden panel SAPELE MAHOGANY veneered - clashed both edges with matching Mahogany..
Wardrobe doors:	<u>All</u> 610mm wide. 'GLIDEMASTER' One MIRROR panel to each wardrobe. Remaining panels SAPELE MAHOGANY veneered. Slide on approved interior sliding door track complete with guides etc., as required.
Towels, Broom, Coat cupboard, Pantry & Hotwater cupboard (Lower level):	1980 x 610mm flush wooden panel SAPELE MAHOGANY veneered, clashed one edge.
Pantry & Hotwater cupboard (Upper level) Linen press, & Blanket Storage:	1980 x 610mm 'ALLENSON' Louvre doors - Closed-Louvres. SAPELE MAHOGANY veneered.
Sewing cupboard:	'BIFOLD' doors - two doors 600mm wide. SAPELE MAHOGANY veneered.
Shower doors:	(Three) 'SHOWERMATER' SD 3
Door between Lounge & Dining:	1500mm wide 'GLIDEMASTER' MEXICO Selected glass and SAPELE MAHOGANY infill panels. Complete with interior sliding track; guides and all other required accessories.

EXTERIOR DOORS :

Doors must be of approved manufacture, hang exterior doors on three 100mm galvanised butt hinges with brass pins and fix hardware.

Hang any doors not specified and fix hardware.

Hang ALTHERM doors as specified by the Manufacture.

Hang the Roll-a-Door as specified by the Manufacture of these doors and fix necessary hardware.

INTERIOR DOORS :

Hang interior doors on three 090mm A.T.C. butt hinges with loose pins and fix hardware. Doors must be of SAPELE MAHOGANY, clashed to match. Hang all interior doors as specified by the Manufacture of these doors, and fix hardware. Hang doors not mentioned and fix hardware.

INTERIOR LININGS :

Line walls to all rooms, cupboards and wardrobes (except where otherwise specified) full height to ceilings and to above dado in Vanity rooms (upper level.) and Bathrecess, with 9.5mm thick Gibraltar board, fix with 30mm flat headed galvanised clouts.

Carry out fillings with the best plaster of paris, fill to an even surface with all spots and rises removed.

Note+ Finish angles and ceiling margins in cupboards and vardrobes with suitable wooden moulding. Stopping as for Gibraltar board walls above.

(b) Line walls and ceilings to showers (3) full height, full height in each pantry and to W.C. and Vanity-Dressing (lower floor) and to a dado height of 1220mm in each vanity room (upper level) with selected 'SERATONE' sheets glued **direct** to framing and make completely watertight.

Note+ AS large sheets as possible must be used to eliminate unnecessary jointing. In no way shall this lining be screw fixed or nailed through front surface.

Finish joints, angles and dado to Seratone with suitable plastic jointer mould and make completely watertight.

(c) Line Storeroom with 4.5mm thick Hardboard, fix to studs with cadmium plated panel pins spaced 100mm on edges and 225mm on noggings or intermediate studs. Joints between sheets shall be V-jointed, using plastic jointer mould to angles.

Note+ The Garage areas shall NOT be lined,

VENTILATORS TO BASEMENT AREAS :

Provide openings through ceiling into floor cavity and provide a clear air duct to the outside wall ventilators where shown on Basment Plans and Rear Elevation..

SISALATION :

Provide and install SISALATION 424 to interior of all exterior walls before fixing linings (not including Basement areas)..

FIBREGLASS BATTS :

Provide and install 50mm thick FIBREGLASS BATTS to the whole of the ceiling area before fixing ceiling sheets.

Provide and lay BATTS as mentioned, under and around the Bath, when building in same.

CEILINGS :

(a) Line ceilings in Lounge, Dining room, Rumpus room, Foyer-entrance, Passages and Bedrooms with 9.5mm thick Gibraltar board - fix and stop as for walls (a).

IMPORTANT NOTE :

UNDER NO CIRCUMSTANCES SHALL MILK OR ANY CASEIN BASED RETARDER BE ADDED TO THE STOPPING PLASTER FOR THESE CEILINGS MENTIONED ABOVE.

Ceilings (Continued)

- (b) Line ceilings mentioned under "Interior Linings" (b), Kitchen, Laundry, Vanitys, W.C's, Bathrecess and Dressing room with "CLASSIC"WHITE" 'SERATONE' GLUED direct to ceiling framing.

Finish joints between sheets with plastic jointer mould matching white of the Seratone.

Note+ As large sheets as possible must be used to eliminate unnecessary joints. In no way shall this lining be screw fixed or nailed through the face surface.

- (c) Line ceiling in the Storeroom with 12mm thick Pinex Softboard - pre sealed, using P.F.S.1 aluminium jointer mould to sheet joints.
- (d) Line ceilings in cupboards and wardrobes as for walls in same. (Seratone ceilings in Pantry cupboards).

FINISH IN CUPBOARDS AND WARDROBES :

Finish angles and ceiling margins with suitable wooden mouldings. (Not including Pantry cupboards).

CORNICES :

Provide and fix a small wooden scotia around all ceilings.

SWITCHBOARD CUPBOARDS :

Form recess between studs For an exterior switchboard cupboard where indicated by the Local Power Authority.

ACCESS DOOR IN CEILING:

Suitable position, 500mm square. made up of ex 25mm thick material to match ceiling. Provide planted stops and finish around with 25mm half round bead and 25 x 75mm jambs.

KITCHEN CUPBOAED WORK:

Kitchen cupboard work shall be Square-line Finish Formica veneered and shall include the Sink Bench Top, dresser and bench units, and servery. The supply and delivery shall be arranged by the Owner.

The Building Contractor shall build cupboards in where indicated on the floor plan and finish around.

WARDROBES :

Construct where shown, line as specified. Size shown on floor plan. Finish interior of each wardrobes with two shelves out of ex 25 x 300mm timber, first shelf at height of 1650mm above Floor level, finish second shelf 250mm above first.

Provide and Fix "PRYDE" closet bar to the front of the lower shelf.

Hang sliding doors to each wardrobe. Fix hardware if re required.

③
PANTRY CUPBOARDS:

Construct where shown to Top and Lower floor levels. Line as specified. Finish interior with shelving to three sides to each as shown. Shelving ex 25 x 250mm spaced approximately 225mm apart to pantry top floor and out of ex 25 x 200 and 25 x 300mm to pantry lower floor level at 225mm apart.

Provide ventilation to Top floor pantry cupboard through ceiling, cover opening with nylon gauze secured with 12mm cover beads.

Hang doors as specified to each cupboard and fix hardware.

LINEN PRESS :

Construct where shown, full height, line as specified. Finish interior with 5-shelves out of ex 25mm thick timber, space at 250mm centres. Hang doors and fix hardware.

TOWEL CUPBOARD :

Construct and line as for Linen Press. Provide and fix shelving as for Linen Press. Hang doors and fix hardware.

BLANKET STORAGE :

Construct and line as for Linen Press. Provide and fix shelving as for Linen Press. Hang doors and fix hardware.

LINEN/HOTWATER CUPBOARDS :

Construct where shown, line as specified. Sizes shown. Provide three shelves over and to one side of cylinder to each, out of 25 x 100mm battens spaced 12mm apart. Support shelving to one side on a light timber frame which shall be removable for access to cylinders. Hang door to each and Fix hardware.

COAT CUPBOARD:

Construct where shown. line as specified. Provide and fix shelving as for Wardrobes. Provide and fix PRYDE closet bar to front of the lower shelf'.

Provide and fix ex 25 x 200mm open trays to one side of cupboard, commencing 450mm from floor level and fixed at 250mm centres. Finish top tray at height of 1.5m.

Hang door and fix hardware.

SEWING CUPBOARD:

Construct where shown, line as specified. Unit shall be made up of 25mm thick clean PINE timber, construct as directed by the Owner. Provide and fix Pinex Pegboard and shelving to rear and side walls respectively.

Allow the P.C. Sum of \$220.00 (Two hundred and twenty dollars) for the unit, pegboard lining and shelving

The Building Contractor shall fix unit and materials in position and finish around.

BROOM CUPBOARD:

Construct where shown, full height. Line as specified. Provide and fix shelves as for Wardrobes.

Provide and fix four nonferrous hooks for brooms.

Hang door and fix hardware.

VANITY UNITS :

Complete units supplied by the Owner. Mirror later specified.

The Building Contractor shall fix units in positions indicated on the Floor Plan, finish around.

FINISH TO SATH:

Cradle bath on floor, frame up front and line as for walls with Seratone.

Check with Owner if toe space required. Bath supplied by the Oumer.

TRIMMING FOR EXHAUST FLUE:

Provide necessary trimming through ceiling and roof at recommended clearance of the manufacture of the unit.

The Plumber to provide and install. above surface cooking unit

Finish opening to ceiling with suitable jamb facings.

TOWEL RAILS :

Install the towel rails as provided by the Owner in position indicated, in the Vanity rooms. bathrecess and Laundry.

TOILET PAPER HOLDERS :

Install metal fittings in each W.C., as provided by the Owner.

SOAP DISHES:

Install soap dishes as provided by the Owner, to each shower box and to wall above bath. (if required)

BASE TO EACH SHOWER BOX:

Install - 910 x 910mm Stainless Steel shower tray in each shower box, provide full backing of Pinex and shaped wedges to fall of the tray and make completely watertight.

Trays supplied by the Owner.

WASH TUB:

Supertub supplied by the Owner. Allow for any required finish.

REFRIGERATOR, FREEZER, WASHER AND DRYER

Supplied by the Owner. Plumber and Electrician to allow for connections.

PLANTER:

Build in Planter where shown on Floor Plan, construct to the Owners design out of timber selected by the Owner.

Allow the P.C. Sum of \$150.00 (One hundred and fifty dollars) for this unit.

The galvanised iron tray shall be supplied by the Owner.

INTERIOR STAIRWAY:

Construct stairway where shown on plan, of ex 50 x 300mm runners, ex 50 x 250mm treads and ex 25 x 200mm rises glued, wedged and housed into stringers. Provide landing where shown on Plan, frame up with 50 x 100mm framing, joists at 450mm centres, then lay 19mm thick PARTICLE BOARD over as for flooring. Finish around edges where necessary with a wooden nosing mould.

BALUSTRADE:

Provide and fix balustrades where shown on floor plan to top floor level, construct of ex 40 x 200mm D.A. Rimu. Support Balustrade on ex 40 x 40 D.A. Rimu rail supports spaced at 200mm centres.

FINISH:

Architraves and skirting as required. Fit skirting around all rooms etc., mitre architraves throughout. Sillboards if required, of width to suit.

HARDWARE:

Hardware supplied by the Owner.

The Building Contractor shall install hardware as required and leave in perfect working order.

Hardware shall not include the Builder's Ironmongery.

Hardware shall include locksets, latchsets, sliding door gear etc., and other door furniture as required, towel rails, metal fittings, soap dishes, door stops, broom hooks, and similar hooks in each dressing room.

COCKTAIL UNIT:

Cocktail Double-sided Unit shall be supplied by the Owner.

The Building Contractor shall build in Unit where indicated on the Floor plan and provide required finish around.

R O O F E R :

- (a) Cover the whole of the roof area over chords with 50mm netting. Cover with 'FLAMESTOP' Fire Retardant Building Paper. lay parallel with ridge. Lay first strip of paper at eaves line and each successive strip so that each strip laps at least 150mm over top edge of the immediate strip below.

Building paper shall be turned down behind the gutter at eaves, secure with galvanised tacks.

- (b) Provide and fix ex 40 x 50mm battens (splayed) to truss chords at recommended spacing of the tiles manufacture.

- (c) Provide and fix selected 'GERARD' roofing tiles to the whole of the roof area, as directed by the Instructions of the Tile Manufacture.

Provide and fix ridge capping, matching colour to the tiles selected.

Complete margins with matching barge sections of the manufacture of the tiles.

Provide required clearance for any vents etc.. passing through the roofing. Flash around and make completely watertight.

ENSURE the roof is completely watertight.

Roofing must be fixed by an approved firm of Roofing Contractors.

P L U M B E R :

All fittings arranged by the Owner.

GENERAL :

The Contractor in this trade shall fully execute all work in his trade that is shown on the Plans accompanying This Specification, but not specified in this Specification or vice-versa, as no extra charge shall be allowed.

The Contractor in this trade shall fully execute all work in his trade that is not shown on the Plans accompanying this Specification and/or specified in this Specification. but is necessary to complete the work and/or suit the regulations as no extra charge shall be allowed.

The Contractor in this trade shall fully execute all part or parts omitted from this specification and/or accompanying plans, in his trade as no extra charge shall be allowed.

WORKMANSHIP:

The whole of the works must be carried out by skilled and Licensed Plumbers only and in accordance with the requirements of the Local Authority and Drainage and Plumbing Regulations 1959, completed and tested in the best trade manner.

PIPING :

Conceal piping where it enters rooms and runs to Fittings, securely strap in positions.

Flash and ring all pipes projecting through roof.

PIPES EXPOSED TO VIEW:

Unless otherwise specified or shown on Drawings all exposed piping shall be:-

(a) Chromium plated

All copper and brass pipes and fittings in toilets, kitchens, tea kitchens, refreshment areas, bathrooms, laboratories etc.

(b) Painted

All interior pipework in areas other than storerooms, basements etc., shall be painted as specified under "PAINTER".

HOTWATER PIPES:

All hotwater pipes from hotwater cylinder(s) or hotwater storage tank(s) to taps or outlets of individual fittings shall be insulated against heat loss.

PIPES PASSING THROUGH WATER PROOFING MEMBRANE:

Pipes passing through water proofing membrane shall be sealed and water proofed strictly in accordance with the instructions of the water proofing membrane used for the Job and as specified in this specification as piping MUST IN NO WAY COME IN CONTACT WITH THE CONCRETE FLOOR or ANY CONCRETE WHATSOEVER.

PIPING AND LAGGING:

The PLUMBER must carry out all required piping, wastes etc., as required before the floor slab is poured.

Piping in connection with the hotwater must be fully lagged.

All copper piping under floor slab and where they pass through slab shall be FULLY LAGGED and shall IN NO WAY COME IN CONTACT WITH THE CONCRETE SLAB.

Refer to "PIPES PASSING THROUGH WATERPROOFING MEMBRANE" for waterproofing of these pipes.

Materials must be of the best commercial quality.

PERMITS:

The PLUMBER shall arrange and pay required fees for permits required for this trade, before the work is commenced.

FLASHING:

Flash wherever needed to keep watertight and weathertight, EXTREME CARE must be taken to keep dissimilar metals from making contact. Care must be taken to ensure flashings of same metals are used in adjacent areas.

Flash all openings through roof with 19.5 Kg/m sheet lead and make completely watertight.

Carry out all flashings to windows and other openings where required to make watertight, with 0.63mm thick Galvanised sheet metal, make completely watertight.

Provide G.I. trays to sills as required.

VENT PIPES:

Carry up all vent pipes from drains and fittings as required by Local Authority regulations, in cast or screwed galvanised wrought iron or P.V.C. conceal where possible within the framework.

WASTE PIPES :

Carry all wastes pipes from drains and fittings with cleaning eyes etc., and traps as required. Conceal piping wherever possible, support directly and continuously from framework on 25mm thick Tanalised Native timber.

GUTTERING :

Provide and fix 'DIMOND' fascia gutter, as specified by the Manufacturer's Printed Instructions.

Guttering shall have graded fall to the downpipes, support on purpose made brackets of the Manufacture.

All joints must be rivetted and soldered.

DOWNPIPES :

Provide and fix 75mm diameter P.V.C. downpipes in positions shown on the Site Plan. Glue joints and make completely watertight. Support on purpose made brackets, offset from wall.

COLD WATER SUPPLY:

Piping to the exterior of the building must be sunk at least 300mm into the ground.

Lay on cold water from main at the boundary in 20mm diameter P.V.C. tubing to within the building, provide stopcock in a suitable accessible position. Take 12mm diameter P.V.C. branches to within 2 metres of the hotwater cylinders, and take 12mm diameter P.V.C. branches to the ajax valve to underbench hotwater cylinder, bath, sink, vanities, showers, tub, W.C. flush cisterns, stopcock for the washing machine and dishwasher and to two exterior standpipes (located one front - one rear of the building.)

Note Make connections to the hotwater cylinders in 12mm diameter copper tubing - 2 metres from the P.V.C. line.

HOTWATER SUPPLY SYSTEM:

All piping in connection with the hotwater must be in copper.

Install two 160 litre capacity 'RHEEM' full flow mains pressure hotwater cylinders to the recommendations of the Maker. Cylinders supplied by the Owner.

Provide necessary drainage facilities for these cylinders:

From cylinder in Basement make connections in 12mm diameter copper tubing to the shower and vanity and to shower and vanity from Bedroom 1. From the cylinder (top floor) make connections in 12mm diameter copper tubing to adjacent shower, bath, vanity, tub and stopcock for the washing machine.

install an underbench cylinder supplied by the Owner, provide and install ajax valve (supplied by the Owner) and make connections to the underbench cylinder in 12mm diameter copper tubing, carry up exhaust. From the cylinder and take 12mm diameter copper branch to the sink and dishwasher.

All piping must be of an approved brand, with flanges for securing to the framing.

Notes A 12mm diameter copper branch shall be taken from the lead-in with a screw plug to an accessible position for future drainage of the Rheem cylinders.

W.C. PANS, CISTERNS AND SEATS:

'COROMA' supplied by the Owner. The Plumber shall install complete units in each W.C.

TAPS:

Taps and extensions except standpipe taps shall be chromium plated streamlined bib and pillarcocks marked "HOT" and "COLD" respectively. Faucets to sink bench.

Standpipe taps to be brass with hose connections.

DISPOSAL UNIT AND UNDERSINK WATER CYLINDER:

Supplied by the Owner.

Plumber to allow for installation of these units and all required accessories.

SANITARY FITTINGS:

All fittings supplied by the Owner.

Bath: - 1675mm long - supplied by the Owner.

Vanities complete - Two 900mm long 'AAKRONITE' units.
One 1500mm long 'AAKRONITE' unit.

Sink bench top: - 2400mm long - Tiled sink bench top supplied by the Owner. (cupboard work)

The Plumber shall provide holes for Faucet type taps.

Wash tub unit: - 'SUPERTUB' supplied by the Owner.

The Plumber shall allow for installation.

Shower controls: Three mixer type units supplied by the Owner.

The Plumber shall allow to install.

Shower trays: - Three 910 x 910mm Stainless Steel floor trays, supplied by the Owner.

Shower rose: - Adjustable ball swivel needle shower rose and bracket complete with flange to each.

Provide and install the above units as supplied by the Owner, complete with plugs, chains, unions, vents etc., as required.

Run in as short and easy flowing runs as possible well and securely supported to prevent water hammer.

E L E C T R I C I A N :

ARRANGED BY THE OWNER

GENERAL:

The Contractor in this trade shall execute fully all work in his trade that is not shown on the Plans accompanying this Specification and/or specified in this Specification but is necessary to complete the work and/or suit the regulations, as no extra charge shall be allowed.

The Contractor in this trade shall execute fully all work in his trade that is shown on the Plans accompanying this Specification but not specified in this Specification or vice-versa, as no extra charge shall be allowed.

The Contractor in this trade shall fully execute all part or parts omitted from this Specification and/or accompanying Plans, in his trade as if no error or omission existed, as no extra charge shall be allowed.

The Building Contractor shall provide all usual attendance, noggings for lights, switches, flush plates, plugs etc., and meter station and further noggings and necessary framing as required.

Carry out all work in this trade that is mentioned in part or parts as if no error or omission existed to make the whole of the works a sound and complete construction, as no extra charge shall be allowed.

Preliminary and General Clauses shall be read where they apply to this trade. Specific items appear under Element Code or Scope of Work Section in this Specification.

Provide plant, labour and materials as specified and required to construct and complete the work in accordance with documents and maintain same. Work shall be co-ordinated with that of other trades and must comply with all relevant N.Z.S.S. Code of Practice and Local authority requirements.

Give all necessary notices to Supply Authority, obtain the required permits, consents etc., make necessary arrangements for connections to Supply Authority terminals, arrange all inspections and pay all fees in connection therewith.

MATERIALS :

All equipment shall be of the highest quality, well maintained and shall conform to requirements of the appropriate New Zealand and British Standard Specification and shall be approved as required under the New Zealand Electrical Wiring Regulations 1961 and Amendments thereto. All materials; unless otherwise specified, must be new and the best of its kind and shall be delivered to the site stated in this Contract Specification with all makers labels intact.

Proprietary articles are mentioned in this Specification as a guide to Tenderers, similar equipment of equal competence and quality may be considered, provided, the equipment offered is fully described in the Tender complete with Brand Name, Rating and Catalogue Number and Dimension Drawings where necessary.

WIRING:

Circuit wiring shall be T.P.S. Cables shall be of 250 volt grade complying with B.S.S. 7 P.V.C. Cables and Flexible Cords for Electric Lighting and Power.,

All plastic materials used for lighting. flush plates, switches, plugs etc., shall be ivory coloured. except, where used on surfaces to be dark stained, then, they must be black or brown coloured plastic with matching screws. All plates, switches etc., must be matching throughout the building.

The meter station shall be Galvanised iron cabinet placed in position directed by the Local Authority fitted with necessary meters and labels.

Sub board shall be recessed in an approved position fitted with main switch, necessary fuses and earth straps, labels for all items with pressed plastic strip lettering.

INSPECTION FACILITIES :

The Electrician will provide the Inspector of Supply Authority and the Supervisor of Works, with facilities for examining the work as it proceeds, he shall also make tests to show work is properly carried out and completed. Any defects discovered, including adjustments to all automatic control gears as may be required during the whole of the maintenance period for the best and most efficient operation, shall be made good at the Electrician Contractor's own expense.

VARIATIONS :

The Designer or Owner may direct variations, including reductions or increases of the number of fittings or variations of details, either before and/or after signing the Contract and the Contractor's price shall be adjusted to agreed rates.

MAIN INCOMING CABLE:

Unless the following points are fully described in this Specification the Electrician shall, after ascertaining from the Supply Authority, submit with his tender:-

- (a) The proposed point and method of connection to the Supply Authority terminals.
- (b) The proposed means of intake to the main switchboard ie: underground or overhead. In this case the mains are..... UNDERGROUND.
- (c) The proposed make and size (capacity) of the incoming main on which his contract price is based.

In no case shall the incoming main have a capacity of less than the indicated loadings, plus 50% to allow for future extensions of the Electrical installations Refer Site Plan.

WORKMANSHIP:

All workmanship must be in accordance with the New Zealand Electrical Wiring Regulations 1961 and Amendments thereto.

The installation is to be carried out in accordance with the best trade practice by Registered and Skilled Electricians, in accordance with the requirements of the Supply Authority and to the complete approval of Inspector, Owner or Supervisor.

A competent forman must be on the site at all times during working hours to discuss with the Engineer, Designer or Supervisor, the details of the job, when required.

Materials shall be installed in accordance with the Instructions of the Manufacture as Printed, or recommended.

Installation of all electrical services must be in accordance with Details and General Intent and meaning of the Specifications and accompanying Drawing Plans and Details.

The Electrician shall provide all necessary connections to enable the whole of the works of installation to be left in full and correct working order.

EARTHING:

Earthing must comply with the latest requirements of the Supply Authority and the Electrical Wiring Regulations.

PLUG SOCKETS, SWITCHES AND FLUSH PLATES :

Combination switches and plug sockets shall be of of an approved brand, matching style throughout the building.

Flush plates shall be complete with matching screws for fixing and shall match plate colour. Flush plates, and switches, must be of matching style throughout. Plates shall be set flush against finished surfaces, rigidly and independently supported by the flush box.

FITTINGS:

Light fittings shall have lamp and Fuses with cartridge elements of the rating specified or as required. Any selected light fittings shall be taken as an extra and charged as same. Unless otherwise specified lamps shall be complete with opal shades.

CONCEALED WORK:

The Electrician shall be responsible for ensuring that all conduit, flush boxes and the like, including wiring, which is to be concealed, shall be located in the structure at the appropriate time before the linings are placed.

Errors or omissions in this respect shall be rectified, at the Electrician's own expense.

All work which cannot be concealed because of the nature of the structure shall be run as far as possible and is practicable, hidden from exposed view, to the complete satisfaction of the Owner or Supervisor.

All work which could have been hidden from view in the opinion of the Supervisor, shall be deemed to have been required to be concealed, unless specifically exempted.

Structural steel or Principal members of any material whatsoever shall NOT be drilled or notched, without the permission of the Consulting Engineer or the Designer.

CONDUITS SHALL NOT BE LAYED IN HEATED FLOOR SLABS.

WORK IN EXISTING STRUCTURES:

All wiring in public spaces, offices or living areas and the like where appearance is important must be concealed unless specifically exempted by the Designer.

Subject to the Supervisor's approval, wiring on existing concrete work or masonry shall be chased in and plastered over

TELEVISION ANTENNA CONNECTION:

Allow for two Install ribbon in wall as required.

Provide and **fix** plastic flush plate to each, with connection terminals. Position as indicated by the Owner.

COMPLETION AND TESTING:

Leave the whole of the works in this trade clean and in good condition with all fittings and equipment in full working order.

Provide for all or any tests described for by local authority. Hand over the whole of the works passed as sealed by them.

Provide all tests and ensure all are in perfect working order.

SWITCHBOARD:

Provide and install approved exterior switchboard.

AERIAL AND EARTH PLATES:

Allow for two - two pin aerial and earth plates with bakelite flush plates neatly engraved "Aerial" and "Earth" Position where directed. Run aerial wire as directed.

UNITS AND FITTINGS SUPPLIED BY THE OWNER:

Install as recommended by the Manufacturer of units and fittings.

Provide all accessories to complete the whole of the works.

P L A S T E R E R :

WORKMANSHIP:

Plasterers shall make good in all trades after all trades and leave the whole of the works in this trade and in complimentary trades clean and in thorough repair.

Plasterers shall take care to protect fittings or any work whatsoever, protect his work from dust, dirt, frosts, drying winds or any unsuitable weather whatsoever, he shall also screen his work wherever necessary to give a high class of finish,

All work treated by the Plasterer shall be properly hacked, soaked with clean water just prior to being worked to give a secure key. This work shall be carried out by the Plasterer.

Surfaces must be made perfectly smooth, level and plumb, straightened to grounds, trowelled and floated and finished to a fine high class finished face, perfectly free from cracks, water marks, blisters or any other imperfection whatsoever. Clean and even tones throughout. This Contractor shall comply in all matters specified under "CONCRETE" in this Specification.

All arises shall be clean and sharp. Allow for coving all internal angles.

MATERIALS :

Cement and water shall be as specified under "CONCRETE" in this Specification. Sand shall be approved silver sand free from salt, loam or other deleterious matter.

GENERAL :

The Contractor in this trade shall fully execute all work in his trade that is shown on the Plans accompanying this Specification but not specified in this Specification or vice-versa, as no extra charge shall be allowed.

The Contractor in this trade shall execute fully all work in his trade that is not shown on the Plans accompanying this Specification and/or specified in this Specification, but is necessary to complete the work and/or suit the reputations, as no extra charge shall be allowed.

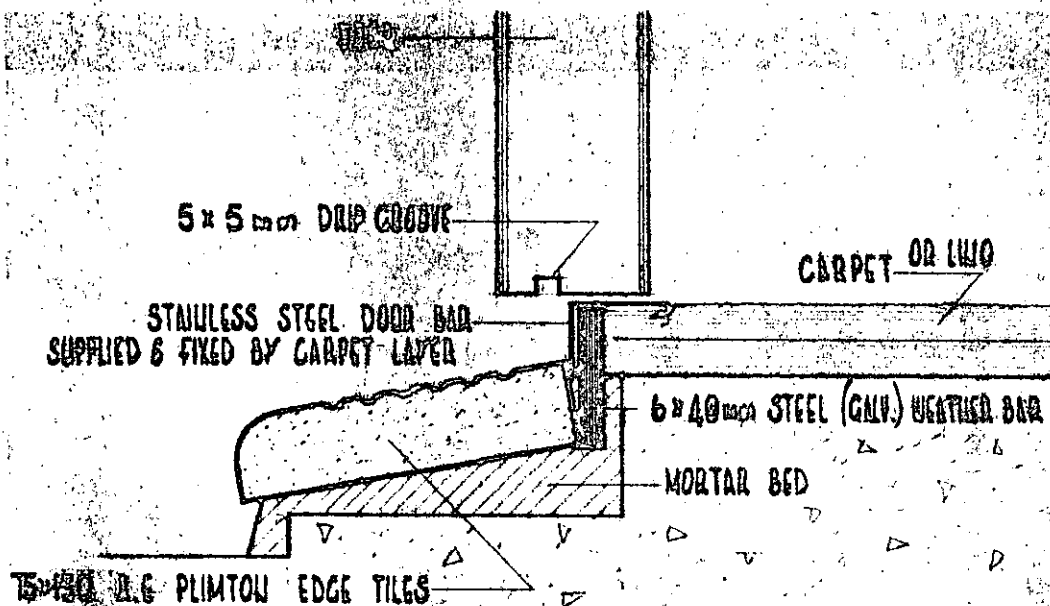
The Contractor in this trade shall fully execute all part or parts omitted from this Specification and/or accompanying Plans in his trade as if no error or omission existed as no extra charge shall be allowed.

DOOR SILL TILES:

Supply and fix 'PLIMTON' R.E. sill tiles, layed in a plaster mixture, provide required falls. Point up as required.

The Plasterer shall supply and fix 6mm x 40mm galvanised steel strap weather bar, place vertically in the plaster under the centre of the exterior swing door against the inside edge of the tiles.

Refer Detail.



TERRACE SLAB:

Surfaces hacked, and well soaked with clean water just prior to being worked.

Render and straighten with 2½ to 1 sand and cement compo not less than 12mm thick, finish to a fine face as specified under "CONCRETE" in this Specification and under "GENERAL" in this trade.

P A I N T E R :

GENERAL :

The Painting Contractor must fully execute all work in his trade that is shown on the Plans accompanying this specification but not specified in this Specification or vice-versa, as no extra charge shall be allowed.

The Contractor in this trade shall fully execute all work in his trade that is not shown on the Plans accompanying this specification and/or specified in this Specification but is necessary to complete the work and/or suit the regulations, as no extra charge shall be allowed.

The Painting Contractor must fully execute all work in his trade all part or parts omitted from this Specification and/or accompanying Plans as if no error or omission existed as no extra charge shall be allowed.

MATERIALS :

Materials used in this trade must be of approved manufacture, use in strict accordance with the Manufacturer's Printed Instructions, and in accordance with the requirements of the N.Z.S.S. relevant sections.

WORKMANSHIP AND PROTECTION OF WORK:

Workmanship must be of the highest possible standard carried out and completed to the complete approval of the Owner or Supervisor.

Work in this trade must be carried out and completed by skilled Tradesman in this trade.

NO painting or varnished work shall be done on any surface that is not sufficiently high standard as to allow for a high class of finish.

NO exterior painting shall be carried out in damp, frosty or unsuitable weather.

The Painting Contractor shall be responsible for the protection of his work against dust, dirt etc., and GREAT CARE must be taken to ensure that fittings and any finished work whatsoever is protected from paints, stains etc.

All work surfaces shall be cleaned down before painting and/or varnished work is commenced and just prior to same. Holes, cracks, etc., must be stopped with putty to suit the finished surface. (unless otherwise specified).

All undercoats must be sanded lightly between coats dust off, this also applies to varnished surfaces.

TINTS:

All colours and tints must be selected by the Owner.

Undercoats must vary slightly in shade to suit the final coat.

CLEANING:

The Painting Contractor shall be responsible for the cleaning of all windows, on completion of his work. Remove all paints and stains etc., and polish clean.

Remove all paints, stains etc., from any finished work such as bench tops etc., if they have become so marked, polish surfaces.

GUTTERING, GARAGE DOORS, FLASHINGS ETC:

Exterior finished as follows:-

Preparation:

Clean down and dust off. Remove all traces of oil, rust, grease etc., and brush off.

- (a) Apply one coat of galvanised primer into which has been added 598 gr. zinc dust per litre of primer, freshly mixed.
- (b) Apply one coat of general purpose undercoat, tint to suit final coat.

Final coat

Apply one coat of exterior high gloss enamel, to completely cover all undercoats.

Note:- Work must be sanded and cleaned as specified under "Workmanship and Protection of Work" in this trade.

ROOF:

Unless otherwise specified the roof shall not require attention from this trade in this Contract.

EXTERIOR WOODWORK:

Preparation

Clean down and dust off.

- (a) Apply one coat of red-lead primer suited to different type of materials used.
- (b) Putty nail holes etc., with linseed oil putty.
- (c) Apply one coat of general purpose undercoat.
- (d) Apply one coat of general purpose undercoat, tint to suit the final coat.

Final coat

Apply one coat of exterior high gloss enamel, completely cover all undercoats.

Exterior woodwork (Continued)

Note:- Work must be cleaned down, sanded and dusted off as specified under "WORKMANSHIP" in this trade.

SPATTERDASH SURFACES :

When Spatterdash surfaces are specified, apply two coats of P.V.A. paint as selected.

HARDWARE:

Locks, fasteners, handles etc., shall be removed by the Painting Contractor and re-fixed by him on completion of his work.

FIBROLITE SURFACES AND P.V.C. DOWNPIPES:

Apply THREE coats of Acrylic Paint as selected.

INTERIOR ENAMEL:

Shelving in each Pantry cupboard, Scotia to Seratone ceilings, any any other woodwork as required by the Owner shall be finished as follows:-

Preparation

Clean down and dust off.

- (a) Apply one coat of primer or sealer to suit the different types of material used.
- (b) Putty nail holes etc., with linseed oil putty.
- (c) Apply one coat of general purpose undercoat.
- (d) Apply one coat of general purpose undercoats, tint to suit the final coat.

Final coat

Apply one coat of interior high gloss enamel, completely cover all undercoats.

Note: All undercoats must be sanded lightly between coats, dust off.

PINEX WEATHER SIDES:

Prepare and paint as for "EXTERIOR ENAMEL".

DOWNPIPES:

Paint to match adjacent surfaces. Mentioned above.

FINISHED SURFACES :

The Painting Contractor shall cover all Brick and Stonework prior to commencing his work and shall be responsible for the protection of these and other finished surfaces throughout his entire job and protect them from paints, stains etc., and any finished work that has been so damaged in this way shall be made good at the Painting Contractor's expense.

ENAMELLED CEILINGS AND SCOTIA:

Storeroom' - Pinex shall be pre-sealed and shall not require a sealer:coat.

Preparation

Clean down and dust off. Stop nail holes etc., in scotia as for timber work. Stop nail holes in Pinex with plaster of paris, fill to an even surface and BRUSH off surplus to maintain the texture of the Pinex.

- (a) Apply one coat of sealer or primer to suit the material.
- (b) Apply one coat of general purpose undercoat.
- (c) Apply one coat of general purpose undercoat.

Final coat

Apply one coat of interior high gloss enamel to cover all undercoats.

Note:- Aluminium jointer mould must be painted with an Aluminium etching primer before undercoating.

GIBRALTAR BOARD CEILINGS :

Preparation:

Clean down and dust off.

IMPORTANT NOIE :

UNDER NO CIRCUMSTANCES SHALL MILK OR ANY CASEIN BASED RETARDER BE ADDED TO THE STOPPING PLASTER USED FOR THESE CEILINGS.

Provide

Provide a scribe line around scotia 3mm down from ceiling and mask up to this line.

First coat

Apply one coat of P.V.A. sealer.

Final coat

Apply a coating of CEILTEX Architectural Textured coating Texture and Colour selected by the Owner.

INTERIOR OF WARDROBES AND SIMILAR CUPBOARDS :

Arranged by the Owner.

SCOTIA TO GIBRALTAR BOARD CEILINGS:

Preparation

Clean down and dust off. Stop nail holes etc., as for timberwork.

- (a) Apply one coat, of primer.
- (b) Apply a general purpose undercoat.

Final coat

Apply one coat of Semi-gloss as selected.

INTERIOR WOODWORK:

Architraves, skirting, door jambs etc., flush doors balustrade and supports and all other woodwork as required.

These surfaces shall be STAINED as directed by the Owner.

EXTERIOR BLOCKWORK:

Preparation. Thoroughly clean down and remove all traces of powder or flaky material etc., and dust off.

- (a) Apply one coat of 'RESENE' C.B.S. concrete block sealer, or approved equivalent. direct from the can in one full brush coat to obtain a bold, even coat.
- (b) Apply one coat of 'RESENE' Latex paint or approved equivalent, tint to suit final coat.

Final coat Apply one full brush coat of 'RESENE' Semi-gloss latex paint or approved equivalent, in selected colour and completely cover all undercoats.

INTERIOR BLOCKWORK:

Preparation

Make good any surface cracking with stopping, allow to dry completely.

Remove any surface deposits and brush off.

- (a) Apply one coat of Semi-gloss Latex P.V.A. of an approved brand.
- (b) Apply one coat of Semi-gloss Latex of an approved brand tint to suit the final coat.

Final coat

Apply one coat of Semi-gloss Latex to completely cover all undercoats, as selected.

P A P E R H A N G E R :

GENERAL:

The Contractor in this trade shall fully execute all work in his trade that is shown on the Plans accompanying this Specification but not specified in this Specification or vice-versa, as no extra charge shall be allowed.

The Contractor in this trade shall fully execute all work in his trade that is not shown on the Plans accompanying this Specification and/or specified in this Specification but is necessary to complete the work and/or suit the regulations as no extra charge shall be allowed.

The Contractor in this trade shall fully execute all part or parts omitted from this Specification and/or accompanying plans in his trade, as if no error or omission existed as no extra charge shall be allowed

PREPARATION:

Fine down and remove any surface roughness in the linings to be papered and then give the whole one coat of 'PLASTISEAL' containing 'SANTABRITE'.

PASTE:

Paste shall have an admixture of 'SANTABRITE' at the rate of 25 grams to each litre of paste.

WORKMANSHIP:

Workmanship must be of the highest possible standard, carried out and finished to the complete approval of the Owner or Supervisor. All wallpapers must be butt jointed, hung true, level and plumb, neatly fitted to architraves, skirting, scotia, fittings etc., and offcuts shall be removed by the Paperhanger. Wet edges must be avoided when applying wallpapers.

CLEANING:

The Paperhanger will ensure that all offcuts are removed, avoid marking any finished work whatsoever. Remove all paste droppings, from any work whatsoever.

PAPERED ROOMS.

Allow the P.C. Sum of \$13.00 (Thirteen dollars) average per roll for the purchase of selected wallpapers.

Wallpaper all Gibraltar board surface to all rooms.

Interior of wardrobes and similar cupboards shall be arranged by the Owner.

G L A Z I N G :

GLASS WEIGHTS:

If the area of glass does not exceed one square metre
- 3mm thick sheet glass shall be used.

Over one square metre to 1.600 square metres
- 4mm thick sheet glass shall be used.

For areas exceeding 1.600mm square metres
- 6mm thick sheet **PLATE** glass must be used.

Obscure **glass** shall **be** selected by the Owner.

MIRROR TO EACH VANITY:

Provide and install a 900mm high - 1200mm wide - 6mm Polished plate Vinyl backed mirror of the best silvering quality. Set mirror in a picture frame mould made up of SAPELE MAHOGANY timber, rebate to take mirror and 4.75mm thick Pinex Hardboard back. set in to standard practice. Position mirror to wall above vanity top with concealed angle brackets.

Provide and fix two 800mm high - 600mm wide - 6mm Polished plate Vinyl backed mirror of the best silvering quality. Set mirror (**upper** floor level) in picture frame moulding as for mirror in main Vanity-room and position to wall above vanity top with concealed angle brackets. Set **mirror** to lower floor level in extruded aluminium signet mould and screw fix to **wall** above vanity top.

THROUGHOUT THE WHOLE OF THE JOB THE WORKMANSHIP
MUST BE OF THE HIGHEST POSSIBLE STANDARD, EXECUTED AS
EXPENDITIOUSLY AS IS COMPATIBLE TO CRAFTSMANSHIP
OF THE HIGHEST MANNER.

This Specification the design it covers, accompanying Plans and Detail Drawings and the design they cover remain **the** property of IVAN EDMONDSON A.M.N.Z. I.D. M.N. Z.I.D. and shall NOT be copied or altered **for** any purpose.

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Dargaville Office:
Private bag 1001
DARGAVILLE
Phone 0-9-439-7059
Fax 0-9-439-6756

KAIPARA DISTRICT COUNCIL

Paparua Office:
P.O.Box 1
PAPARUA
Phone 0-9-431-7019
Fax 0-9-431-7017

APPLICATION FOR A BUILDING CONSENT

(Attach all relevant documents in duplicate)

PART A : GENERAL (Complete Part A in all cases)

1. OWNER

2. CONTACT (if not owner)

Name: <u>M. D. + F. L. GLYNN</u>	Contact Name: <u>B. AIKEN</u>
Postal Address <u>19 THIRD AVE.,</u> <u>DARGAVILLE</u>	Postal Address <u>PLUNKET ST</u> <u>DARGAVILLE</u>
Phone Number <u>439 8926</u>	Phone Number _____
Fax Number _____	Fax Number _____

3. PROJECT LOCATION

Address OWNER

4. LEGAL DESCRIPTION

Valuation Number: <u>95/25/98</u>	OFFICE USE ONLY	
	Property ID:	
Lot(s) <u>129</u> Section)	DP/IS <u>78144</u> (Block)	Area of site <u>888</u> hectares sq.mtrs

PROJECT		Description of Work	
New Building <input type="checkbox"/>	Intended Life: Indefinite, but not less than 50 yrs <input type="checkbox"/> OR	<u>INSTALL 'LADY KITCHENER'</u> <u>FREE STANDING HEATING APPLIANCE</u> <u>Intended Use(s)(in detail) IN DWELLING</u>	
Alteration <input type="checkbox"/>	Specified as <input type="checkbox"/> yrs		
Relocation <input type="checkbox"/>		Estimated Value: Building _____ Plumbing & Drainage - Labour _____ - Materials _____ Total <u>\$2,000-00</u>	
Demolition <input type="checkbox"/>			

Application for building consent only, in accordance with Project Information Memorandum No: _____

[Application for Building Consent and Project Information Memorandum

Signed for and on behalf of the owner

Signature M. D. GLYNN

Name: M. D. GLYNN

(Please Print)

Date 18-2-93

OFFICE USE ONLY
TARGET DATE
<u>1 1</u>

PART B : PROJECT DETAILS

(Complete Part B only if you have not applied separately for a Project Information Memorandum)

<p>The project involves the following matters (Tick <input checked="" type="checkbox"/> each applicable box, if an)</p> <p><input type="checkbox"/> Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings (Site Plan with elevations, Topography, drawn to Scale)</p> <p><input type="checkbox"/> Details of any known or potential erosion, avulsion, falling debris, filled ground, subsidence, slippage, alluvion, inundation, hazardous contaminants on or near the site.</p> <p><input type="checkbox"/> Provisions to be made for vehicular access, including parking (To be shown on site plan)</p> <p><input type="checkbox"/> Provisions to be made in building over or adjacent to any road or public place</p> <p><input type="checkbox"/> New provisions to be made for disposing of stormwater and wastewater (To be shown on site plan)</p> <p><input type="checkbox"/> Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains</p> <p><input type="checkbox"/> New Connections to public utilities i.e. water supply, stormwater system, wastewater system (Note: Council has no agreement with network utility operations to act as their agent)</p> <p><input type="checkbox"/> Provisions to be made in any demolition work for the protection of the public. suppression or dust, disposal of debris, disconnection from public utilities, and suppression of noise</p> <p><input type="checkbox"/> Details of any cultural heritage significance of the building or building site, including whether it is on a marae, or waahi tapu.</p> <p><input type="checkbox"/> Copy or reference to, of any resource consent or planning approval for this project.</p> <p><input type="checkbox"/> Details of volume Proposed Excavations: Include volumes for Site Preparation, Basement and Driveway.</p>	<p>and attach relevant information in duplicate</p> <p>or altered buildings</p> <p>ground, subsidence,</p> <p>site plan)</p> <p>shown on site plan)</p> <p>ns or sewers or in</p> <p>te wastewater system</p> <p>ir agent)</p> <p>suppression or dust,</p> <p>ding whether it is on</p> <p>ject.</p> <p>Basement and</p>
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(Complete Part C in all cases)

PART C : BUILDING DETAILS

<p>This application is accompanied by (Tick <input type="checkbox"/> each applicable box, attach relevant documents in duplicate)</p> <p>7. <input type="checkbox"/> The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the New Zealand Building Code, with supporting documents, if any, including -</p> <p>8. <input type="checkbox"/> Building Certificates</p> <p>9. <input type="checkbox"/> Producer Statements</p> <p>10. <input type="checkbox"/> References to accreditation certificates issued by the Building Industry Authority</p> <p>11. <input type="checkbox"/> References to determinations issued by the Building Industry Authority</p> <p>12. <input type="checkbox"/> Proposed procedures, if any, for inspection during construction</p>	<p>documents in</p> <p>building is proposed</p> <p>g Code, with SUP</p> <p>Authority</p> <p>y</p>
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PART D : KEY PERSONNEL

(Complete Part D as far as possible in all cases. Give names, addresses, and telephone numbers.
Give relevant registration numbers if known)

13.

DESIGNER(S)

Name _____

Address _____

Phone Number _____ Fax Number _____

BUILDER

Name _____

Address _____

Phone Number _____ Fax Number _____

DRAINLAYER

Name _____

Address _____

Phone Number _____ Fax Number _____ Registration No: _____

PLUMBER

Name _____

Address _____

Phone Number _____ Fax Number _____ Registration No: _____

GASFITTER

Name _____

Address _____

(Phone Number _____ Fax Number _____ Registration No: _____)

ELECTRICIAN

Name _____

Address _____

Phone Number _____ Fax Number _____ Registration No: _____

CERTIFIERS

Name _____ Reg.No _____

Address _____

Phone Number _____ Fax Number _____

Certifying _____

Name _____ Reg No _____

Address _____

Phone Number _____ Fax Number _____

Certifying _____

If more than number allowed for please provide details on a separate sheet.

PART E : COMPLIANCE SCHEDULE DETAILS

E1 : SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

(Complete Part E1 for all new buildings and alterations, except single residential dwellings)

The building will contain the following (Tick each applicable box and attach proposed inspection, maintenance, and reporting procedures.

- Automatic doors which form part of any fire wall and which are designed to close and remain shut on an alarm of fire.
- Emergency warning systems for fire and other dangers.
- Emergency lighting systems.
- Escape route pressurisation systems. Riser
- Mains for fire service use.
- Any automatic back-flow preventer connected to a potable water supply.
- Lifts, escalators, or travelators or other similar systems.

of the building.

proper operation is necessary

interior walls of buildings.

above-mentioned systems.

E2 : OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

(Complete Part E2 only if the building contains one or more of the systems listed in Part E1)

The building will contain the following (Tick each applicable box and attach proposed inspection, maintenance, and reporting procedures).

- Means of escape from fire.
- Safety barriers.
- Means of access and facilities for use by persons with disabilities which meet the requirements Section 25 of the Disabled Persons Community Welfare Act 1975.
- Hand-held hoses for fire fighting.
- Such signs as are required by the building code or Section 25 of the Disabled Persons Community Welfare Act 1975

14. Please answer the following questions if they **apply**.

What materials will be used for the: (tick boxes) and which form of energy is being installed **OR** is already installed?

<input type="checkbox"/> Timber <input type="checkbox"/> Concrete <input type="checkbox"/> Wood Products <input type="checkbox"/> Other Framing <input type="checkbox"/> Timber <input type="checkbox"/> Concrete <input type="checkbox"/> Steel <input type="checkbox"/> Aluminium <input type="checkbox"/> Other	Roof <input type="checkbox"/> Steel <input type="checkbox"/> Concrete Tiles <input type="checkbox"/> Steel Tiles <input type="checkbox"/> Shingles <input type="checkbox"/> Aluminium <input type="checkbox"/> Other Internal Linings <input type="checkbox"/> Plaster Board <input type="checkbox"/> Fibrous Plaster <input type="checkbox"/> Wood Products <input type="checkbox"/> Other	Outer Walls <input type="checkbox"/> Brick <input type="checkbox"/> Concrete <input type="checkbox"/> Concrete Block <input type="checkbox"/> Cement Board <input type="checkbox"/> Plaster <input type="checkbox"/> Timber <input type="checkbox"/> Steel <input type="checkbox"/> Aluminium <input type="checkbox"/> Other Insulation <input type="checkbox"/> Fibreglass <input type="checkbox"/> Paper <input type="checkbox"/> Wool <input type="checkbox"/> Foil <input type="checkbox"/> Other	Energy <input type="checkbox"/> Electric <input type="checkbox"/> Gas <input type="checkbox"/> Solid Fuel <input type="checkbox"/> Floor Electrical <input type="checkbox"/> Ceiling Electrical <input type="checkbox"/> Storage Electrical Cooking <input type="checkbox"/> Electric <input type="checkbox"/> Gas <input type="checkbox"/> Solid Fuel
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15.

Floor Area of Proposed Work	Area square metres
Buildings Other Than Detached Accessory Buildings:	sq.m
Floor	sq.m
Basement	sq.m
Ground Floor	sq.m
First Floor	sq.m
Second Floor	sq.m
Additional Floors (Total)	sq.m
Mezzanine	sq.m
Decks	sq.m
Total	sq.m
Detached Accessory Buildings:	Area Square Metres
Garage	sq.m
Carport	sq.m
Other Buildings	sq.m
Total	sq.m

Dargaville Office
Private bag 1001
DARGAVILLE
Phone 0-9-439-7059
Fax 0-9-439-6756

KAIPARA DISTRICT COUNCIL

Paparua Office
P.O.Box 1
PAPARUA
Phone 0-9-431-7019
Fax 0-9-431-7017

PROJECT INFORMATION MEMORANDUM NO : 171

APPLICANT

Name: MD - FL Glynn

Mailing Address: 19 Third Ave
Dargaville.

Contact: _____

Phone: 09 439 8926

COUNCIL CHARGES •

The Council's total charges payable on the uplifiting of this project memorandum, in accordance with the attached details are; \$: 20.00

Receipt No: 109158

Note: where actual and reasonable costs exceed the charge on application, additional charges will be made.

PROJECT LOCATION

Street address (if any): 19 Third Ave
Dargaville

Valuation Reference: 95/25/98

Legal description: Lot 129 DP 76/44

This project information memorandum is:

- Confirmation that the proposed building work may be undertaken subject to the provisions of the Building Act 1991 and any requirements of the building consent
Not yet applied for
No : C-171 Attached
- Notification that any other authorisations must be obtained before a building consent will be issued.
- Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused.

This project information memorandum includes:

- Information identifying relevant special features of the land concerned.
- Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings.
- Details of relevant utility systems. (Council is not acting as agents for Electrical or Gas Utility Operators)
- Details of authorisations which have been granted.
- Details of authorisations which must be obtained before a building consent will be issued.
- Details of authorisations which have been refused.

Signed for and on behalf of the Kaipara District Council

[Signature]

Name: P. M. VAN DER SLOOT Date: 22-4-93

Position: Building Inspector

ATTACHMENT TO P.L.M. No. 171

INSPECTORATE

PLANNING

ENGINEERING

(A) Wind Zone rating for site

LOW
 Medium
 High
 Very High

(B) Provisions made with regard to building over or adjacent to a road or public place are acceptable

Hoardings
 Gantries
 Temporary Support N/A

(C) Provisions made for demolition are adequate

Removal of materials from site
 Dust Extraction N/A

(D) The site is known to be affected by hazardous contaminants which may impact on the proposed project

Chemical Contamination
 Underground Tanks NONE KNOWN
 Asbestos

(E) Licenses required to operate, subject to Building Consent being granted

Health Licences
 Dangerous Goods Licence N/A

(A) Proposed Project complies with District Plan Zoning

Yes
 No

(B) The bulk and location of the proposed project complies with the restrictions of the District Plan

Yes
 No

(C) Special planning restrictions known to affect the site which impact on the proposed project

Protected Tree Restrictions NO
 Historic Site Restrictions NO

(D) Proposed vehicle access acceptable

Gradient
 Width
 Length N/A

(E) Resource Consent Required

Nature of required consent

N/A

(A) The site is known to have soil conditions which will have impact on the proposed project

Fill
 Erosion NONE KNOWN
 Slippage
 Poor Bearing Capacity

(B) Site is known to be prone to flooding or lies within overland flow path

NO

(C) Proposed methods for building over or near service pipes acceptable?

N/A

(D) Proposed connection to services acceptable

Stormwater Disposal
 Foulwater Disposal
 Water Connection N/A

(E) Proposed location of vehicle access acceptable

Location
 Traffic Implications N/A

(F) Restrictions which may be imposed owing to potential impact on traffic

Signs N/A

Dargaville Office:
Private bag 1001
DARGAVILLE
Phone 0-9-439-7059
Fax 0-9-439-6756

KAIPARA DISTRICT COUNCIL

Paparoa Office:
P.O.Box 1
PAPAROA
Phone 0-9-431-7019
Fax 0-9-431-7017

BUILDING CONSENT No.: C 171

Tick each applicable box. Attach relevant documents

PROJECT INFORMATION MEMORANDUM NO:

APPLICANT	PROJECT
Name: <u>M.D. & E.L. GLYNN</u>	New or relocated building <input type="checkbox"/>
Mailing Address: <u>19 THIRD AVE</u> <u>DARGAVILLE</u>	Alteration <input type="checkbox"/> Intended Use(s) (in detail) <input type="checkbox"/> <u>INSTALL 'LADY HITCHINER'</u> <u>FREESTANDING HEATING APPLIANCE</u>
Contact: <u>& AILEE</u> <u>PLUNKET ST</u> <u>DARGAVILLE</u>	Intended Life: <input type="checkbox"/> Indefinite but not less than 50 years Specified as _____ years
Phone: _____ Fax: _____	Demolition <input type="checkbox"/>
Application Received. <u>1</u> / <u>1</u>	Being stage _____ of an intended _____ stages
COUNCIL CHARGES The council's total charges payable on the uplifting of this building consent, in accordance with the attached details, are: \$ <u>55.00</u>	Estimated Value (inclusive of GST): \$ <u>2,000</u>
Building Research Association Levy: \$ _____	PROJECT LOCATION street address (if any): <u>19 THIRD AVE</u> <u>DARGAVILLE</u>
Total: \$ <u>55.00</u>	Valuation Reference: <u>95/75/98</u>
Receipt No: <u>109158</u>	Legal Description: <u>LOT 129 DP 78144</u>

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the New Zealand Building Code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other act.

This building consent is issued subject to the conditions specified in the attached _____ pages headed "Conditions of Building Consent No. _____"

Signed for and on behalf of the Council: [Signature]

NAME: P.M. VAN DER SURS

POSITION: Building

DATE: 221 4 193

NOTICE TO APPLICANT

1. This consent will lapse if building work has not commenced **within six months** from the date of issue or if **reasonable progress has not been made within twelve (12) months after work has commenced**. The consent may be extended for a **further** period at the discretion of the territorial authority.

2. **No** deviation or alteration from the **original** plans and specification can be carried out without Written approval of the territorial authority and no building **may** be converted to any other use than that stated on the building consent.

3. **IMPORTANT:** You are fully responsible for any damage done to any works such as telephone cables, power cables, water mains, gas mains, sewers, pipes, footpaths, roads or other services.

distance with the N.Z.
position of survey

Under the Electrical
in certain prescribed
the nearest office of

of Section 76 of the
or other person

on:

is a condition of the

on the appropriate

CONDITIONS OF BUILDING CONSENT

(and as set out on the attachments headed "Conditions of Building Consent No" if any)

Dargaville Office:
Private bag 1001
DARGAVILLE
Phone 0-9-439-7059
Fax 0-9-439-6756

KAIPARA DISTRICT COUNCIL

CODE COMPLIANCE CERTIFICATE NO: 171

Paparua Office:
P.O.Box 1
PAPARUA
Phone 0-9-431-7019
Fax 0-9-431-7017

Tick each applicable box. Attach relevant documents.

BUILDING CONSENT NO. C171

APPLICANT:

M.D. & F.L. GLYNN

PROJECT

PROJECT LOCATION

Yew or relocated building

Street address (if any): 19 THIRDS AVE

Alteration

DARGAVILLE

Intended Use(s) (in detail)

Valuation reference: 95/25/98

INSTALL 'LADY KITCHENWARE'

Legal Description: _____

HEATING APPLIANCE

Intended Life:

Indefinite but not less than 50 years

Specified as _____ years

COUNCIL CHARGES

The Council's total charges payable on the uplifting of this code compliance certificate, in accordance with the attached, details are:

Demolition

Being stage _____ of an intended _____ stages

\$ _____

Receipt No: _____

THIS IS

- A final code compliance certificate issued in respect of all of the building work under the above building consent.
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- This Certificate is issued subject to the conditions specified in the attached _____ pages headed "Conditions of Code Compliance Certificate No: _____" (being this certificate)

Signed for and on behalf of the Council:

Name: P.M. VAN DER SLUIS

Position: BUILDING INSPECTOR Date: 22/7/93

Date Inspected

INSPECTORS FIELD SHEET

CONSENT NO: 171

21-4-93 Inspected heater installation -
requires 25 mm gap between combustible
ceiling lining (gibboard) and outer flue
sheet. explained to owner and installer.
22-4-93 final inspection heater installed O.K. flue
air gap good.

Dargaville Office:
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DARGAVILLE
Phone 0-9-439-7039
Fax 0-9-439-6756

KAIPARA DISTRICT COUNCIL
ADVICE OF COMPLETION OF BUILDING WORK

Paparoa Office:
P.O.Box 1
PAPAROA
Phone 0-9-431-7019
Fax 0-9-431-7017

Tick each applicable box. Attach relevant documents.

UNDER BUILDING CONSENT NO: C171

FROM (Owner):

Name: GLYNN

Mailing Address: 19 THIRD AVE

DARGAVILLE

YOU ARE HEREBY ADVISED that

All

Part only as specified in the attached particulars

of the building work under the above building consent is believed to have been completed to the extent required by the building consent.

YOU ARE REQUESTED TO ISSUE

A final

An interim

code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

THE ATTACHED PARTICULARS INCLUDE:

Building Certificates

A code compliance certificate issued by a building certifier

Producer statements

Signed **by/for** and on behalf of the owner:

Name: 

Position: OWNER

Date: 22/4/19