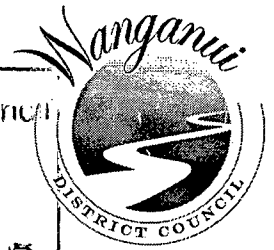


101 Guyton Street
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Wanganui District Council

31 JAN 2007

RECEIVED

APPLICATION FOR

- PROJECT INFORMATION MEMORANDUM AND/OR
 BUILDING CONSENT OR
 ALTERATION TO EXISTING BUILDING CONSENT

(Please tick appropriate box)

Building Consent or PIM No:

BC0207/0096

Section 32 or Section 45, Building Act 2004

The Building Street Address: 23 Nile Street Wanganui	The Owner Owners Name: Jeremy Bull Contact Person: Jeremy Bull Mailing Address: P.O. Box 7 Manana, South Taranaki
Legal Description: Lot: DP:	Street Address: (Registered Office)
WDC Property No:	Phone: 06 274 9009 Mobile: 027 3107304
Building Name: Residential House (if applicable)	Fax: Afterhours: ↓
Level/Unit No: (if applicable)	Email:
Area:	Website:
Current Use:	Contact Person
Year first constructed: (if applicable/or approx, year)	Name: J. Bull
Agent (please fill in if owner not applying)	Phone: 06 274 9009 Mobile: 027 3107304
Name:	Fax: Afterhours:
Mailing Address:	Email:
Street Address:	Website:
	Relationship to Owner: OWNER
	First Point of Contact: <u>The Owner</u> (please circle one) The Agent

The Project
 Description of Building Work: Residential Addition

Will the building result in a change of use: YES NO (please circle one)

If yes, please provide details of new use:

Intended life of the building if less than 50 years: /

Building Consent Numbers of those building consents previously issued for this project (staged project):

Estimated value of building work including GST \$: 30,000

The information provided will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising

The following evidence of ownership is attached to this application: Please tick those that are applicable

1. Certificate of Title	<input type="checkbox"/>
2. Lease Agreement	<input type="checkbox"/>
3. Agreement for Sale and Purchase	<input type="checkbox"/>
4. Other... (please give details)	<input type="checkbox"/>

Signature of owner/agent on behalf of and with authority of the owner - (please delete one)

[Handwritten Signature]

Dated: 3/1/07

Consent Fee to be paid by: (please circle one)

Owner Builder Plumber Designer Agent

Code Compliance Certificate to be sent to: OWNER

Project Information Memorandum
 The following matters are involved in the project: (please tick the appropriate project)

<input type="checkbox"/> Subdivision	<input type="checkbox"/> Alterations to land contours
<input checked="" type="checkbox"/> New or altered connections to public utilities	<input checked="" type="checkbox"/> New or altered locations and/or external dimensions of buildings
<input type="checkbox"/> New or altered access for vehicles	<input type="checkbox"/> Building work over or adjacent to any road or public place
<input checked="" type="checkbox"/> Disposal of stormwater and waste water	<input type="checkbox"/> Building work over existing drains or sewers or in close proximity to wells or water mains
<input type="checkbox"/> Other matters known to the applicant that may require authorisation from the Territorial Authority as listed below:	
<input type="checkbox"/>	<input type="checkbox"/>

Attachments
 2 copies of all documentation required - (3 required if for NZFS-DRU)

The following documents are attached to this application: (please tick those that are applicable)

<input checked="" type="checkbox"/> Plans and Specifications	<input type="checkbox"/> Development Contribution Notice
<input type="checkbox"/> Project Information Memorandum	<input type="checkbox"/> Certificate
<input type="checkbox"/> Copies of other Authorisations	<input type="checkbox"/> Producer Statement
<input type="checkbox"/> Truss Layout plan	<input type="checkbox"/> Fire Design Analysis
<input type="checkbox"/> Details/Calculations	<input type="checkbox"/> Other (provide details):

Please give Building Consent details
 The following plans and specifications are attached to this application (all plans and specifications must meet the minimum requirements set out in the regulations or required by the building consent authority):
 [Please schedule pages/documents supplied]

Cont'd

Compliance Schedule

(please tick one of the appropriate boxes):

- The specified systems and features for this building are as follows:
- The following specified systems and features are being altered, added to, or removed in the course of the building work:
- There are no specified or features in this building:

Designer:	Name: <u>BB BENMAN DESIGN</u>
	Address: <u>48 MT VIEW RD.</u>
	Phone: <u>082432472</u> Mobile: <u>-</u>
	Fax: <u>-</u> Email: <u>-</u>
Builder: <u>TBA</u>	Name: _____
	Address: _____
	Phone: _____ Mobile: _____
	Fax: _____ Email: _____
Craftsman Plumber: <u>TBA</u>	Name: _____ Licence No: _____
	Address: _____
	Phone: _____ Mobile: _____
	Fax: _____ Email: _____
Registered Drainlayer: <u>TBA</u>	Name: _____ Licence No: _____
	Address: _____
	Phone: _____ Mobile: _____
	Fax: _____ Email: _____
Electrician: <u>TBA</u>	Name: _____ Licence No: _____
	Address: _____
	Phone: _____ Mobile: _____
	Fax: _____ Email: _____
Other:	Name: _____
	Address: _____
	Phone: _____ Mobile: _____
	Fax: _____ Email: _____

CANCELLED

OFFICE USE ONLY

BCA		Fees	\$
Date application received:	31-1-07	Building Consent Application	500
Receiving Officer:	Louise W	Building Consent Issue	
Receipt No:	205059	PIM	
Date of receipt:	31-1-07	Building Levy (DBH)	
		BRANZ Levy	
		Stormwater Connection	
		Vehicle Crossing	
		Sewer Connection	
		Water Connection	
		- Fordell Connection (application chge)	
		Development contribution levy	
		NZFS Alternative Solution	
		Resource Consent	
		Relocation Bond	
		Other	
		Total:	\$


Processing							
Unit	Checks				Inspections No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	CBH	1-2-07					
Planning						VMJ	2-2-07
Fire Design (referred to NZFS)							
Building	BL	5-2-07					
Drainage (utilities)							
Water (utilities)							
Fordell Water Scheme (utilities)							
Structural							
Plumbing/Drainage						BL	5-2-07
Roading							
Health							
Dangerous Goods							

Approved for issue of PIM/Building Consent

Approving Officer:

Date: / /

Notes:

Peer reviewed. 

-7 FEB 2007

Wanganui District Council

P.O. Box 637, Wanganui

Phone (06) 349-0001

Visit our Web Site www.wanganui.govt.nz

REPRINTED

OFFICIAL RECEIPT

GST Reg No 51-066-324

31/01/2007

Receipt No. 203059

Type	Reference	Amount
GL Receipt	NOGP/RECONSENT 23 Nile st, Alterations to dwelling	\$300.00
Total:		\$300.00

Amounts Tendered:

Cheque \$300.00

Total \$300.00

Roundoff \$0.00

Change \$0.00

Printed 31/01/2007 12:24:52 p.m.

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 P O Box 637, Wanganui
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 Fax: (06) 349 0000
 Email: wdc@wanganui.govt.nz
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PREPAID - TAX INVOICE

GST Number 51-668-324

Payers Name:
 J. Bull

For Building Consent:

Reference No:

Date: 31-1-07

YOUR APPLICATION WILL NOT BE PROCESSED UNLESS THE FEE IS PAID

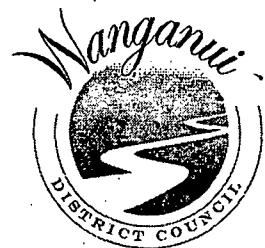
Location of project	Description of project
23 Nile St	Additions

Reference	Details	Amount (Incl GST)
1.	Building Consent Project Type – application fee (see over)	10 \$ 300 —
2.	Resource Consent - deposit	
	• Land use - Non-Notified	\$
	• Subdivision - Notified	\$
3.	Other - Aerial photographs @ \$5.00 each	\$
	- Plan Searches @ \$5.00 each	\$
	- Rural Rapid Numbers (New) @ \$40.00 each	\$
	- Large Plan photocopying A2 @ \$4.00 each,	\$
	A0 – A1 @ \$6.00 each.	\$
	Total application fee/deposit	\$ 300 —

CANCELLED

WHEN PAID THIS FORM WILL BE PART OF YOUR CONSENT APPLICATION AND MUST BE ATTACHED TO THE CONSENT APPLICATION BEFORE IT WILL BE PROCESSED.

PLEASE RETURN TO CUSTOMER SERVICES



BUILDING CONSENT FEES – ESTIMATED COSTS

Effective from 20 June 2006

There are two fees to be Paid:

1. An Application Fee when the plans are submitted
(The Application Fee covers the administration costs and initial assessment of the plans).
2. A Consent Issue Fee when the consent is uplifted.
(The Consent Issue Fee is estimated to cover the balance of the charges, which may vary in total, depending upon the quality of the plans submitted and the number of inspections required). The Consent Issue Fee as shown is an estimate, and all figures include GST.

Please note: s.217 of the Building Act 2004 requires Council to make all the Building Consent information available to the public, as official information.

PROJECT TYPE	APPLICATION FEE	CONSENT ISSUE
PIM Project Information Memorandum	\$105 +	At cost
SIGNS Signage (temporary signs are \$35 only)	\$40 +	At cost
PDonly Stormwater Separation	\$40 +	At cost
1H Inbuilt Solid Fuel Heaters (total payable on application)*	\$235 +	NIL
2H Free Standing Solid Fuel Heaters (total payable on application)*	\$180 +	NIL
1A Ancillary Building Work (requiring only 1 inspection)- (valve vented cylinders \$100 full fee)	\$80 +	\$105
1AD Demolition (total payable on application)	\$200 +	NIL
1S Solar Hot Water Heating Installation (requiring only 1 inspection)	\$200 +	NIL
2A Minor Building Work (requiring only 2 inspections), e.g. Pergolas, Carports	\$100 +	\$150
3A Fire Reinstatement	\$100 +	\$150
1B Minor Building Work accessory to the main building, e.g.: unserviced outbuildings, garages	\$100 +	\$190
2B Minor Building Work other than 1B up to \$20,000 limit in value. e.g.: serviced outbuildings, sleepouts, alterations, additions, relocated buildings	\$200 +	\$350
1C Additions/Alterations to private residential dwellings, where the value of the work is between \$20,000 - \$50,000	\$300 +	\$450
2C Additions/Alterations to private residential dwellings where the value of the work is over \$50,000	\$400 +	\$645
3C New Residential dwellings where the value of the work is under \$100,000	\$500 +	\$420
4C New private residential dwellings where the value of the work is between \$100,000 - \$200,000	\$600 +	\$545
5C New residential dwellings where the value of the work is over \$200,000	\$700 +	\$900
1D Additions/Alterations to (other than residential) buildings where the value of the work is between \$20,000 - \$50,000	\$300 +	\$495
2D Additions/Alterations to (other than residential) buildings where the value of the work is between \$50,000 - \$100,000	\$400 +	\$510
3D Additions/Alterations to (other than residential) buildings where the value of the work is over \$100,000	\$500 +	\$900
4D New (other than residential) buildings where the value of the work is under \$200,000	\$600 +	\$600
1E New (other than residential) buildings where the value of the work is between \$200,000 - \$500,000	\$900 +	\$1300
2E New (other than residential) buildings where the value of the work is between \$500,000 - \$1,000,000	\$1100 +	At cost
3E New (other than residential) buildings where the value of the work is over \$1,000,000	\$1340 +	At cost
1F Farm buildings	\$60 +	\$220

*Rural consents for solid fuel heaters will continue to incur an application fee as above plus a Consent Issue Fee which will be assessed on estimated travel and inspection times. If a second hand heater is to be installed but no manufacturers specifications are supplied, then additional charges will result if we have to search for the material. Alternatively the heater will have to be installed to conform with AS/NZS 2918: 2001.

Other Charges please refer over

**FILE NOTE:
ASSESSMENT OF BUILDING CONSENT**

Applicants Name	Jeremy Bull
Activity/Use	Residential Addition
Date BC#	Bcon 07/0026 2.2.07
Address	23 Nile Street
Subject	Activities in Residential zones

THIS NOTE RECORDS THE INITIAL ASSESSMENT MADE OF THE CONSENT APPLICATION. IT ASSESSES WHETHER THE APPLICATION INCLUDES ALL OF THE INFORMATION REQUIRED TO PROCESS THE RESOURCE CONSENT FURTHER.

Zone:	Residential	Residential
Road Classification:		local
Site Area:		604m ²
Site Coverage:	40%	44%
Maximum Height:	10 metres	4.6m
Structures (Height Recession Plane):	Front Boundary	5.2m
	Side Boundary	4.4
	Side Boundary	3.2m
	Rear Boundary	2.7m
	(plus exemptions)	—
Multi Unit Development (detached):	Height recession plane applies from a notational boundary	—
Accessory Building	Garage or accessory building located in front of principal building	—
Conjoined multi unit developments and residential care facilities	D= L = 3H/10 i. Site amenity 30m ² ii. Upper story units iii. Storage space	—

CANCEL

Complies

Noise:		-
Light:		-
Advertising		-
Access:	Minimum 1 access to be provided 3.5 metres maximum	✓
Parking:	1 per dwelling unit	✓
Easements		-
Development Contribution	The value of 20m ² of land for each additional household unit created	-

Decision and any other matters not contained in table above including further information for building consent purposes:

Proposal complies with District Plan requirements
WJ Jones.

Further Information Received? Yes/No
Decision:

Is resource consent required? Yes/No (No circled)
Letter sent out? Yes/No **Date:**

File Number: 4/101/

Assessed as:

Restricted Discretionary Activity Breaches:

Non-complying Activity Breaches

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TAX INVOICE

GST Number 51-668-324

For: Building Consent (Building Act 2004)

Mr JI Bull
23 Nile St
WANGANUI 5001

Tax Invoice No: 20081016984

Reference No: BCon07/0096

Date: 21/05/2008

Page: 1 of 1

<i>Location</i>	<i>Description</i>		
23 Nile St WANGANUI 5001	Addition to Residential Dwelling – CANCELLED CONSENT		
<i>Reference</i>	<i>Details</i>	<i>GST</i>	<i>Amount (Incl GST)</i>
PrepayCon	Consent Prepayment (GST Exclusive)		-300.00
BCAdFee2	Administration Fee	18.89	170.00
ProcessFee	Processing Cost Fee (125mins)	27.78	250.00
Total		46.67	\$ 120.00

Please do not attach cheques with staples or pins
Please Pay on Tax Invoice, as no Statement will be issued

\$ 120.00

Do you have new contact details? Please let us know:

Name: _____
New Address: _____

Daytime Phone No: _____
Email Address: _____

Payment Due By: 20/05/2008

Important: This portion must be returned with remittance to:

Wanganui District Council

P O Box 637

Wanganui

Invoice For: Building Consent (Building Act 2004)

Reference No: BCon07/0096

Tax Invoice No: 20081016984

Payment Amount: \$

Office Hours: 8:00am to 5:00pm Monday – Friday



9 February 2007

**Mr JI Bull
P O Box 7
Manaia
South Taranaki**

Dear Sir or Madam:

1st Request for further information on Application.

Project Number: BCon07/0096
Project Location: 23 Nile St WANGANUI 5001
Project Description: Addition to Residential Dwelling

The documentation supplied for the above project has been reviewed and raises the following comments:

- 1. Please include truss design certificate & layout plan. (Bill Leslie – Building Control Officer)**
- 2. Bracing unit 01 a GS2 (Gib both sides) will need reconsideration as is part over an outside wall. (Bill Leslie – Building Control Officer)**
- 3. Provide detail of apron flashing turn out to bottom edge.(Bill Leslie – Building Control Officer*)**
- 4. Detail beam/post connection to front porch.(Bill Leslie – Building Control Officer*)**
- 5. Existing dwelling according to our records is on a timber floor and the new concrete slab will cut off sub-floor ventilation to this end. Please address.(Bill Leslie – Building Control Officer*)**

We have placed this application on hold until we receive your advice regarding the above comments, and the issues raised have been resolved. To improve our service to you (and reduce cost) please itemise in an accompanying letter all amendments made and clearly highlight the amendments on the plans and specifications. If you have any queries please contact this office and quote Project Number BCon07/0096

Yours sincerely

Vicki Koubaridis
Customer Services Officer

101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



11 April 2008

Mr Jeremy I Bull
23 Nile St
WANGANUI 5001

Dear Sir or Madam:

Application Number: BCon07/0096
Location: 23 Nile St WANGANUI 5001
Addition to Residential Dwelling

Wanganui District Council is writing to you as this consent has been placed on hold since February 2007 waiting for information which has not been supplied.

This consent has now been cancelled, any work that may have already been done will be illegal work.

Please contact me should you have any further queries.

Yours sincerely

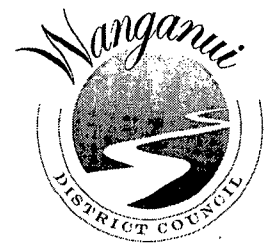
Gina Wroe
Building Support Officer

125 mins

Rang Jeremy today and explained consent is going to be cancelled, work not done either property to be sold.

Gina 21/05/08.

101 Guyton Street
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26 June 2008

Reminder Letter

Mr JI Bull
23 Nile St
WANGANUI 5001

Dear Sir or Madam

RAMS DEBTORS ACCOUNT NO: B/Con 7/0096 - Cancelled Consent

The above building consent was cancelled on the 21 May 2008 and was due for payment on the 21st June 2008. The overdue amount is \$120.00.

In accordance with the Wanganui District Council's Terms of Trade, this invoice is now overdue. The Wanganui District Council's Terms of Trade document can be obtained from our website www.wanganui.govt.nz

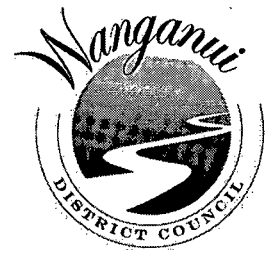
If there is any reason why this invoice is not being paid can you please contact me on 06 349-0001.

I look forward to this matter being resolved.

Yours sincerely

Gina Wroe
Building Support Officer

101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0536
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



31st July 2008

Follow up Letter

Mr JI Bull
PO Box 7
Manaia 4641

Dear Sir or Madam

RAMS DEBTORS ACCOUNT NO: BC7/0096 – Cancelled Consent

The above building consent was cancelled on the 21 May 2008 and was due for payment on the **21 June 2008**. The overdue amount is \$120.00.

In accordance with the Wanganui District Council's Terms of Trade, this invoice is now overdue. The Wanganui District Council's Terms of Trade document can be obtained from our website www.wanganui.govt.nz

If there is any reason why this invoice is not being paid can you please contact me on 06 349-0001.

I look forward to this matter being resolved.

Yours sincerely

Gina Wroe
Building Support Officer

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Phone: (06) 349 0001
Fax: (06) 349 0536
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



3 September 2008

Final Warning Letter

Mr JI Bull
PO Box 7
Manaia 4641

Dear Sir or Madam

RAMS DEBTORS ACCOUNT NO: BCon07/0096 – Cancelled Consent

The above building consent was cancelled on 21 May 2008 and was due for payment on the 21 June 2008. The overdue amount is \$120.00.

In accordance with the Wanganui District Council's Terms of Trade, this invoice is now overdue. The Wanganui District Council's Terms of Trade document can be obtained from our website www.wanganui.govt.nz

If this invoice is not paid by **19th September 2008** this will be passed on to our Debt Collection Agency which may effect your future credit rating.

I look forward to this matter being resolved.

Yours sincerely

Gina Wroe
Building Support Officer

ALTERATIONS TO BULL RESIDENCE
23 NILE ST, WANGANUI

DRAWING INDEX

SITE PLAN	A1
EXISTING & PROPOSED PLANS	A2
DRAINAGE & SETOUT / BRACING PLANS	A3
ELEVATIONS	A4
SECTION A-A	A5
SECTION B-B	A6
WINDOW DETAILS	A7

CANCELLED

Wanganui District Council

31 JAN 2007

RECEIVED

ALTERATIONS TO J. BULL RESIDENCE
23 NILE ST, WANGANUI

SPECIFICATION

- 1** **DRAWINGS:** This specification shall be read in conjunction with the attached drawings.

All work shall comply with Local Authority Regulations, The N.Z. Building Code, and the relevant clauses of NZS 3604 1999.

Check and co-ordinate all dimensions on site prior to ordering or commencing any work.

- 2** **CONCRETE**

DOCUMENTS

Documents referred to in this section are:

NZS 3104	Concrete production - High grade and special grade
NZS 3108	Concrete production - ordinary grade
NZS 3109	Concrete construction
NZS 3114	Concrete surface finishes
NZS 3124	Concrete construction for minor works
NZS 3402	Steel bars for the reinforcement of concrete
NZS 3422	Welded fabric of drawn steel wire for concrete reinforcement
NZS 3604	Timber framed buildings

REINFORCEMENT

Bars to NZS 3402. Grade 300 deformed, other than for ties, stirrups and spirals, unless shown otherwise on the drawings. Welded reinforcing mesh to NZS 3422.

TYING WIRE

Mild drawn steel wire not less than 1.2mm diameter.

READY-MIX CONCRETE

Ordinary grade 20 MPa, maximum aggregate size 19mm to NZS 3104.

SITE MIXED CONCRETE

To NZS 3124. Ordinary grade 20 MPa minimum strength, using either separate batching of sand and coarse aggregate to NZS 3108, or builder's mix.

SITE CONCRETE

To NZS 3124. 1:6 (cement : all-in aggregate) with minimum water for workability, all materials and batching to NZS 3108.

HANDLE AND STORE

Handle and store reinforcing steel and accessories without damage or contamination. Store on timber fillets on hard ground in a secure area clear of any building operation. Lay steel fabric flat.

Ensure reinforcement is clean and remains clean so that at the time of placing concrete it is free of all loose mill scale, loose rust and any other contamination that may reduce bonding capacity.

CUT AND BEND REINFORCEMENT

Cut and bend bars using proper bending tools to avoid notching and to the requirements of NZS 3109. Do not re-bend bars. Reject all bars with unspecified kinks or bends. Unless detailed otherwise bend main reinforcing bars, stirrups and ties to the former pin diameters as given in NZS 3109, table 3.1.

SECURE REINFORCEMENT

Secure reinforcement adequately with tying wire and place, support and secure against displacement when concreting. Bend tying wire back well clear of the formwork. Spacing as dimensioned, or if not shown, to the clear distance minimums laid down in NZS 3109, clause 3.6.

LAPPED SPLICES

Set length of laps, where not dimensioned on the drawings, in accordance with NZS 3109, clause 3.7. Increase laps of plain round steel by 100%.

COVER

Minimum cover to all reinforcing bars, stirrups, and ties, as shown on the drawings and to NZS 3109, clause 3.8.

PRE-PLACEMENT INSPECTION

Do not place concrete until all excavations, boxing and reinforcing have been inspected and passed by the territorial authority inspector.

CONCRETE SURFACE TOLERANCES

To comply with NZS 3114, sections 104 and 105, with the suggested tolerances becoming the required tolerances.

4

CARPENTRY: All work shall be carried out under the supervision of competent and experienced tradesmen in accordance with the best trade practices, and the requirements of NZS 3604 1999 and NZBC E2/AS1.

All timber shall be treated to the appropriate degree specified by the Timber Preservation Authority (T.P.A.). unless shown on drawings

New timber framing shall be No 1 H1.2 treated framing grade around window and behind shower, and H1.1 for ordinary internal partitions, straight and plumb with studs at 600 mm crs, and dwangs at 800mm crs for vertical linings and 1200mm crs for horizontal.

Weatherboards shall be H3.2 rusticated profiled treated pine, primed and painted to match existing house wall cladding on building wrap.

- 5** **GLAZING** : shall comply with:
 NZBC F2/AS1 Hazardous building materials, 1.0 Glazing, and
 NZS 4223 Glazing in Buildings, Part 3
 AS/NZS 2208 Safety glazing in Buildings

Carry out all glazing work in accordance with NZS 4223 Part 1, and for Human impact safety comply with NZS 4223 Part 3.

- 6** **PLUMBING AND DRAINAGE:**
Plumbing and drainage shall conform to the requirements of the Plumbing and Drainage sections of the new N.Z. Building Code, AS3500.2, and the requirements of the Local Authority.
Plumbing work shall be carried out by competent tradesmen in accordance with the best trade practices.

All work shall be carried out by a Licensed Plumber in accordance with the NZ Plumbing and Drainage Regs., The N.Z. Building Code, and the local authority by-laws, and the best trade practices.

- 7** **ELECTRICAL** : Electrical installations shall comply with the requirements of the Electrical Wiring Regulations 1960 and subsequent amendments, and in accordance with the N.Z. Building Code.

END OF SPEC.

PREPARED BY: BOB PENMAN
48 MT VIEW RD
WANGANUI
PH 06 343 2472
FAX 06 3432462
MOBILE 0274 421125

Job Details

Name	J. Bull		
Street and Number	Nile St		
Lot and DP Number		headers on all printed sheets	
City/Town/District	Wanganui		
Designer and date	Bob Penman	7-May-06	
Company Name	Penman Design Draughting		

Building Specification

Location of Storey	single	▼	
Floor Loading	2 kPa	▼	
Foundation Type	slab	▼	
Building Height to Apex (m)	5	▼	
Roof Height above Eaves (m)	2	▼	
Stud Height (m)	2.7	▼	
Cladding Weight (top or single)	light	▼	
Cladding Weight (lower)	light	▼	<i>not applicable (single storey building)</i>
Cladding Weight (subfloor)	heavy	▼	<i>not applicable (slab)</i>
Roof Weight	light	▼	
Roof Pitch (degrees)	0-25	▼	
Room in Roof Space	no	▼	
Building Length (m)	5.92		
Building Width (m)	7.62		
Gross Building Plan Area (m2)	40		

Building Location

Wind Zone	Low		Earthquake Zone	
Region	R1	▼	A	▼
Terrain	Inland	▼		
Exposure	Sheltered	▼		
Topography	Gentle	▼		<i>Enter at least 'moderate' in a Lee Zone</i>

Bracing Units required for Wind

per m	subfloor	walls
W along	n/a	36 BUs/m
W across	n/a	31 BUs/m
Totals		
W along	n/a	271 BUs
W across	n/a	181 BUs

Bracing Units required for Earthquake

per m2	subfloor	walls
E	n/a	3.6 BUs/m2
Totals		
E along	n/a	144 BUs
E across	n/a	144 BUs

Along		Bracing Elements provided					Wind	Earthq.	
Wall or Bracing Line	1	2	3	4	5	6	7	8W	9EQ
Line Label	Minimum BUs Req/Ach	Bracing Element No.	Supplier	Bracing Type	Element Length L (m)	Element Height H (m)	BUs Achieved	BUs Achieved	
A	enter	1	Gib®	GS1a	1.8	2.7	104	88	
line totals		2							
W	104	3							
EQ	88	4							
B	enter	1	Gib®	GS2	1.7	2.7	106	91	
line totals		2							
W	106	3							
EQ	91	4							
C	enter	1	Gib®	GS1a	2.8	2.7	187	162	
line totals		2							
W	187	3							
EQ	162	4							
D	enter	1	Gib®	BL1	1.2	2.7	133	123	
line totals		2							
W	133	3							
EQ	123	4							
E	enter	1							
line totals		2							
W		3							
EQ		4							
F	enter	1							
line totals		2							
W		3							
EQ		4							
G	enter	1							
line totals		2							
W		3							
EQ		4							
H	enter	1							
line totals		2							
W		3							
EQ		4							
I	enter	1							
line totals		2							
W		3							
EQ		4							
J	enter	1							
line totals		2							
W		3							
EQ		4							

							Wind	Earthq.
Totals Achieved							530	463
							OK	OK
Totals Required (from Sheet A)							271	144

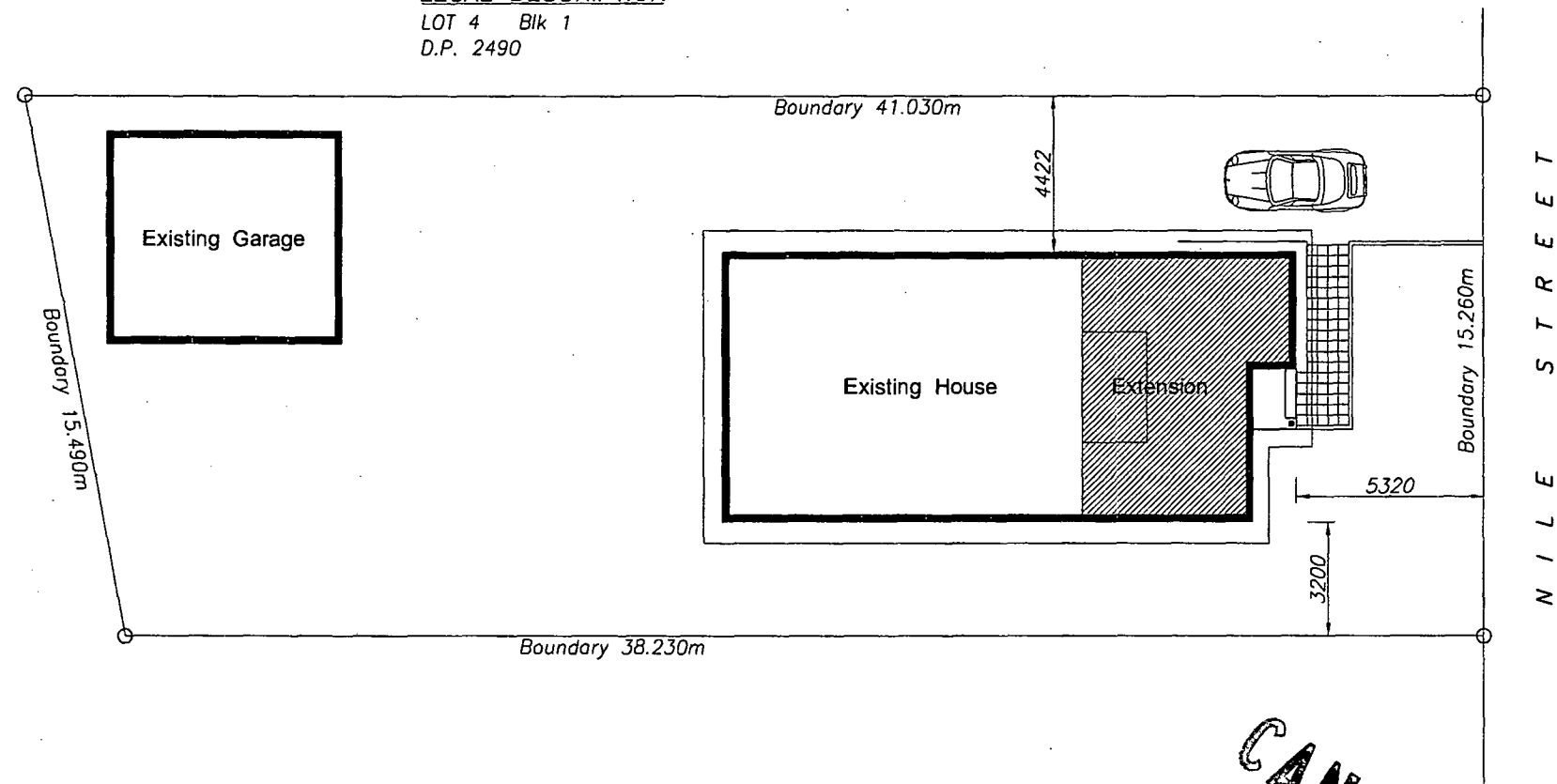
Across									
Wall or Bracing Line		Bracing Elements provided						Wind	Earthq.
1	2	3	4	5	6	7	8W	9EQ	
Line Label	Minimum BUs Req/Ach	Bracing Element No.	Supplier	Bracing Type	Element Length (m)	Element Height H (m)	BUs Achieved	BUs Achieved	
M	enter	1	Gib®	BL1	0.64	2.7	71	65	
line totals		2	Gib®	BL1	0.64	2.7	71	65	
W	142	3							
EQ	131	4							
N	enter	1	Gib®	BL1	0.8	2.7	89	82	
line totals		2	Gib®	BL1	0.8	2.7	89	82	
W	178	3							
EQ	164	4							
O	enter	1	Gib®	GS2	1.2	2.7	75	64	
line totals		2	Gib®	GS2	1.2	2.7	75	64	
W	149	3							
EQ	128	4							
P	enter	1							
line totals		2							
W		3							
EQ		4							
Q	enter	1							
line totals		2							
W		3							
EQ		4							
R	enter	1							
line totals		2							
W		3							
EQ		4							
S	enter	1							
line totals		2							
W		3							
EQ		4							
T	enter	1							
line totals		2							
W		3							
EQ		4							
U	enter	1							
line totals		2							
W		3							
EQ		4							
V	enter	1							
line totals		2							
W		3							
EQ		4							

							Wind	Earthq.
Totals Achieved							469	422
							OK	OK
Totals Required (from Sheet A)							181	144



LEGAL DESCRIPTION

LOT 4 Blk 1
D.P. 2490



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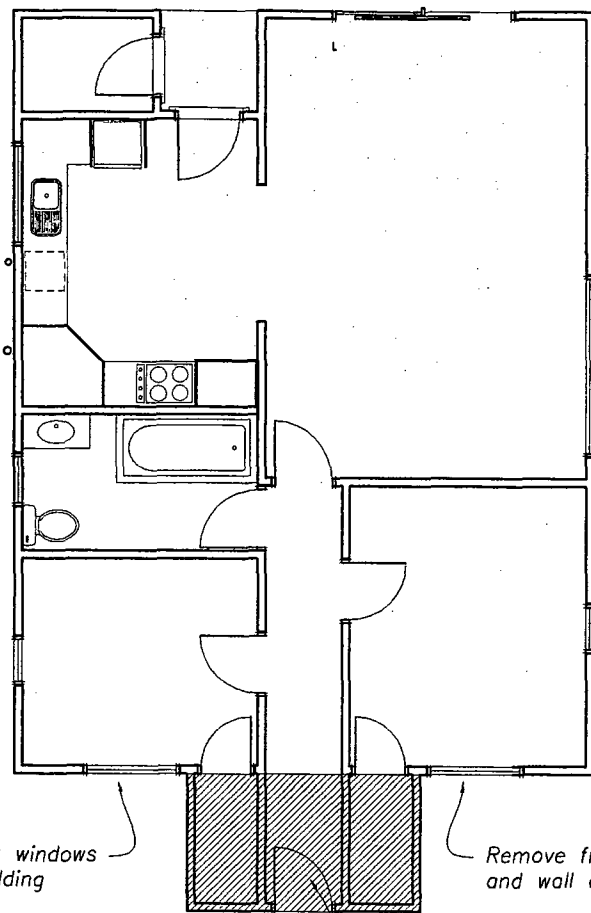
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PROPOSED ALTERATIONS to BULL RESIDENCE
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DRAWING TITLE		JOB NO		SHEET NO	
SITE PLAN		PC06/224		AI	
SCALE	DRAWN	DATE			
1:200	Bob P	08.05.2006			

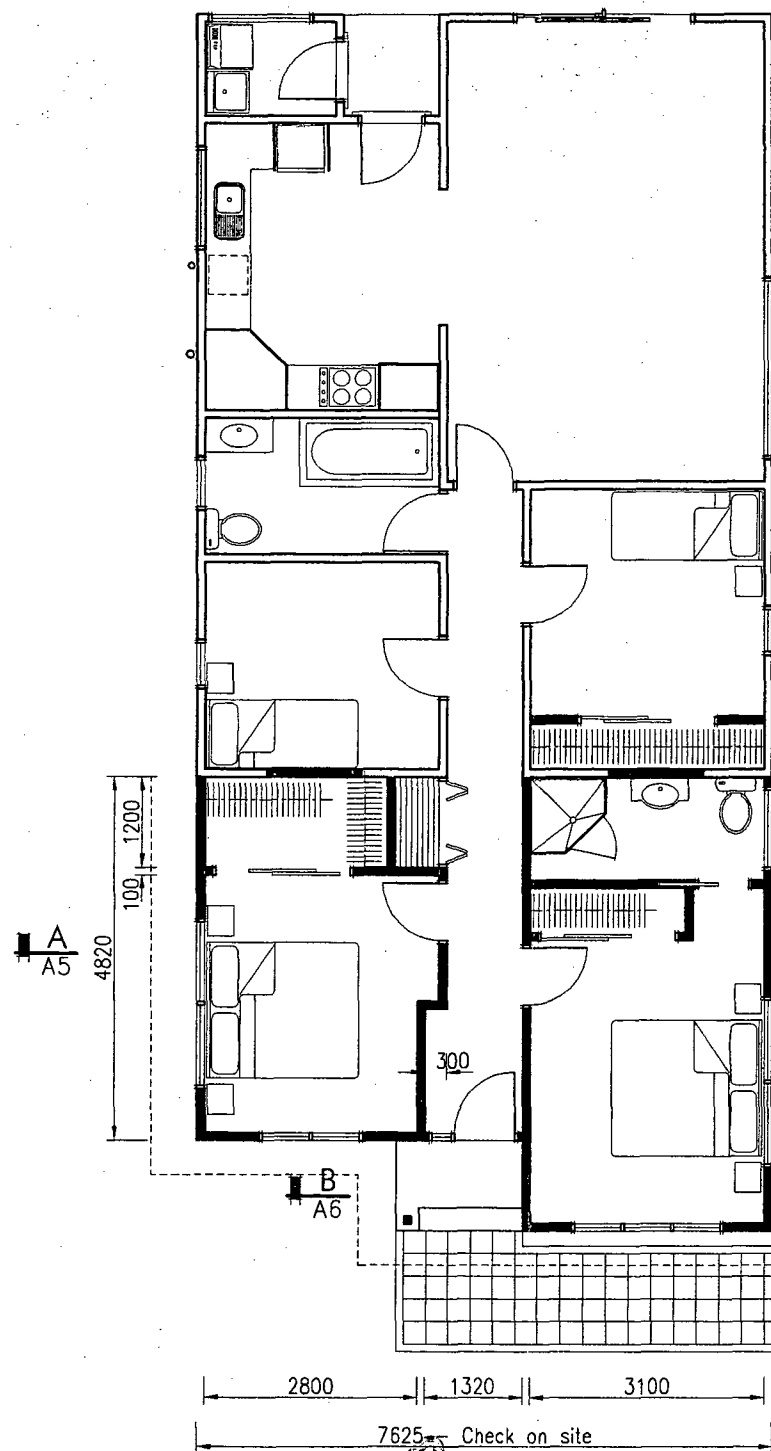


Remove front windows and wall cladding

Remove front windows and wall cladding

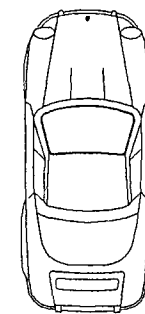
Demolish existing Entry

Existing Plan
scale 1 : 100



Proposed Plan
scale 1 : 100

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PROPOSED ALTERATIONS to BULL RESIDENCE

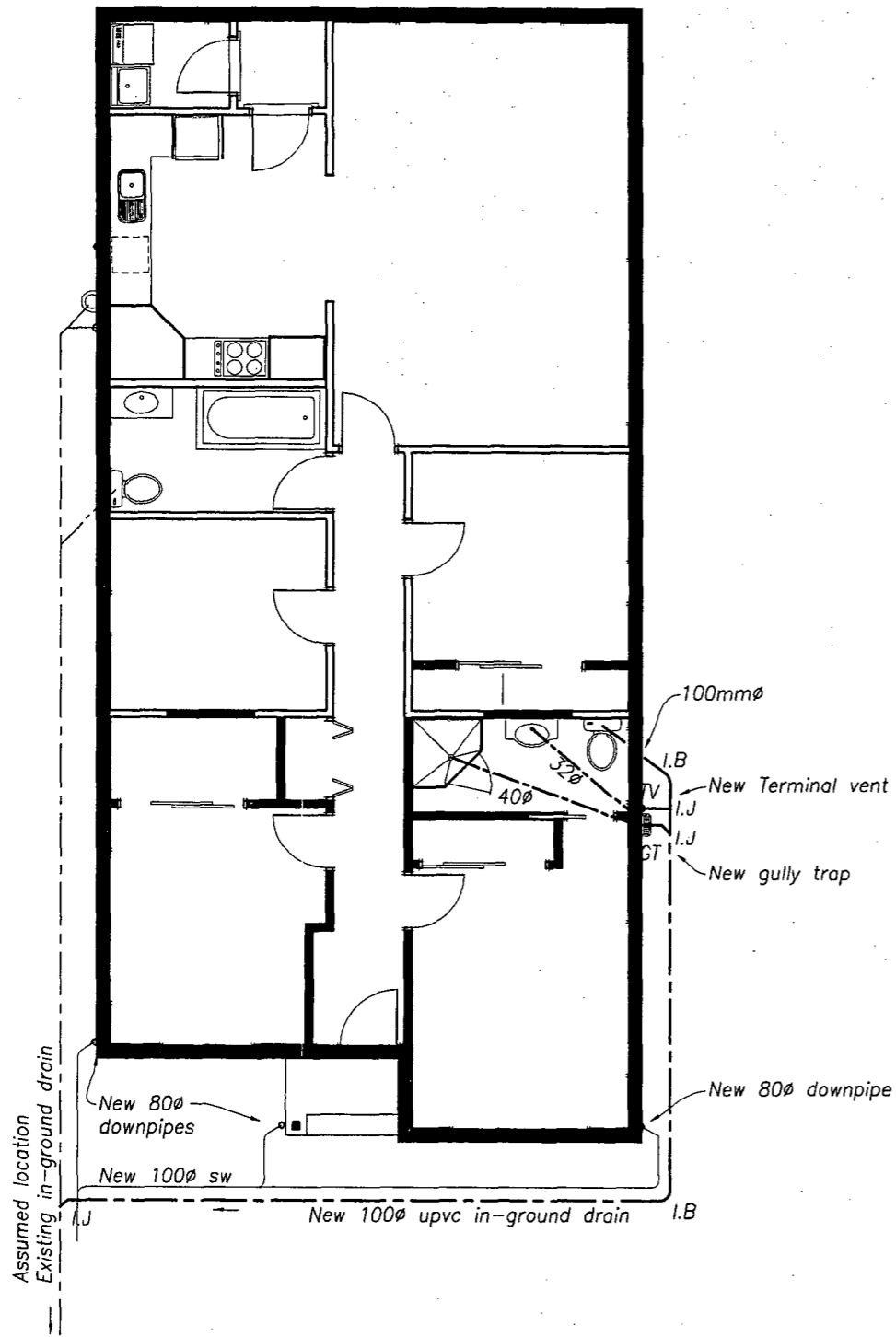
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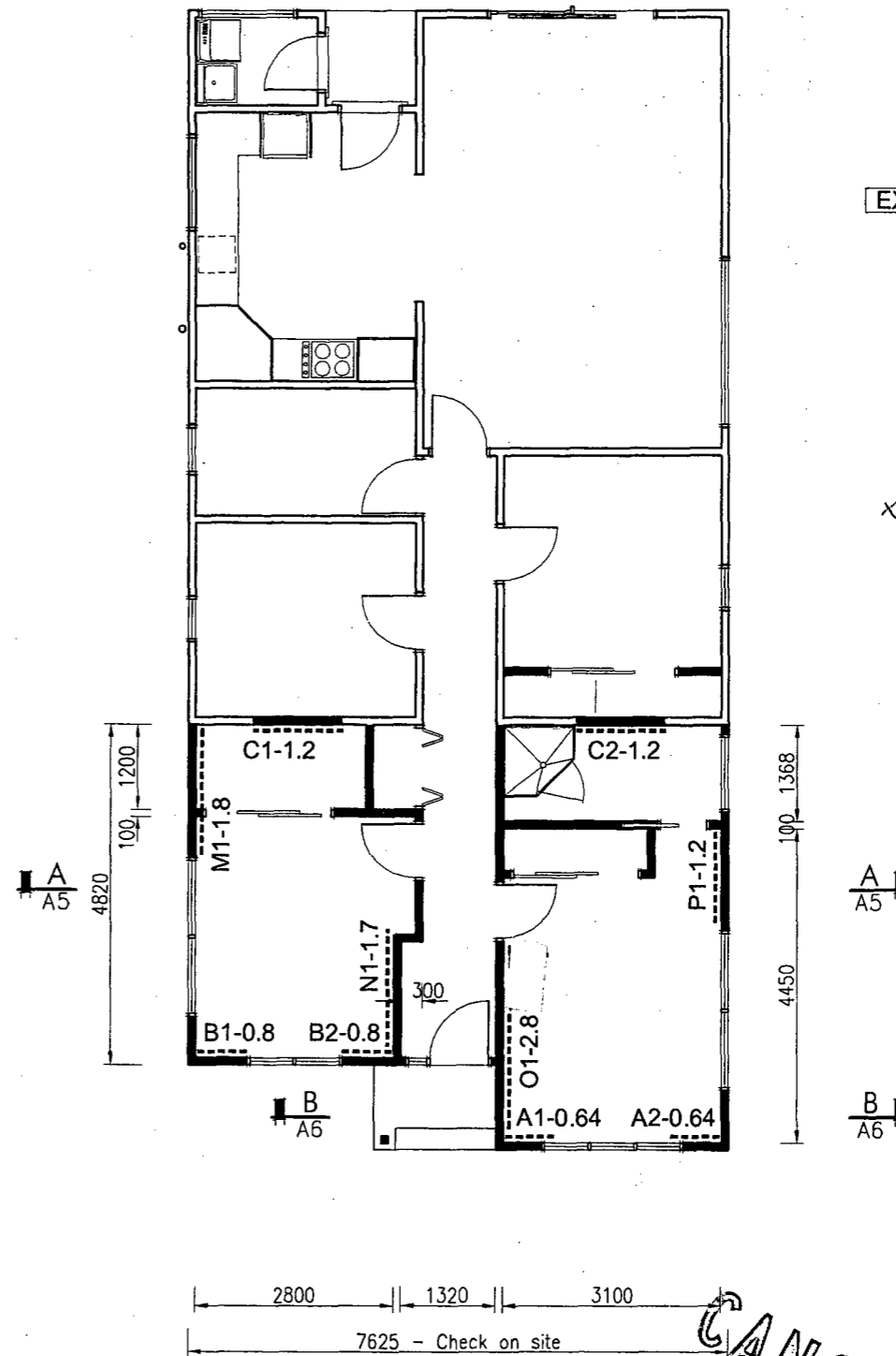
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DRAWING TITLE
FLOOR PLANS

APPENDICES	DATE	SCALE	DRAWN	JOB NO	SHEET NO
		1:100	Bob P	PC06/224	A2
				DATE	
				08.05.2006	



Drainage Plan
scale 1 : 100



Setout & Bracing Plan
scale 1 : 100

BRACING LEGEND:
The following is a summary only of the Bracing Panels. Builder to obtain a copy of Gib Bracing Systems March 2006 for fixing details

EXTENSION		
Panel No	Panel Type	Length
A1-0.64	Gib BL1	0.64m
A2-0.64	Gib BL1	0.64m
B1-0.8	Gib BL1	0.8m
B2-0.8	Gib BL1	0.8m
C1-1.2	Gib GS2	1.2m
C2-1.2	Gib GS2	1.2m
M1-1.8	Gib GS1a	1.8m
N1-1.7	Gib GS2	1.7m
X O1-2.8	Gib GS2	2.8m
P1-1.2	Gib BL1	1.2m

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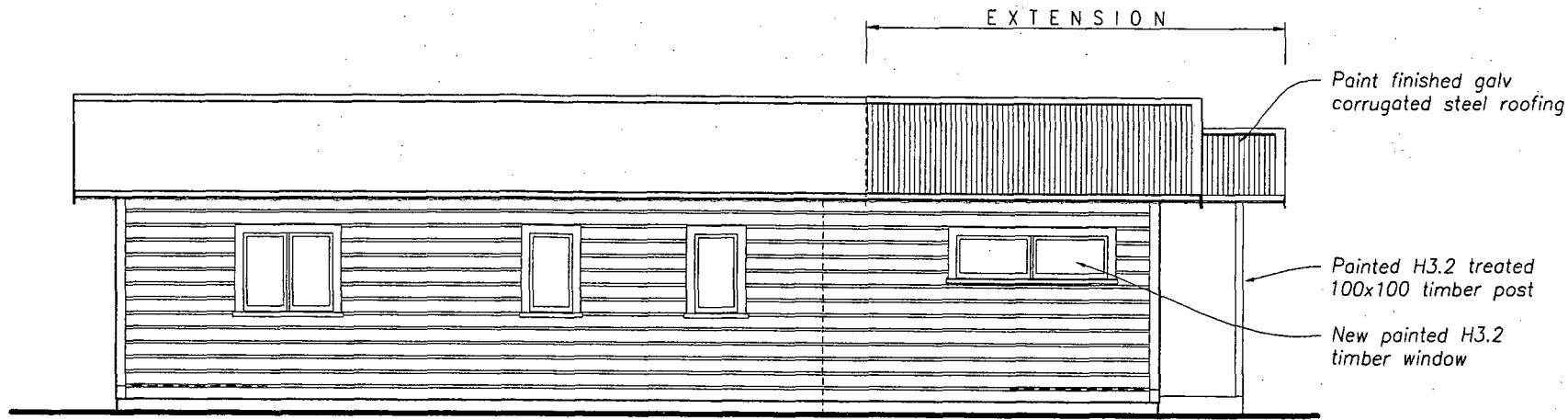
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PROPOSED ALTERATIONS to BULL RESIDENCE
23 NILE ST, WANGANUI

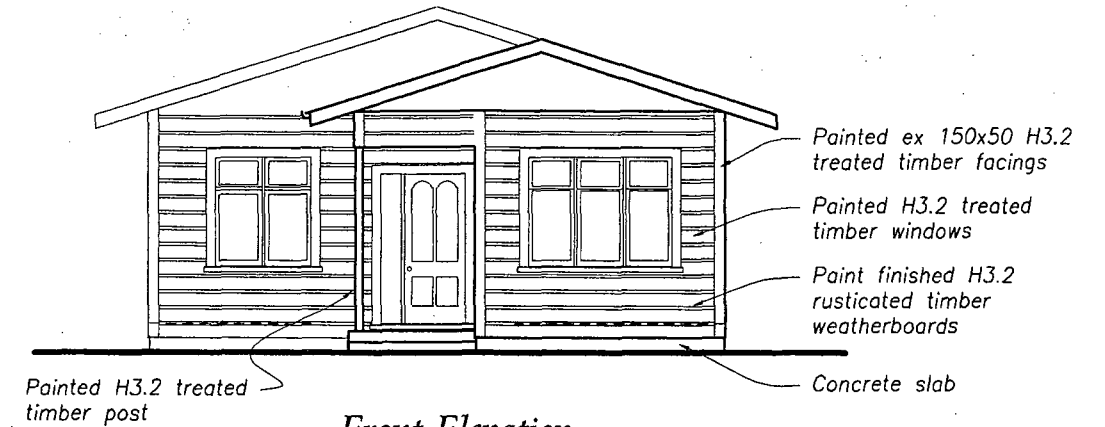
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DRAWING TITLE
SETOUT & BRACING & DRAINAGE PLAN

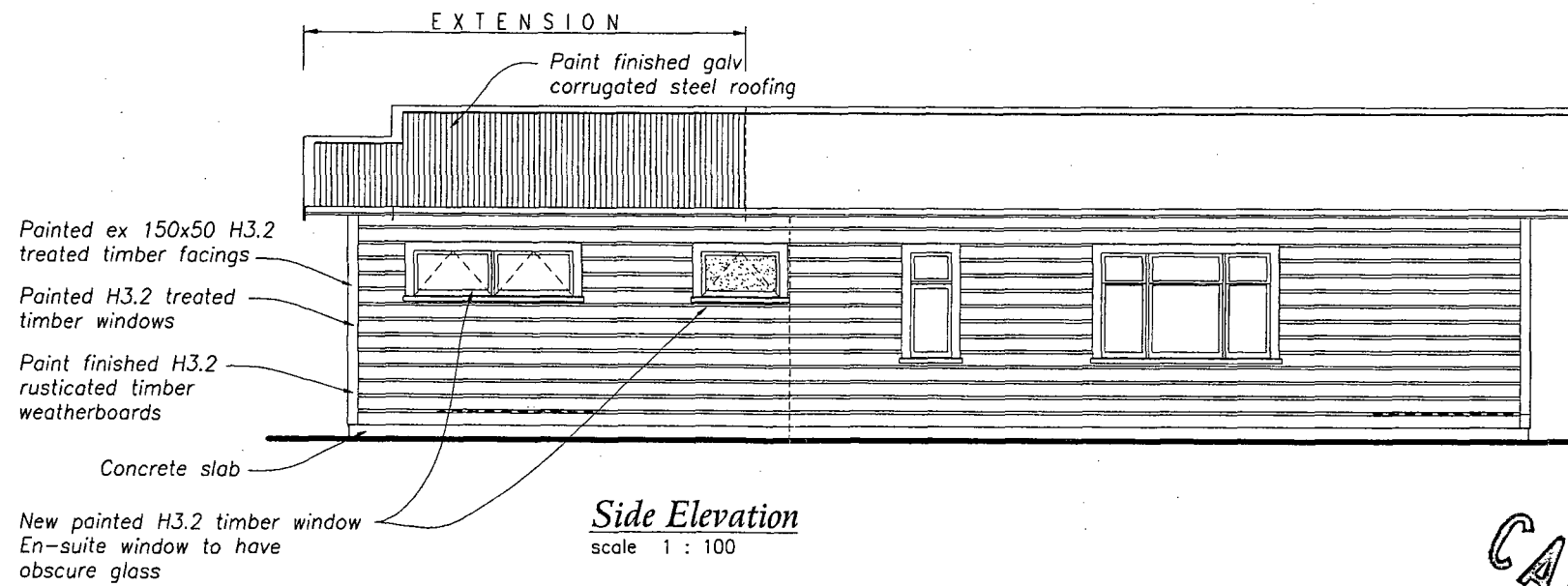
AMENDMENTS	DATE	SCALE	DRAWN	JOB NO	SHEET NO
		1:100	Bob P	PC06/224	A3
				DATE	
				08.05.2006	



Side Elevation
scale 1 : 100



Front Elevation
scale 1 : 100



Side Elevation
scale 1 : 100

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PROPOSED ALTERATIONS to BULL RESIDENCE

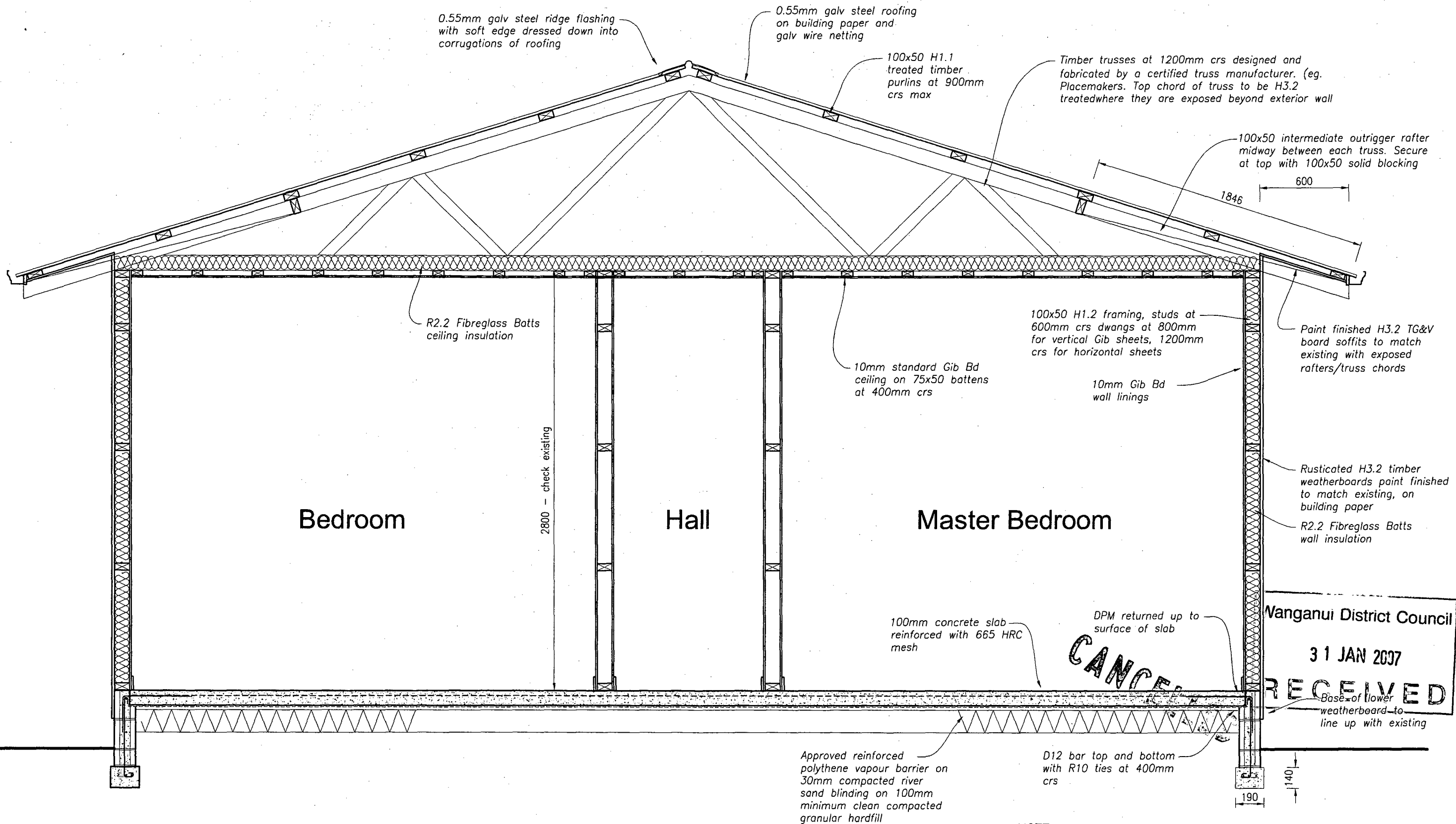
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DRAWING TITLE
ELEVATIONS

AMENDMENTS	DATE

SCALE 1:100	DRAWN Bob P	JOB NO PC06/224	SHEET NO A4
		DATE 08.05.2006	



0.55mm galv steel ridge flashing with soft edge dressed down into corrugations of roofing

0.55mm galv steel roofing on building paper and galv wire netting

100x50 H1.1 treated timber purlins at 900mm crs max

Timber trusses at 1200mm crs designed and fabricated by a certified truss manufacturer. (eg. Placemakers. Top chord of truss to be H3.2 treated where they are exposed beyond exterior wall

100x50 intermediate outrigger rafter midway between each truss. Secure at top with 100x50 solid blocking

R2.2 Fibreglass Batts ceiling insulation

10mm standard Gib Bd ceiling on 75x50 battens at 400mm crs

100x50 H1.2 framing, studs at 600mm crs dwangs at 800mm for vertical Gib sheets, 1200mm crs for horizontal sheets

10mm Gib Bd wall linings

Paint finished H3.2 TG&V board soffits to match existing with exposed rafters/truss chords

Rusticated H3.2 timber weatherboards paint finished to match existing, on building paper

R2.2 Fibreglass Batts wall insulation

Bedroom

Hall

Master Bedroom

2800 - check existing

100mm concrete slab reinforced with 665 HRC mesh

DPM returned up to surface of slab

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Base of lower weatherboard to line up with existing

Approved reinforced polythene vapour barrier on 30mm compacted river sand blinding on 100mm minimum clean compacted granular hardfill

D12 bar top and bottom with R10 ties at 400mm crs

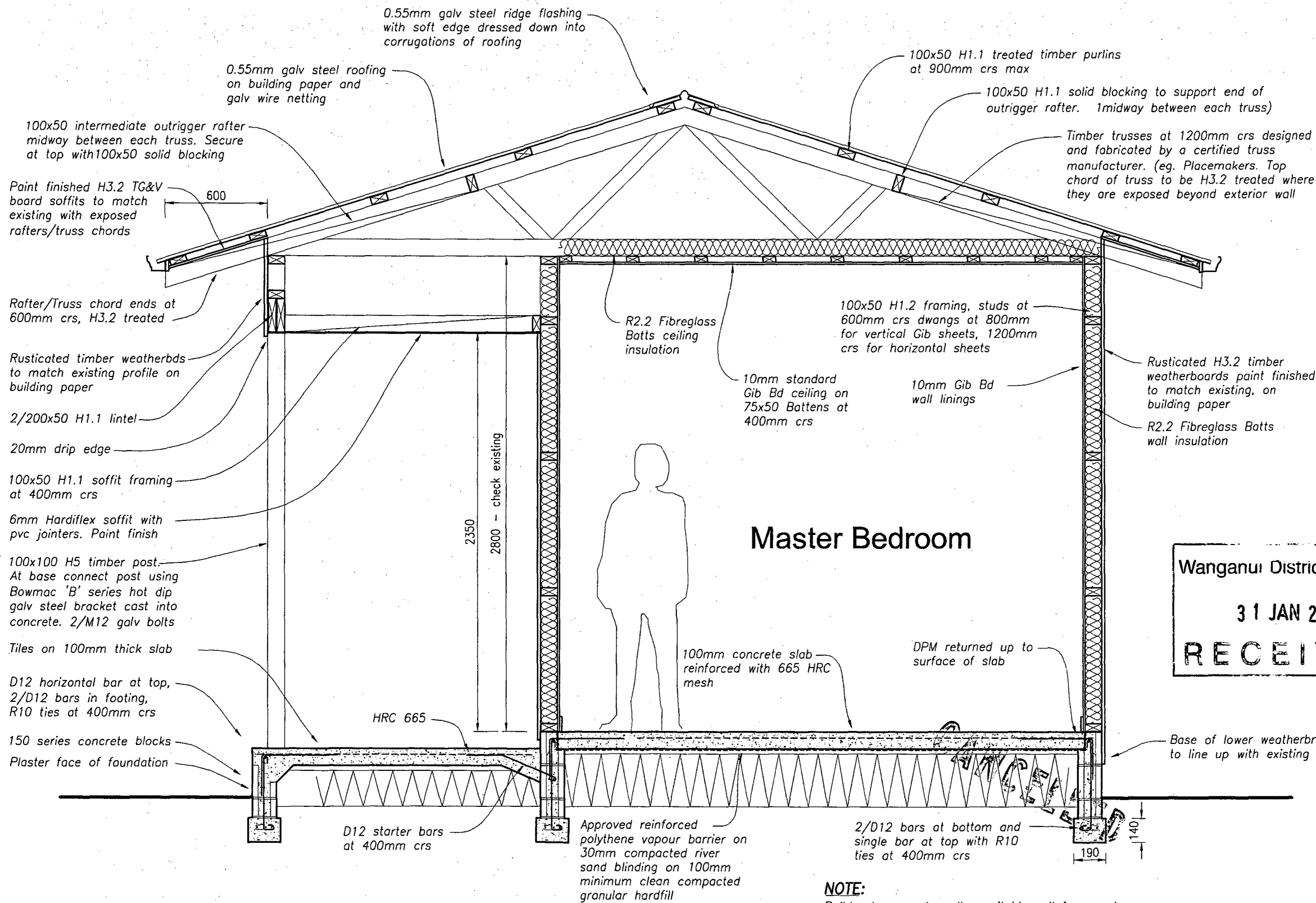
Cross-Section A-A
scale 1 : 25

NOTE:
Builder to removing all unsuitable soil from under foundations and check that the bearing capacity under footings is up to required 100kPa. Replace any removed unsuitable soil with clean compacted river sand. Compact in layers of 100mm max.

PROPOSED ALTERATIONS to BULL RESIDENCE
23 NILE ST, WANGANUI

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DRAWING TITLE		JOB NO		SHEET NO	
CROSS SECTION A-A		PC06/224		A5	
SCALE	DRAWN	DATE			
1:25	Bob P	08.05.2006			



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Cross-Section B-B
 scale 1 : 25

NOTE:
 Builder to removing all unsuitable soil from under foundations and check that the bearing capacity under footings is up to required 100kPa. Replace any removed unsuitable soil with clean compacted river sand. Compact in layers of 100mm max.

PROPOSED ALTERATIONS to BULL RESIDENCE

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DRAWING TITLE
CROSS SECTION B-B

AMENDMENTS	DATE	SCALE	DRAWN	JOB NO	SHEET NO
		1:25	Bob P	PC06/224	A6
			DATE	08.05.2006	

Existing rusticated timber weatherboards

Additional layer of Building paper taped and dressed out over head flashing

Galv steel head flashing

Building paper taken down and turned into window openings and protected in all corners with Protecto flashing tape

Paint grade H3 treated timber windows to match existing

Lintels to comply with NZS 3604

Linings generally 10mm Gib Bd

Building paper taken down and turned into window openings and protected in all corners with Protecto flashing tape

1 WINDOW HEAD
scale 1: 2.5

Building paper turned into window openings and protected in all corners with Protecto flashing tape

Paint grade H3 treated timber windows to match existing

Painted H3 timber facings to match existing

Painted H3 timber rusticated weatherboards to match existing

Painted H3 timber scribes to match existing

3 JAMB
scale 1: 2.5

Paint grade H3 treated timber windows to match existing

Aluminium cill flashing

Building paper

Rusticated weatherboards

Building paper turned into window openings and protected in all corners with Protecto flashing tape

2 CILL
scale 1: 2.5

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PROPOSED ALTERATIONS to BULL RESIDENCE
23 NILE ST, WANGANUI

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WANGANUI

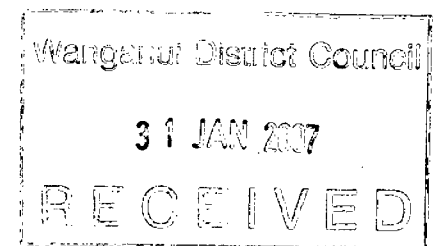
DRAWING TITLE
WINDOW DETAILS

AMENDMENTS	DATE	SCALE	DRAWN	JOB NO	SHEET NO
		1: 25	Bob P	PC06/224	A7
				DATE	
				08.05.2006	

ALTERATIONS TO BULL RESIDENCE 23 NILE ST, WANGANUI

DRAWING INDEX

<i>SITE PLAN</i>	<i>A1</i>
<i>EXISTING & PROPOSED PLANS</i>	<i>A2</i>
<i>DRAINAGE & SETOUT / BRACING PLANS</i>	<i>A3</i>
<i>ELEVATIONS</i>	<i>A4</i>
<i>SECTION A-A</i>	<i>A5</i>
<i>SECTION B-B</i>	<i>A6</i>
<i>WINDOW DETAILS</i>	<i>A7</i>



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ALTERATIONS TO J. BULL RESIDENCE
23 NILE ST, WANGANUI

SPECIFICATION

1 **DRAWINGS:** This specification shall be read in conjunction with the attached drawings.

All work shall comply with Local Authority Regulations, The N.Z. Building Code, and the relevant clauses of NZS 3604 1999.

Check and co-ordinate all dimensions on site prior to ordering or commencing any work.

2 **CONCRETE**

DOCUMENTS

Documents referred to in this section are:

NZS 3104	Concrete production - High grade and special grade
NZS 3108	Concrete production - ordinary grade
NZS 3109	Concrete construction
NZS 3114	Concrete surface finishes
NZS 3124	Concrete construction for minor works
NZS 3402	Steel bars for the reinforcement of concrete
NZS 3422	Welded fabric of drawn steel wire for concrete reinforcement
NZS 3604	Timber framed buildings

REINFORCEMENT

Bars to NZS 3402. Grade 300 deformed, other than for ties, stirrups and spirals, unless shown otherwise on the drawings. Welded reinforcing mesh to NZS 3422.

TYING WIRE

Mild drawn steel wire not less than 1.2mm diameter.

READY-MIX CONCRETE

Ordinary grade 20 MPa, maximum aggregate size 19mm to NZS 3104.

SITE MIXED CONCRETE

To NZS 3124. Ordinary grade 20 MPa minimum strength, using either separate batching of sand and coarse aggregate to NZS 3108, or builder's mix.

SITE CONCRETE

To NZS 3124. 1:6 (cement : all-in aggregate) with minimum water for workability, all materials and batching to NZS 3108.

HANDLE AND STORE

Handle and store reinforcing steel and accessories without damage or contamination. Store on timber fillets on hard ground in a secure area clear of any building operation. Lay steel fabric flat.

Ensure reinforcement is clean and remains clean so that at the time of placing concrete it is free of all loose mill scale, loose rust and any other contamination that may reduce bonding capacity.

CUT AND BEND REINFORCEMENT

Cut and bend bars using proper bending tools to avoid notching and to the requirements of NZS 3109. Do not re-bend bars. Reject all bars with unspecified kinks or bends. Unless detailed otherwise bend main reinforcing bars, stirrups and ties to the former pin diameters as given in NZS 3109, table 3.1.

SECURE REINFORCEMENT

Secure reinforcement adequately with tying wire and place, support and secure against displacement when concreting. Bend tying wire back well clear of the formwork. Spacing as dimensioned, or if not shown, to the clear distance minimums laid down in NZS 3109, clause 3.6.

LAPPED SPLICES

Set length of laps, where not dimensioned on the drawings, in accordance with NZS 3109, clause 3.7. Increase laps of plain round steel by 100%.

COVER

Minimum cover to all reinforcing bars, stirrups, and ties, as shown on the drawings and to NZS 3109, clause 3.8.

PRE-PLACEMENT INSPECTION

Do not place concrete until all excavations, boxing and reinforcing have been inspected and passed by the territorial authority inspector.

CONCRETE SURFACE TOLERANCES

To comply with NZS 3114, sections 104 and 105, with the suggested tolerances becoming the required tolerances.

4

CARPENTRY: All work shall be carried out under the supervision of competent and experienced tradesmen in accordance with the best trade practices, and the requirements of NZS 3604 1999 and NZBC E2/AS1.

All timber shall be treated to the appropriate degree specified by the Timber Preservation Authority (T.P.A.) unless shown on drawings

New timber framing shall be No 1 H1.2 treated framing grade around window and behind shower, and H1.1 for ordinary internal partitions, straight and plumb with studs at 600 mm crs, and dwangs at 800mm crs for vertical linings and 1200mm crs for horizontal.

Weatherboards shall be H3.2 rusticated profiled treated pine, primed and painted to match existing house wall cladding on building wrap.

- 5 **GLAZING** : shall comply with:
 NZBC F2/AS1 Hazardous building materials, 1.0 Glazing, and
 NZS 4223 Glazing in Buildings, Part 3
 AS/NZS 2208 Safety glazing in Buildings

Carry out all glazing work in accordance with NZS 4223 Part 1, and for Human impact safety comply with NZS 4223 Part 3.

- 6 **PLUMBING AND DRAINAGE:**
Plumbing and drainage shall conform to the requirements of the Plumbing and Drainage sections of the new N.Z. Building Code, AS3500.2, and the requirements of the Local Authority.
Plumbing work shall be carried out by competent tradesmen in accordance with the best trade practices.

All work shall be carried out by a Licensed Plumber in accordance with the NZ Plumbing and Drainage Regs., The N.Z. Building Code, and the local authority by-laws, and the best trade practices.

- 7 **ELECTRICAL** : Electrical installations shall comply with the requirements of the Electrical Wiring Regulations 1960 and subsequent amendments, and in accordance with the N.Z. Building Code.

END OF SPEC.

PREPARED BY: BOB PENMAN
48 MT VIEW RD
WANGANUI
PH 06 343 2472
FAX 06 3432462
MOBILE 0274 421125

Job Details

Name	J. Bull	
Street and Number	Nile St	
Lot and DP Number	headers on all printed sheets	
City/Town/District	Wanganui	
Designer and date	Bob Penman	7-May-06
Company Name	Penman Design Draughting	

Building Specification

Location of Storey	single	▼	
Floor Loading	2 kPa	▼	
Foundation Type	slab	▼	
Building Height to Apex (m)	5	▼	
Roof Height above Eaves (m)	2	▼	
Stud Height (m)	2.7	▼	
Cladding Weight (top or single)	light	▼	
Cladding Weight (lower)	light	▼	<i>not applicable (single storey building)</i>
Cladding Weight (subfloor)	heavy	▼	<i>not applicable (slab)</i>
Roof Weight	light	▼	
Roof Pitch (degrees)	0-25	▼	
Room in Roof Space	no	▼	
Building Length (m)	5.92		
Building Width (m)	7.62		
Gross Building Plan Area (m2)	40		

Building Location

Wind Zone	Low		Earthquake Zone	
Region	R1	▼	A	▼
Terrain	Inland	▼		
Exposure	Sheltered	▼		
Topography	Gentle	▼		<i>Enter at least 'moderate' in a Lee Zone</i>

Bracing Units required for Wind

per m	subfloor	walls
W along	n/a	36 BUs/m
W across	n/a	31 BUs/m
Totals	subfloor	walls
W along	n/a	271 BUs
W across	n/a	181 BUs

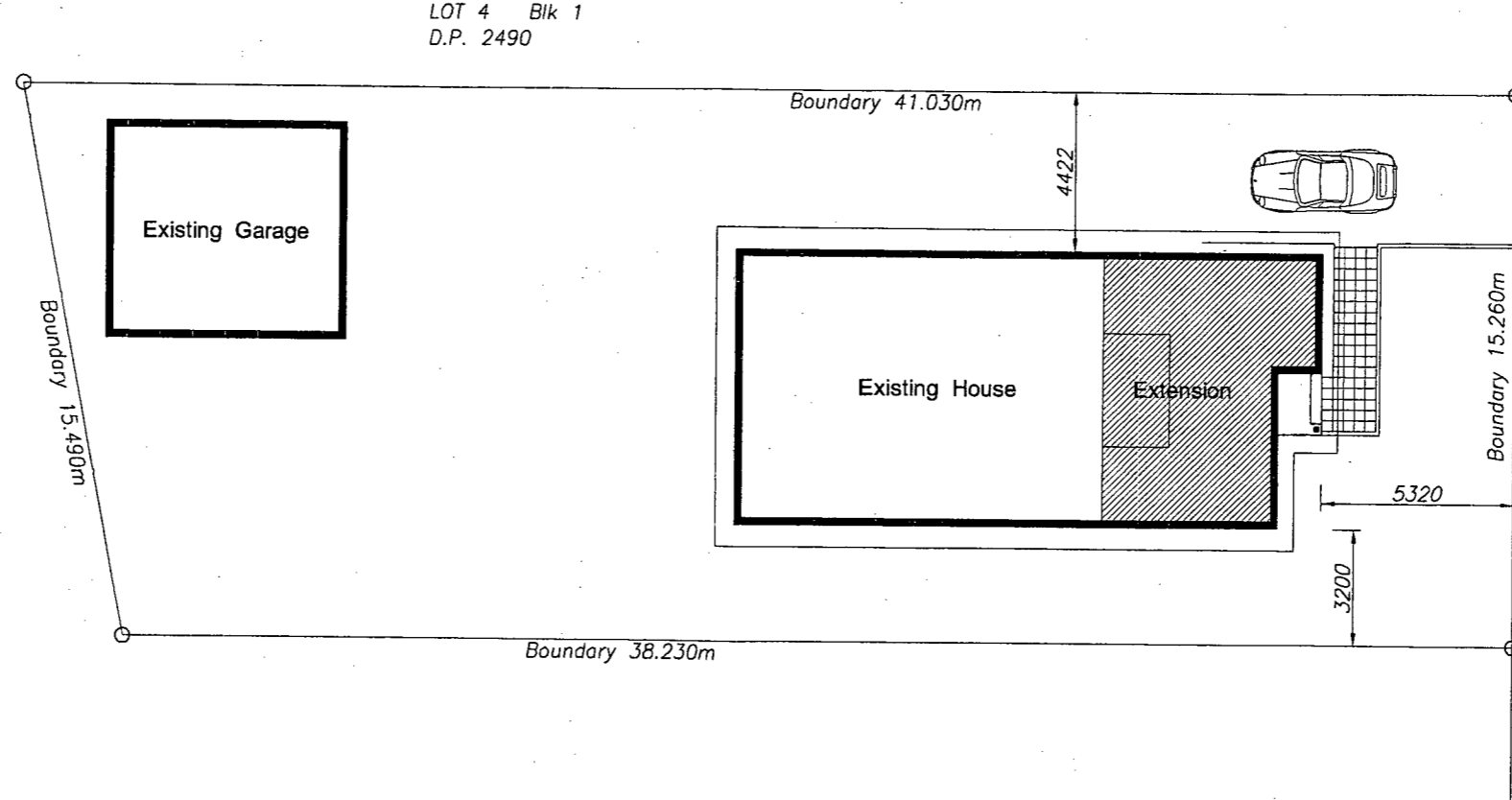
Bracing Units required for Earthquake

per m2	subfloor	walls
E	n/a	3.6 BUs/m2
Totals	subfloor	walls
E along	n/a	144 BUs
E across	n/a	144 BUs



LEGAL DESCRIPTION

LOT 4 Bk 1
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23 NILE ST, WANGANUI

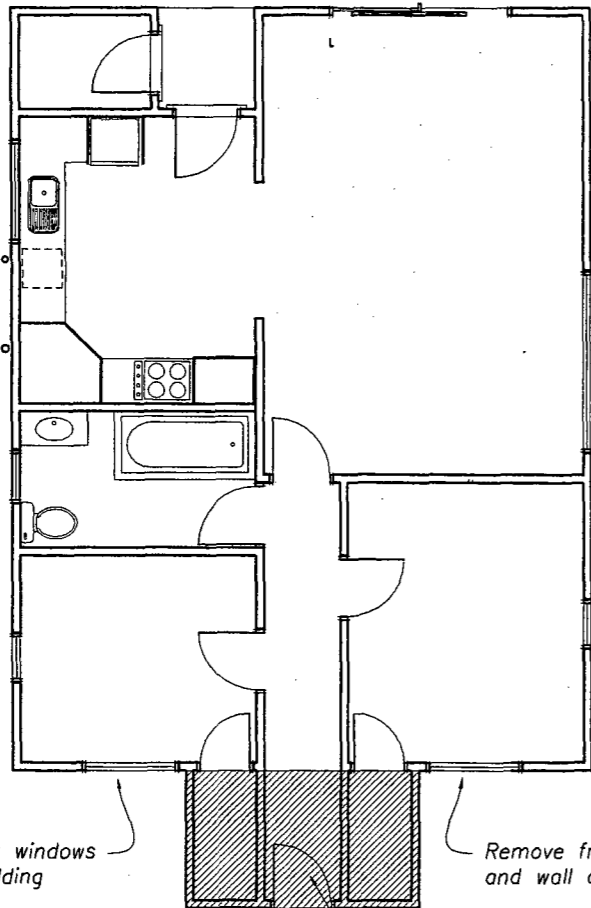
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DRAWING TITLE		JOB NO		SHEET NO	
SITE PLAN		PC06/224		AI	
SCALE	DRAWN	DATE			
1:200	Bob P	08.05.2006			

AMENDMENTS

NO	DATE

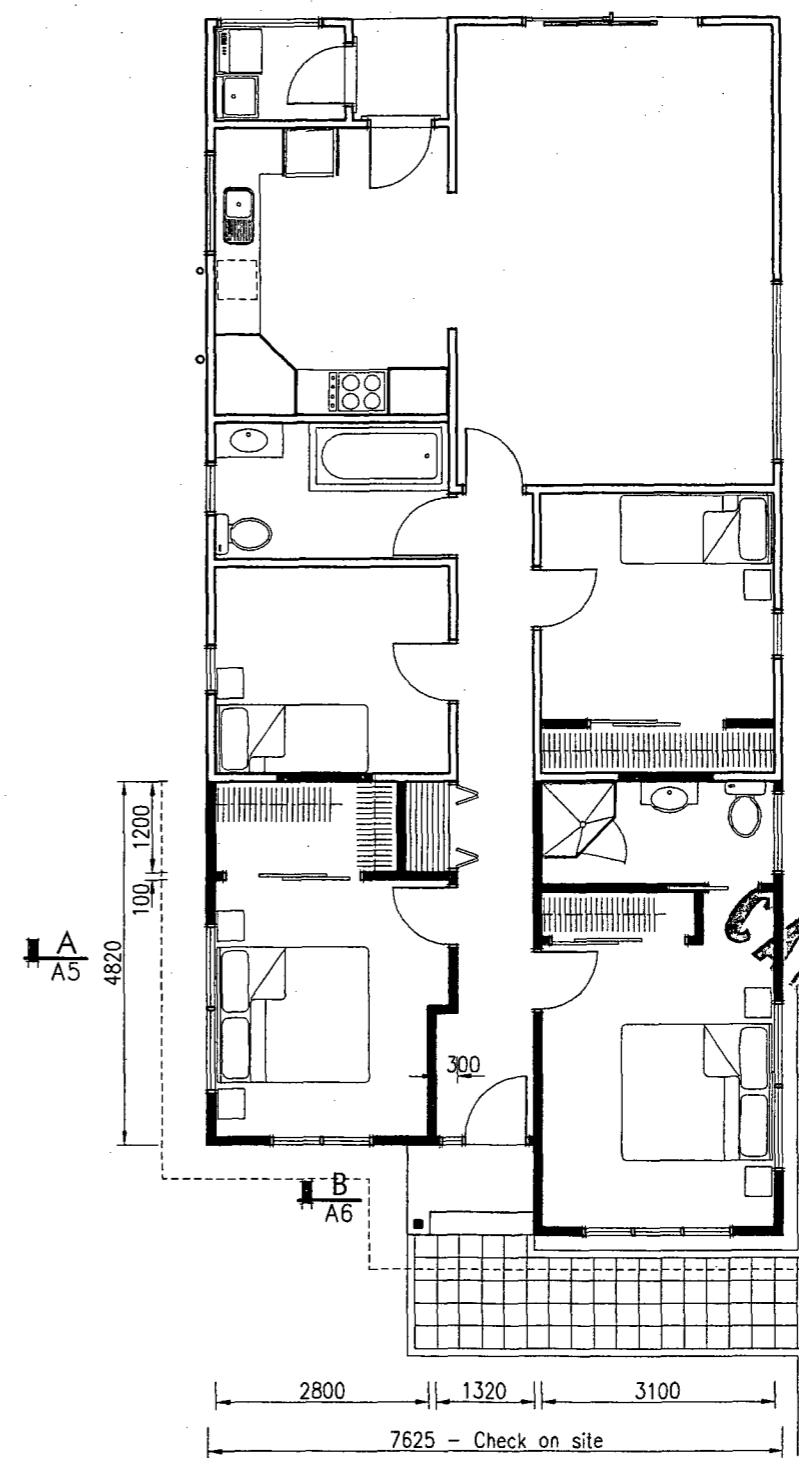


Remove front windows and wall cladding

Remove front windows and wall cladding

Demolish existing Entry

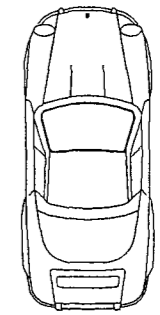
Existing Plan
scale 1 : 100



Proposed Plan
scale 1 : 100

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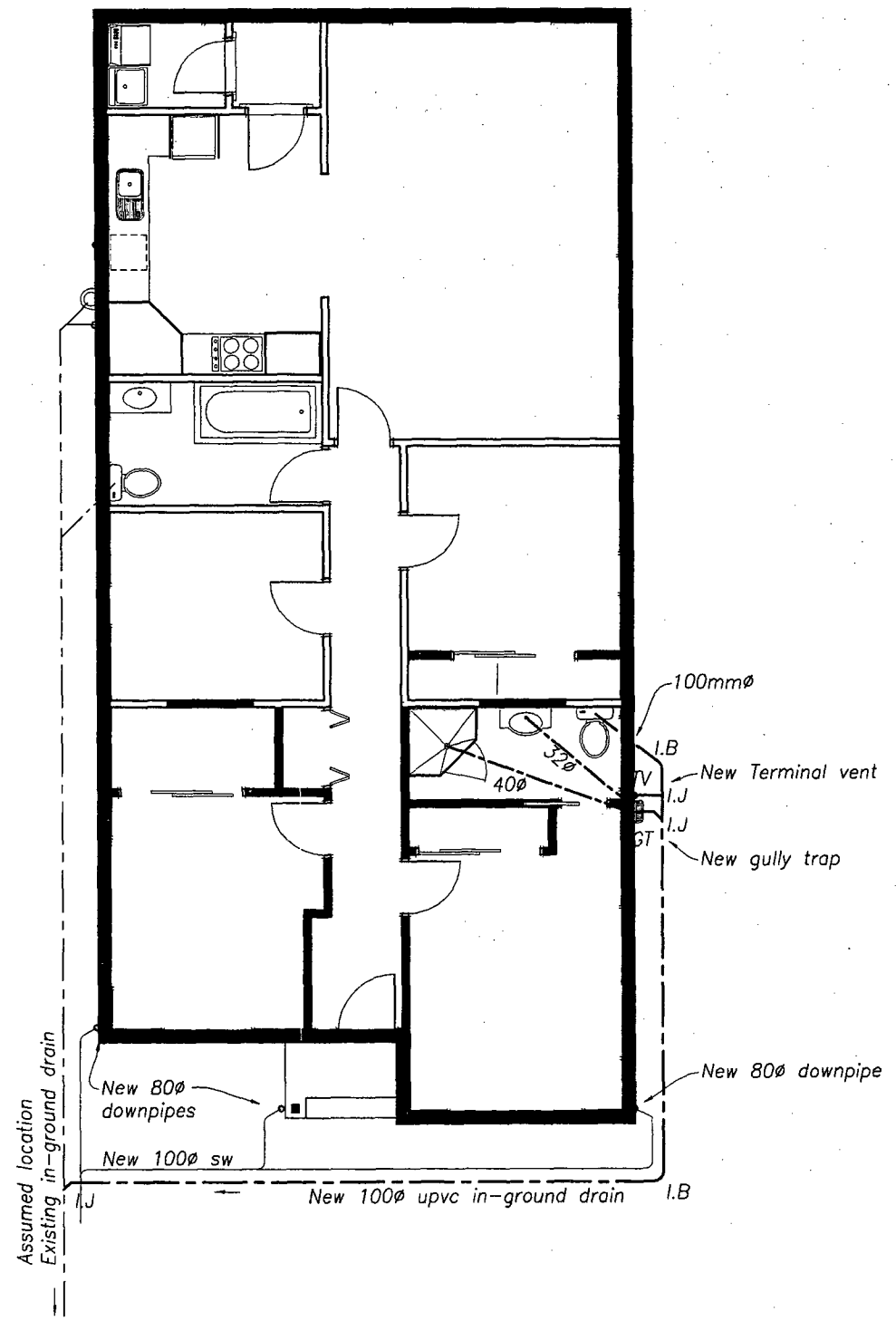


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23 NILE ST, WANGANUI

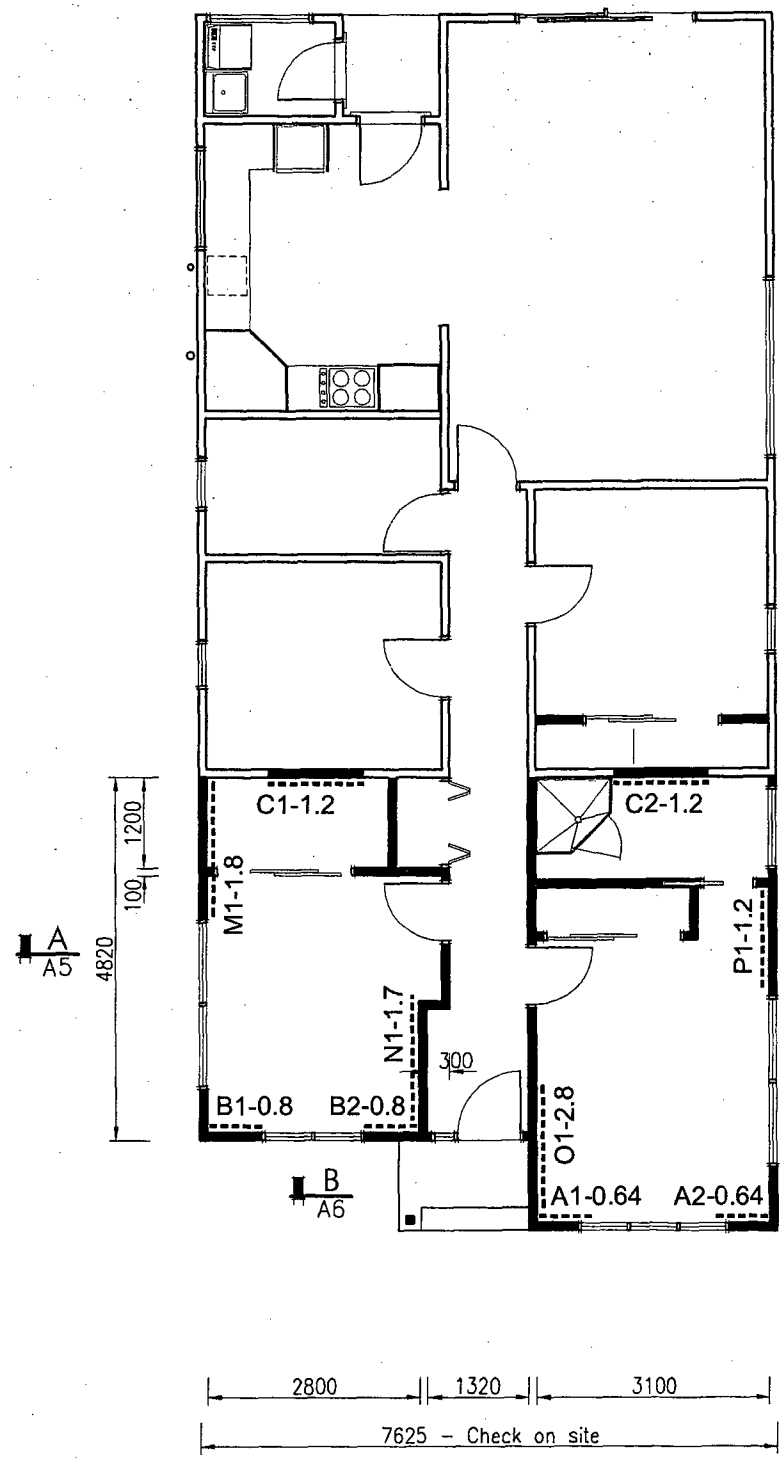
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DRAWING TITLE
FLOOR PLANS

APPENDICES	DATE	SCALE	DRAWN	JOB NO	SHEET NO
		1:100	Bob P	PC06/224	A2
			DATE	08.05.2006	



Drainage Plan
scale 1 : 100



Setout & Bracing Plan
scale 1 : 100

BRACING LEGEND:
The following is a summary only of the Bracing Panels. Builder to obtain a copy of Gib Bracing Systems March 2006 for fixing details

EXTENSION		
Panel No	Panel Type	Length
A1-0.64	Gib BL1	0.64m
A2-0.64	Gib BL1	0.64m
B1-0.8	Gib BL1	0.8m
B2-0.8	Gib BL1	0.8m
C1-1.2	Gib GS2	1.2m
C2-1.2	Gib GS2	1.2m
M1-1.8	Gib GS1a	1.8m
N1-1.7	Gib GS2	1.7m
O1-2.8	Gib GS2	2.8m
P1-1.2	Gib BL1	1.2m

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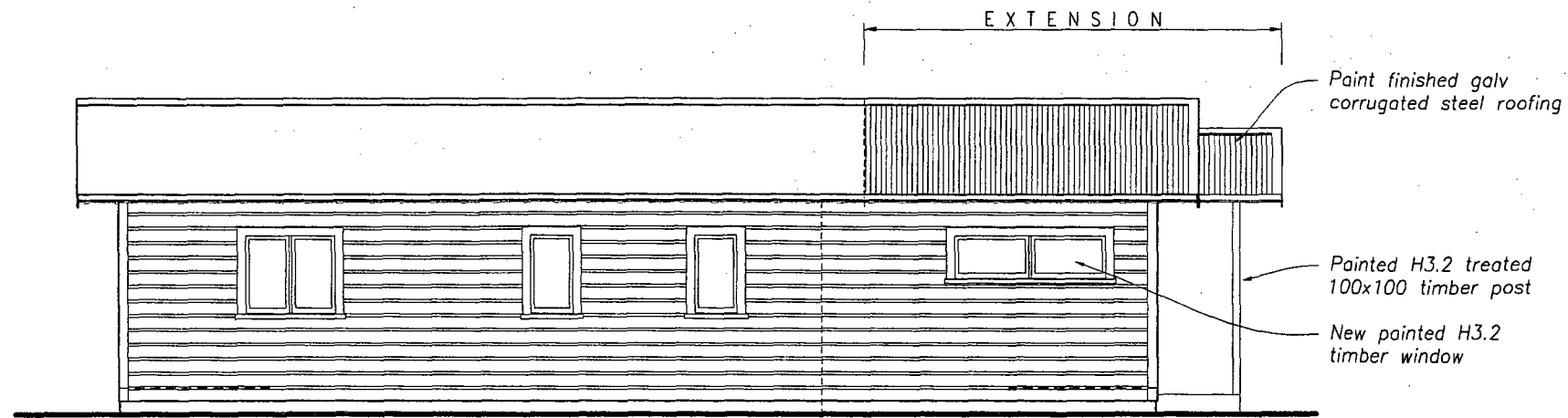
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PROPOSED ALTERATIONS to BULL RESIDENCE
23 NILE ST, WANGANUI

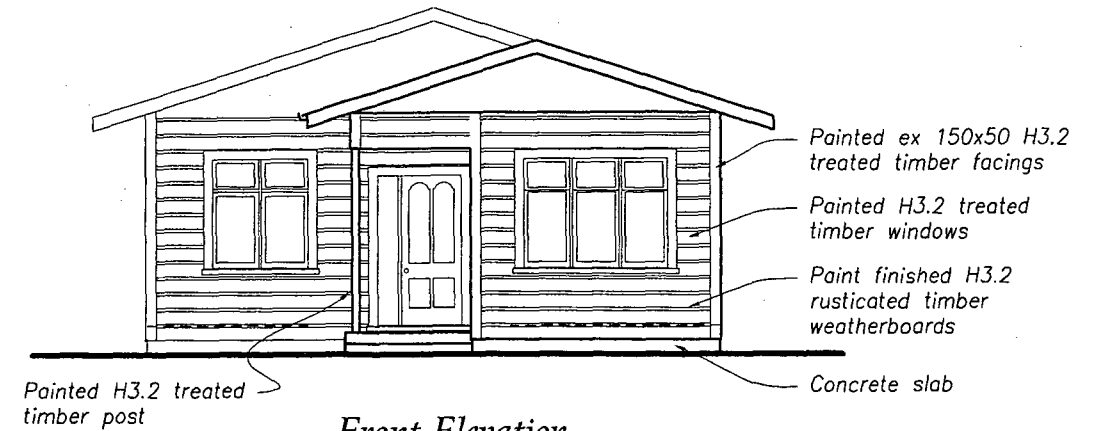
PENMAN DESIGN DRAUGHTING
RESIDENTIAL, COMMERCIAL, INDUSTRIAL
E-MAIL: penperson@clear.net.nz
Mobile 0274 421125
Ph (06) 3432472
Fax (06) 3432462
48 MT VIEW RD
WANGANUI

DRAWING TITLE
SETOUT & BRACING & DRAINAGE PLAN

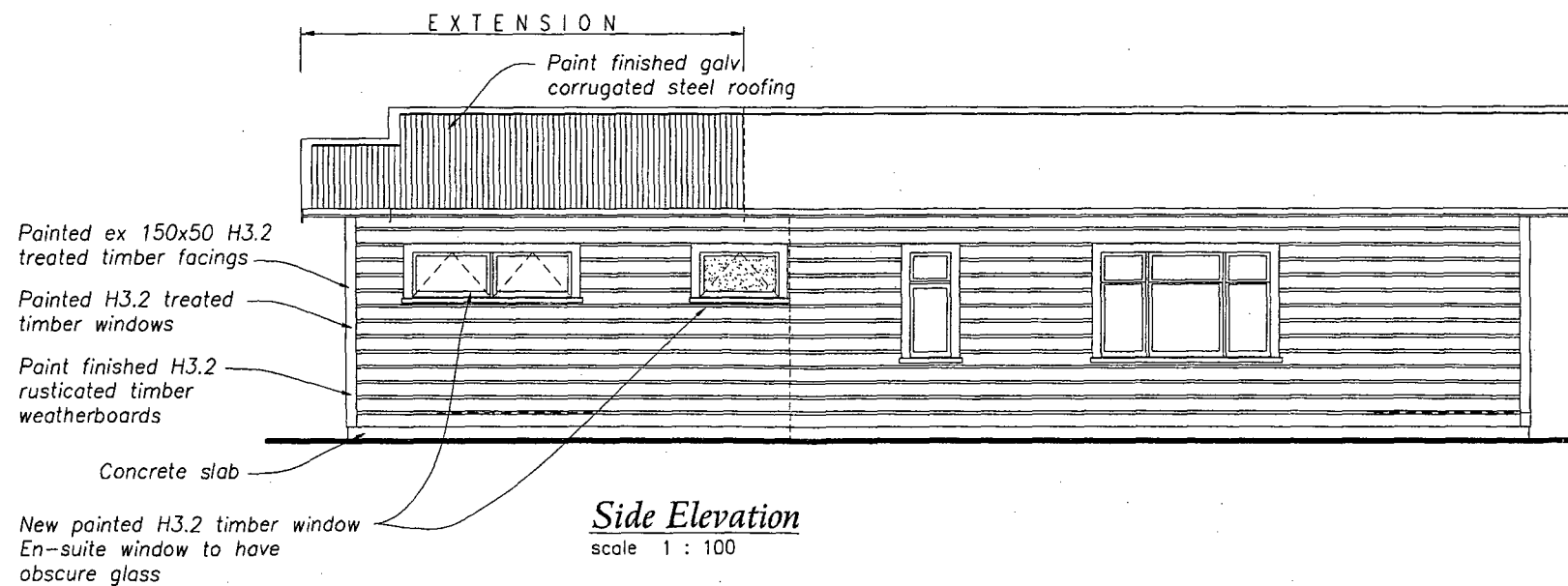
AMENDMENTS	DATE	SCALE 1:100	DRAWN Bob P	JOB NO PC06/224	SHEET NO A3
	DATE				



Side Elevation
scale 1 : 100



Front Elevation
scale 1 : 100



Side Elevation
scale 1 : 100

CANCELLED

Wanganui District Council
31 JAN 2007
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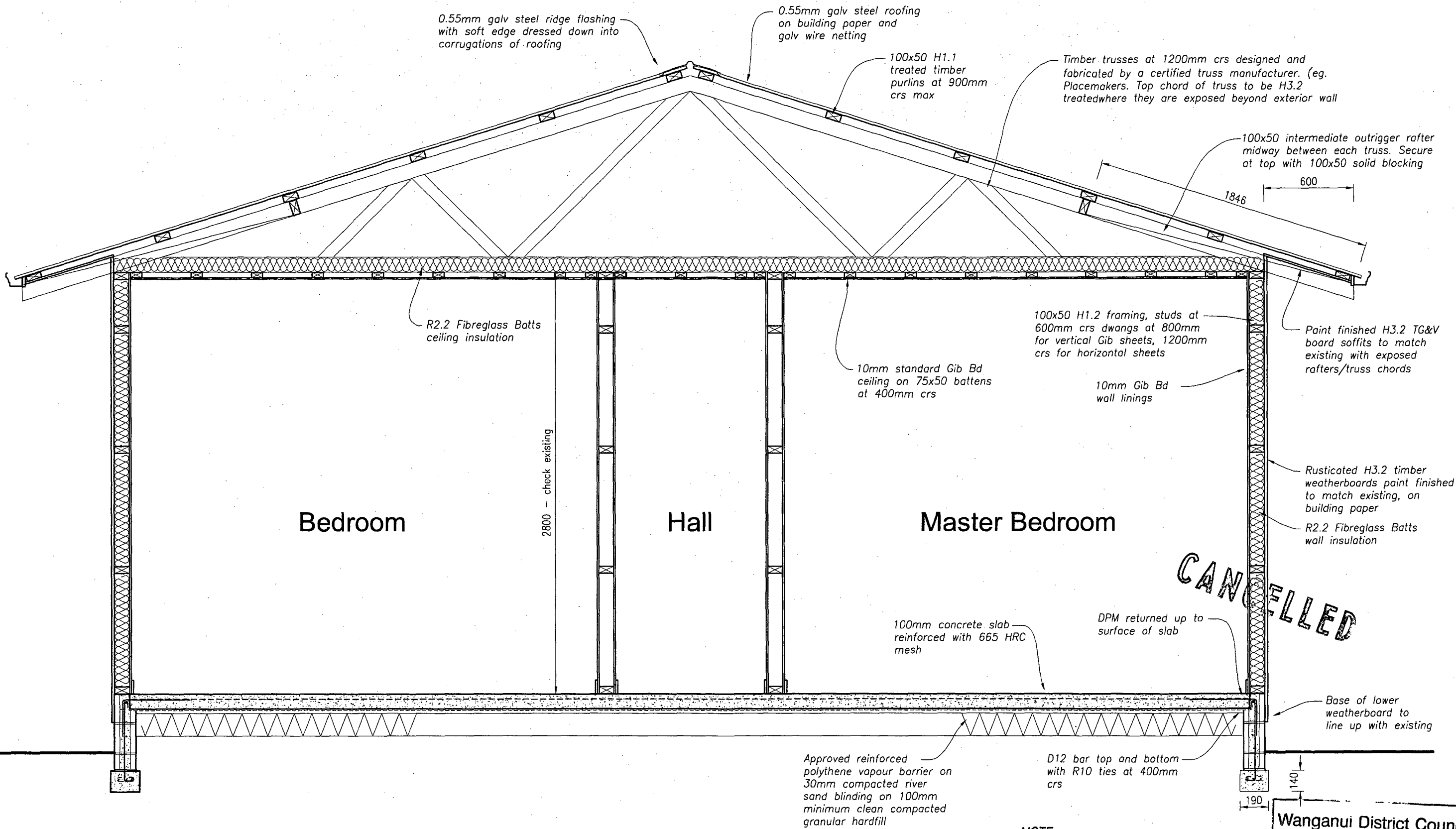
PROPOSED ALTERATIONS to BULL RESIDENCE
23 NILE ST, WANGANUI

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WANGANUI

DRAWING TITLE
ELEVATIONS

AMENDMENTS	DATE	SCALE	DRAWN	JOB NO	SHEET NO
		1:100	Bob P	PC06/224	A4
				DATE	
				08.05.2006	



CANCELLED

Cross-Section A-A
scale 1 : 25

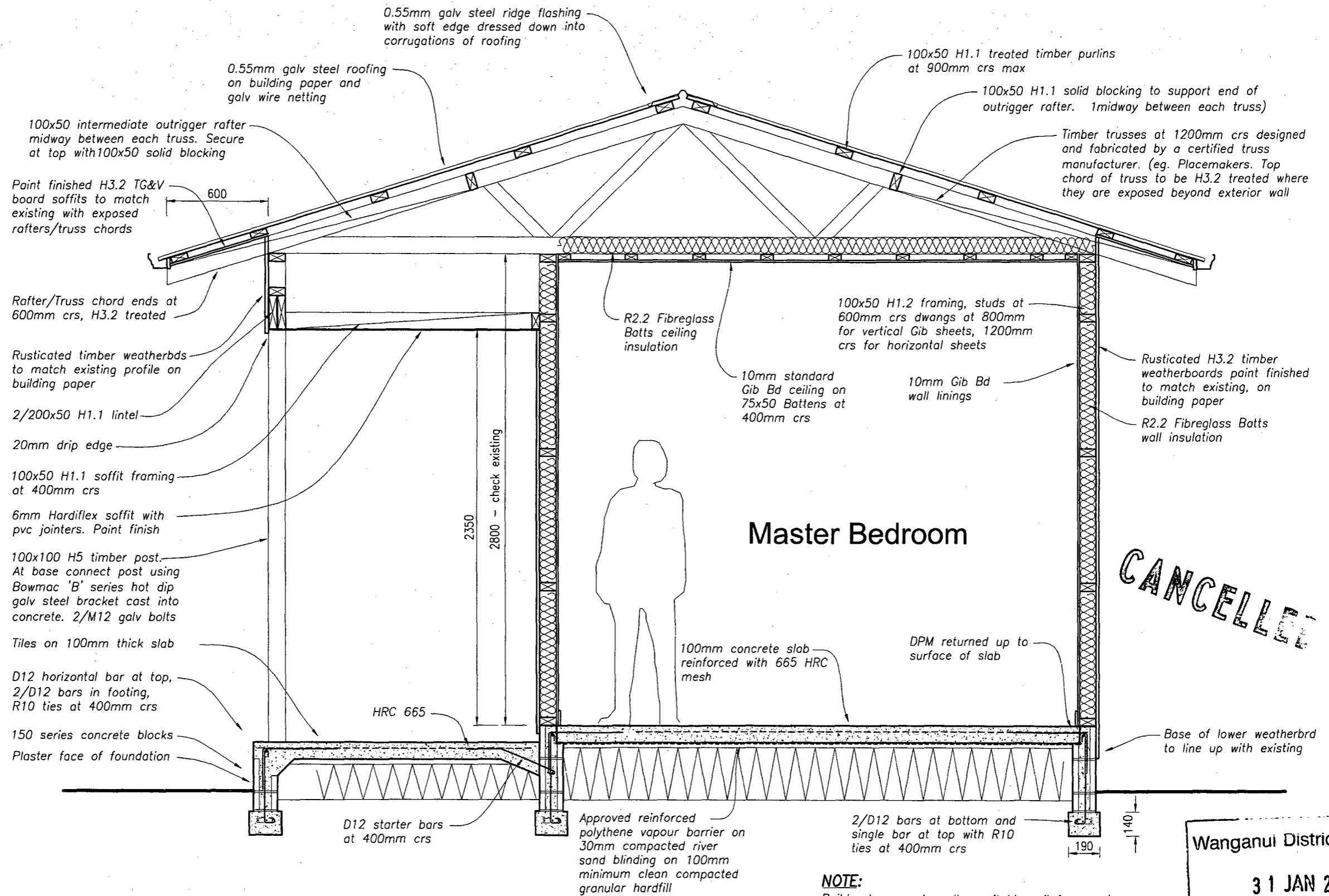
NOTE:
Builder to removing all unsuitable soil from under foundations and check that the bearing capacity under footings is up to required 100kPa. Replace any removed unsuitable soil with clean compacted river sand. Compact in layers of 100mm max.

Wanganui District Council
31 JAN 2007
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PROPOSED ALTERATIONS to BULL RESIDENCE
23 NILE ST, WANGANUI

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DRAWING TITLE CROSS SECTION A-A		JOB NO PC06/224	SHEET NO A5
SCALE 1:25	DRAWN Bob P	DATE 08.05.2006	



CANCELLED

Cross-Section B-B
scale 1 : 25

NOTE:
Builder to removing all unsuitable soil from under foundations and check that the bearing capacity under footings is up to required 100kPa. Replace any removed unsuitable soil with clean compacted river sand. Compact in layers of 100mm max.

Wanganui District Council
31 JAN 2007
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PROPOSED ALTERATIONS to BULL RESIDENCE
23 NILE ST, WANGANUI

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Mobile 0274 421125 48 MT VIEW RD
WANGANUI

DRAWING TITLE		JOB NO		SHEET NO	
CROSS SECTION B-B		PC06/224		A6	
SCALE	DRAWN	DATE			
1:25	Bob P	08.05.2006			

Existing rusticated timber weatherboards

Additional layer of Building paper taped and dressed out over head flashing

Galv steel head flashing

Building paper taken down and turned into window openings and protected in all corners with Protecto flashing tape

Paint grade H3 treated timber windows to match existing

Lintels to comply with NZS 3604

Linings generally 10mm Gib Bd

Building paper taken down and turned into window openings and protected in all corners with Protecto flashing tape

1 WINDOW HEAD

scale 1: 2.5

Building paper turned into window openings and protected in all corners with Protecto flashing tape

Paint grade H3 treated timber windows to match existing

Painted H3 timber facings to match existing

Painted H3 timber scribes to match existing

3 JAMB

scale 1: 2.5

Paint grade H3 treated timber windows to match existing

Aluminium cill flashing

Building paper

Rusticated weatherboards

Building paper turned into window openings and protected in all corners with Protecto flashing tape

2 CILL

scale 1: 2.5

CANCELLED

Wanganui District Council
31 JAN 2007
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PROPOSED ALTERATIONS to BULL RESIDENCE

23 NILE ST, WANGANUI

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WANGANUI

DRAWING TITLE
WINDOW DETAILS

AMENDMENTS	DATE	SCALE	DRAWN	JOB NO	SHEET NO
		1:25	Bob P	PC06/224	A7
			DATE	08.05.2006	