



## STANDARD GARAGES - FAST TRACK CHECKLIST (FOR RESIDENTIAL AND RURAL PROPERTIES ONLY)

Building Consent No: 5/2036

<b>The Applicant</b>	
Name: <u>VERSATILE BUILDINGS</u>	Property Owner: <u>J Bull</u>
Property Address: <u>WANGANUI 2003 LTD.</u>	<u>23 Nile Street</u>
PHONE: <u>(06) 343-3466</u>	<u>WANGANUI</u>
FAX: <u>(06) 343-3489</u>	
Phone: _____	Fax: _____
Mobile: _____	Other: _____

**Planning** Answer the following questions by - Circling below

<b>Site Plan:</b>	Have you provided an accurate, scaled and fully-dimensioned site plan?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
<b>Zone:</b>	Is it rural / residential (Circle one which is applicable then answer the following):		
<b>Either -</b>	Rural - building location more than 10 metre from the boundary	<del>Yes</del>	<del>No</del>
	Residential - buildings located more than 1 metre from boundary	<input checked="" type="radio"/> Yes	<input type="radio"/> No
<b>Residential Coverage:</b>	Is there less than 40% site coverage?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
<b>Residential Height Recession Plane:</b>	Is it within the HRP (2m at boundary and 45°)?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
<b>Residential Location on site:</b>	Is it positioned behind the front line of the dwelling?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
<b>Crossing:</b>	Is the Vehicle Crossing shown?	<input checked="" type="radio"/> Yes	<input type="radio"/> No

**The Building**

<b>Boundary:</b>	Is it located >1m from a boundary?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
<b>Function:</b>	Does the garage <u>exclude</u> all habitable spaces?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
<b>Plans:</b>	Are the site plans, floor plan, foundations, window details, elevations, cross section all complete?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
<b>Specifications:</b>	Are the specifications complete and relevant?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
<b>Producer Statements:</b>	Are the Producer Statements attached?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
<b>Truss:</b>	Are the standard details supplied with fixings shown and roof-bracing details?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
<b>Bracing:</b>	Are all elevations shown with bracing calculations supplied?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
<b>Stormwater:</b>	Is the main contractor responsible for installing stormwater? (either to soak pit or existing system)	<input checked="" type="radio"/> Yes	<input type="radio"/> No
<b>Durability:</b>	Have you considered if it is in the Sea Spray Zone or not	<input type="radio"/> Is	<input checked="" type="radio"/> Isn't
<b>Type of Garage:</b>	Is this a stock standard garage e.g. doesn't contain conventional windows, any lining, interior wall/partitions etc.	<input checked="" type="radio"/> Yes	<input type="radio"/> No
<b>IF ALL ANSWERS = YES FAST-TRACK</b>		<input checked="" type="radio"/> Yes	<input type="radio"/> No



## APPLICATION FOR

- PROJECT INFORMATION MEMORANDUM AND/OR  
 BUILDING CONSENT OR  
 ALTERATION TO EXISTING BUILDING CONSENT

(Please tick appropriate box)

Building Consent or PIM No:

**5/2036**


### Section 32 or Section 45, Building Act 2004

<b>The Building</b> Street Address: <u>23 Nile Street</u>		<b>The Owner</b> Owners Name: <u>J. Bull</u>	
Legal Description: Lot: _____ DP: _____		Contact Person: _____ Mailing Address: <u>23 Nile Street</u>	
WDC Property No: _____ Building Name: _____ (if applicable)		Street Address: _____ (Registered Office)	
Level/Unit No: _____ (if applicable)		Phone: _____ Mobile: _____	
Area: <u>39.6</u> m <sup>2</sup>		Fax: _____ Afterhours: _____	
Current Use: _____		Email: _____	
Year first constructed: _____ (if applicable/or approx, year)		Website: _____	
<b>Agent</b> (please fill in if owner not applying) Name: <u>VERSATILE BUILDINGS</u> Mailing Address: <u>WANGANUI 2003 LTD.</u> PHONE: (06) 343-3466 FAX: (06) 343-3489		<b>Contact Person</b> Name: <u>Lise Warner</u> Phone: _____ Fax: _____ Email: _____ Website: _____ Relationship to Owner: _____ First Point of Contact: <u>The Owner</u> (please circle one) <u>The Agent</u>	
<b>The Project</b> Description of Building Work: <u>New Versatile Garage &amp; Renew Existing Garage</u>			
Will the building result in a change of use: YES <input type="checkbox"/> <b>NO</b> <input checked="" type="checkbox"/> (please circle one)			
If yes, please provide details of new use: _____			
Intended life of the building if less than 50 years: <u>50</u>			
Building Consent Numbers of those building consents previously issued for this project (staged project): _____			
Estimated value of building work including GST \$: <u>12500</u>			
The information provided will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising			

The following evidence of ownership is attached to this application: Please tick those that are applicable

- 1. Certificate of Title
- 2. Lease Agreement
- 3. Agreement for Sale and Purchase
- 4. Other... (please give details)

Signature of owner/agent on behalf of and with authority of the owner - (please delete one)

  
 Dated: 18-10-05

Consent Fee to be paid by: (please circle one)

Owner Builder Plumber Designer Agent

Code Compliance Certificate to be sent to: Owner + Builder

**Project Information Memorandum**

The following matters are involved in the project: (please tick the appropriate project)

- |  |   |
|--|---|
| <input type="checkbox"/> Subdivision   | <input type="checkbox"/> Alterations to land contours   |
| <input type="checkbox"/> New or altered connections to public utilities  | <input type="checkbox"/> New or altered locations and/or external dimensions of buildings                           |
| <input type="checkbox"/> New or altered access for vehicles  | <input type="checkbox"/> Building work over or adjacent to any road or public place                                 |
| <input checked="" type="checkbox"/> Disposal of stormwater and waste water   | <input type="checkbox"/> Building work over existing drains or sewers or in close proximity to wells or water mains |
| <input type="checkbox"/> Other matters known to the applicant that may require authorisation from the Territorial Authority as listed below: |   |
| <input type="checkbox"/>   | <input type="checkbox"/>  |

**Attachments**

The following documents are attached to this application: (please tick those that are applicable)

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Plans and Specifications       | <input type="checkbox"/> Development Contribution Notice |
| <input type="checkbox"/> Project Information Memorandum            | <input type="checkbox"/> Certificate attached to PIM     |
| <input checked="" type="checkbox"/> Copies of other Authorisations | <input checked="" type="checkbox"/> Producer Statement   |
| <input checked="" type="checkbox"/> Truss Layout plan              | <input type="checkbox"/> Fire Design Analysis            |
| <input type="checkbox"/> Other (provide details):                  | <input type="checkbox"/> Other (provide details):        |

**Please give Building Consent details**

The following plans and specifications are attached to this application (all plans and specifications must meet the minimum requirements set out in the regulations or required by the building consent authority):

[Please schedule pages/documents supplied]

All relevant Plans & Specs

Cont'd

**Compliance Schedule**

(please tick one of the appropriate boxes):

- The specified systems and features for this building are as follows:
- The following specified systems and features are being altered, added to, or removed in the course of the building work:
- There are no specified or features in this building:

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WANGANUI DISTRICT COUNCIL

19 OCT 2005


<b>Designer:</b>	<p>Name: <u>Versatile Head Office</u></p> <p>Address: <u>PO Box 11013</u> <u>Christchurch</u></p> <p>Phone: _____ Mobile: _____</p> <p>Fax: _____ Email: _____</p>
<b>Builder:</b> VERSATILE BUILDINGS WANGANUI 2003 LTD PHONE: (06) 343-3466 FAX: (06) 343-3489	<p>Name: _____</p> <p>Address: _____</p> <p>Phone: _____ Mobile: _____</p> <p>Fax: _____ Email: _____</p>
<b>Craftsman Plumber:</b>	<p>Name: _____ Licence No: _____</p> <p>Address: _____</p> <p>Phone: _____ Mobile: _____</p> <p>Fax: _____ Email: _____</p>
<b>Registered Drainlayer:</b>	<p>Name: _____ Licence No: _____</p> <p>Address: _____</p> <p>Phone: _____ Mobile: _____</p> <p>Fax: _____ Email: _____</p>
<b>Electrician:</b>	<p>Name: _____ Licence No: _____</p> <p>Address: _____</p> <p>Phone: _____ Mobile: _____</p> <p>Fax: _____ Email: _____</p>
<b>Other:</b>	<p>Name: _____</p> <p>Address: _____</p> <p>Phone: _____ Mobile: _____</p> <p>Fax: _____ Email: _____</p>

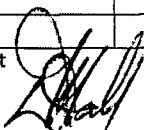
### OFFICE USE ONLY

BCA	Fees	\$
Date application received:	Building Consent Application	
Receiving Officer:	Building Consent Issue	
Receipt No:	PIM	
Date of receipt:	Building Levy (DBH)	
	BRANZ Levy	
	Stormwater Connection	
	Vehicle Crossing	
	Sewer Connection	
	Water Connection	
	Development contribution levy	
	NZFS Alternative Solution	
	Resource Consent	
	Relocation Bond	
	Other	
	<b>Total:</b>	<b>\$</b>

### Processing

Unit	Checks				Inspections No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	<i>DK</i>	<i>20/10</i>					
Planning						<i>DK</i>	<i>21/10/05</i>
Fire Design (referred to NZFS)							
Building						<i>DK</i>	<i>28/10/05</i>
Drainage (utilities)							
Water (utilities)							
Structural							
Plumbing/Drainage						<i>DK</i>	<i>28/10/05</i>
Roading							
Health							
Dangerous Goods							

Approved for issue of PIM/Building Consent



28 OCT 2005

Approving Officer:

Date:

Notes:

**FILE NOTE:  
ASSESSMENT OF BUILDING CONSENT**

<b>Applicants Name</b>	<i>Versatile</i>
<b>Activity/Use</b>	<i>Versatile garage</i>
<b>Date BC#</b>	<i>5/2036</i>
<b>Address</b>	<i>23 Nile Street</i>
<b>Subject</b>	<b>Residential Activities in Residential zones</b>

THIS NOTE RECORDS THE INITIAL ASSESSMENT MADE OF THE CONSENT APPLICATION. IT ASSESSES WHETHER THE APPLICATION INCLUDES ALL OF THE INFORMATION REQUIRED TO PROCESS THE RESOURCE CONSENT FURTHER.

<b>Zone:</b>	<b>Residential</b>	
<b>Road Classification:</b>		
<b>Site Area:</b>		
<b>Site Coverage:</b>	40%	<i>&lt; 40%</i>
<b>Maximum Height:</b>	10 metres	<i>&lt; 10m (3.2m)</i>
<b>Structures (Height Recession Plane):</b>	Front Boundary	<i>Complies with height recession plane rule.</i>
	Side Boundary	
	Side Boundary	
	Rear Boundary	
	(plus exemptions)	
<b>Multi Unit Development (detached):</b>	Height recession plane applies from a notational boundary	-
<b>Accessory Building</b>	Garage or accessory building located in front of principal building	<i>NIA</i>
<b>Conjoined multi unit developments and residential care facilities</b>	D= L = 3H/10 i. Site amenity 30m <sup>2</sup> ii. Upper story units iii. Storage space	<i>NIA</i>

Noise:		-
Light:		-
Advertising		-
Access:	Minimum 1 access to be provided 3.5 metres maximum	existing.
Parking:	1 per dwelling unit	✓
Easements		

Decision and any other matters not contained in table above including further information for building consent purposes:

complies with Wanganui District Plan.

H.S. 21/10/05

Further Information Received? Yes/No  
Decision:

Is resource consent required? Yes/No  
Letter sent out? Yes/No Date:

File Number: 4/101/

Assessed as:

Restricted Discretionary Activity  
Breaches:

Non-complying Activity  
Breaches

# Wanganui District Council

PO Box 637, Wanganui

Phone (06) 349-0001

Visit our Web Site [www.wanganui.govt.nz](http://www.wanganui.govt.nz)

## OFFICIAL RECEIPT

GST Reg No 51-668-324

19/10/2005

Receipt No: 142819

To Versatile Buildings

<u>Type</u>	<u>Reference</u>	<u>Amount</u>
GL Receipt	ZPRECONSENT	\$100.00
Removal of garage 23 Nile St		
Total:		\$100.00

### Amounts Tendered :

Cheque	\$100.00
Total	\$100.00
Rounding	\$0.00
Change	\$0.00

Printed 19/10/2005 2:34:40 p.m.



## PREPAID - TAX INVOICE

GST Number 51-668-324

**Payers Name:**

Versatile Buildings  
~~23 Nile~~

**For Building Consent:**

**Reference No:**

**Date:** 19/10/05

**YOUR APPLICATION WILL NOT BE PROCESSED UNLESS THE FEE IS PAID**

Location of project	Description of project	
23 Nile St	Removal of original garage & install new Versatile Garage	Amount (Incl GST)
<b>Reference</b>	<b>Details</b>	
1.	Building Consent Project Type – application fee (see over)	\$ 100 - 00
2.	Resource Consent - deposit	
	• Land use - Non-Notified	\$
	• Subdivision - Notified	\$
3.	Other - Aerial photographs @ \$5.00 each	\$
	- Plan Searches @ \$5.00 each	\$
	- Rural Rapid Numbers (New) @ \$40.00 each	\$
	- Large Plan photocopying A2 @ \$4.00 each,	\$
	A0 – A1 @ \$6.00 each.	\$
<b>Total application fee/deposit</b>		<b>\$ 100 - 00</b>

WHEN PAID THIS FORM WILL BE PART OF YOUR CONSENT APPLICATION AND MUST BE ATTACHED TO THE CONSENT APPLICATION BEFORE IT WILL BE PROCESSED.

**PLEASE RETURN TO CUSTOMER SERVICES**

<b>PROJECT TYPE</b>		<b>APPLICATION FEE</b>	<b>CONSENT ISSUE</b>
<b>PIM</b>	Project Information Memorandum	<b>\$105 +</b>	At cost
<b>SIGNS</b>	Signage (temporary signs are \$35 only)	<b>\$40 +</b>	At cost
<b>PDonly</b>	Stormwater Separation	<b>\$40 +</b>	At cost
<b>1H</b>	Inbuilt Solid Fuel Heaters (total payable on application)*	<b>\$220 +</b>	NIL
<b>2H</b>	Free Standing Solid Fuel Heaters (total payable on application)*	<b>\$150 +</b>	NIL
<b>1A</b>	Ancillary Building Work (requiring only 1 inspection)- (valve vented cylinders \$100 full fee)	<b>\$80 +</b>	\$105
<b>2A</b>	Minor Building Work (requiring only 2 inspections ), e.g. Pergolas, Carports	<b>\$100 +</b>	\$150
<b>3A</b>	Fire Reinstatement	<b>\$100 +</b>	\$150
<b>1B</b>	Minor Building Work accessory to the main building, e.g.: unserviced outbuildings, garages	<b>\$100 +</b>	\$190
<b>2B</b>	Minor Building Work other than 1B up to \$20,000 limit in value. e.g.: serviced outbuildings, sleepouts, alterations, additions, relocated buildings	<b>\$200 +</b>	\$350
<b>1C</b>	Additions/Alterations to private residential dwellings where the value of the work is between \$20,000 - \$50,000	<b>\$300 +</b>	\$450
<b>2C</b>	Additions/Alterations to private residential dwellings where the value of the work is over \$50,000	<b>\$400 +</b>	\$645
<b>3C</b>	New Residential dwellings where the value of the work is under \$100,000	<b>\$500 +</b>	\$420
<b>4C</b>	New private residential dwellings where the value of the work is between \$100,000 - \$200,000	<b>\$600 +</b>	\$545
<b>5C</b>	New residential dwellings where the value of the work is over \$200,000	<b>\$700 +</b>	\$900
<b>1D</b>	Additions/Alterations to (other than residential) buildings where the value of the work is between \$20,000 - \$50,000	<b>\$300 +</b>	\$495
<b>2D</b>	Additions/Alterations to (other than residential) buildings where the value of the work is between \$50,000 - \$100,000	<b>\$400 +</b>	\$510
<b>3D</b>	Additions/Alterations to (other than residential) buildings where the value of the work is over \$100,000	<b>\$500 +</b>	\$900
<b>4D</b>	New (other than residential) buildings where the value of the work is under \$200,000	<b>\$600 +</b>	\$600
<b>1E</b>	New (other than residential) buildings where the value of the work is between \$200,000 - \$500,000	<b>\$900 +</b>	\$1300
<b>2E</b>	New (other than residential) buildings where the value of the work is between \$500,000 - \$1,000,000	<b>\$1100 +</b>	At cost
<b>3E</b>	New (other than residential) buildings where the value of the work is over \$1,000,000	<b>\$1340 +</b>	At cost
<b>1F</b>	Farm buildings	<b>\$60 +</b>	\$220



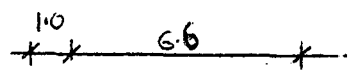
## TOTAL INSPECTION TIME REPORT

Building Consent Number BCon05/2036

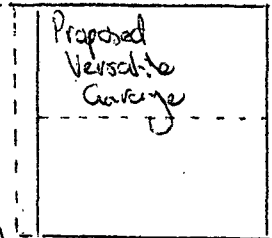
<b><i>Total Estimated Inspection Time</i></b>	80
<b><i>Total Actual Inspection Time</i></b>	0
<b><i>Inspection Time Difference</i></b>	80
<b>At BC Issue</b>	Time to be charged.
<b>At Completion</b>	Positive amount = time to be credited Negative amount = time to be charged

Signed for and on behalf of the Wanganui District Council

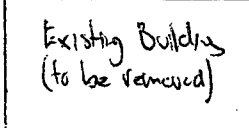
A handwritten signature consisting of a stylized 'S' shape.



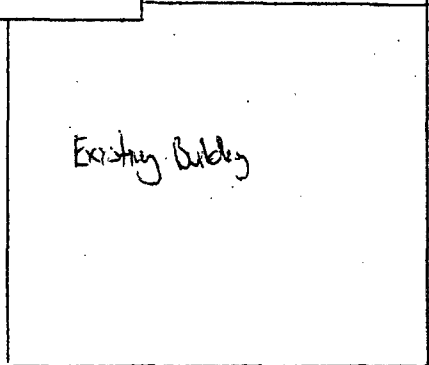
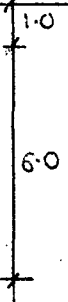
Soak pit



42-000



Existing Building  
(to be removed)

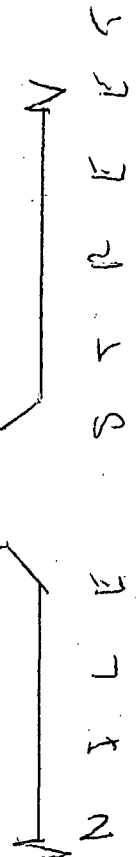


Existing Building

Consent No.

05 / 2036

APPROVED



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34-500

**SITE DETAILS**  
LOT:  
DP:  
CT:

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 1992 REFER TO PRODUCER STATEMENT VB2000



HEAD OFFICE:  
112 WATERLOO ROAD

PH: (03) 349-2555  
FAX: (03) 349-1286

PROJECT TITLE Proposed Building for:  
**Bull**

DRAWING TITLE  
**SITE PLAN**

SCALE: 1:200  
DRAWN: LW  
DATE: OCT 05  
FILE:

SHEET: 1  
OF:

...helping to make environmental compliance easier



## Stormwater Disposal to a soak hole for small buildings

This agreement is to form part of the Building Consent application where the owner/agent chooses to install the stormwater disposal system by means of a soak hole. Due to the variance of ground conditions within the Wanganui District, there is no guarantee that approval will be given for a soak hole installation and other means of disposal may be required.

<b>BUILDER/APPLICANT PROVIDED</b>		<b>OWNER</b>	
Name:	05 / 2036	Name:	J Bull
Address:		Address:	23 Nile Street
<b>PROJECT LOCATION</b> <small>Consent No.</small>		<b>LEGAL DESCRIPTION (office use)</b>	
Address: 23 Nile Street		Valuation Roll No:	
Building Type: Garage		Lot: DP:	
Floor Area: 39.6 m <sup>2</sup>		<p style="text-align: center;"><b>RECEIVED</b> WANGANUI DISTRICT COUNCIL</p> <p style="text-align: right;">19 OCT 2005</p>	
Soil type: Sand & Pumice			
Size of Proposed Soak hole: 4 m <sup>3</sup>		WDC Property No:	
Empty hole <input checked="" type="checkbox"/> } Tick one Rubble filled hole <input type="checkbox"/>		Building Consent No:	

Examples of Soak Pit Volume				
	Empty Hole		Rubble Filled Hole	
	Sand and pumice	Loose dune sand	Sand and pumice	Loose dune sand
20m <sup>2</sup> single garage	0.2m <sup>3</sup>	0.1m <sup>3</sup>	0.4m <sup>3</sup>	0.2m <sup>3</sup>
60m <sup>2</sup> 1 bedroom unit	0.8m <sup>3</sup>	0.4m <sup>3</sup>	2.0m <sup>3</sup>	0.9m <sup>3</sup>
120m <sup>2</sup> 3 bedroom house	2.0m <sup>3</sup>	1.0m <sup>3</sup>	5.0m <sup>3</sup>	2.3m <sup>3</sup>

PTO...

# Soak Hole Agreement

This agreement is between:

**VERSATILE BUILDINGS  
WANGANUI 2003 LTD.**

(the Owner)

(or)

PHONE: (06) 343-3466

FAX: (06) 343-3489

(the Agent)

and

The Wanganui District Council (the Council)

## WHEREAS

1. The Owner/Agent has applied for and been granted building consent ..... for the construction of a building.
2. One of the conditions of the consent is that a soak hole is to be constructed within three months of the roof of the structure being fitted.
3. It is intended that if the Owner/Agent does not complete the construction of a suitable soak hole then the Council will install a disposal system on behalf of the above signed and the Council will charge the above signed the reasonable costs in doing so.

## NOW THEREFORE IT IS AGREED:

1. That in the event the soak hole is not completed within three months of the roof of the structure being fixed, that the above signed hereby authorises the Council to complete the construction.
2. Also, the above signed agrees to pay the Council the reasonable costs for the construction of a disposal system and such sum shall be recoverable as a debt.

.....  
**Owner/Agent**

.....  
**Wanganui District Council**

**Versatile Buildings 600 Series Specifications**

**Customer: Jeremy Bull**

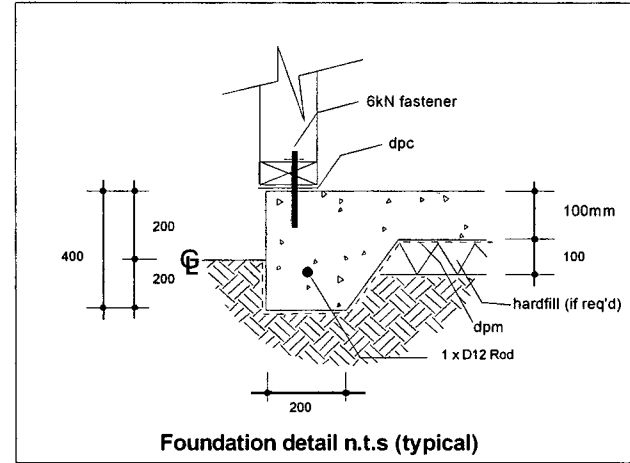
**Site Address: 23 Nile Street, Wanganui**

**Reference: Luke-508**

**Contact: Luke Warner, Wanganui, 06 3433466**

Model:	Versatile 600 Series
Size & Stud Height:	6.6m long x 6.0m wide, with 2.4m stud height
Floor Type:	Concrete floor
Roof Details:	15 degree pitch
Trusses:	90mm x 35mm kiln dried, stress graded timber as per floor plan
Wall Framing:	H1.2 treated 90mm x 35mm kiln dried, stress graded timber
Wind Zone:	Medium wind zone
Cladding Type:	Superclad 'hidden-nail' profile
Gable Cladding:	Board & Batten profile
Gable Soffit:	Front Only
Downpipes Location:	As per instruction

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**19 OCT 2005**



**Foundation detail n.t.s (typical)**

**Notes:**

**GENERAL:** Construction to comply with Mitek Producer Statement, VB 2000 and in all other respects NZS 3604:1999 and the NZ Building Code.

**FOUNDATIONS:** Concrete floor shall be 20mPa, 100mm thick. Footing as detailed

**WALL FRAMING:** All timber shall be machine stress graded, gauged and treated to minimum TPA Specification H1.2 for habitable buildings or C.F, MGP 10 framing for garages. Studs shall be 90 x 35mm at 600mm crs and housed into 90 x 35mm plates. Lay Supercourse DPC under all plates. Refer Producer Statement VB 2000, Sheet 4 for timber grade options and specification. Fix proprietary nail plates and hardware in accordance with Producer Statement VB 2000, Sheets 4 and 5.

**ROOF FRAMING:** Purlins shall be 90 x 45mm on edge at 1500mm crs fixed to Gangnail 15 degree roof trusses. Fix purlins and ridge braces as detailed in Producer Statement VB 2000, Sheet 13. See Gangnail truss details and specification on Sheets 14 and 15. For raking ceiling (skillion roof) refer VB 2000, Sheet 13.

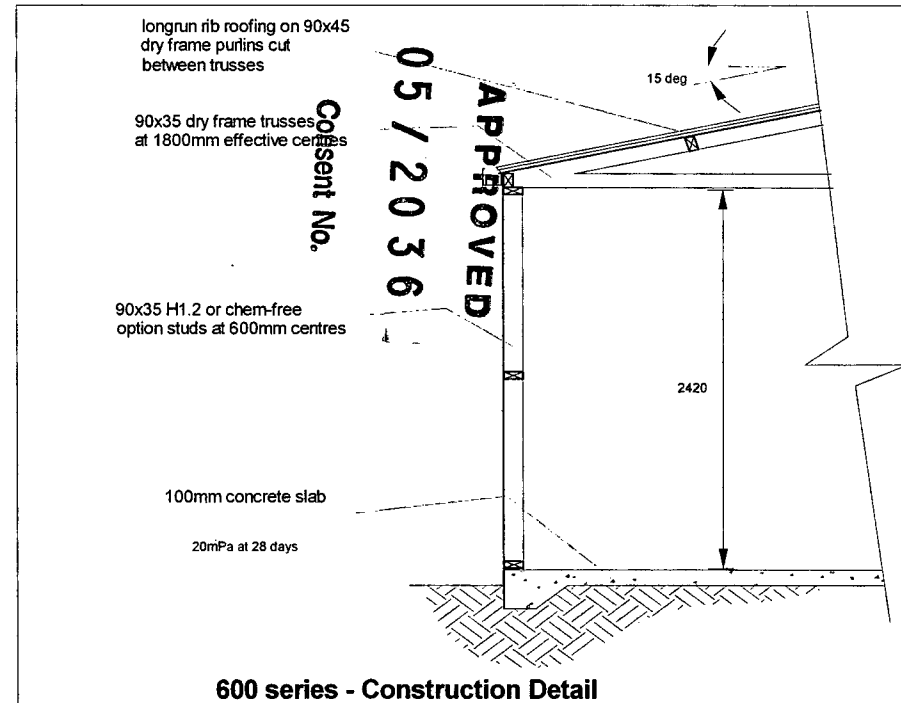
**SIDE ENTRY OPENING LINTELS:** LVL beam sizes and spans are specified in VB 2000, sheet 4. Fixing details are shown on Sheet 9 of VB 2000.

**ROOFING:** Shall be Versatile 6 rib longrun metal roofing fixed with 75mm spiral shank weatherseal roof nails, over bituminous type building paper supported by ultra-violet fast lashing.

**WALL CLADDING:** Fix with galvanised clouts as specified in VB 2000 sheet 6.

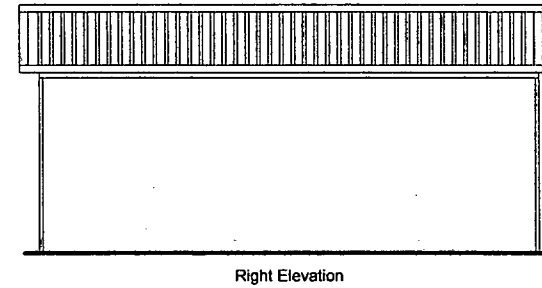
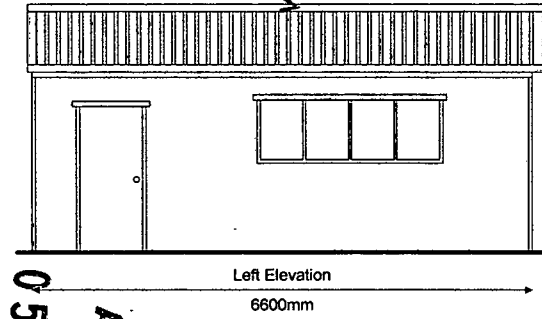
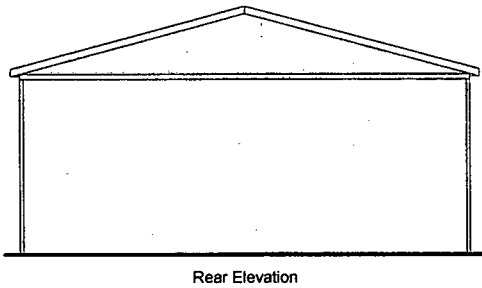
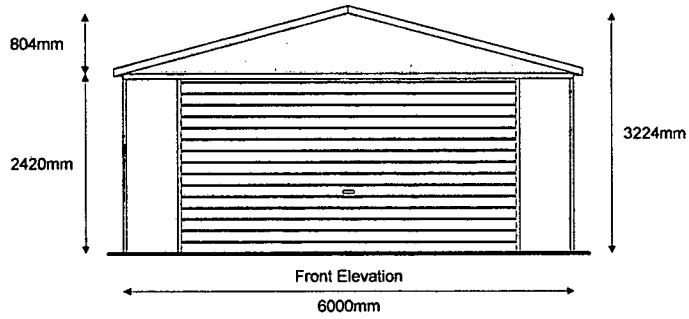
**ROOF BRACING:** For all buildings fix Lumberlok roof plane strap bracing in accordance with VB 2000 Producer Statement, Sheet 7. For 2.7 & 3.0m stud buildings refer VB 2000, Sheet 8.

**WALL BRACING:** Fix bracing in accordance with VB 2000, Sheet 6. Bracing panel locations and fixing refer to "Wall Bracing: 600 Series, Feb 04 Ver1.4." For 2.7 & 3.0m stud buildings refer VB 2000, Sheet 8.



**600 series - Construction Detail**

Versatile Buildings 600 Series Elevations  
Customer: Jeremy Bull  
Site Address: 23 Nile Street, Wanganui  
Reference: Luke-508  
Contact: Luke Warner, Wanganui, 06 3433466



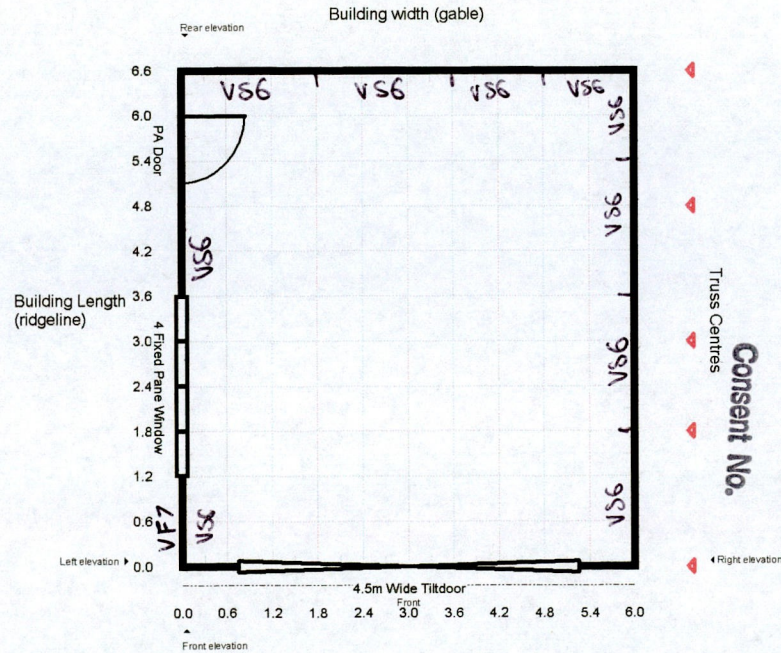
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Versatile Buildings 600 Series Floor Plan  
 Customer: Jeremy Bull  
 Site Address: 23 Nile Street, Wanganui  
 Reference: Luke-508  
 Contact: Luke Warner, Wanganui, 06 3433466








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# LEGEND

refer to: Producer Statement, VB2000, for bracing element & fixing details.

- VS6**  **SUPERCLAD BRACING ELEMENT**  
1.2 or 1.8 metre wide, full height Superclad bracing panel.
- VV6**  **VERSACLAD BRACING ELEMENT**  
1.2 or 1.8 metre wide, full height Versaclad bracing panel.
- VA6**  **ANGLE BRACE (PAIRED)**  
1 pair of let-in angle braces
- VF7**  **SINGLE FLEXI-BRACE**  
1x full height single panel.
- VA6**  **ANGLE BRACE (PAIRED)**  
(pair) 1 pair of let-in angle braces
- VF7**  **SINGLE FLEXI-BRACE**  
(pair) 1x full height single panel.

- VF5**  **SINGLE & 1/2 FLEXI-BRACE**  
1x full height single panel, 1 half height single panel.
- VF6**  **DOUBLE & 1 DBLE FLEXI-BRACE**  
1x full height double panel, 1 half height double panel.
- VF8**  **DOUBLE FLEXI-BRACE**  
1x full height double panel, 1 half height double panel.
- VPI**  **PLY BRACE**  
1x full height single flexi-brace and ply to both faces.
- VP2**  **PLY BRACE**  
1x full height single flexi-brace and ply to both faces.
- VT6**  **CROSSED STRIP BRACE**  
crossed strip-brace @ approx. 45°, with tensioner.
- VM6**  **CROSSED MULTI-BRACE**  
crossed multi-brace @ approx. 45°, with tensioner. Refer sheet 8 for VM6 install.

# 600 SERIES BRACING V2.0

## BRACE RATINGS

**External Walls:** Flexi-Brace is the only secondary brace that can be used on its own without the combination of the cladding. In this case reduce the Flexi-Brace ratings to 80%. eg. aVF5 would be rated @ 64 BU's

## Internal Walls:

**A.** Where internal walls are lined one side with plasterboard and combined with Flexi-Brace use the following values:  
VF5 + plasterboard (1200mm) = 139BU's  
VF7 + plasterboard (600mm) = 50BU's

**B.** Where internal walls are lined with sheet material other than plasterboard, ie customwood or plywood use the secondary brace ratings as quoted only to achieve the total BU's required.

## CROSSED STRIP BRACE (PAIRED)

**VT6**  **CROSSED STRIP BRACE (PAIRED)**  
crossed strip-brace @ approx. 45°, with tensioner. Bottom plate connections must be 600mm+ apart.

**Client : Bull**  
**Order No:**  
**Size : 6600 x 6000mm**  
**Windzone: Medium**

**STEP 1: BRACING DEMAND FOR WIND DIRECTION. ALONG = (RIDGE LINE)**

WALL WIDTH	LOW	MED.	HIGH	V.HIGH
3.0m	35	46	66	85
3.6m	42	55	79	102
4.2m	49	64	93	119
4.8m	56	73	106	136
5.4m	63	83	119	153
6.0m	70	92	132	170
6.6m	77	101	146	187
7.2m	84	110	159	204
7.8m	91	119	172	221
8.4m	98	129	185	238
9.0m	105	138	198	255

WRITE IN BOX: A **92** WALL B.U.'S REQ'D

WRITE FIGURE HERE & WRITE FIGURE HERE **92** WALL B.U.'S REQ'D

WRITE IN BOX: B **92**

CIRCLE SELECTED

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**STEP 4: BRACING DEMAND FOR WIND DIRECTION. ACROSS = (GABLE END)**

WALL LENGTH	LOW	MED.	HIGH	V.HIGH
3.0m	49	65	95	119
3.6m	58	78	113	143
4.2m	68	91	132	166
4.8m	78	104	151	190
5.4m	87	117	170	214
6.0m	97	130	189	238
6.6m	107	143	208	261
7.2m	117	156	227	285
7.8m	126	168	246	309
8.4m	136	181	265	333
9.0m	146	194	284	356
9.6m	156	207	302	380
10.2	165	220	321	404
10.8	175	233	340	428
11.4	185	246	359	451
12.0	194	259	378	475

WRITE FIGURE HERE **143** WALL B.U.'S REQ'D

WRITE IN BOX: C **143**

WRITE IN BOX: D **0** WALL B.U.'S REQ'D

CIRCLE SELECTED

**STEP 2a: CLADDING: PRIMARY BRACING**

CODE	RATING	QUANTITY	TOTAL
VV6-12	60 p/1200 x	=	
VV6-18	90 p/1800 x	=	
VS6-12	45 p/1200 x	2	90
VS6-18	68 p/1800 x	0	0

CLADDING ACHIEVED **90** BU'S

**BOX: A**  
TOTAL BU'S REQ'D **92** BU'S

**STEP 2b: HARDWARE: SECONDARY BRACING**

BRACING CODE	RATING	QUANTITY
VA6	70	
VT6	200	
VF7	30	
VT6 (pair of)	200	
VF5	80	
VF8	60	
VM6	150	
VF6	105	
VF5 (pair of)	160	
VF8 (pair of)	120	
VP1 (<500mm)	135	
VP2 (<500mm)	170	

HARDWARE ACHIEVED **30** BU'S

**Hardware REQ'D** **2** BU'S

**TOTAL BU'S ACHIEVED** **120** BU'S

**STEP 2c: CLADDING: PRIMARY BRACING**

CODE	RATING	QUANTITY	TOTAL
VV6-12	60 p/1200 x	=	
VV6-18	90 p/1800 x	=	
VS6-12	45 p/1200 x	1	45
VS6-18	68 p/1800 x	3	204

CLADDING ACHIEVED **249** BU'S

**BOX: B**  
TOTAL BU'S REQ'D **92** BU'S

**STEP 3d: HARDWARE: SECONDARY BRACING**

BRACING CODE	RATING	QUANTITY
VA6	70	
VT6	100	
VF7	30	
VT6 (pair of)	200	
VF5	80	
VF8	60	
VM6	150	
VF6	105	
VF5 (pair of)	160	
VF8 (pair of)	120	
VP1 (<500mm)	135	
VP2 (<500mm)	170	

HARDWARE ACHIEVED **0** BU'S

**Hardware REQ'D** **0** BU'S

**TOTAL BU'S ACHIEVED** **249** BU'S

**STEP 5a: CLADDING: PRIMARY BRACING**

CODE	RATING	QUANTITY	TOTAL
VV6-12	60 p/1200 x	=	
VV6-18	90 p/1800 x	=	
VS6-12	45 p/1200 x	2	90
VS6-18	68 p/1800 x	2	136

CLADDING ACHIEVED **226** BU'S

**BOX: C**  
TOTAL BU'S REQ'D **143** BU'S

**STEP 5b: HARDWARE: SECONDARY BRACING**

BRACING CODE	RATING	QUANTITY
VA6	70	
VT6	100	
VF7	30	
VT6 (pair of)	200	
VF5	80	
VF8	60	
VM6	150	
VF6	105	
VF5 (pair of)	160	
VF8 (pair of)	120	
VP1 (<500mm)	135	
VP2 (<500mm)	170	

HARDWARE ACHIEVED **0** BU'S

**Hardware REQ'D** **0** BU'S

**TOTAL BU'S ACHIEVED** **226** BU'S

**STEP 5c: CLADDING: PRIMARY BRACING**

CODE	RATING	QUANTITY	TOTAL
VV6-12	60 p/1200 x	=	
VV6-18	90 p/1800 x	=	
VS6-12	45 p/1200 x	0	0
VS6-18	68 p/1800 x	0	0

CLADDING ACHIEVED **0** BU'S

**BOX: D**  
TOTAL BU'S REQ'D **0** BU'S

**STEP 5d: HARDWARE: SECONDARY BRACING**

BRACING CODE	RATING	QUANTITY
VA6	70	
VT6	100	
VF7	30	
VT6 (pair of)	200	
VF5	80	
VF8	60	
VM6	150	
VF6	105	
VF5 (pair of)	160	
VF8 (pair of)	120	
VP1 (<500mm)	135	
VP2 (<500mm)	170	

HARDWARE ACHIEVED **0** BU'S

**Hardware REQ'D** **0** BU'S

**TOTAL BU'S ACHIEVED** **0** BU'S



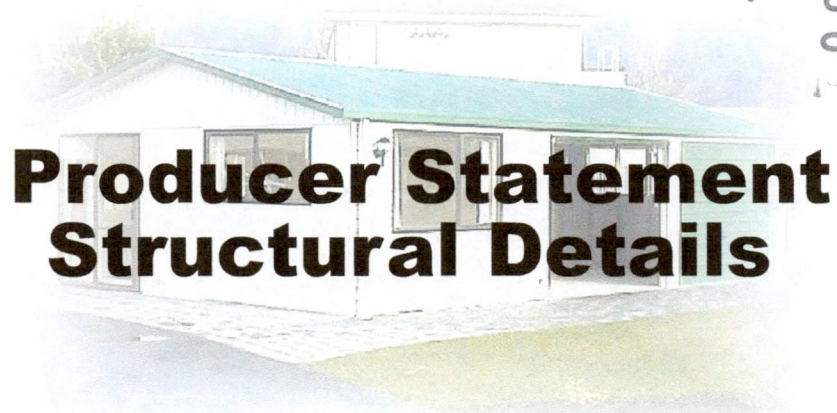
# VERSATILE

## BUILDINGS

Designed by:

**MiTek**™ **MiTek New Zealand Ltd.**  
 PO Box 3887  
 Riccarton, CHRISTCHURCH  
 www.mitek.nz.co.nz  
 HOME OF **GANG-NAIL**® BUILDING SYSTEMS

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# Producer Statement Structural Details

## Notes

**Copyright:** These drawings must not be reproduced without express permission from Mitek New Zealand Ltd and Versatile Buildings Ltd.

**BRANZ Note:** Copies of Bracing Test Report for wall cladding, Test number STR346, available for inspection from Versatile Buildings Ltd, 112 Waterloo Road, Christchurch.

**Building Classification:** Buildings designed for Class 4 & 5 Category as defined in NZS4203:1992 Table 2.3.1

**Patent:** 'Flexi-Brace' subject to Patent Application No: 504428 Mitek New Zealand Ltd  
 Steel 'Stud Saver' subject to Registered Patent No's 330803 & 314494.

## Index

Index	Cover Page
Page 1	Producer Statement: MiTek NZ Ltd- Design
Page 2	Producer Statement: Versatile Buildings/BHP - Durability
VB2000-3	Detail Index
VB2000-4	Floor slab/bolting & Size Tables/Charts
VB2000-5	Hardware Fixing Details
VB2000-6	1000 Series Wall Bracing Units (1000mm stud centers)
VB2000-7	600 Series Wall Bracing Units (600mm stud centers)
VB2000-8	Roof & Wall Bracing (2.7 & 3.0m stud)
VB2000-9	Fire-Wall Details
VB2000-10	Ply-bracing (Tilt-Door Front and rear opening)
VB2000-11	Partition Wall Bracing
VB2000-12	Internal Lining Details
VB2000-13	Roof Details
VB2000-14	Truss Details 2.4m to 7.8m span
VB2000-15	Truss Details 8.0m to 10.2m span
VB2000-16	Alternative Truss Stiffener Detail
VB2000-17	Roof bracing (600 & 1000 series)
VB2000-18	Garaport / Verandah & Deck details

**CONVENTIONS:**

"600 Series" refers to buildings with studs at 600mm centers.  
 "1000 Series" refers to buildings with studs at 1000mm centers.

# VB2000 SERIES

July 2002 Version 1.3

Producer Statement – Manufacture  
Versatile Buildings Ltd

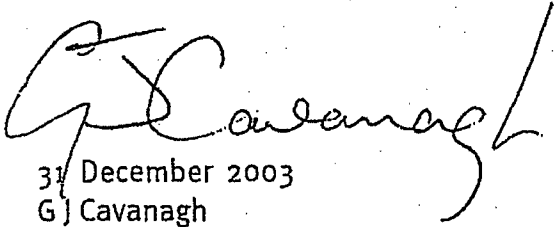
This is to certify that 90x35 Laserframe MGP Timber Framing produced by Carter Holt Harvey and supplied to Versatile Buildings Ltd for their VB2000 Series buildings and specified for building work in relation to the performance requirements of the NZ Building Code will be **APPROVED** and meets the objectives of Clause B1 Structure subject to:

**05 / 2036**

1. The design being properly completed in accordance with:
  - a) NZS 3603 : 1993 Timber Design Code.
  - b) Laserframe Product Information sheet dated November 1997.
  
2. The Laserframe framing work being properly completed in accordance with the drawings and specifications of Versatile Buildings Ltd. for the VB2000 Series buildings.

**Consent No.**

I, Guy John Cavanagh being a professional engineer experienced in timber products development, specification and design, have taken all reasonable steps to verify that Laserframe structural timber for residential and non-residential framing will comply with the strength and serviceability performance requirements of the NZ Building Code clause B1 Structure.



31 December 2003  
G J Cavanagh  
BE MICE  
Registered Engineer No 5282

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**BHP New Zealand Steel**



MAKING BUILDINGS EASY

**VERSATILE BUILDINGS LTD  
PRODUCER STATEMENT – DURABILITY**

The building designs VB2000 have been designed using the external metal cladding on the walls to assist in their structural stability. To satisfy the requirements of Clause B2: "Durability" of the proposed NZBC Nov.2004 and to ensure the cladding material meets a 50-year durability life the following provisions must apply:

**Range of Product and Use**

- Specification: AS1397: 1994
- Coating Type: Zinalume & G2z
- Steel thickness range: 0.35mm – 0.95mm BMT
- Steel grade range: G300 – G550
- Application: Standard Versatile Walls on Class IV & V Building category as per NZS4203: 1992
- Fasteners: Heavy Zinc or Zinc-tin coated clouts to comply with AS3566 Classes 3 & 4.  
Aluminium rivets for all BHP Cladding products.

**Requirements, Limitations and Exclusions**

- Applicable to buildings in Coastal Very Severe, Coastal Severe, Coastal Moderate and Inland Moderate environments as described in BHP New Zealand Steel Environment Categories Sept 2003.
- Fixing and installation of the cladding must be done exactly in accordance with Versatile Buildings Fixing Guide VB2000
- Normal and regular maintenance must be carried out on the exterior surface of the cladding and the following guide must be followed to ensure the durability requirements are met.

**Regular Maintenance**

• **Moderate Coastal**

Rain washing only required on exposed sections, sheltered or protected areas require washing every 3 months for areas 1000m from breaking surf or immediate vicinity of calm salt water such as estuaries.

• **Severe and Very Severe Environment**

Rain-washing only required on exposed areas. Sheltered and protected areas require washing down every month and whenever corrosive salts are present.

**Extended Maintenance, Painting or Repainting**

• **Extended Durability**

Once the metallic coating or the paint system has weathered away, signs of red rust for bare material or signs of the metallic coating for painted material, painting of the entire surface is required to extend the life of the cladding product. Paint manufactures recommendations are to be followed for surface preparation and paint type to be used.

• **Evident Corrosion**

Areas that show signs of white or red rust/corrosion (typically in unwashed areas) require cleaning back with a stiff brush and cleaner to remove all dust, surface contaminants and corrosion products and present a sound substrate for painting. Priming of the surface and application of two coats of paint as per the Paint Manufacturer's recommendations is then required.

Particular attention needs to be paid to laps (side, end, flashing etc) where earlier corrosion may start due to moisture and dirt entrapment.

If evident corrosion is not treated quickly rapid deterioration of the sheet may occur which could result in perforation. At this stage replacement of the affected sheet is the best option.

**References**

1. BHP New Zealand Steel "Environmental Categories" Sept 2003
2. Versatile Buildings Assembly Instructions
3. New Zealand Building Code 1992

Brett Waterfield

for Versatile Buildings Ltd  
112 Waterloo Road  
Christchurch

NEW ZEALAND

Gary Bonniface

for BHP New Zealand Steel  
Private Bag 92121  
Auckland

NEW ZEALAND

Dated: 1<sup>st</sup> Feb 2004

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detail: Q Sheet 13  
RIDGE BRACE DETAIL

detail: P Sheet 13  
PURLIN TO TRUSS FIXING

Sheet 17  
ROOF BRACING LAYOUT

Sheet 14 & 15  
TRUSS DETAILS

detail: J Sheet 10  
FRONT & REAR TILT DOOR

detail: E Sheet 4  
LINTELS CHART

detail: H Sheet 9  
LVL BEAM END CONNECTION

detail: F Sheet 5  
TOP PLATE (SIDE) JOIN

detail: G Sheet 9  
FIREWALL DETAIL

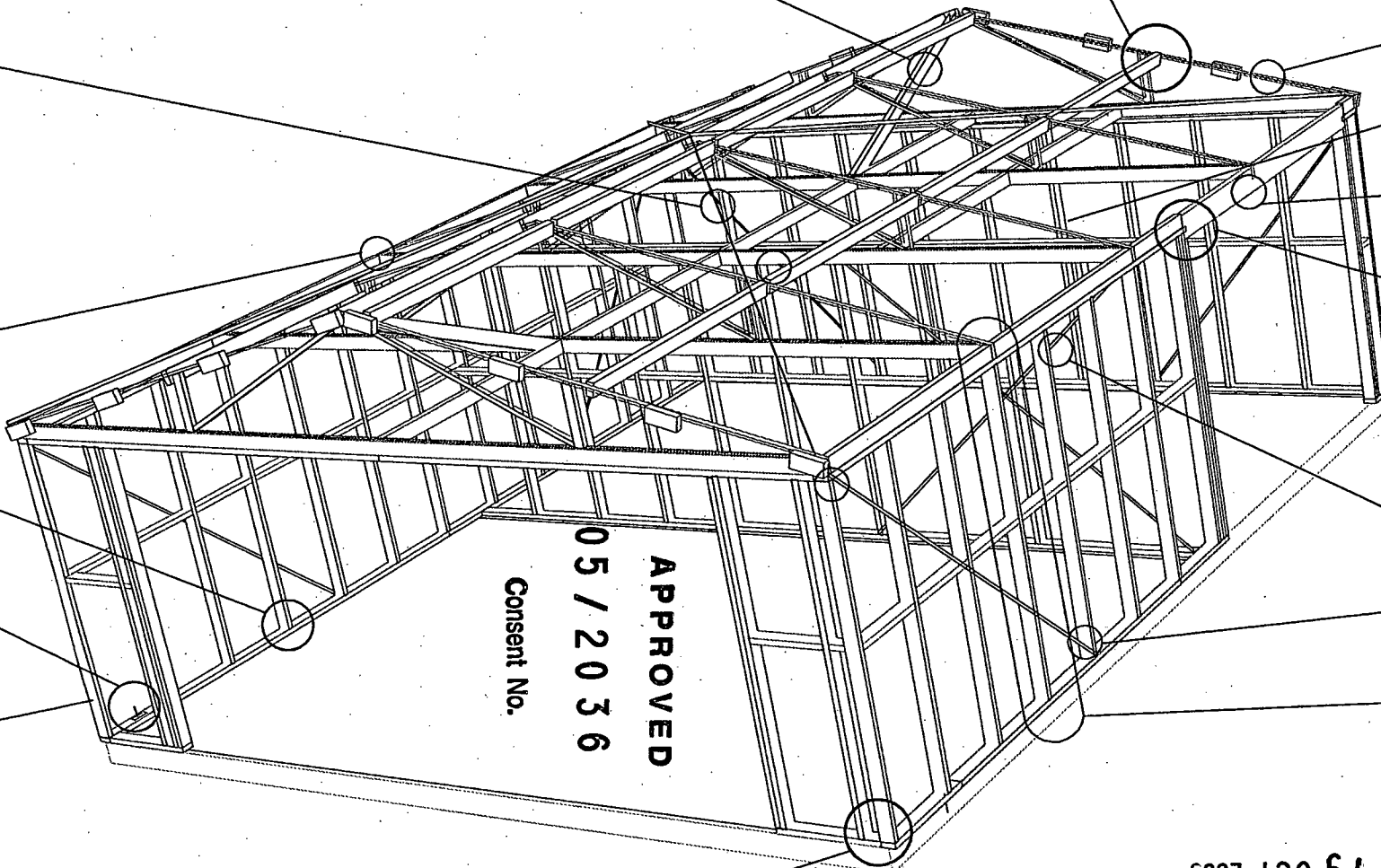
Sheet 11  
PARTITION WALL BRACING

detail: A Sheet 4  
BOTTOM PLATE FIXING

Sheet 6 & 7  
WALL BRACING DETAILS

detail: B Sheet 4  
TIMBER GRADE

detail: F Sheet 5  
TRUSS/STUD/PLATE CONNECTION



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detail: F Sheet 5  
CORNER FIXINGS

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Construction Details

DRAWING TITLE:  
Detail Index

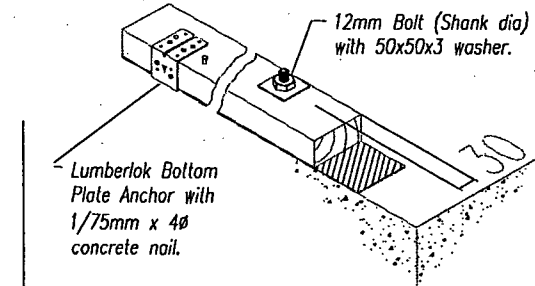
DESIGN: S.A. Coll  
DRAWING: YB Ltd  
DATE: Feb '04

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OF SHEET:  
18

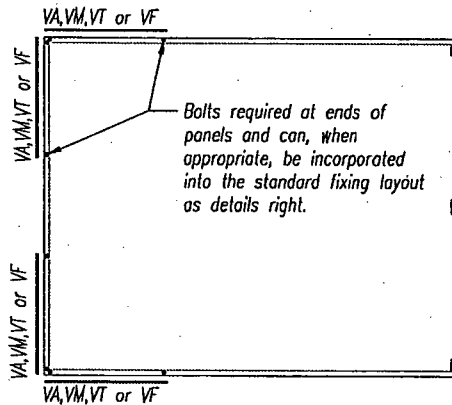
Wind Load	Max. Truss Span or Building Width Bottom Plate Anchor or M12Ø Bolt
Low	12000
Medium	10600
High	9600
Very High	8400

NOTE: For fastener spacing @ 900 crs, truss spans building width can be increased by 25%.



**Detail A** Bottom plate fixing

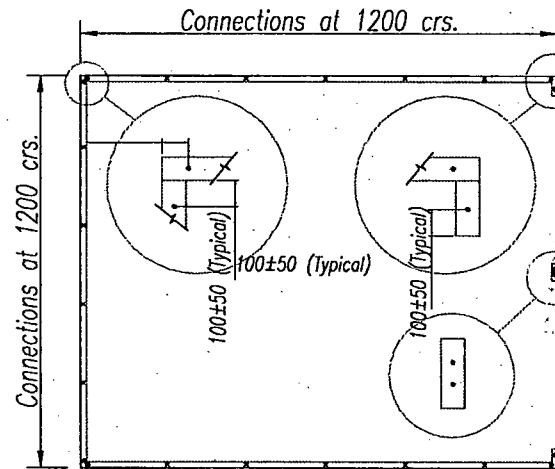
2.7 & 3.0m stud plate fixing **Detail C**



**Detail B** Timber grades

LOCATION	STUD	TIMBER GRADES:	
		Low/Med.& High Wind	V.High Wind (600 series only)
90x35 STUDS (Machine Stress Graded)	2.1 to 3.0m stud	MGP10	MGP10 Ø 300mm CENTRES
90x35 PLATES (Machine Stress graded)		MGP10	MGP10
90x45 PURLINS (Machine Stress Rated)		MSR F5	MSR F5

**Detail D** 2.1 & 2.4m stud plate fixing



NOTE:

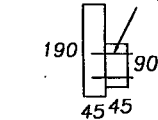
- Connections must be applied at all corners and door openings shown and then spaced, as per layout above, between these points.

90x3.30 dia nails driven alternative sides.

90x3.30 dia nails @200 crs fixed from alternative sides

THIS FIXING DETAIL APPLIES TO 170,240 & 300 LVL LINTELS

90x3.15 dia nails @100 crs staggered



190x45 + 90x45 LINTEL WITH PLATE

**Detail E** Lintel charts

**SIDE ENTRY: ALUMINIUM JOINERY**

2.1m stud height

Opening Width	Bldg Width	Lintel Size
865mm clear span	up to 9.0m	190x45 + 90x45
1165mm clear span	up to 9.0m	190x45 + 90x45
1765mm clear span	up to 9.0m	190x45 + 90x45
2365mm clear span	up to 9.0m	190x45 + 90x45

2.4m-3.0m stud height

Opening Width	Bldg Width	Lintel Size
865mm clear span	up to 9.0m	2x 90x45
1165mm clear span	up to 9.0m	2x 90x45
1765mm clear span	up to 9.0m	2x 140x45
2365mm clear span	up to 9.0m	190x45 + 90x45

**SIDE ENTRY: TILT-DOORS**

2.7m wide opening

Bldg Wth/Truss Span	Low/Med/High & or 0.5 kPa snowload	V.High & or 1.00 kPa snowload
up to 6.0	170x45 LVL	2x170x45 LVL
over 6.0 to 12.0	2x170x45 LVL	2x170x45 LVL

3.0m-4.5m wide opening

Bldg Wth/Truss Span	Low/Med/High & or 0.5 kPa snowload	V.High & or 1.00 kPa snowload
up to 6.0	240x45 LVL	2x 240x45 LVL
over 6.0 to 12.0	2x240x45 LVL	2x 240x45 LVL

4.8m wide opening

up to 12.0	2x 300x45 LVL	2x 300x45 LVL
------------	---------------	---------------

DESIGN NOTES: Dead load: 0.20kPa  
Live Load: 0.25kPa, Snow Load: 0.50 kPa & 1.0kPa  
Max. long term deflection: (L/300 or 15mm) max.  
Wind Load in accordance with NZS 3604:1999 to low wind, Medium wind, High wind & V High wind

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Construction Details

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DRAWING TITLE:

Floor Slab & Tables

DESIGN: S.A. Coll  
DRAWN: VB Ltd  
DRAWING: DATE:  
VB2000-4 Feb '04

SHEET:

4

OF SHEET:

18

# Detail F Hardware Fixing Locations

2/3.15x75mm skew nails from truss outside face to end of truss stiffener, 4T5 strap nail plate from top of stiffener to top of truss bottom chord,

Lumberlok CT200 with 7/3.15 x 30 nails into truss chord and 4/3.15x 30 nails into stud and top plate & truss chord. 2T4 strap nail plate to inside of stud & plate.

2T4 strap nail plate to each corner (side wall face of stud).

for firewall connection refer to Detail G, Sheet 10

2T4 strap nail plate nailed to each face of stud directly under trusses.

2/3.15x75mm nails from plates to stud (top & bottom).

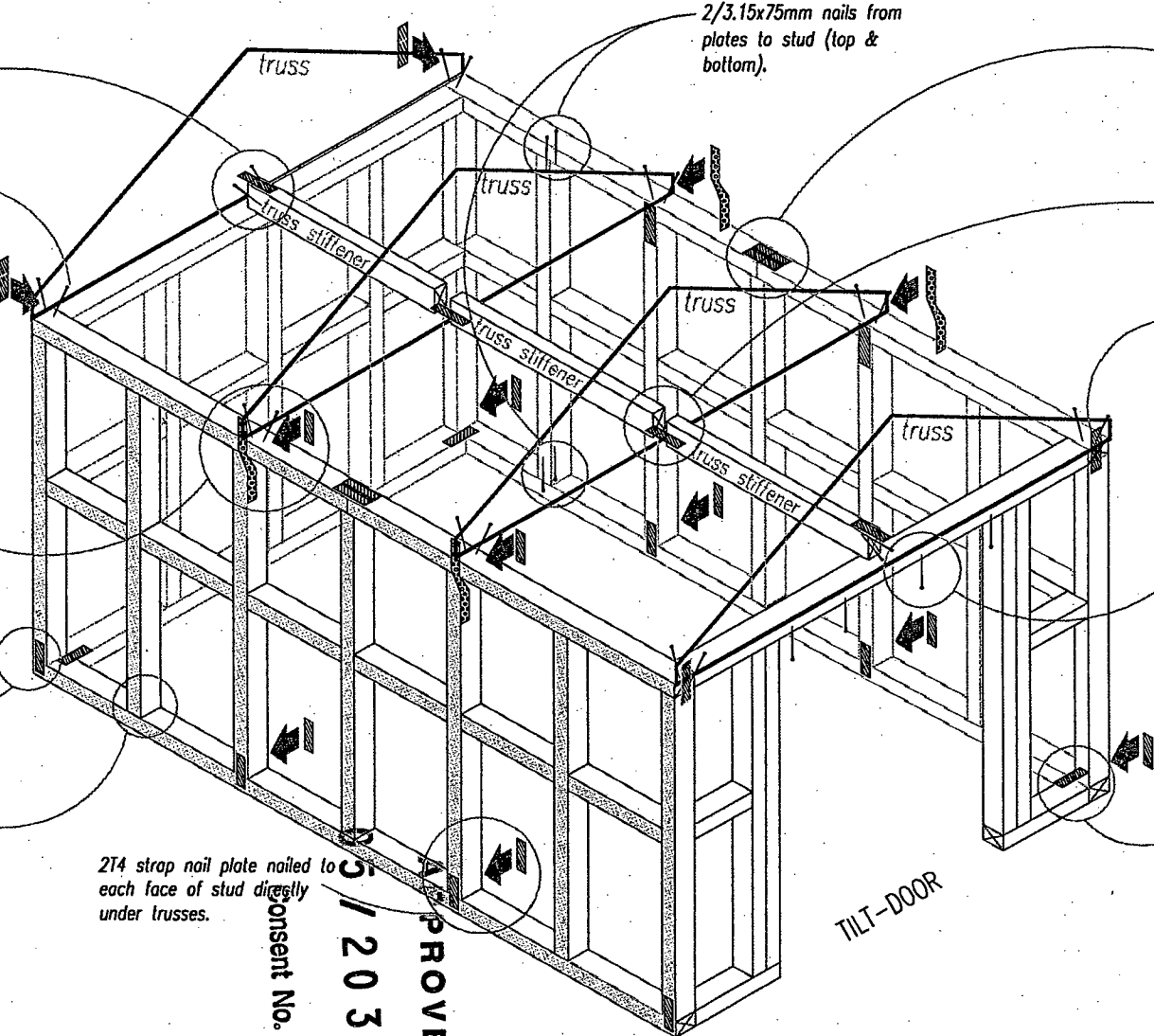
Pair of 4T5 strap nail plates placed centrally over join on upper face of top plate. Required on sidewall top plate only.

4T5 strap nail plate nailed to bottom of truss stiffener

4T5 strap nail plate nailed from bottom chord of truss to stud at every corner.

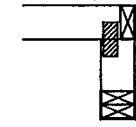
4/3.15x75mm nails from top plates to truss between tilt-door opening

2T4 strap nail plate to top face of bottom plate at each corner only (Typical).



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**NOTE:**  
hardware fixings apply to both 600 & 1000 series buildings,



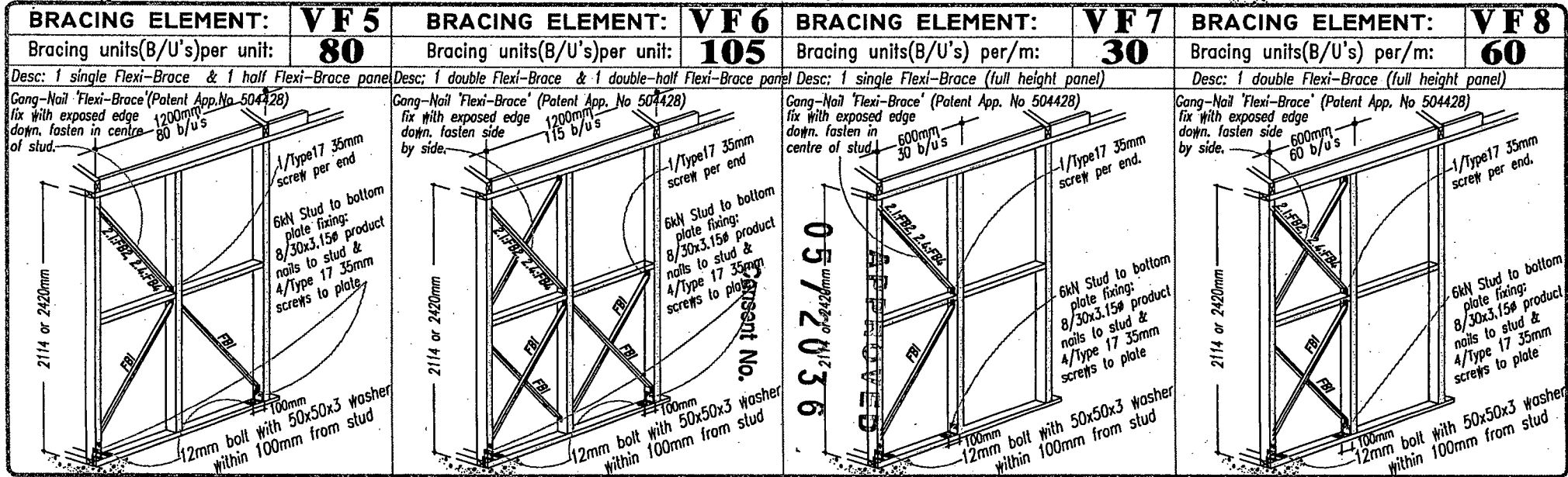
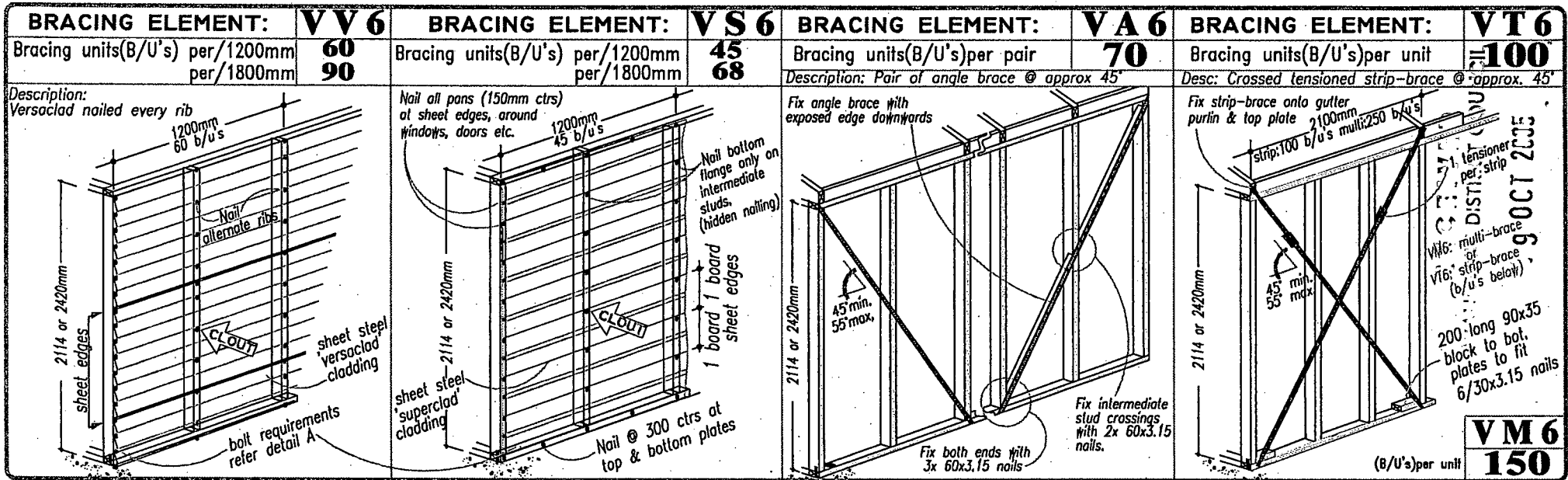
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**Construction Details**  
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DRAWING TITLE:  
**Hardware Fixing**

DESIGN: S.A. Coll  
 DRAWING: VB Ltd  
 DATE: Feb '04

SHEET:  
**5**

OF SHEET:  
**18**



# VERSATILE BUILDINGS LTD

## Construction Details

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DRAWING TITLE:  
**600 Series Wall Bracing**

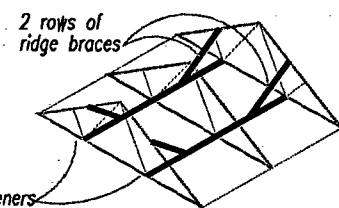
DESIGN: S.A. Coll  
 DRAWING: VB2000-7  
 DRAWN: VB Ltd  
 DATE: Feb '04

SHEET:  
**7**

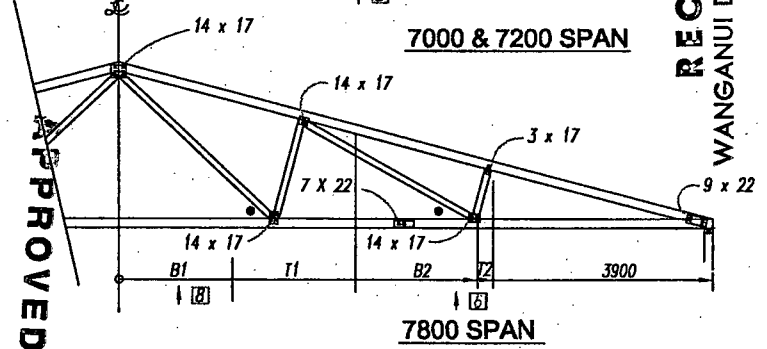
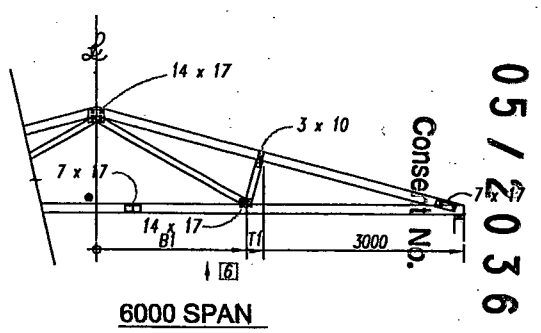
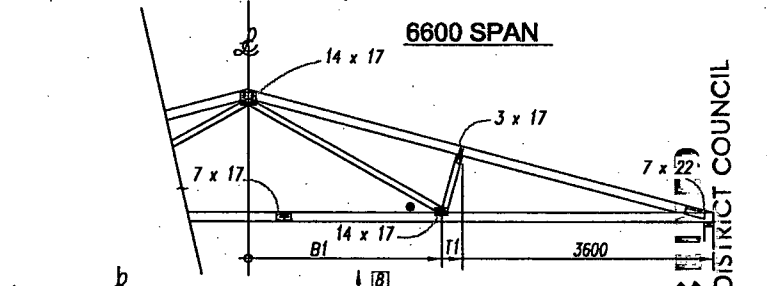
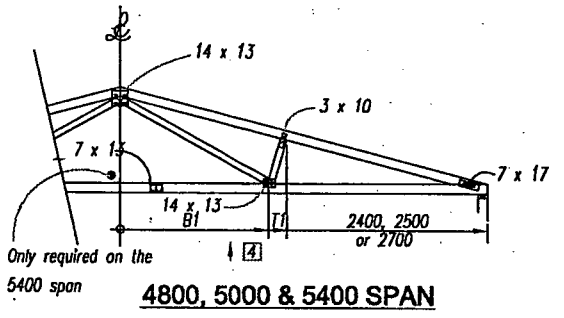
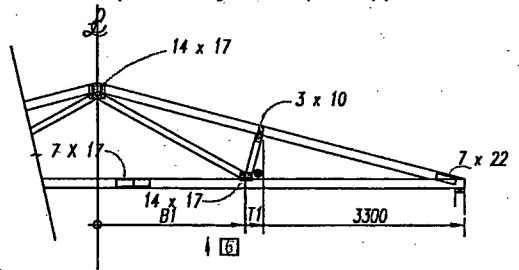
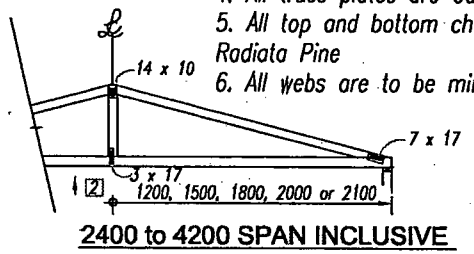
OF SHEET:  
**18**

**NOTE:**

1. Truss top chord pitch range is 15°, 20°, 25°, 30°
2. • Indicates location of Bottom Chord Brace (truss stiffener)
3. ⊠ Indicates the Truss Camber (typical)
4. All truss plates are Gang-Nail GN10 type
5. All top and bottom chords are to be MGP10 90 x 35 Radiata Pine
6. All webs are to be min. F4 70 x 35 Radiata Pine



2 rows of ridge braces  
2 rows of truss stiffeners  
**NOTE:** Use 2 Ridge braces per row(s) of stiffeners



**05 / 2036**  
**APPROVED**

**RECEIVED**  
**19 OCT 2005**  
**WANGANUI DISTRICT COUNCIL**

**Specification trusses**

**SPAN AND LOAD CHART**

Live Load = 0.20kPa (Distr)  
1.0kN (Conc)

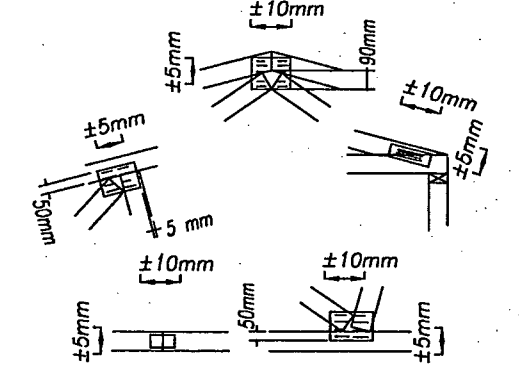
Dead Load = 0.15 kPa (top chord)  
0.20 kPa (bottom chord)  
on 900 & 1200crs only

Wind Load C<sub>pi</sub> = 0.60 max  
C<sub>pe</sub> = 0.80 max  
Purlin Spacing = 1500 max

TRUSS CENTRES	WIND LOAD	SNOW LOAD (Kpa)
2000	High	0.60
1800	Very High	0.60
1200	Very High	1.00
900	Very High	1.20

**TIMBER:**  
The specification of timber shall be as follows:  
Grading: MSG Radiata Pine to F4 or MGP10 grade as noted.  
Treatment: To NZMP 3640 : 1992  
Moisture Content: Dry

**MANUFACTURING TOLERANCES.**



Typical positioning tolerances for plates

**NOTE:**  
1. Plates are to be fully pressed home on both sides of joints.  
The plate axis must be located in the specified or indicated direction.



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DRAWING TITLE:  
**Truss Details**

DESIGN: S.A. Coll  
 DRAWING: VB2000-14  
 DRAWN: VB Ltd  
 DATE: Feb '04

SHEET: **14**  
 OF SHEET: **18**

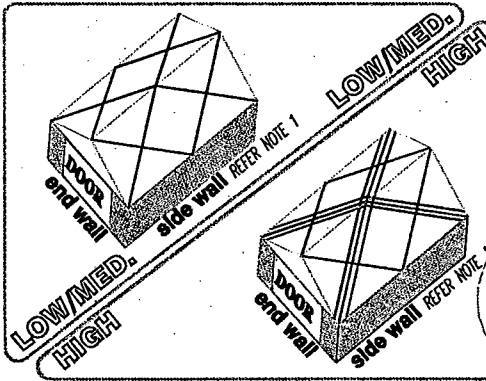
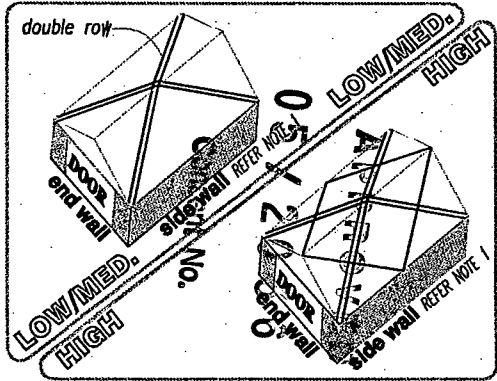
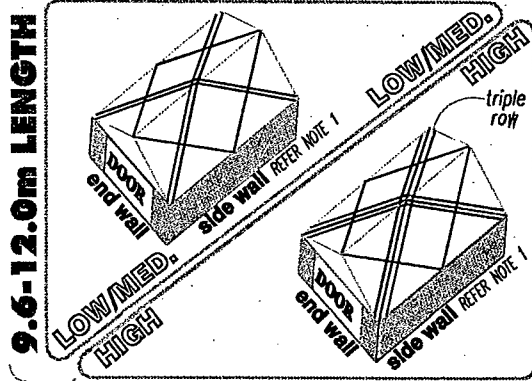
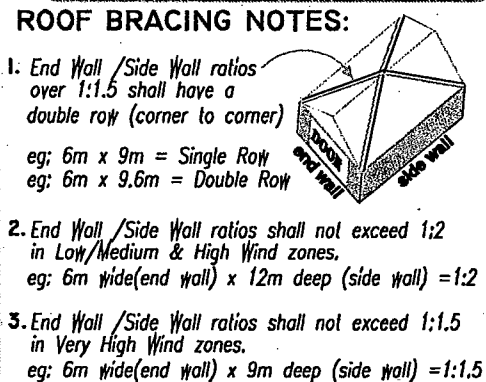
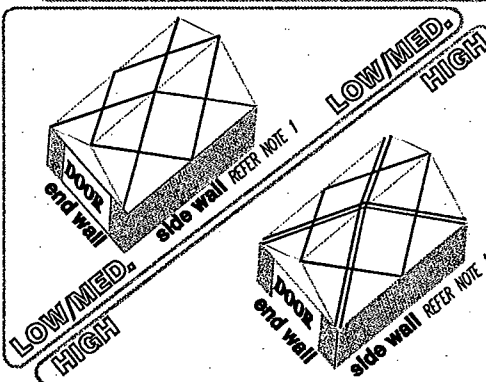
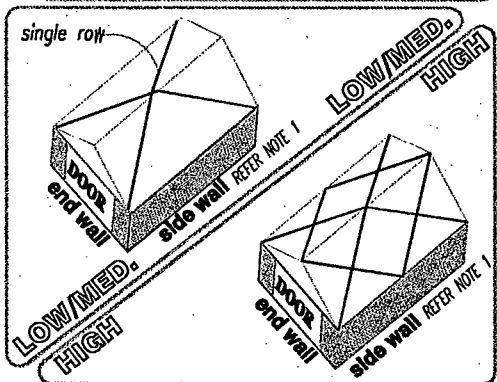
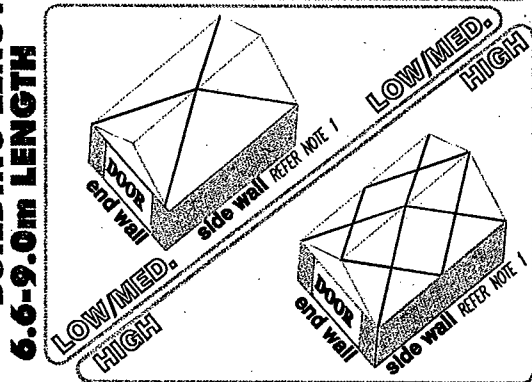
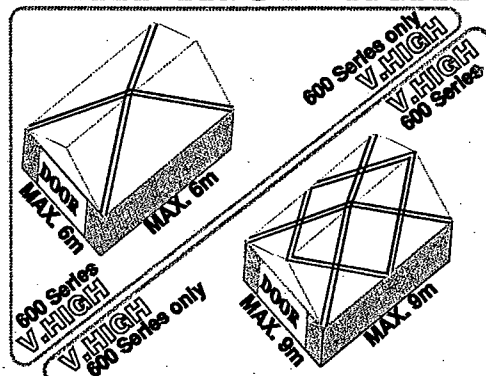
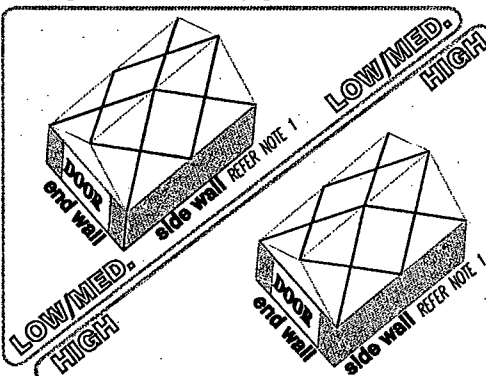
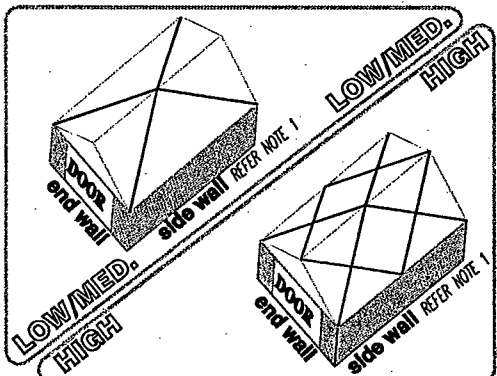
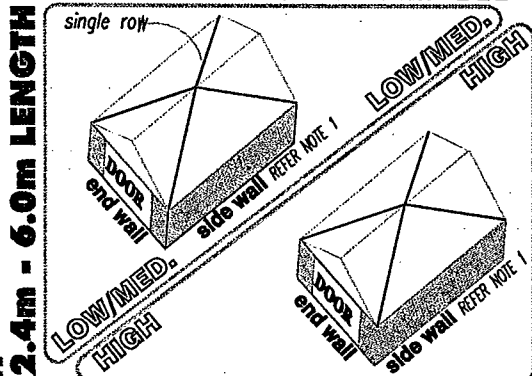
BUILDING LENGTH

**2.4m - 6.0m WIDTH**

**BUILDING WIDTH 6.6m - 9.0m WIDTH**

**9.6m - 12.0m WIDTH**

**600 Series only VERY HIGH WIND**



- ROOF BRACING NOTES:**
- End Wall / Side Wall ratios over 1:1.5 shall have a double row (corner to corner)  
eg: 6m x 9m = Single Row  
eg: 6m x 9.6m = Double Row
  - End Wall / Side Wall ratios shall not exceed 1:2 in Low/Medium & High Wind zones.  
eg: 6m wide(end wall) x 12m deep (side wall) = 1:2
  - End Wall / Side Wall ratios shall not exceed 1:1.5 in Very High Wind zones.  
eg: 6m wide(end wall) x 9m deep (side wall) = 1:1.5
  - Maximum stud height is 2.420m, Refer to sheet 9 for 2.7m & 3.0m stud heights.
  - The ridge can run along or across the end wall without effecting roof bracing, refer to diagram below:
- 
- Indicates a single row of Lumberlok Strip-Brace tensioned up and laid over the top of purlins. Fix each end with 3x 30x3.15Ø nails (typical)



**MiTek New Zealand Ltd.**  
 1000110001  
 PO Box 10001, Auckland  
 Phone: 09 274 1132  
 Fax: 09 274 1133  
 www.mitek.co.nz

**VERSATILE BUILDINGS LTD**  
**Construction Details**

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DRAWING TITLE:  
**Roof Bracing**

DESIGN: S.A. Coll  
 DRAWING: VB2000-17  
 DRAWN: VB Ltd  
 DATE: Feb '04

SHEET: **17** OF SHEET: **18**

# Garage (Slab / Footing Inspection & Final)

23 Nite St.

Consent No	Date	Inspector	Compliance
BW5/2036	2/11/05	<i>[Signature]</i>	

Slab			Comments
Siting/Boundaries	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	Over 1 m boundary
Site wind zone	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	
Contours	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	Flat
Soil Type	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	Soft Dunedin
Ground Bearing	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	Consistently average
Ground Levels	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	OK
Footing Size	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	200 x 200
Footing steel	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	1 x D16
Slab steel	<input type="checkbox"/> OK	<input checked="" type="checkbox"/> N/A	No slab mesh - poly fibre under
Concrete cover	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	

Slab to be cut

Final			Comments
Ground Levels / floor level	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	
Cladding- Type	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	
- Fixing	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	
Cladding cover/ ground clearance	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	180mm
Joinery- Installation	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	OK
- Flashing	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	OK
Framing	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	OK
Truss fixing	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	On
Top plate fixings	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	On
Bottom plate fixings	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	12mm True bolts
Slab Cut *	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	Yes
	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	
	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	
	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	
	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	

ENTERED

3/11/05

*[Signature]*

Comments

ENTERED

20/12/05

*[Signature]*



## CODE COMPLIANCE CERTIFICATE NUMBER BCon05/2036

Section 95(3), Building Act 2004

**Mr JI Bull**  
**23 Nile St**  
**WANGANUI 5001**

**Building Consent**  
**No:** BCon05/2036

**Issue Date:** 20/12/05

<b>Project Location</b>	<b>Assessment Number/Legal Description</b>
23 Nile St WANGANUI 5001	LOT 4 BLK I DP 2490 0.0604 Ha
<b>Type of Work</b>	<b>Description of Work</b>
Garage	Removed existing garage and construct new Versatile garage
<b>Intended Life</b>	<b>Estimated Value</b>
50 years	\$13000.00

This is a final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.

Signed for and on behalf of the Wanganui District Council:

A J Jamieson  
**Team Leader Building Services**  
**Environmental Services Business Unit**

**Date:** 20 December 2005