

2009-821

As Built Drainage Plan

27 APR 2010

ENTERED

Waitakere City Council
Te Taiao o Waitakere

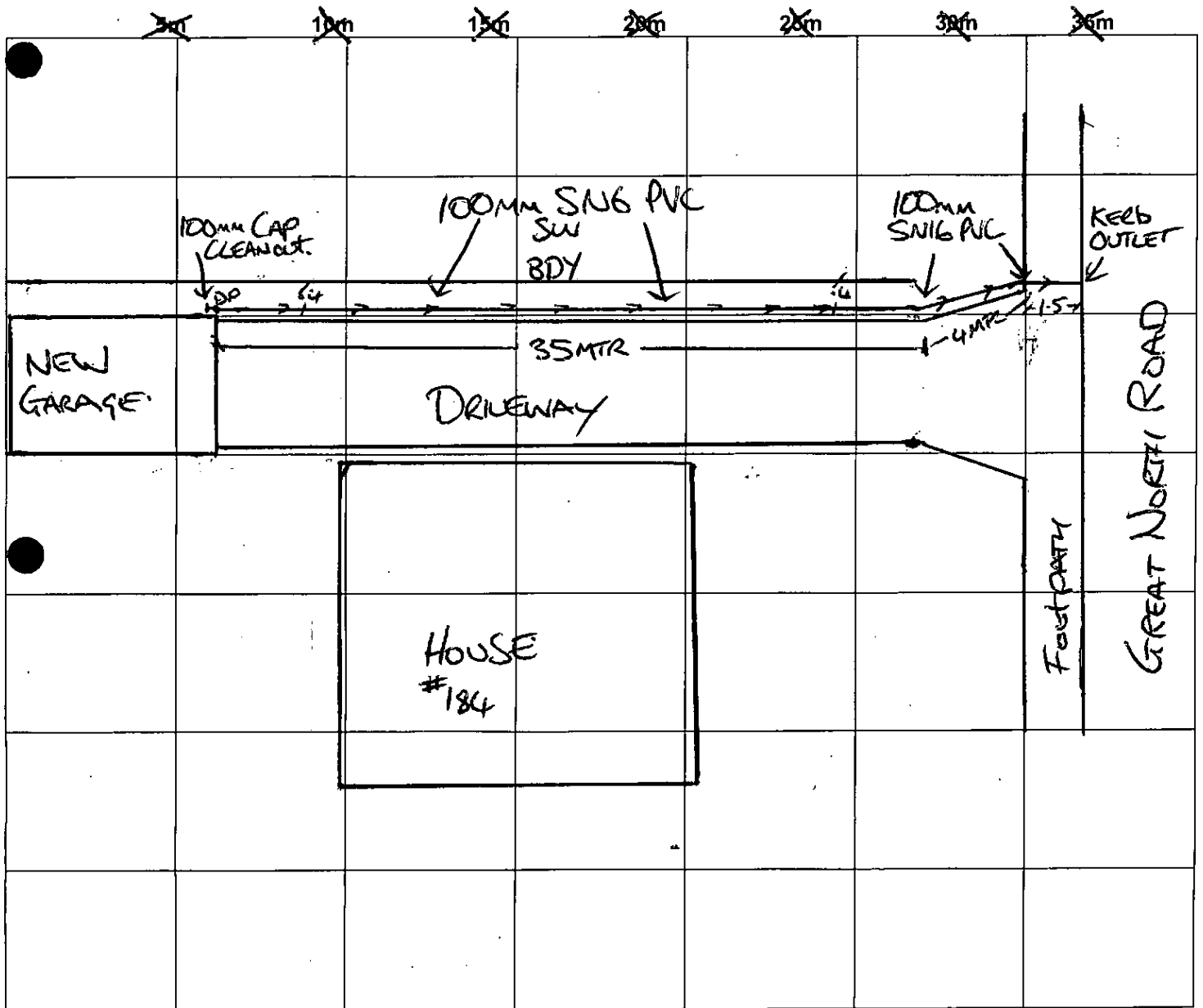
Building Consent Number: ABA-2009-821 Inspector: _____

Owner's Name: EL CALLAO LIMITED Drainlayer's Name: MARK HEYWOOD

Site Address: 184 Great North Road, HENDERSON

Lot & DP: LOT 1 DP 192062 Date Inspected: _____

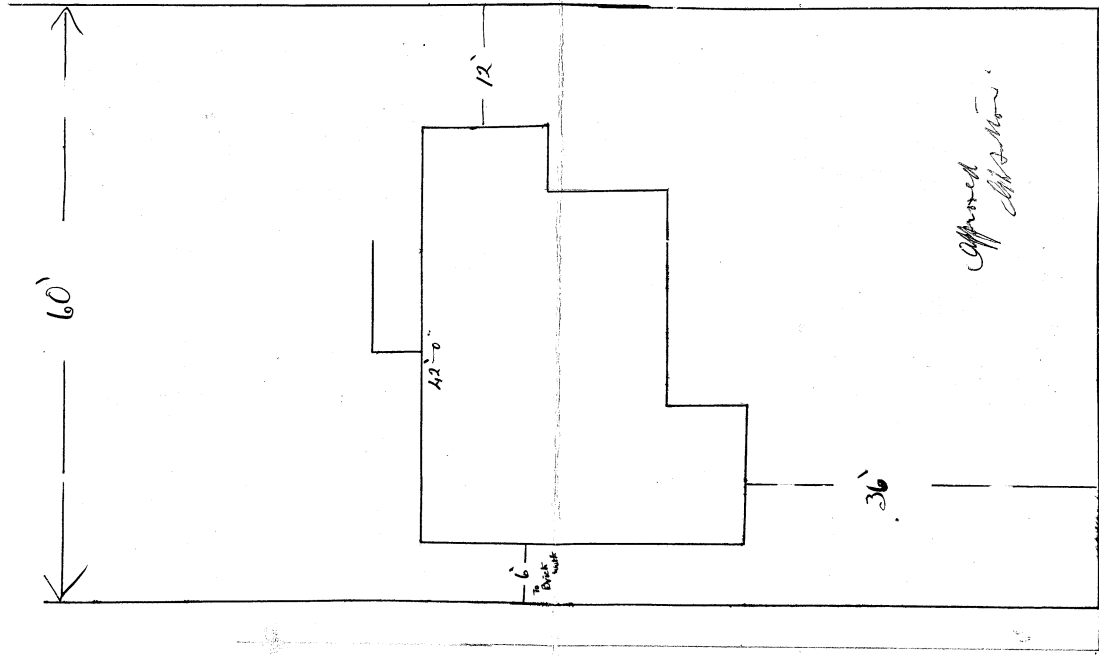
Drainage plans are required for all new work and extensions to drains including effluent disposal systems. The plan is to be completed accurately drawn in ink to a scale of 1:200 and must show clearly the street boundary, property boundaries, outline of the buildings as well as the layout of all drains and inspection fillings. Please indicate the scale used if it is different than 1:200. Please ensure that this as built plan is completed prior to the inspection of the drainage work. Failure to comply may delay the approval of your work.



For more information: Administration Building, 6 Henderson Valley Road, Henderson. Telephone: (09) 839 0400 Facsimile: (09) 836 8001

SITE Plan for Mr. Radfield's residence

288/55

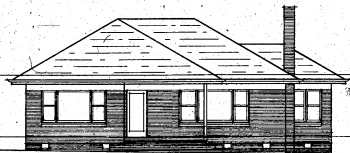


288

Great North Rd.

PROPOSED RESIDENCE of G. T. NTH. RD. HENDERSON for C. PADFIELD ESQ

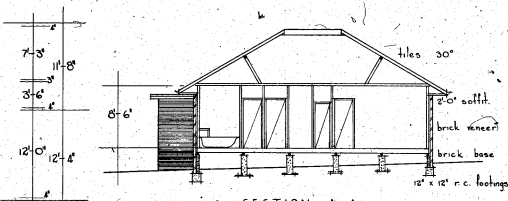
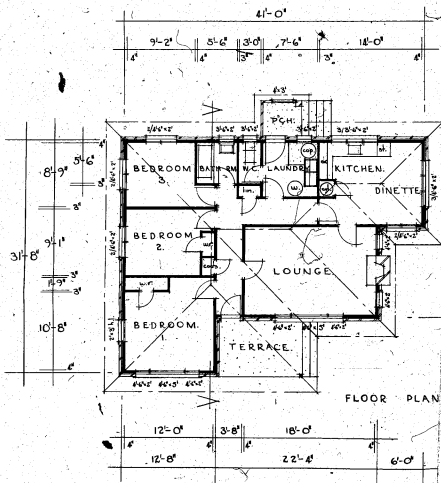
BLUE PRINT.



FRONT ELEVATION.



SIDE ELEVATION.



Scale: $\frac{1}{8}'' = 1'-0''$

Prepared for W. J. Thomas - Builder by H. G. Dutton & Co. Ltd.
No. 1222.

Waitakere City Council Building Consents Page: 1 Date: 10/12/97

Property Id 20007683000
Legal Desc ~~NOT A LEGAL DESC~~
Property Address ~~112A GREAT NORTHERD~~ HENDERSON WAITAKERE CITY, 1008
Owner's Name BORICH LEN IVAN & ANITA STELLA
Unauthorised work exists? N

288/55
ENTERED

HENDERSON BOROUGH COUNCIL.

APPLICATION FOR BUILDING PERMIT.

Date 27 Aug. 1955

To The Building Inspector,
Henderson Borough Council.

I hereby apply for permission to Build a residence

at (House number) Great North Rd or Street

(address), according to locality
plan and detailed plans, elevations, cross-sections and specifications
of building deposited herewith in duplicate.

Particulars of land: Lot No. 3 Allot No. D.P.No. 4129
No. on valuation Roll. 475/1

Length of boundaries. 22' 6"

of Previous Owner. M. B. B. If recently acquired, state here name

Particulars of building foundations. concrete

Walls. Brick & stone Roof. Tile

Area of ground floor 1457 sq. ft.
Area of outbuildings sq. ft.

Estimated Value £. 2,200 proposed purposes for which
every part of building is to be used or occupied (describing
separately each part intended for use or occupation for a
separate purpose).

private residence

Owner's Signature G. M. P. and address Mrs. Ruth A. Henderson

(Builder) W. J. Thomas

NOTE:- This application must be accompanied by:-

- (1) A SITE PLAN drawn to scale of 1/16in. to a foot showing the situations of the proposed buildings on the land.
- (2) PLANS of the proposed work, including ground plan, two elevations and cross-sections.
- (3) SPECIFICATIONS, giving full information on all parts of the proposed work - sizes and nature of timber etc.

Submitting for Drawing 27/8/55

2nd copies of plan & spec not to hand.
Hold permit till received

APPROVED
Henderson Borough Council
519/1955

288

CONSENT NO: 288/55

ADDRESS: 184 Great North Rd.
Henderson.

**NO FIELD SHEET
FOUND
AT TIME
OF MICROFILMING**

Henderson Borough Council

APPLICATION FOR DRAINAGE PLUMBING PERMIT

Val No
 Rec No
 Ser No 2883
 Date Issued 3/3/65

THE HENDERSON BOROUGH COUNCIL

Lot 3

I, the undersigned, hereby give notice that I intend to carry out the following work subject to the provisions of the By-laws of the Henderson Borough Council, the Municipal Corporations Act 1933, amendments thereto or any other provisions whatsoever applicable thereto, and request that a permit be issued for the execution of same.

Section on which work is to be placed

184 Gt North Rd.

Owner Mrs. E. Sedfield

Address 184 Gt North Rd., Henderson

Applicant

Drainlayer / Plumber

H.B.C. Lic. No. 51108

Details of Work with description

House connection

Information for Inspector

Proposed Commencement Date

Date of Completion

Estimated Cost: £400

Fee Payable: £100/-

Decision of the Inspector shall be final as to estimated cost.

Plans and Drawings on back hereof.

Received: 11-1-65

Signature of Applicant: Drainlayer
 Plumber

In Henri

Address

115 Union Row

Date

The Fee payable as per schedule hereunder must accompany this application.

SCHEDULE OF FEES

Amount of proposed work	£	s.	d.
Not Exceeding £10	0	2	6
Exceeding £1. but not above £25	0	5	0
" £25 " " £50	0	10	0
" £50 " " £100	1	0	0
" £100 " " £150	1	10	0
" £150	2	0	0
£2 plus 10/- for every £100 or part thereof in excess of £200			

APPLICATION APPROVED

Date

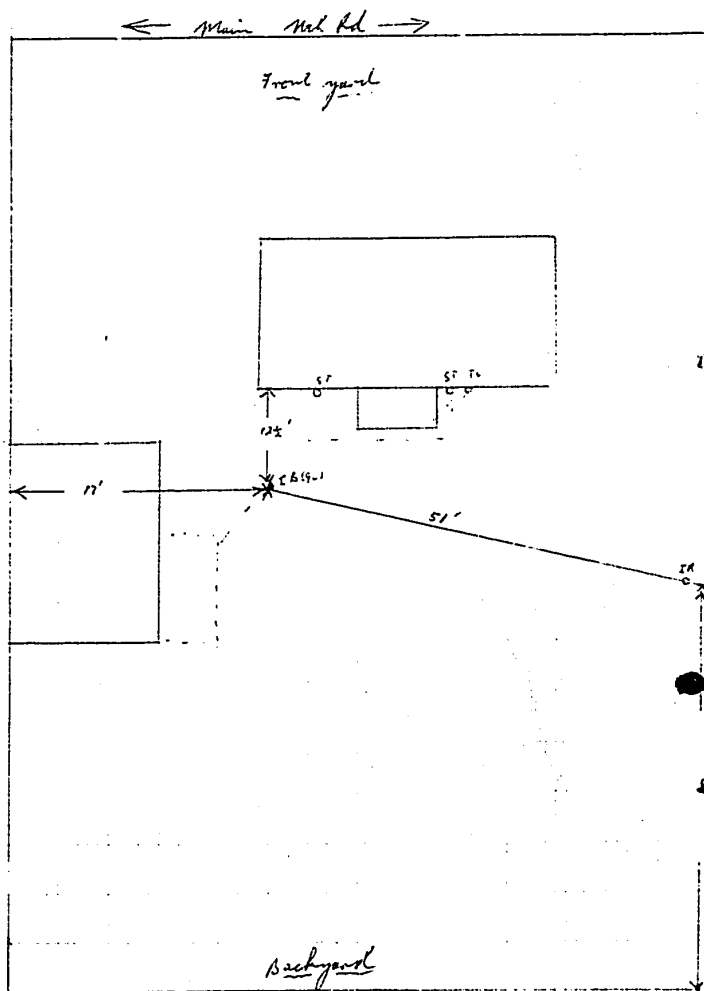
Inspector

WORK INSPECTED AND PASSED—PLAN SIGNED

Date

Inspector

NOTE: - For drainage work a scale plan in ink showing street line, section boundaries, building and cut lines of drains, inspection pipes, etc. MUST be supplied.



Scale: 1 - 10th Inch —
1 foot
2 feet

Owner: Mr. L. Pedfield
184 Main Mill Rd.
Hinderson

S P E C I F I C A T I O N

of

RESIDENCE IN BRICK VENEER

at

GREAT NORTH ROAD, HENDERSON

for

C. PADFIELD ESQ.

BUILDER: W.J. THOMAS
BURNHAM ROAD
WAITAKERE.

288

SECURITY:

The Contractor shall carefully brace and support all parts of his work against damage by wind and also protect same from damage by water. He shall also make good, damage to adjoining property of every kind arising out of his work.

CLEANING:

The Contractor, at the conclusion of the Contract, shall have all ceilings, walls and woodwork carefully dusted and wiped down, windows washed and glass left free from scratches, floors brushed and wiped and the entire building left in perfectly clean condition for occupation.

MAINTENANCE:

Period to be thirty days after the Owner has taken possession. Any defects in materials, workmanship, or any part or parts that require replacing or adjusting, which have been included in this Contract, shall be adjusted or replaced as specified in this Specification at the Contractor's own expense.

MATERIALS:

Any materials herein specified that are not procurable at the time they are required, thus tending to retard the progress of the Contract may be substituted with other similar materials, provided that the substituted materials conform to the local by-laws. The Contractor is first to notify the Owner of any change proposed and at the completion of the Contract shall adjust any difference in cost.

CONTINGENCY:

Provision is to be made by the Builder and Owner to meet any contingencies that may arise due to the fluctuations in the prices of various materials or labour. Should there be either a rise or fall in the price of labour or materials from the date the tender is submitted, until final payment, an adjustment to the contract price is to be made accordingly, provided that the contract price has been affected by such rise or fall in prices. The sum of £..... is allowed in the Contract price as a Contingency Fund.

SAFETY STOPS:

Provision is to be made in all parts required by the Government regulations for the fixing of cornice stops should this building be erected in a gazetted cornice area.

BRICKLAYER & CONCRETOR.

MORTAR:

Shall be composed of 1 part of hydraulic lime to 9 parts of clean, sharp and washed sand, properly mixed on a watertight platform and allowed to slake for 48 hours. Not more than twenty minutes before using add 1 part of Portland Cement to 3 parts of the above mixture.

CONCRETE:

All concrete work to be carried out in accordance with the local by-laws. For general purposes the mixture shall be five parts of clean washed river shingle and one part of Portland cement. All to be thoroughly mixed and well rammed into trenches and boxing immediately after mixing.

FOOTINGS:

Footings for exterior walls to be 12 x 12 concrete taken down to a solid bottom at least 12" into the ground, reinforced with two $\frac{1}{2}$ " M.S. longitudinal rods stopped where necessary, with steps overlapping a minimum of 2'0" and all work kept level.

BRICKS:

To be selected facing well wetted and allowed to partially dry out before using.

BASE WALLS:

To be constructed in $4\frac{1}{2}$ " bonded brickwork with 9 x $4\frac{1}{2}$ " bonded brick piers on the inside at 4'6" centres. Build in 9 x $\frac{1}{2}$ " M.S. holding down bolts to top of piers at 4'6" centres. Base walls to be laid true to line, level and plumb at all corners. Flush up interior joints of walls and finish exterior with weatherstruck joints.

INTERIOR
PILES :

To be 6 x 8 concrete bedded to the solid on 12 x 12 x 4 concrete pads and carried up to stringer level. Provide No. 8 galv. wires cast into top of piles for securing timber framing. Arrange piles at not more than 4'6" centres in rows approx. 6'6" apart.

EXTERIOR
WALLS :

All exterior walls from top of base walls to soffit to be $4\frac{1}{2}$ " bonded brick veneer kept $1\frac{1}{2}$ " away from framing. All walls to be laid true to line and level and plumb at all corners. Flush up interior of walls and finish exterior with weatherstruck joints.

VANER WALLS:

As exterior veneer walls are erected nail to vertical plate strips of approved galv. iron for the proofing, give slight fall to brickwork and securely bed in mortar of brick course.

D. S. S.

All workwork coming in contact with concrete or brickwork is to be protected with a three ply malthoid D. S. Form D. S. to base walls at a minimum distance of 6" above ground level with 2" thick mixture of 2 to 1 cement or other approved D.S.S.

WIRE TIES:

Provide and fix to all veneer walls, twisted No. 8 galv. wire ties at 3'0" centres on every third course. Scatter ties by working 10" from ends in alternate rows. Ties to be securely stapled to frame work and to be given fall to brickwork.

SILLS:

Sills to be brick brought up under wooden sills. Junctions of brick and wood sills to be filled with "Hydroseal" and over-pointed with cement mortar.

CHIMNEY:

Chimney footing to be 6" thick concrete slab reinforced with 2" H.S. rods at 12" centres both ways and extend to a solid bottom and made 6" wider than chimney. Concrete is to be well rammed into trenches. Base to be constructed in 9" bonded brickwork and finished at floor level with a 4" thick reinforced concrete hearth slab. Chimney to have flue erected in reinforced bonded brickwork in accordance with the best trade practice. Reinforcing to be four 2" H.S. rods carried up to top of stack. Finish exterior to match adjacent walls. Line jambs of fireplace with firebricks and provide arched firebrick back. Provide and fix a 16" Colonial grate with firebrick hobs each side.

FINISHES:

Allow the P.S. gun of G..... to supply a selected surround and hearth to fireplace.

TERRACE, PORCH & STAIRS:

Floors and steps to be constructed in 4" thick concrete, reinforced with 2" H.S. rods at 12" centres both ways and supported on 4" concrete or brick dwarf walls and hard filling. Steps to have 12" treads and 6" risers. Floors and steps to be finished with 3 to 1 sand and cement plaster trowelled smooth.

LAUNDRY
INSTALLATION

Provide where shown in laundry a 4' x 3' x 4" thick reinforced concrete hearth supported on concrete fender wall. Top of hearth to be plastered smooth with a layer of 3 to 1 sand and cement plaster and made finish with top of flooring. Install on top of hearth a 12 gallon copper lined precast concrete laundry boiler and complete with grate, dumper and approved concrete flue.

CARPENTER & JOINER.

All materials are to be the best of their respective kinds and grades, laid true to their various levels and constructed in a proper trade-manner to make the whole of the works a sound construction and to comply with the local by-laws in every respect.

QUANTITIES OF MATERIALS.

<u>DESC. WORK</u>	<u>SIZE</u>	<u>GRADE</u>	<u>REMARKS</u>
Stringers	4 x 3	D.A.H. Rimu or Matai	6'6 centres
Wall Plates	4 x 3	" "	bolted 4'6 etc.
Vernis Plates	4 x 2	" "	
Floor Joists	6 x 2	" "	10" centres
File Sottens	2 x 1	" "	
- Studs Ext.	4 x 2 & 4 x 3	D.A. Rimu or T.No.1 Rimu	10" centres
- Studs Int.	4 x 2 & 3 x 2	" "	10" "
- Plates	4 x 2 & 3 x 2	" "	
- Noggins	4 x 2 & 3 x 2	" "	3 rows
Colling Joists	4 x 2	" "	18" centres
Roofers	4 x 2	" "	18" "
Roof Bracing	4 x 2	" "	4'6 "
Collar Ties	6 x 1	" "	4'6 "
Ridges & Ribs	9 x 1	" "	
Valley Boards	6 x 1	" "	
Under Lurlins	4 x 3	" "	
Fascia Board	6 x 1	D.A.H. Rimu	
Tricase Board	12 x 1	" "	
Flooring	4 x 1	" " or T. Tawa	T. & G.
Architraves	3 x 6	D.A. Rimu	bullnosed
Skirting	4 x 6	" "	"

Note not untreated pine allowed in Borough M.S.

DETAILS OF WORK (Cont'd.)

Aprons	1"	D.A. Edge	ceiling
Int. Door Jamb	1"	" "	with 1/2" painted stops
Billboards	1"	" "	
Internal Jamb	6 x 2	D.A.H.S.	solid rebated
Window Sills	6 x 2 1/2	" "	double sunk
Partitions	4 x 2	" "	" rebated
Door Sills	9 x 3	D.A.H. Metal	
Exterior Finishing work not specially mentioned to be D.A.H. Sills.			
Exterior	" " "	" " "	" " D.A. Edge.

o o o o o o o

PAVING

To openings up to 3'2"	4 x 2
From 3'2" - 4'0"	4 x 3
" 4'0" - 6'0"	4 x 4
" 6'0" - 8'0"	6 x 4
" 8'0" - 10'0"	8 x 4

o o o o

NOTES: All exterior door and window frames and sills to be as mentioned in schedule, grooved, throated and constructed in a proper and workmanlike manner and primed before fitting. All exposed door sills to be fitted with 1/2" galv. weather bars.

PAVING: Provide cement split rail sashes cut of 1 1/2" C.H.S. Return of Solder to sizes indicated. Glazing generally to be 1/8 in. and 2 1/2 in. clear glass backed in good quality lined oil putty. Landscapes sashes to be glazed with 1/2" polished plate glass. Cement sashes to be hung on 3/4" galv. batts and made complete with sweeps and fasteners collected by Owner. Backroom and L.C. glazing to be obscure.

HARDWARE: Allow the P.C. sum of \$..... for hardware collected by the Owner and fitted by the Contractor. Hinges, batts and screws for doors and sashes are not included in the P.C. sum.

DOOR SCHEDULE.

Interior (Main)	6'6 x 2'6 & 2'8 D.A. Rimu	Flush	3, 3 1/2" butts
W.C.	6'6 x 2'2 " "	"	3, 3 1/2" "
Wardrobes etc.	6'0 x 2'0 " "	"	2, 3 1/2" "
Kitchen Cupboards	3" thick " "	Garboard	2 1/2" brass
Front	6'6 x 2'10 D.A.H. Rimu	Fig. 10	3, 4" galv.
Back	6'6 x 2'8 " "	" 5A	3, 4" "
Base	height x 2'6 " "	L.D.V.S.	7. Hinges

o o o o o o

STRINGERS: To be 4 x 3 on edge with all joints scarfed over a solid bearing. Space stringers in rows approx. 6'6 centres.

PLATE JOISTS: To be 6 x 2 spaced at 18" centres, gauged to an even surface and nailed with 3" and 4" nails to all bottom plates and stringers. Provide double joists under main/parallel bearing partitions.

PLATES: To be straight and in long lengths, scarfed at all joints and corners and dovetailed at intersections.

BACONS: Space all interior bearing walls with 4 x 2 and 3 x 2 out between the studs at approx. 45°. Space exterior walls to corners wherever possible with 4 x 1 diagonal braces checked in flush with outside face.

SAND BATTEN: To be 8'6. Studs to be double nailed to all plates with 3" and 4" nails. Provide 4 x 3 studs to openings over 3'2 and check trimmers into studs.

CEILING JOISTS: To be 4 x 2 spaced at 20" max. centres and to be well spiked to all plates with 3" and 4" nails. Provide 6 x 2 ceiling runners to spans of 6' and over and securely spike to joists.

ROOF: Construct roof as shown on plan to 27 1/2° pitch with 4 x 2 rafters spaced at 18" centres, properly checked and birds-mouthed and securely nailed with 3" and 4" nails to all plates, hips, valleys and ridges. All rafters exceeding 6'0 to be provided with 4 x 2 bracing to bearing partitions from 4 x 3 under-purlins. Provide 6 x 1 collar ties to every third main rafter. Over the whole of the roof fix 2 x 1 battens at centres to suit tiles and cover with

ROOF:
cont'd.

selected roofing tiles and ridging fixed according to the Manufacturers' specifications. Roof over front terrace to be supported on 3" galv. W.I. pipe.

FLAT ROOF:

Frame up for flat roof over back porch with 4 x 2 rafter joists and give slight slope away from dwelling. Cover joists with 1" T. & G. sarking and make roof waterproof with three layers of 2-ply malthoid fixed with bitumen adhesive. Finish on top with a layer of pea gravel in bitumen.

EAVES:

Allow the ends of the rafters to overhang as shown to form boxed eaves and cut off plumb. Frame down where necessary with 3 x 1½ eaves bearers and fix 6 x 1 fascia board. Line under eaves with 3/16" flat fibrolite sheets finished with small segment mould on joints and against wall with 304 scotia.

NOGGING:

To be of 2" materials on all walls and cut between studs. Allow for three rows of nogging to all walls.

FLOORING:

All floors to be covered with 4 x 1 T. & G. flooring as scheduled, well cramped and double nailed with all nails punched below floor surface. Clean off all bye-wood to an even surface with a sanding machine.

LINING:

All interior walls to be lined with either ½" Gibraltar wallboard sheets or ½" fibrous plaster sheets finished flush on joints. All sheets to be nailed with 1½" galv. flat head nails on joints every 6" and intermediate studs and nogging every 9". All stopping to be done with the best Plaster of Paris, filled to an even surface and all spots and risers removed.

CEILINGS:

All ceilings to be lined with either ½" Gibraltar wallboard finished flush or ½" fibrous plaster sheets with wadded joints finished flush and to an even surface. All sheets to be securely nailed where required on all joints and nogging with 1½" galv. flat head nails.

CORNICES:

Provide fibrous plaster cornices to rooms directed by Owner and 2" wood scotia moulding to all remaining ceilings.

KITCHEN
CUPBOARDS:

Construct cupboards and dresser where shown. Lower portion of dresser to be 20" deep. Provide cupboards, bins and drawers to suit. Upper portion of dresser to be from 4'2 off floor to ceiling height. Provide 1" shelving spaced to suit and cupboard doors. Construct safe where directed, provide slatted shelving and ventilate with zinc mesh covered vents. All work to be out of B.A. Rimu. Provide 3½" high toe space at floor of cupboards.

WARDROBES:

To be lined full height and ceiled at 6'3 from floor and to have 12 x 1 hat shelf and 2 x 1 coat rail. Provide 6'0 x 2'0 doors to fronts and flush cupboards doors over to full available height.

LINEN & COATS:

To be lined and have doors as for wardrobes. Coats to be provided with 12 x 1 hat shelf and six A.C. hat and coat hooks. Linen to be provided with full width, full length 1" slatted shelving placed at approx. 15" centres vertically.

SINK TOP:

Provide sink top on suitable backing and with upstand at back. Support top on 3 x 2 dressed frame with cupboards under and 3½" toe space full length of bench.

H.W. CUPBOARDS

To be constructed where indicated and fitted with slatted shelves at approx. 12" centres above cylinder. Provide cupboard doors to front and box in element to Power Board's approval.

BATHROOM:

Provide and fix in bathroom a 24 x 16 toilet cabinet recessed into wall, with shelves and mirror panel door. Bath to be built in with 3 x 2 framing forming 3½" toe space at floor level and all covered with wallboard.

FINISHING:

Provide to windows, doors, floors and ceilings respective sillboards, aprons, architraves, skirting and cornices as scheduled. All to be machine dressed and sanded and provided with either scribes or mitres according to standard practice.

METER RECESS: Provide recess for meter panel where directed. Recess to be lined with fire resisting material and fitted with frame and architraves to permit the Electrician to hang the panel.

MANHOLE: Provide a 20 x 20 opening where directed in ceiling and provide cover of same material as the ceiling selected.

LAUNDRY: Provide in laundry a set of two compartment concrete tubs and fix on selected stand.

P L U M B E R.

FLASHING: Flash chimney and all openings through roof with 4 lb. sheet lead and make building watertight. Provide and fix 9 x 6 24 g. G.I. trays to all sash frame sills.

VALLEYS: 7 To be 24 g. copper with approved beaded edges.

SPOUTING: Provide 24 g. copper ^{or Galvanized C.M.&P.} 5" quarter round spouting, supported on brass brackets at 3'0 centres and given evenly graded fall to downpipe outlet.

DOWNPIPING: To be 3" 24 g. copper fitted with offsets leading to stormwater drainage. ^{or Galvanized C.M.&P.}

WATERPROOF: Leave the building absolutely waterproof in every respect and to the entire satisfaction of the Owner. Any part or parts omitted from this Specification which are useful or necessary to complete this work in a proper manner shall be taken as though specially mentioned.

COLD WATER: Lay water from supply through $\frac{1}{2}$ " G.W.I. piping fitted with all necessary fittings and with all joints made in the best quality lead and hemp, to the first branch, then lead off with $\frac{1}{2}$ " copper branches to bath, sink, basin, laundry copper, tubs, W.C. and two standpipes. Connect from branch to pressure reducing valve and to hot water cylinder with $\frac{1}{2}$ " copper pipe.

HOT WATER: Provide and fix an approved 30 gallon electric hot water cylinder with 750 watt element and thermostat control and all necessary connections to make same in working order. Lay water through $\frac{1}{2}$ " copper piping to bath and then with $\frac{1}{2}$ " copper branches to basin, one tub, washing machine and sink. All hot water piping to be lagged. Provide an approved pressure reducing valve to service.

SINK: Provide 20 x 14 W.P.E.P. or selected sink. Fix in rebate and bed with white lead.

BATHROOM: Provide and fix in bathroom, one 5'6 1st quality W.P.E.C.I. bath. Provide one 22 x 16 W.P. earthenware wall basin and fix on C.I. brackets.

WASTES: Bath to have 2", sink and tubs to have 1½" and basin to have 1¼" load traps and wastes. All wastes to discharge over gully traps and joints to be neatly wiped. Provide and fix all necessary anti-syphons. All sanitary plumbing to be installed by a registered Plumber approved by the Health Department and the Sanitary Inspector.

TAPS: All taps and extensions, except standpipes, to be streamlined bib and pillar cocks chromium plated marked "HOT" and "COLD" respectively. Standpipe taps to be brass with hose connections.

W. C. To be provided complete with white earthenware pan, polished seat, buffers, 3 gallon low set silent flush cistern, lead flush pipe, cast soil pipes and vent.

PAINTER & PAPERHANGER.

EXTERIOR WOODWORK: All exterior woodwork in this contract to receive one coat of 1st quality priming. Putty all nail holes and finish with two more coats of 1st quality lead and oil paint in colours to be selected.

SPOUTING, ETC. Spouting etc. to be in two coat work and to be primed before fixing.

ENAMEL: Bathroom, W.C., laundry and kitchen walls, ceilings, woodwork and cupboard to have a priming coat on woodwork, a sealing coat on wallboard and then given two coats of flat and one coat of approved enamel in shades to suit Owner.

INTERIOR PAINTING: All flush doors and woodwork where directed to be given a coat of priming. Stop all nail holes with putty, apply a coat of undercoating and finish with one coat of best interior semi-gloss finishing paint. Colours to be selected by Owner.

INTERIOR
VARNISH:

Doors, architraves, and skirtings not enamelled, or painted to receive a coat of light oil stain. Stop all nail holes with matching putty, apply a coat of knotting and finish with a coat of approved clear varnish. Inside of sashes to have finish matching particular room.

CEILINGS:

All ceilings not enamelled to be given a sealing coat and two coats of flat oil paint.

WALLPAPER:

All walls not enamelled, to be papered with papers to average per roll. Papers to be hung plumb and joints butted where possible.

SEALERS:

Sealers and flour paste will not be allowed unless mixed with 3 ozs. of Sodium Pentachlorophenate to every gallon.

CLEANING:

All glass, fittings, etc. to be left clean and free from paint marks on completion.

ELECTRICAL ENGINEER.

ELECTRICIAN:

The Electrician will make the necessary notifications with the local Power Board. All work to be carried out to the satisfaction of the said Power Board, and the Underwriters' Assn. Provide and fix all necessary materials for the installation of the following points, complete with 60 and 100 watt lamps.

METER PANEL:

Provide and fix one meter panel complete where directed. Panel to be hung to swing out.

SWITCHES:

Provide and fix flush switches to all points.

LIGHTS:

Provide and fix light points where directed by Owner.

POWER:

Provide and fix power points where directed by Owner and make connections to electric stove and H.W. cylinder

STOVE:

Allow the P.C. sum of £..... to supply a selected electric stove and fix where shown.

WASHING
MACHINE:

To be supplied by Owner.

DRAINAGE.

DRAINAGE:

Excavate for and lay all necessary drains from gully traps and U.C. to Septic Tank. All pipes and connections to be 1st quality glazed earthenware with sound socket joints to be laid to a true and even fall. All joints to be carefully pointed up in cement and pipes to be wiped clean as work proceeds. Fill in trenches carefully after the work has been inspected and generally do a thorough job and leave the whole in perfect working order. The whole of the drainage and sanitary arrangements to comply with the by-laws and to the satisfaction of the Sanitary Inspector. Allow for approx. ft. of glazed drainage from U.C. to Septic Tank.

SOAK HOLES:

Provide soak holes and ft. of 3" drains for the satisfactory disposal of stormwater as directed by the Sanitary Inspector.

SEPTIC TANK:

Provide one concrete Septic Tank to the design and requirements of the Sanitary Inspector and make complete with necessary junctions, inspections and ft. of 4" field tile irrigation drainage to comply with the Health Department regulations and as directed by the Sanitary Inspector.

* * * * *



- Water Main**
- Part/Full Connection
 - Valve Chamber
 - Manhole
 - Inlet
 - Outlet
- Wastewater**
- Part/Full Connection
 - Latrine Chamber
 - Rain Chamber
 - Inspection Chamber
 - Inlet
 - Outlet

A4 PLAN OF SERVICES

GREAT NORTH RD

Cartorial Information from Land Information New Zealand
 Digital Cartorial Database DCDB
 Crown Copyright Reserved Digital Licence AK/ZH/071

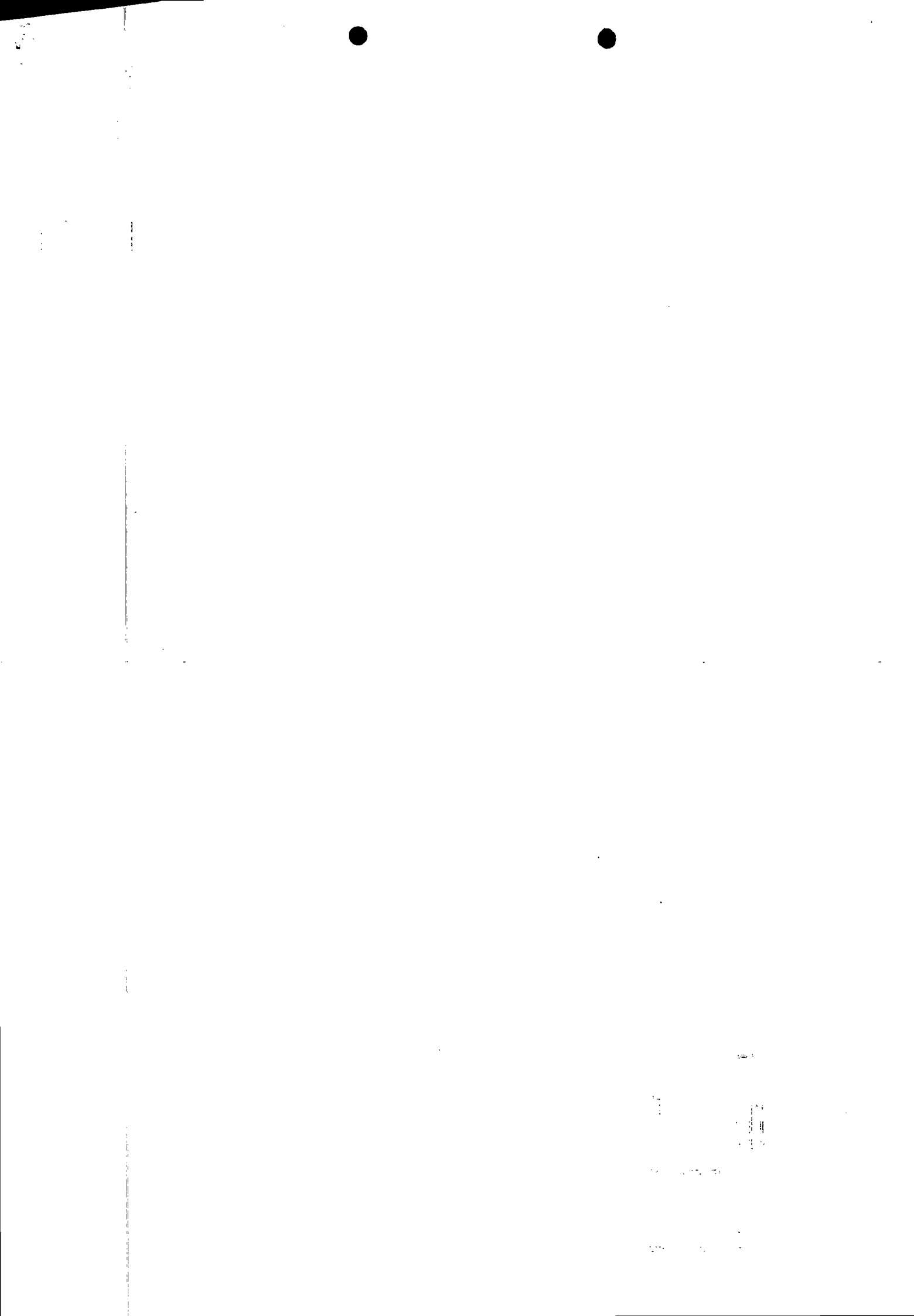
Map Scale 1:500

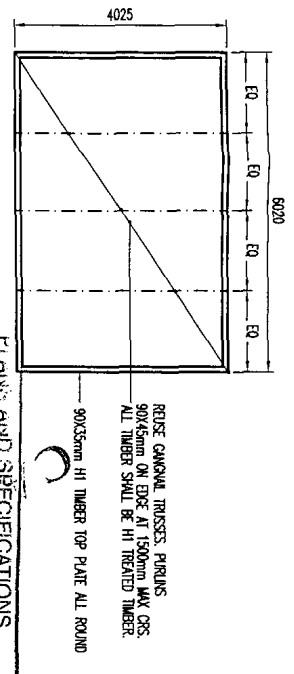
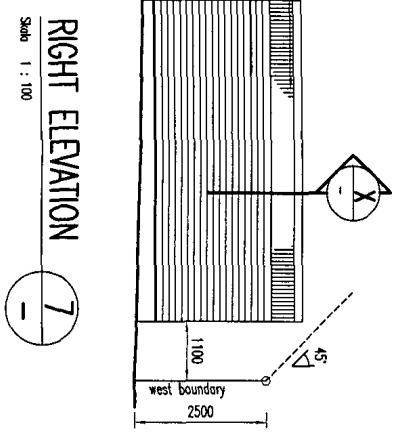
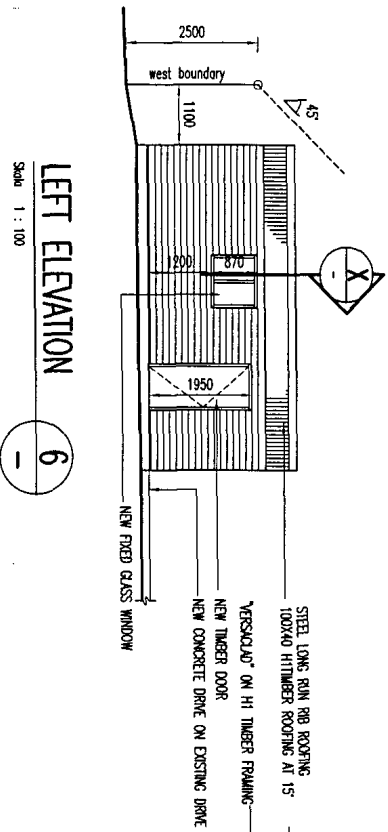
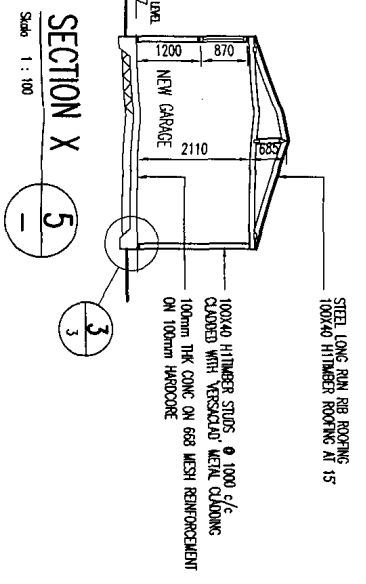
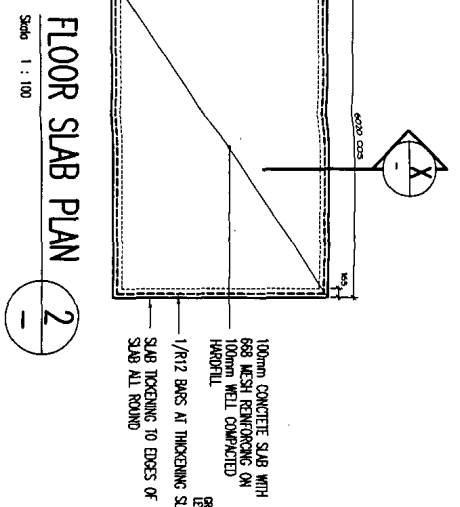
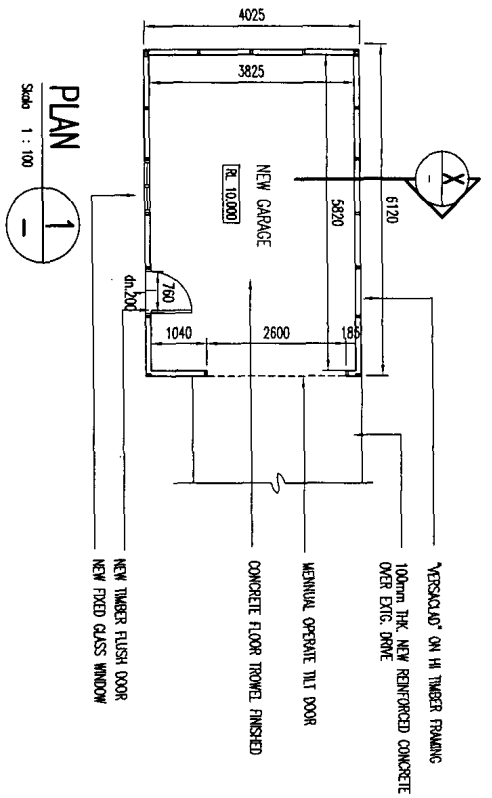


SCALE 1:200

PLANS AND SPECIFICATIONS
 APPROVED
 SUBJECT TO CONDITIONS ENDORSED
 ON BUILDING CONSENT
 SIGNED: _____ DATE: _____
 AUTHORISED OFFICER

EXHIBIT 2



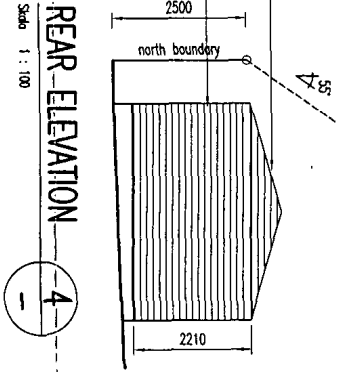
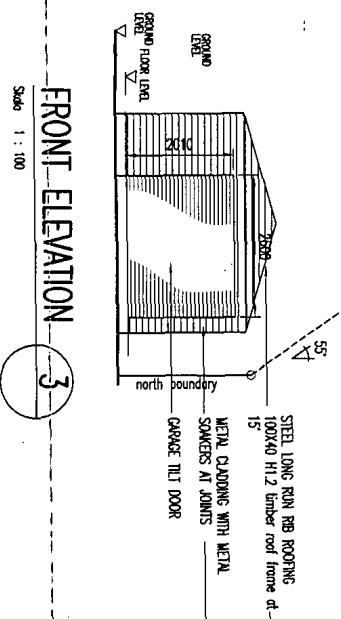


PLANS AND SPECIFICATIONS APPROVED

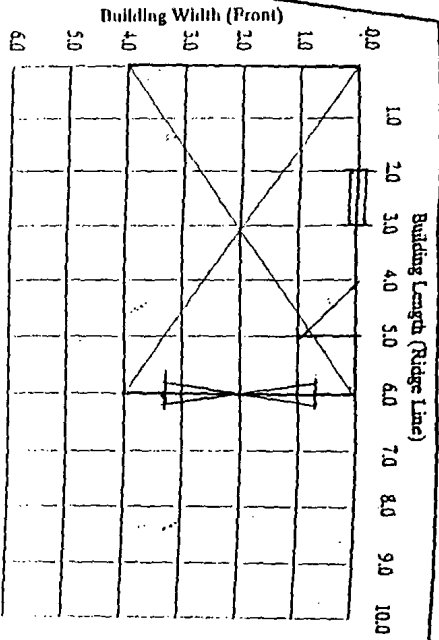
ROOF FRAMING PLAN 8
 SUBJECT TO CONDITIONS ENDORSED ON BUILDING CONSENT
 SIGNED: [Signature] DATE: [Date]
 AUTHORIZED OFFICER

SPECIFICATION

FOUNDATIONS
 CONCRETE FLOOR SHALL BE 175 MPA, 100mm THK, REINFORCED WITH 668 MESH
 WALL FRAMING
 ALL TIMBER SHALL BE HI TREATED TIMBER, LAY OPC UNDER ALL BASE PLATES. STRUCT SHALL BE 90mm X 35mm AT 1000mm CRS AND HOUSED INTO PLATES.
 ROOF FRAMING
 REUSE GANTRY TRUSSES, PURLINS 90X45mm ON EDGE AT 1500mm MAX CRS. ALL TIMBER SHALL BE HI TREATED TIMBER.
 ROOFING
 ROOFING SHALL BE 0.40 BMT STEEL LONG RUN RIB ROOFING FIXED WITH 65mm WEATHER SEAL SPIRAL SHANK NAIL.
 WALL CLADDING
 WALL CLADDING SHALL BE VERSACOJOH C2Z COLOUR STEEL



184 GREAT NORTH ROAD GLENDENE	
PLAN, ELEVATIONS, SECTION	
drawn	KY
date	FEB 2006
Scale	1 : 100
reference	J0601 / SUBAND / 3 / 2
(JOB NO./STAGE/ TOTAL SHEET/ SHEET NO.)	



FLOOR PLAN 1:100

BUILDINGS DETAILS:

Buildings Length:	6.00m	24.00m	24.00m
Buildings Width:	4.0m	4.0m	4.0m
Floor Area:	24.0 m ²	24.0 m ²	24.0 m ²
Sluc Height:	2.1m	2.1m	2.1m
Wind Zone:	Low	Med	High
Storm Zone:	Zone 1	Zone 2	Zone 3

GENERAL:
 All work shall be in accordance with the New Zealand Building Code. This specification and drawings shall be read in conjunction with the General Production Statement for Design Code 100, dated 22 September 1997 and the Building Code of Practice for the Building Code of Practice dated 5 September 1997.

FOUNDATIONS:
 Concrete floor shall be 125 MPa, 100mm thick. Footing as required.

WALL FRAMING:
 All structural steel framing shall be protected to 1.2% A classification of 41 or 42 minimum. The 41m steel shall be protected to 1.0% minimum and the 42m steel to 0.8% minimum. The 41m steel shall be protected to 1.0% minimum and the 42m steel to 0.8% minimum. The 41m steel shall be protected to 1.0% minimum and the 42m steel to 0.8% minimum.

ROOF FRAMING:
 Purlins shall be 80mm x 80mm or 100mm x 100mm, spaced at 1200mm, supported at 3000mm centres.

SIDE ENTRY OPENING LIMITS:
 For doors and windows as detailed in General Production Statement for Design Code 100, dated 22 September 1997.

FINISHES:
 All finishes shall be in accordance with the New Zealand Building Code.

SPECIFICATIONS

WALL CLADDING:
 For steel frame construction, cladding to meet angle bracing is required in Limited Wind Zones, refer General Production Statement for Height/Wind/Wall Cladding for Design Code 100, dated 22 September 1997.

ROOF BRACING:
 For steel frame construction, cladding to meet angle bracing is required in Limited Wind Zones, refer General Production Statement for Height/Wind/Wall Cladding for Design Code 100, dated 22 September 1997.

WALL BRACING:
 For steel frame construction, cladding to meet angle bracing is required in Limited Wind Zones, refer General Production Statement for Height/Wind/Wall Cladding for Design Code 100, dated 22 September 1997.

VERSATILE BUILDINGS

HEAD OFFICE: 115 WATSON ROAD, WILSONS PROMENADE, WILSONS PROMENADE, WILSONS PROMENADE

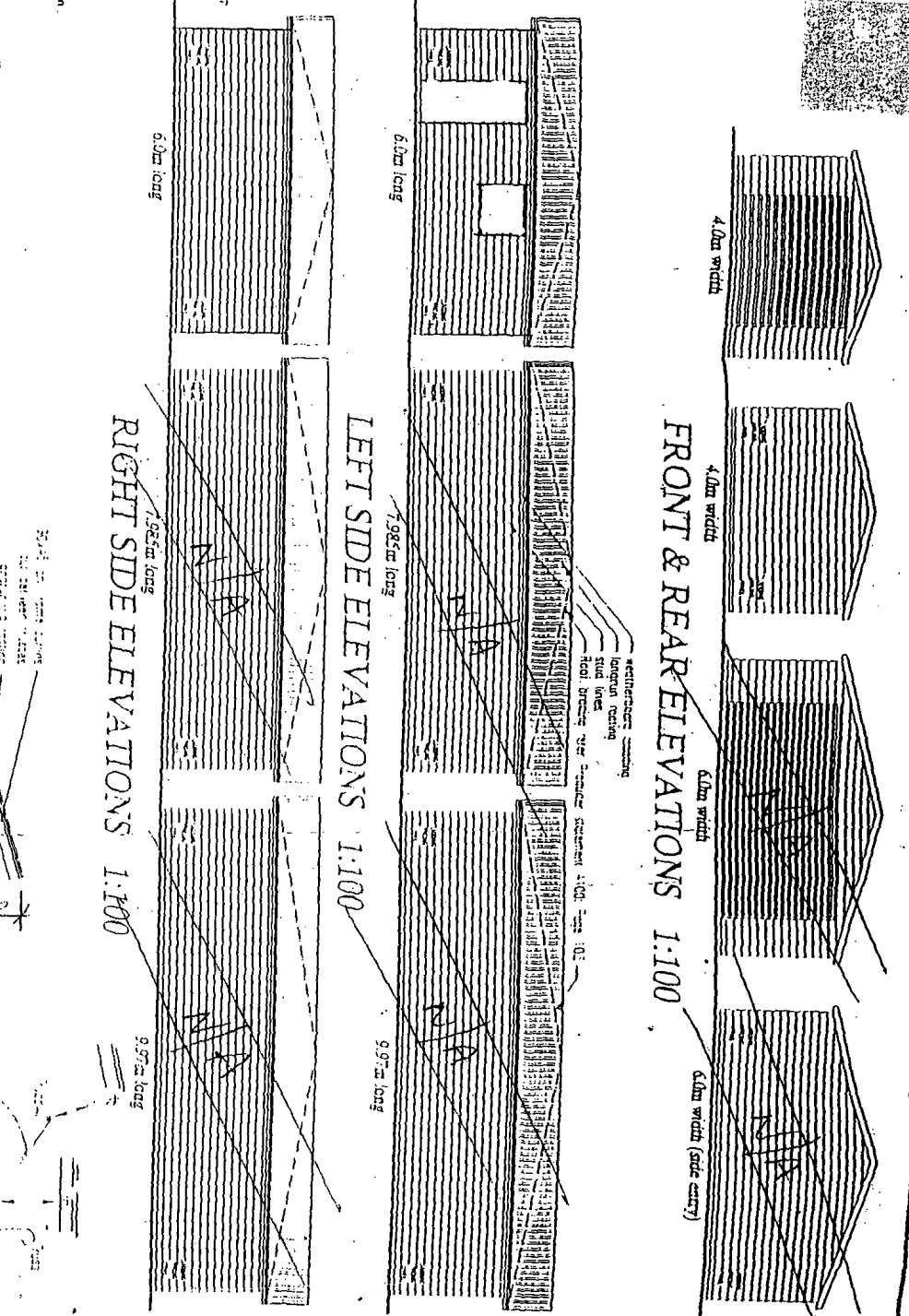
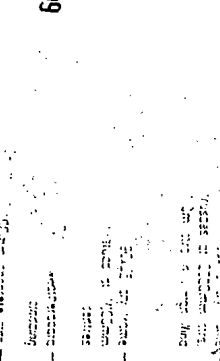
Proposed Garage For
 10 KARAKA RD
 WILSONS PROMENADE

EZY-BUILD GARAGE

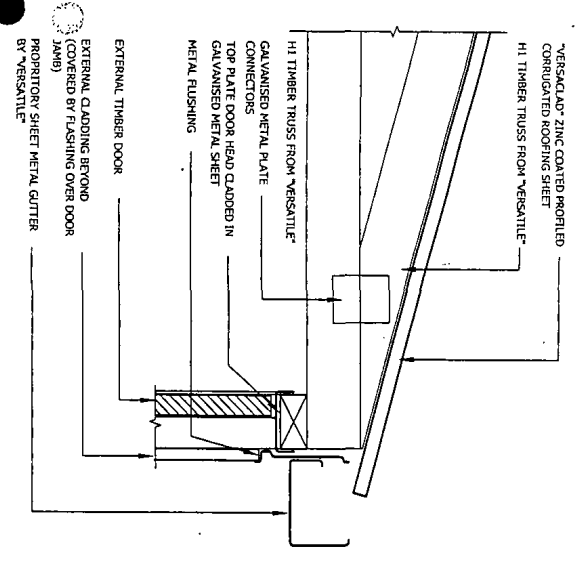
Scale: 1:100 DATE: Feb 99 PAGE: 1

Bl...
 Onst...
 nhes...
 gisi...
 for

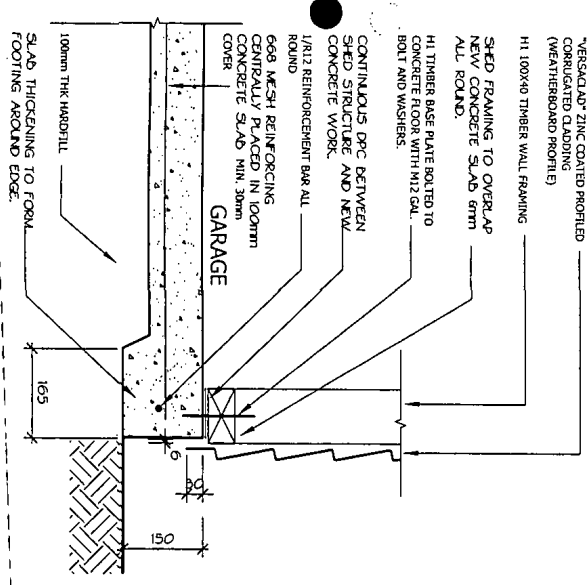
PLANS AND SPECIFICATIONS
 APPROVED
 SUBJECT TO CONDITIONS ENDORSED
 ON BUILDING CONSENT
 SIGNED: [Signature]
 DATE: 29 NOV 1999
 AUTHORISED OFFICER



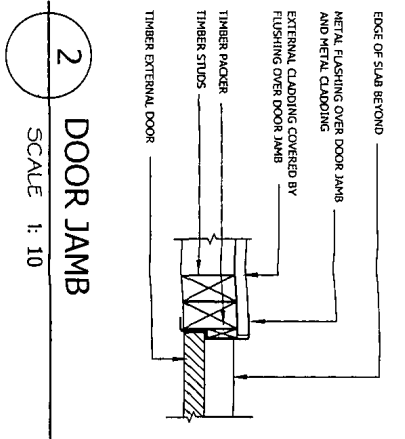
NOT TO VARY ALL DIMENSIONS UNLESS OTHERWISE STATED



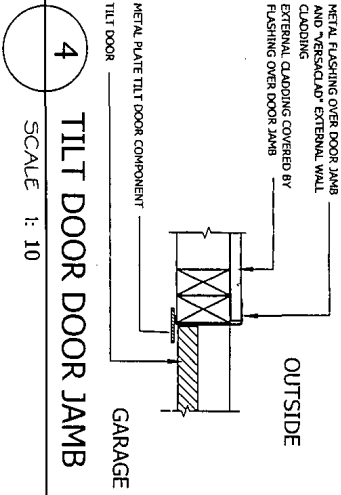
1 DOOR HEAD
SCALE 1: 10



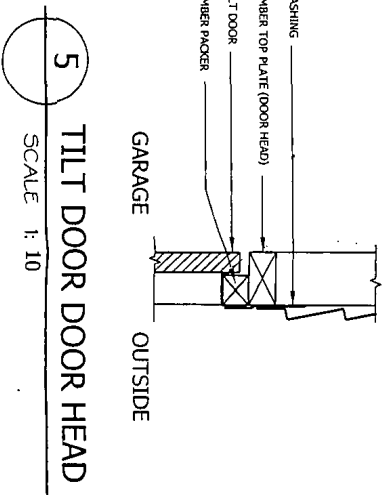
3 EDGE OF SLAB
SCALE 1: 10



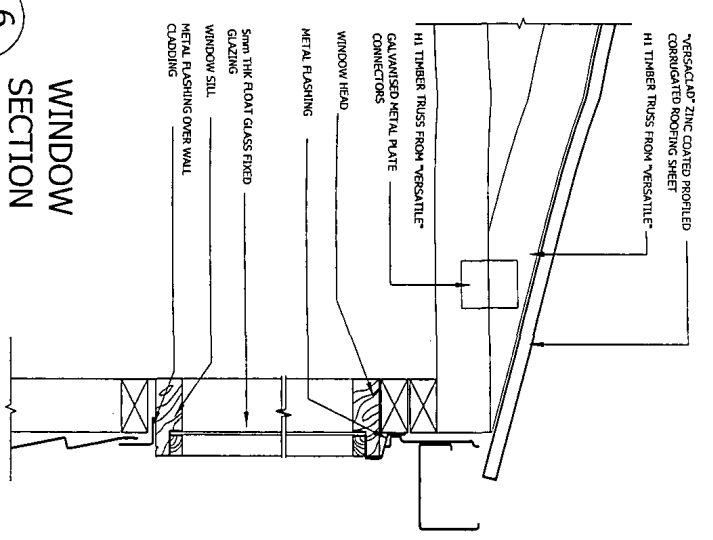
2 DOOR JAMB
SCALE 1: 10



4 TILT DOOR DOOR JAMB
SCALE 1: 10



5 TILT DOOR DOOR HEAD
SCALE 1: 10



6 WINDOW SECTION
SCALE 1: 10

- 1 VERSATILE GARAGE REQUIRES REGULAR WASHING, ESPECIALLY ON THE PARTS OF THE BUILDING NORMALLY EXPOSED TO RAIN. REGULAR WASHING PREVENTS A BUILD-UP OF ATMOSPHERIC DEPOSITS WHICH CAN REDUCE THE LIFE OF THE CLADDING. THE BUILDING SHOULD BE WASHED AT LEAST TWICE PER YEAR IN THE MAINLAND REGIONS AND AT LEAST FOUR TIMES PER YEAR IN AREAS WITHIN 100km OF THE COASTLINE.
- 2 CLEAN THE GUTTER AT LEAST ONCE A YEAR. THIS PREVENTS A BUILD-UP OF LEAVES AND DIRT THAT CAN CAUSE CORROSION.
- 3 DO NOT STORE ARTICLES IN THE ROOF AREA AS THE TRUSSES ARE DESIGNED TO SUPPORT THE ROOF LOAD. THE TRUSSES ARE NOT DESIGNED TO CARRY HEAVY WEIGHTS ON THE BOTTOM CHORD.
- 4 OIL THE PIVOT POINTS AND ROLLER WHEELS OF THE TILTING DOOR ANNUALLY TO MAINTAIN A SMOOTH OPERATION.
- 5 OIL SIDE DOOR HINGERS ANNUALLY.

184 GREAT NORTH ROAD GLENDENE	
DETAILS	
drawn	KY
date	FEB 2006
scale	1 : 10
reference	J0601 / SUBord / 3 / 3
(JOB NO. / STAGE / TOTAL SHEET / SHEET NO.)	

WAITAKERE CITY COUNCIL
19 SEP 2006

The Process Support Team
Building Consent Processing Unit
Waitakere City Council
Private Bag 93109
Henderson
Waitakere City

676868

ENTERED

14 September 2006

Sirs/Madams,

Re: Replacement Garage Reference : ABA20060369
184 GREAT NORTH ROAD, HENDERSON, WAITAKERE CITY 1008

I write to acknowledge receipt of the refund stated in your letter dated 15 July 2006 and wish to state that B Xu and I do not know the reason for the cancellation of the application.

Thankyou.

Yours sincerely,



Kin Yong Kong
m/p : 021-1446861

C/c B Xu.

Chief Executive	
Corporate Services	
City Services Moselle	
Consultancy Services	
ECO - WATER	
Strategic Group	
Consent Services	<input checked="" type="checkbox"/>
Field Services	

Application for Project Information Memorandum and/or Building Consent



Waitakere City Council

Te Tatao o Waitakere

24 FEB 2006

Section 33 or section 45, Building Act 2004

Send to: Chief Executive
Waitakere City Council
Private Bag 93109
Henderson
WAITAKERE CITY 1231

For more information:
Civic Centre, Waipareira Avenue,
Henderson
Telephone (09) 839 0400
Facsimile (09) 836 8001

20060369

31C
Henderson

11696

The building

Street address of building: 184, GREAT NORTH ROAD, GLENDENE
(for structures that do not have a street address, state the nearest street intersection and the distance and direction from that intersection)

Legal description of land where building is located: LOT 1 PP 192062
(state legal description as at the date of application and, if the land is proposed to be subdivided, include details of relevant lot numbers and subdivision consent)

Building name: (if applicable) GARAGE

Location of building within site/block number: (include nearest street access) NORTH-WEST

Number of levels: (include ground level and any levels below ground) ONE

Level/unit number: (if applicable) N.A.

Area: (total floor area; indicate area affected by the building work if less than the total area) 24.6 m²

Current, lawfully established, use: (include number of occupants per level and per use if more than 1) REPLACE A RUN-DOWN GARAGE

Year first constructed: (approximate date is acceptable e.g: c1920s or 1960-1970) N.A.

The owner

Name of owner: (include preferred form of address, eg, Mr, Miss, Dr, if an individual) MR BING XU ; MS. LING GAO

Contact person: (put n/a if the applicant is an individual) N/A

Mailing address: 15 LONGBURN ROAD, HENDERSON

Street address/registered office: AS ABOVE

Phone number: Landline: 8368368 Mobile: 021-2583891
Daytime: (PLS CONTACT AGENT SEE OVERLEAF.) After hours:

Facsimile number: /

Email address: /

Website: (if applicable) /

\$839.49
Fees paid.

The following evidence of ownership is attached to this application: (ie, copy of certificate of title, lease, agreement for sale and purchase, or other document showing full name of legal owner(s) of the building. Please circle.)

Agent (only required if application is being made on behalf of the owner, delete if not applicable)

Name of agent: KIN YONG KONG

Contact person: (insert n/a if the agent is an individual) N/A.

Mailing address: P.O. BOX 251527, PAKURANGA, AUCKLAND.

Street address/registered office: 4 BRAMLEY DRIVE, FARM COVE, AUCKLAND.

Phone number: Landline: 09- 5765988 Mobile: 021 1446861

Daytime: 021 1446861 After hours: 5765988
021 1446861

Facsimile number: -

Email address: konglim2@yahoo.co.nz.

Website:(if applicable) -

Relationship to owner: (state details of the authorisation from the owner to make the application on the owner's behalf) AGENT,
CONTRACT.

First point of contact for communications with the council/building consent authority: (state full name, mailing address, phone number(s), facsimile number(s) and email address(es)) KIN YONG KONG Ph:0211446861,

Application

I request that you issue a project information memorandum building consent for the building work described in this application (tick one or both, as applicable)

[Signature]
Signature of owner/agent on behalf of and with the authority of the owner (cross out one)

21/02/06
Date

Space for council use

The project

Description of the building work: (provide sufficient description of building work to enable scope of work to be fully understood; continue on a separate page if necessary, or refer to an attached document setting out the description)

Demolish & rebuild garage
CONSTRUCTION OF A GARAGE IMITATING "VERSATILE" GARAGE
FROM A "VERSATILE" GARAGE AND PHOTOGRAPH BEWARDS. REPAVING
DRIVEWAY AND YARD ABOVE EXISTING. A RUN-DOWN GARAGE WAS
DEMOLISHED. SEE ATTACHED SHEET FOR MORE DESCRIPTION.
Change position of Tap in Laundry

Will the building work result in a change of use of the building?

Yes

No

If yes, provide details of the new use: n/a

Intended life of the building if less than 50 years: (number of years) _____

List building consents previously issued for this project (if any): n/a
(list who issued the consent, the date of issue and the consent number)

Estimated value of the building work on which the building levy will be calculated (including goods and services tax):
(state estimated value as defined in section 7 of the Building Act 2004) \$ 4,000

Project information memorandum (do not fill in this section if the application is for a building consent only)

The following matters are involved in the project: (tick the matters relevant to the project)

Subdivision

Alterations to land contours

New or altered connections to public utilities

New or altered locations and/or external dimensions of buildings

New or altered access for vehicles

Building work over or adjacent to any road or public place

Disposal of stormwater and wastewater

Building work over any existing drains or sewers or in close proximity to wells or water mains

Other matters known to the applicant that may require authorisations from the territorial authority: (specify)

Building consent (do not fill in this section if the application is for a project information memorandum only)

The following plans and specifications are attached to this application: (all plans and specifications must meet the minimum requirements set out in the regulations or required by the building consent authority)

3 SETS OF A3 SIZE DRAWING NO. JO601/SUB/3/1 - 3, SPECIFICATION NOTES ON SHEET 2 & MAINTENANCE NOTES ON SHEET 3.

The building work will comply with the building code as follows: (if you're not sure which clauses are applicable, talk to the BCA or your architect)

Clause (tick relevant clause numbers of building code)	Means of compliance (refer to the relevant compliance document(s) or detail of alternative solution in the plans and specifications; if not applicable, put n/a)	Waiver/modification required (state nature of waiver or modification of building code required; if not applicable, put n/a)
<input type="radio"/> B1 Structure		REUSE VERSATILE GARAGE STRUCTURE.
<input type="radio"/> B2 Durability	NZS 3604; NZS 3101: P1	
<input type="radio"/> C1 Outbreak of fire	- n/a	
<input type="radio"/> C2 Means of escape	- n/a	
<input type="radio"/> C3 Spread of fire	- n/a	
<input type="radio"/> C4 Structural stability during fire	- n/a	
<input type="radio"/> D1 Access routes	- n/a	
<input type="radio"/> D2 Mechanical installations for access	- n/a	
<input type="radio"/> E1 Surface water		EXISTING GRANT OF IMPERMEABLE SURFACE NOT CHANGED
<input type="radio"/> E2 External moisture	NZS 3604	
<input type="radio"/> E3 Internal moisture	NZS 3604	
<input type="radio"/> F1 Hazardous agents on site	n/a	
<input type="radio"/> F2 Hazardous building materials	n/a	
<input type="radio"/> F3 Hazardous substances and processes	n/a	
<input type="radio"/> F4 Safety from falling	n/a	
<input type="radio"/> F5 Construction and demolition hazards	n/a	
<input type="radio"/> F6 Lighting for emergency	n/a	
<input type="radio"/> F7 Warning systems	n/a	
<input type="radio"/> F8 Signs	n/a	
<input type="radio"/> G1 Personal hygiene	n/a	
<input type="radio"/> G2 Laundering	n/a	
<input type="radio"/> G3 Food preparation and prevention of contamination	n/a	
<input type="radio"/> G4 Ventilation	n/a	
<input type="radio"/> G5 Interior environment	NZS 3604	
<input type="radio"/> G6 Airborne and impact sound	n/a	
<input type="radio"/> G7 Natural light	n/a	
<input type="radio"/> G8 Artificial light	n/a	
<input type="radio"/> G9 Electricity	NZS 3604	
<input type="radio"/> G10 Piped services	n/a	
<input type="radio"/> G11 Gas as an energy source	n/a	
<input type="radio"/> G12 Water supplies	n/a	
<input type="radio"/> G13 Foul water	n/a	
<input type="radio"/> G14 Industrial liquid waste	n/a	
<input type="radio"/> G15 Solid waste	n/a	
<input type="radio"/> H1 Energy efficiency	n/a	

Compliance schedule (do not fill in this section if this is an application for a project information memorandum only) Tick one:

The specified systems for the building are as follows:
(specified systems are defined in regulations; if you are not sure whether your building has specified systems, talk to the BCA or your architect)

The following specified systems are being altered, added to, or removed in the course of the building work:
(insert n/a if not applicable)

There are no specified systems in the building.

Attachments

The following documents are attached to this application: (tick as applicable or put n/a if there are no attachments)

Plans and specifications (list) ① 3 SETS OF A3 SIZE DRAWING, ref no. JO601/SUB/3/1, JO601/SUB/3/2 & JO601/SUB/3/3. SPECIFICATION NOTES ON JO601/SUB/3/2 and MAINTENANCE NOTES ON JO601/SUB/3/3.

Project information memorandum ② A COPY OF CERTIFICATE OF TITLE

Development contribution notice APPLICATION FEE

Certificate attached to project information memorandum

Payment Details

A fee is required on lodgement of all applications

All fees (other than the base fee) shall be paid in full without set-off or deduction of any kind within 14 days of the date of the invoice or prior to the issue of the Building Consent, whichever is the sooner.

The applicant shall further pay to Waitakere City Council, all costs and expenses (including costs on a solicitor/client basis and debt collector's costs) incurred in the enforcing or attempting to enforce these terms and conditions or in seeking payment of all fees.

Where you fail to make payment of any amount on the due date, Waitakere City Council may in addition require you to compensate it by making payment of interest as liquidated damages on the amount due from the due date for payment until the date of actual payment at a rate equal to the current overdraft interest rate Waitakere City Council has with its principal registered bank.

Name and Address for Accounts: BING XU 15, LONGBURN RD., HENDERSON

Phone No: 8368368 Business: / Home: /

Mobile: 021 2583891 Fax: /

GST Number: /

Signature of Applicant/Authorised Agent: _____

Print Name of Applicant/Authorised Agent: _____

If the named Applicant is a company or trust, please state your position/title & contact details: _____

I have the authority to bind the company/trust.

(Please attach a copy of the authorising documents for the Company/Trust)

This application will not be accepted by Council unless all the required and appropriate information is provided.

Declaration 徐冰 高玲
Signed by I for and on behalf of owner:

Name: (print) BING XU LING GAO

Position: / Date: 21/02/06

If you have any enquiries about any part of the Building Consent process please contact our Customer Services line: 839-0400 or fax 836-8001 or our Counter Services Staff, Waitakere City Council, 6 Waipareira Avenue, Henderson.

CONSENT SERVICES

Thank you for your time

Inspection of Second-Hand Building or Materials



Send to: The Chief Executive
Waitakere City Council
Private Bag 93109
Henderson
WAITAKERE CITY 1231

For more information:
Civic Centre, Waipareira Avenue,
Henderson
Telephone (09) 839 0400
Facsimile (09) 836 8001

I, BING XU

hereby make application to: **A.** erect a second-hand building

OR
(B.) use second-hand materials

Address of property where building to be erected / materials to be used:

Road name and number: 184 GREAT NORTH ROAD, GLENDENE

Locality: HENDERSON AREA Lot: 1 DP: 192062

Note: All building/materials must comply with the NZ Building Code. If there is any doubt about the suitability of building/materials for the use proposed, the applicant is advised to confer with the Inspecting officer.

A. Second-hand Building

I enclose: (1) Inspection Fee of \$ _____

(2) The key to the building _____

(3) Signature of the Applicant N.A.

Address: _____

Phone number: _____ Date: _____

Building to be inspected is located at: _____

I have read the conditions attached to this application and am aware of the restrictions imposed on the re-erection of second-hand buildings and fully accept the Council's policy of imposing and bond as a condition of the resource consent.

This application is made in the light of my acceptance of that condition, and any failure on my behalf to pay this bond makes any application null and void.

B. Second-hand Materials

Quantity, treatment and age of timber: ± 160m 6x100x40 H.1 TREATED TIMBER MACHINE GUALGED (NETT 90Y35)
12m METAL GUTTER, 4m DOWN PIPE, FLASHING, SOCKERS.

Quantity and description of other material: 1/2m x 2.6m TILT DOOR, 12.4m² METAL CLADDING, 25.2m² ROOFING (LONGRUN)

I enclose: (1) Inspection Fee of \$ 127.50

(2) The key to the building NO DOOR, NOT FENCED

(3) Signature of the Applicant [Signature]

Address: 15 LONGBURN ROAD, HENDERSON.

Phone number: AGENT: KIN YONG KONG 02H 44 6861 Date: 24th Feb 2006

Materials to be inspected at: 184 GREAT NORTH ROAD, GLENDENE, AUCKLAND

Second-hand building / Second-hand Materials **Not Approved / Approved** subject to conditions set out in Second-hand Report

Number: _____

Signed: _____ (Building Surveyor)

Office use only

Receipt number: _____

Fee: _____

Office use only

Building Details

Wall cladding

Condition: _____

Joinery

Condition: _____

Roof

Type: _____

Condition: _____

Sub-floor

Bearers condition: _____

Joists condition: _____

Flooring condition: _____

Inside

Wall lining: _____

Ceiling lining: _____

Room layout: _____

General condition: _____

Relocation of Second-hand Buildings

Standard Conditions of Acceptance Compliance

The following conditions are applicable to any application for the relocation of second-hand dwellings in the City.

1. All decayed timbers and other building materials and fittings which in the opinion of the Inspecting Officer are considered unsound shall be removed and replaced with new sound material.
2. Subfloor construction shall be upgraded to comply with the NZ Building Code.
3. The existing roof, including guttering and down pipes shall be checked and cleaned and as necessary replaced with new materials to ensure complete water tightness.
4. The complete subfloor of the building shall be flood spray treated with borer control chemicals to a standard recommended by a borer treatment company and a certificate issued, acceptable to the Council.
5. The exterior of the dwelling shall be renovated, where necessary, to the Council's satisfaction within six (6) months of relocation
6. A Building Consent shall be taken out for the re-erection of the building.
7. All works shall be completed within one year of the issue of the Building Consent unless otherwise specified.
8. Subject to conditions of Resource Consent (Refer Note 4).
9. Subject to a bond to ensure compliance with the conditions of Resource Consent (Refer Note 5).

Unless forfeited the bond shall be discharged on completion of all works to the satisfaction of the Council.

Notes

1. Fees

Please refer to the current Regulatory Fees & Charges Schedule.

2. General

Buildings must conform to the requirements of the Council's current building bylaws, and intending applicants are advised to confer with the Inspecting Officer.

3. Inspection

No inspection will be made of any second-hand buildings until:

- (a) The key to the building is delivered to the Inspecting Officer. (This is to be done at the time of making application for inspection, unless specific arrangements are made with the Inspecting Officer for the building to be open when he calls)
- (b) The application provides adequate access to the subfloor area, and should the Inspecting Officer consider it necessary, provision made for the house to be raised to facilitate thorough examination.

Note 3. - Inspection *continued*

- (c) The applicant provides adequate access to roof space, including provision of a ladder and removal of a portion of the roof cladding if necessary.
- (d) The bottom plate and lower ends of studs in three positions around the building have been exposed.

The Inspecting Officer may require the exposure of further timbers or the submission of further details in support of any particular application.

4. Application for a Resource Consent Under the RMA 1991

Resource Consent must be obtained prior to relocating a second-hand building onto a site located in any of the following Human Environment areas:

- Living
- Countryside
- Foothills
- Rural Villages
- Coastal Villages
- Bush Living
- Waitakere Ranges

Note:

A Resource Consent is a separate application from a Building Consent and therefore incurs additional processing fees. Allow up to 20 working days for processing. For assistance please contact the Call Centre on 839 0400 or visit the Customer Services Counter at the Civic Centre.

5. Bond Imposed as a Condition of Resource Consent Under the RMA 1991

A cash bond may be imposed as a condition of Resource Consent pursuant to Section 108 of the Resource Management Act 1991. The bond is to ensure that any works required as a condition of Resource Consent are carried out within a specified time period. The amount of the bond will be directly related to the value of the upgrading work required on the second-hand building. The bond must be paid prior to issue of the Resource Consent, and will be refunded upon satisfactory completion of the bonded works.

6. Important Note

No building shall be brought into or relocated within the City until it has first been inspected and a Building Consent uplifted.

AMENDED PLANS - UNISSUED CONSENTS

PROCESS SHEET 12/03

ABA: 20060369

ADDRESS: 184 GREAT NORTH LOT: 1

ACCOUNT MANAGER: Tineke DP: 192062

Date Rec: 7 APR 2006

Required Inspections:	201 Footing	207 Pre-line Building	219 Cladding
	202 Bond Beam	208 Pre-line Plumbing	220 Final Build
Second-hand Building	203 Tanking (Water Barriers)	209 Gib Nail	221 Final P & D
Materials Report Attached	204 Pre-floor Building Concrete only	211 Drainage Test	222 Resource Consent
YES / NO	205 Pre-floor P&D Concrete only	217 Framing	Conditions
	206 Plaster Exterior Cladding	218 Building Wrap	

	TO	DATE IN	DATE OUT	SENT TO	PAUSED	APPROVED BY	STAFF CODE	TIME
	112 Process Support	10.4.06	10.4.06	11m	F	4m	BCJ	0.2
	113 Building Surveyor	18 APR 2006	18/4/06		P	Letter	BCW	0.5
	114 Plumbing & Drainage Surveyor (Retic. Site)	13/4/06	18 APR 2006	113	P	LETTER	PE1	.2
	115 Plumbing & Drainage Surveyor (Septic Tanks)							
	115 Structural Check							
	11F Ecd Water	11 APR 2006	13/4	114	P	LETTER KSS	END	GEMs
	11F Fire & Egress							
CANCELLED								
CADASTRAL								
SPW								
224C ISSUED	11L Resource Planner							

Financial Contributions YES / NO Is a Section 35 Required? YES / NO UPLIFTED: DATE:
 IF YES No Building work to commence Specific building work to commence

	11M Account Manager	10.4.06	11 APR 2006	115	P	LETTER	BCJ	0.2
			18/4/06		P	Letter	BCW	0.2
RMA	11X Final Document Preparation	18/4/06	20.4.06	SUS	P	4m	BCJ	0.2

STRUCTURAL CHECK REPORT
RESIDENTIAL OR MINOR BUILDING WORKS
BUILDING SURVEYORS PROCESSING SHEET

CALCULATIONS AND PRODUCER STATEMENT CHECK

Each of the items must be checked and the box ticked:

- 1. Site not stability sensitive 3
- 2. Calculations provided 3
- 3. Calculations cover all work on drawings requiring design 3

I recommend that the application be approved subject to the conditions listed below:

Signed by: Building Surveyor: Date:

i...

STRUCTURAL ENGINEER'S PROCESSING SHEET
COMMERCIAL/INDUSTRIAL/ASSEMBLY BUILDINGS
RESIDENTIAL BUILDINGS REQUIRING GEOTECHNICAL REPORTS

- 1. The following items are required to further process this application: (see letter attached).

Signed: Structural Engineer Date:

- 2. I recommend that the application be approved subject to the conditions listed below:

Signed: Structural Engineer Date:

Processing time:

Staff Code	Conditions (incl. 1 to 3 standard conditions)
EWQ	letter

Staff Code	Notations

CODE	FEE DESCRIPTION	\$	C
101	Plan Processing Fee		
102	Planning Check Fee		
103	PIM Fee		
104	Inspection Fee		
105	Code Compliance Certificate		
106	Water Connection		
108	Building Research Levy		
109	Building Industry Authority Levy		
110	Section 35 Certificate		
111	Design Check Fee		
112	Amended Plan Fee		
113	Photocopying		
114	Resource Consent (Minor Addtn)		
115	Sewer Connection		
116	Re-lay Sewer		
117	Engineering Fee-Subdivision		
118	Reserve Contribution (Massey)		
119	Reserve Contribution (Waitakere)		
120	Reserve Contribution (New Lynn)		
121	Reserve Contribution (Henderson)		
122	Performance Bond		
123	Stormwater Upgrading		
124	Road Construction Deposit		
125	Stormwater Connection		
126	Engineering Fees-Development		
127	Legal Processing		
128	Resource Bond		
129	Water Contribution		
130	Sewer Upgrading		
131	Planning Site Visit		
132	Consultancy Fees		
133	Fire Hydrants		
138	Oratia Stream		
139	Planning Resource Consent		
142	Compliance Schedule Base Fee		
143	Compliance Schedule Systems Fee		
144	Records Fee		
145	Drainage Engineer		
150	Extension of Building Consent		
151	Replacement Plans/Document		
152	Administration Fee		
153	Second-hand Building Insp		
154	Second-hand Materials Insp		
BDG	ABA Dangerous Goods		
BEH	ABA Environmental Health		
BFE	ABA Fire & Egress		
BPK	ABA Parks Processing		
T	Time		
	Subtotal		
	Outstanding Amount		
	TOTAL	\$	

FINANCIAL CHECK Initials Date:

NOTES/REMARKS:

BUILDING CONSENT APPLICATION

PROCESS SHEET 12/03

ABA:

20060369

ADDRESS: 184 Great North Rd. LOT: 1

ACCOUNT MANAGER: Peter DP: 192062

Date Rec: 24-2-06.

- | | | | |
|---------------------------|---|------------------------------|------------------------|
| Required Inspections: | <u>201</u> Footing | 207 Pre-line Building | 219 Cladding |
| | 202 Bond Beam | <u>208</u> Pre-line Plumbing | <u>220</u> Final Build |
| Second-hand Building | 203 Tanking (Water Barriers) | 209 Gib Nail | <u>221</u> Final P & D |
| Materials Report Attached | <u>204</u> Pre-floor Building Concrete only | <u>211</u> Drainage Test | 222 Resource Consent |
| YES / NO | 205 Pre-floor P&D Concrete only | 217 Framing | Conditions |
| | 206 Plaster Exterior Cladding | 218 Building Wrap | <u>LNZ</u> |

	TO	DATE IN	DATE OUT	SENT TO	PAUSED	APPROVED BY	STAFF CODE	TIME
	102 Process Support	24-2-06	27-2-06	102M	F	PLG	BCR	.3
	103 Building Surveyor	06 MAR 2006	14/3/06	10M	P	letter	BSK	0.4
	104 Plumbing & Drainage Surveyor (Retic. Site)	3/3/6	06 MAR 2006	103	P	LETTER	REN	.3
	105 Plumbing & Drainage Surveyor (Septic Tanks)							
	105 Structural Check							
	10E EcoWater	03 MAR 2006	3/3/6	104	P	letter	ENQ	GEMS
	10F Fire & Egress							
CADASTRAL								
SPW								
224C ISSUED	10L Resource Planner							

CANCELLED

Financial Contributions YES / NO Is a Section 35 Required? YES / NO UPLIFTED: DATE:
 IF YES No Building work to commence Specific building work to commence

	10M Account Manager	27/02/06 - 1 MAR 2006	104				BSK	0.1
		14/3/06	14/3/06	10X	P	letter	BSK	0.1
RMA	10X Final Document Preparation	14/3/06	15-3	3US	P		BCE	.2

STRUCTURAL CHECK REPORT
RESIDENTIAL OR MINOR BUILDING WORKS
BUILDING SURVEYORS PROCESSING SHEET

CALCULATIONS AND PRODUCER STATEMENT CHECK

Each of the items must be checked and the box ticked:

- 1. Site not stability sensitive 3
- 2. Calculations provided 3
- 3. Calculations cover all work on drawings requiring design 3

I recommend that the application be approved subject to the conditions listed below:

Signed by: Building Surveyor: Date:

STRUCTURAL ENGINEER'S PROCESSING SHEET
COMMERCIAL/INDUSTRIAL/ASSEMBLY BUILDINGS
RESIDENTIAL BUILDINGS REQUIRING GEOTECHNICAL REPORTS

- 1. The following items are required to further process this application: (see letter attached).

Signed: Structural Engineer Date:

- 2. I recommend that the application be approved subject to the conditions listed below:

Signed: Structural Engineer Date:

Processing time: 10 AM

Staff Code	Conditions (incl. 1 to 3 standard conditions)
PE	41-44, 46, 57, 58

Staff Code	Notations

CODE	FEE DESCRIPTION	\$	C
101	Plan Processing Fee		
102	Planning Check Fee		
103	PIM Fee		
104	Inspection Fee		
105	Code Compliance Certificate		
106	Water Connection		
108	Building Research Levy		
109	Building Industry Authority Levy		
110	Section 37 Certificate		
111	Design Check Fee		
112	Amended Plan Fee		
113	Photocopying		
114	Resource Consent (Minor Addtn)		
115	Sewer Connection		
116	Re-lay Sewer		
117	Engineering Fee-Subdivision		
118	Reserve Contribution (Massey)		
119	Reserve Contribution (Waitakere)		
120	Reserve Contribution (New Lynn)		
121	Reserve Contribution (Henderson)		
122	Performance Bond		
123	Stormwater Upgrading		
124	Road Construction Deposit		
125	Stormwater Connection		
126	Engineering Fees-Development		
127	Legal Processing		
128	Resource Bond		
129	Water Contribution		
130	Sewer Upgrading		
131	Planning Site Visit		
132	Consultancy Fees		
133	Fire Hydrants		
138	Oratia Stream		
139	Planning Resource Consent		
142	Compliance Schedule Base Fee		
143	Compliance Schedule Systems Fee		
144	Records Fee		
145	Drainage Engineer		
146	Roading and Traffic		
150	Extension of Building Consent		
151	Replacement Plans/Document		
152	Administration Fee		
153	Second-hand Building Insp		
154	Second-hand Materials Insp		
BDG	ABA Dangerous Goods		
BEH	ABA Environmental Health		
BFE	ABA Fire & Egress		
BPK	ABA Parks Processing		
T	Time		
	Subtotal		
	Outstanding Amount		
	TOTAL	\$	

CANCELLED

NOTES/REMARKS:

TO: Rebecca Butler - Team Leader Debtors Ext: 8831
 FROM: J. MORRIS Ext: 8636
 DATE: 15/7/06



SUNDRY DEBTOR ADJUSTMENT

SECTION 1: TRANSFER FROM: Debtors Use Only

a SUNDRY DEBTOR ACCOUNT

Customer No: 755546 Debtor Name: Xu Bing

Ledger	Type	Doc No	Date	Amount
BCON	RECEIPT	CN 433	24/2/06	364.59.

Reverse / Refund Receipt entered

b SUSPENSE BANK ACCOUNT

Circle appropriate a/c)
 Health / Liquor / Dgds / Cashier Default / Suspense

Receipt No.	Receipt Date	Amount

c RECEIPT LOADED AGAINST SFL

SFL Code:

Receipt No.	Receipt Date	Amount

d INTERNAL SFL TRANSFER

SFL Code:
 GST Code: 90-03-030

Amount

SECTION 2: TRANSFER TO:

Customer No: Debtor Name:

Ledger	Type	Doc No	Date	Amount

Receipt entered

SECTION 3: REFUND/CHEQUE REQUIRED:

Return cheque to me Post cheque to:
Xu Bing
Ch-kin Yung Kong
P. O Box 251527
Pakuranga.

Refund forwarded to Accounts Payable

SECTION 4: REASON FOR TRANSFER or REFUND:

Please print clearly

Refund of CCC/inspection fee for Camx
ABA 20052547-20060369.

Advise action taken

Authorised by: [Signature] Name: Jacope Hunt Unit: Consent
 x 8258.

PLEASE ENSURE YOU HAVE MANAGEMENT AUTHORISATION IF NECESSARY

CREDIT NOTE

Building Consent Fees

GST Registration No
52-211-247

Date: 15/07/2006

Customer No: 755546

Invoice No: 1001941

Application No: ABA 20060369

XU, BING
C/- KIN YONG KONG
P O BOX 251527
PAKURANGA
AUCKLAND 1730

Owners Name: XU, BING
Project Address: 184 GREAT NORTH ROAD HENDERSON

Invoiced to Date: 839.49

Fee Code	Description	Amount
104	Inspection Fee	314.33 CR
105	Code Compliance Certificate	90.26 CR
102	Administration Fee	40.00

This notice is not a Building Consent. No earthworks or construction work may be carried out to prior to the issue of the Building Consent and any consent required under the Resource Management Act.

This account includes a total GST content of \$40.52 CR

Total To Pay
Due Today

364.59 CR
15/07/2006

Remittance Advice:

Please detach and return with payment.



Civic Centre
6 Waipareira Ave
Waitakere City

Private Bag 93109
Henderson
Waitakere City

Telephone
09 839 0400

Invoice Date : 15/07/2006
Customer No : 755546
Name : XU, BING
Application : ABA 20060369

Allocation Type : C
Customer Type : D
Ledger : BCON
Document Number : 1001941
Total to Pay : \$ 364.59 CR
Due Today : 15/07/2006

15 July 2006

XU BING
C/- KIN YONG KONG
P O BOX 251527
PAKURANGA
AUCKLAND

WAITAKERE CITY

Dear SIR/MADAM

RE: BUILDING CONSENT NO ABA ~~20052547~~ 20060369
STREET ADDRESS: 184 GREAT NORTH RD, HENDERSON.

As requested the above building consent has cancelled and the relevant fees paid, less an administration charge of \$40.00 have been authorised for a refund. You should receive a cheque in due course. Details of the refund are set out below:

Inspection Fee:	\$ 314.33
Code Compliance Certificate:	\$ 90.26
Less administration fee:	<u>\$ - 40.00</u>
TOTAL REFUND	\$ 364.59

The cancelled plans are returned for your interest.

Yours faithfully



JUDITH MORRIS
CONSENT SERVICES

PAY VOUCHER and CHEQUE from WAITAKERE CITY COUNCIL

184 Great Nth Rd

ACCOUNT NUMBER 755546



Waitakere City Council
Te Tatao o Waitakere

BING XU
C/- KIN YONG KONG
P O BOX 251527
PAKURANGA, MANUKAU
2140

PRIVATE BAG 93109
HENDERSON
WAITAKERE CITY 1231
TELEPHONE 836-8000

DATE	REFERENCE	DESCRIPTION	NET AMOUNT
1/ 8/06	M789331	REFUND CANCELLED FEES	364.59
CHEQUE NUMBER 00290315		3/ 8/2006	TOTAL \$364.59



Part of ANZ National Bank Limited

Auckland Branch
203 Queen Street
Auckland, New Zealand



Waitakere City Council
Te Tatao o Waitakere

CHEQUE NO: 00290315 DATE: 3/ 8/06

PAY TO THE ORDER OF BING XU

\$ *****\$364.59

THE SUM OF

For and on behalf of Waitakere City Council

ZERO	ZERO	ZERO	ZERO	THREE	SIX	FOUR	59
MILLIONS	HUNDRED THOUSANDS	TENS THOUSANDS	THOUS	HUNDREDS	TENS	UNITS	CENTS
DOLLARS							

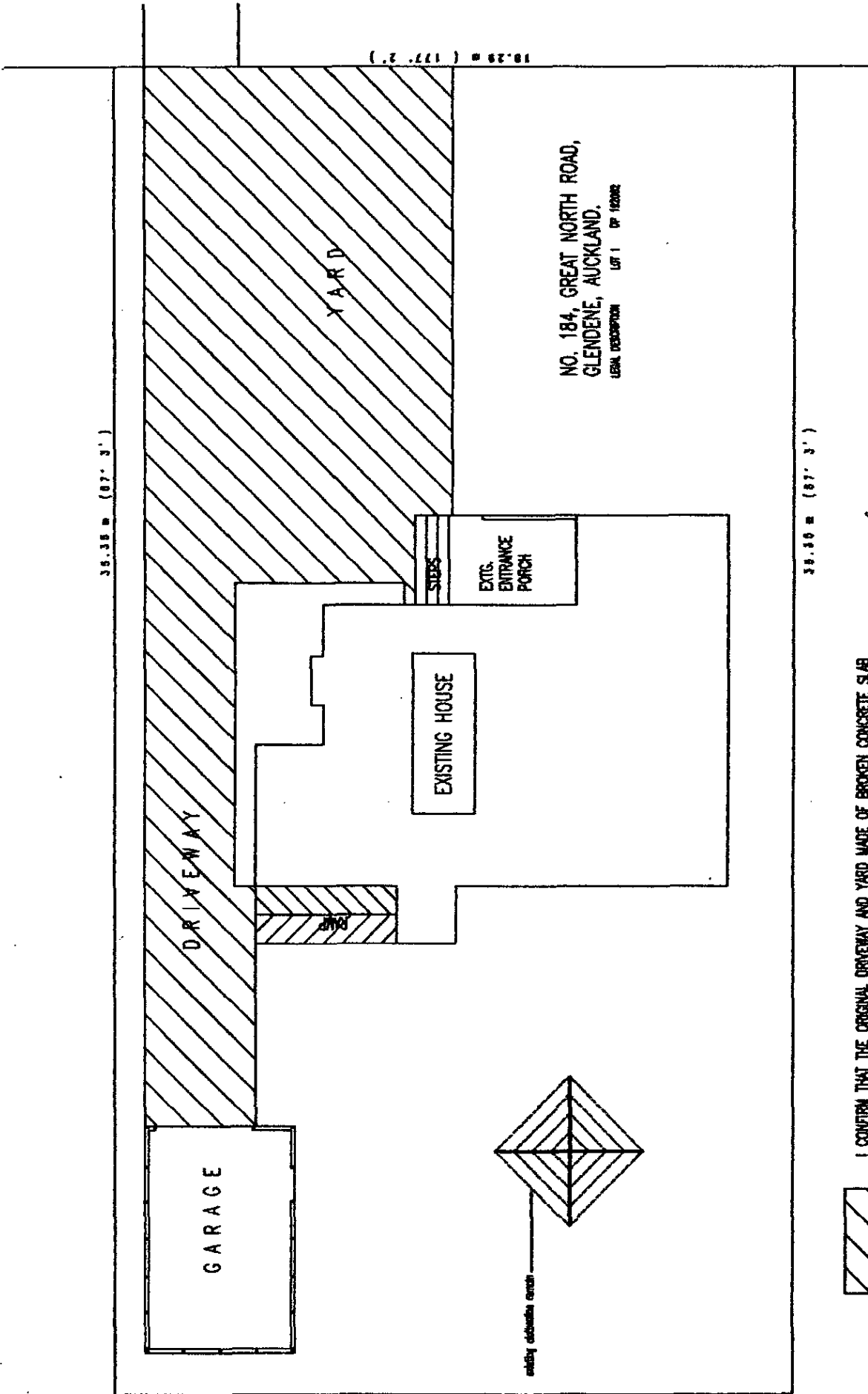
NOT NEGOTIABLE

[Handwritten Signature]

⑈ 290315 ⑈010102⑈ 0451400⑈00 ⑈

STAMP DUTY PAID LIC. 15

GREAT NORTH ROAD



NO. 184, GREAT NORTH ROAD,
GLENDENE, AUCKLAND.
LEGAL DESCRIPTION LOT 1 OF 120002

I CONFIRM THAT THE ORIGINAL DRIVEWAY AND YARD MADE OF BROKEN CONCRETE SLAB
WAS APPROXIMATELY AS SHOWN IN HATCH IN THIS DRAWING



Lani Boruch



SITE PLAN
SCALE NOT TO SCALE



38.50 m (127' 3")

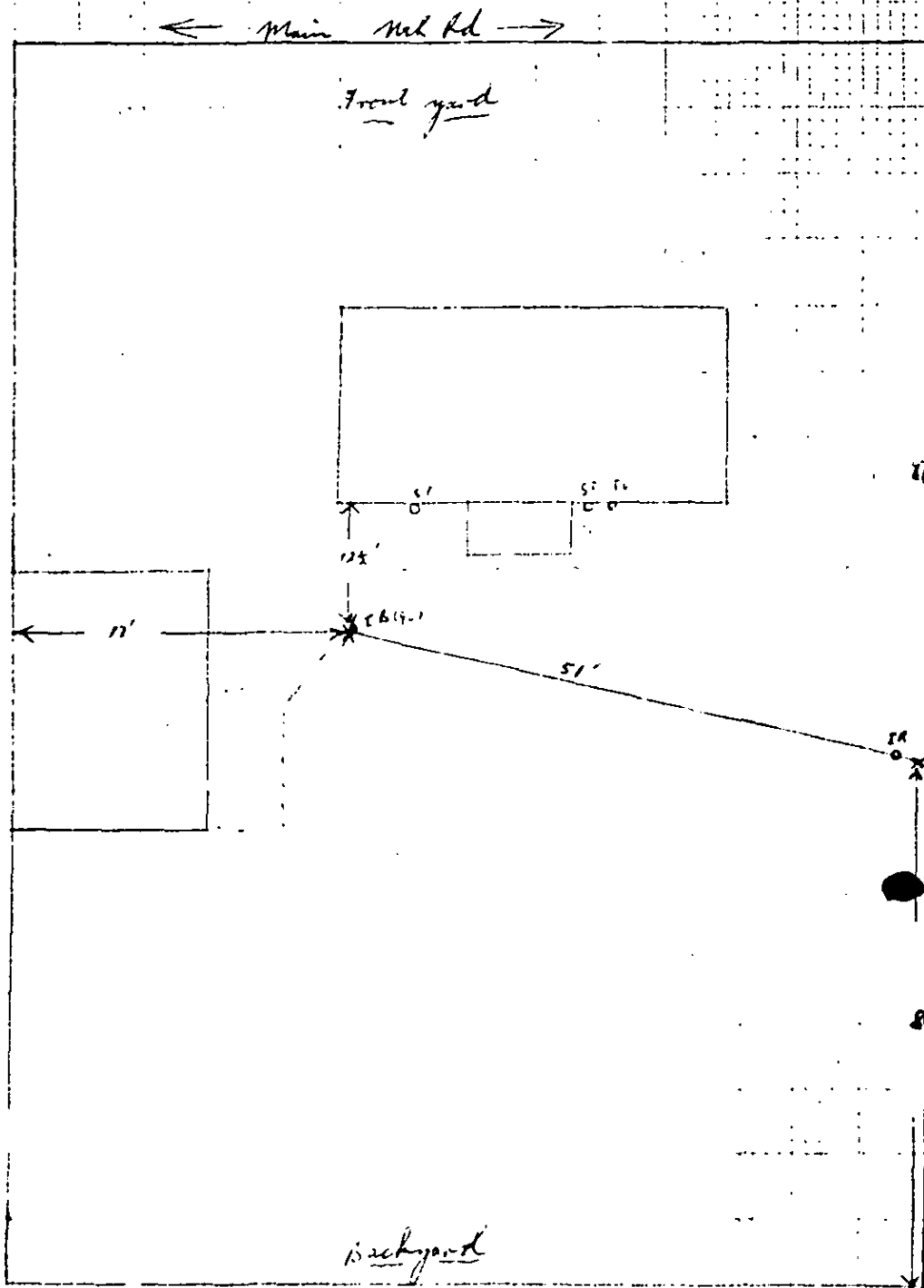
38.50 m (127' 3")

18.25 m (59' 7")

18.25 m (59' 7")

existing driveway center

NOTE. — For drainage work a scale plan in ink showing street line, section boundaries, buildings in outline, lines of drains, inspection pipes, etc., MUST be supplied.



Scale: 1 - 10th inch = 1 foot
2 feet

Owner: Mr. L. Padfield
184 Main Mill Rd.
Hinderson



Great North Road

- | | |
|--|---|
| Water Main | Wastewater |
| <ul style="list-style-type: none"> Pipe / House Connection Valve Chamber Sluice Valve Reservoir Reducer Pressure Gauge Pump Unit Pump Station Pressure Reducing Valve Post Valve Non Return Valve Meter Fire Hydrant Blank Cap Air Valve Abandoned Service | <ul style="list-style-type: none"> Pipe / House Connection Inlet Chamber Flush Chamber Inspection Chamber Manhole Pump Station |
| | Stormwater |
| | <ul style="list-style-type: none"> Pipe / House Connection Cesspit Cesspit / Manhole Double Cesspit Inlet / Outlet Inspection Chamber Manhole Open Drain Pond |
| | Other Services |
| | <ul style="list-style-type: none"> High Voltage Electricity Lines |

A4 PLAN OF SERVICES

184

Legal Description: LOT 1 DP 192062

Services shown on public amenity land are not public drains unless used as through drains.

While Council endeavours to provide accurate spatial data no guarantee as to the completeness and accuracy of the data shown on this plan can be given.

All information, including levels and locations, are not of survey grade accuracy and should be verified on site.

For enquiries about the information shown please phone the Call Center (09) 839 0400

Cadastral Information from Land Information New Zealand
Digital Cadastral Database DCDB
Crown Copyright Reserved Digital Licence AK/27470/L

Map Scale 1:500
Print Date 3/3/2006



Waitakere City Council
Te Tatao o Waitakere

2009-821

As Built Drainage Plan

27 APR 2010

ENTERED

Waitakere City Council
Te Taiao o Waitakere

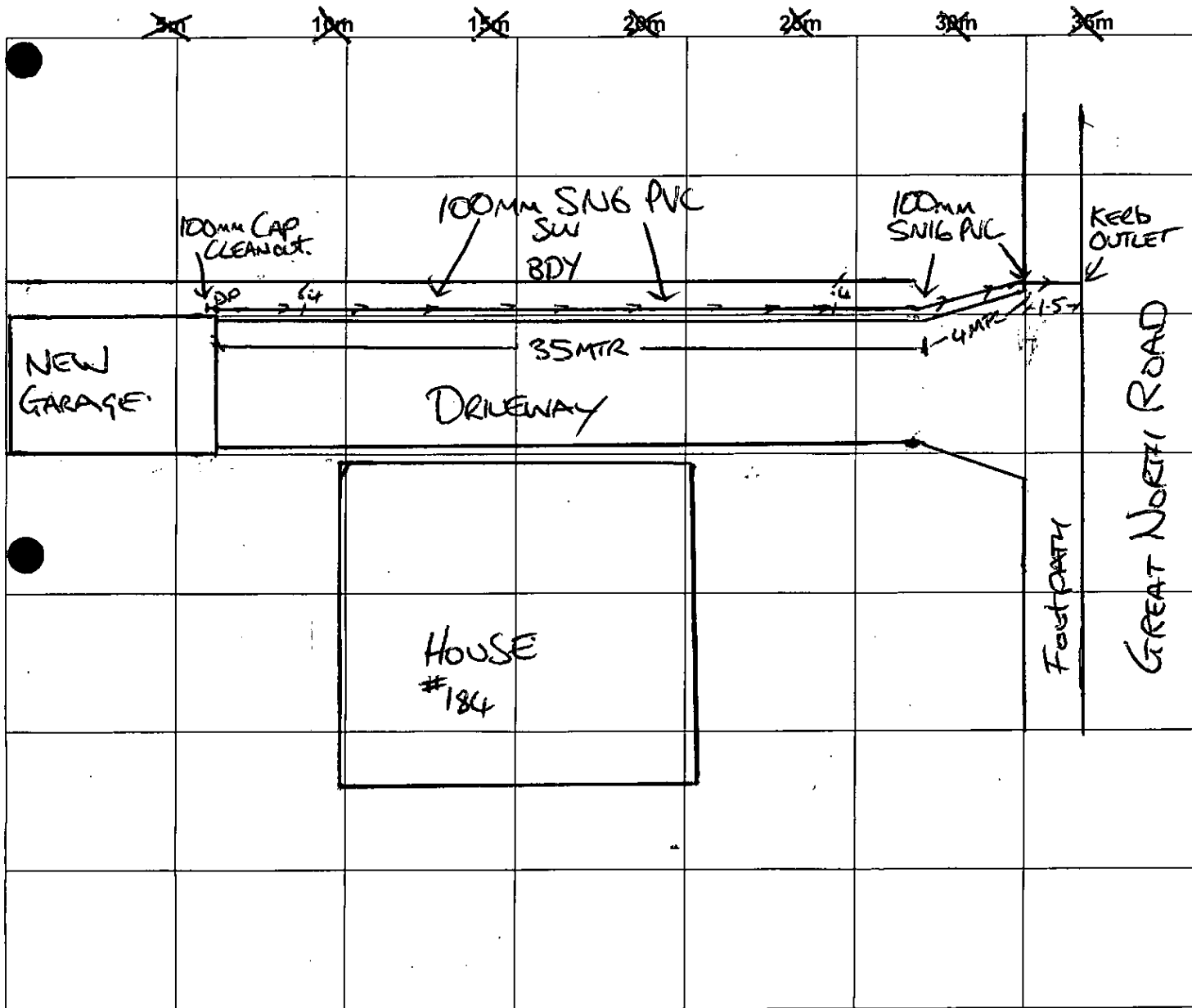
Building Consent Number: ABA-2009-821 Inspector: _____

Owner's Name: EL CALLAO LIMITED Drainlayer's Name: MARK HEYWOOD

Site Address: 184 Great North Road, HENDERSON

Lot & DP: LOT 1 DP 192062 Date Inspected: _____

Drainage plans are required for all new work and extensions to drains including effluent disposal systems. The plan is to be completed accurately drawn in ink to a scale of 1:200 and must show clearly the street boundary, property boundaries, outline of the buildings as well as the layout of all drains and inspection fillings. Please indicate the scale used if it is different than 1:200. Please ensure that this as built plan is completed prior to the inspection of the drainage work. Failure to comply may delay the approval of your work.



Prop ID: 11696

For more information: Administration Building, 6 Henderson Valley Road, Henderson. Telephone: (09) 839 0400 Facsimile: (09) 836 8001



SOIL & ROCK CONSULTANTS

Consulting Geotechnical Engineers

Henderson Office
387 Great North Road Henderson, PO Box 21 424, Auckland 1231
Phone: (09) 835 1740
Fax: (09) 835 1847

Client: Ian McManus

Sheet: 1

Site Address: 184 Great North Road, Glendene

Garage Roof Runoff Disposal

Date: 14 /07/ 2009

By: ZV

Ref:

Scoria Trench (20 – 50mmØ):

- To hold 25mm of rainfall
- Collects water from rooftop and discharges into trench
- Similar to Auckland City Council detail – Stormwater Soakage Design Manual

Notes:

- Trench not to be located within 1.5m of boundaries or buildings and 2.0m from sanitary sewer
- Trench not to be located within 1.0m of a retaining wall

Calculations:

Rainfall = 25mm = 0.0025m

Porosity 20 -50mmØ Scoria = 0.5

Roof Area (Garage) = 5.98(4.03) = 24.1m²

∴ Total rainfall volume = 0.6m³ = 600 L

With a porosity of 0.5, total storage required = 600/0.5 = 1200 L = 1.2m³ of scoria fill

Trench Specifications:

Height = 0.7m

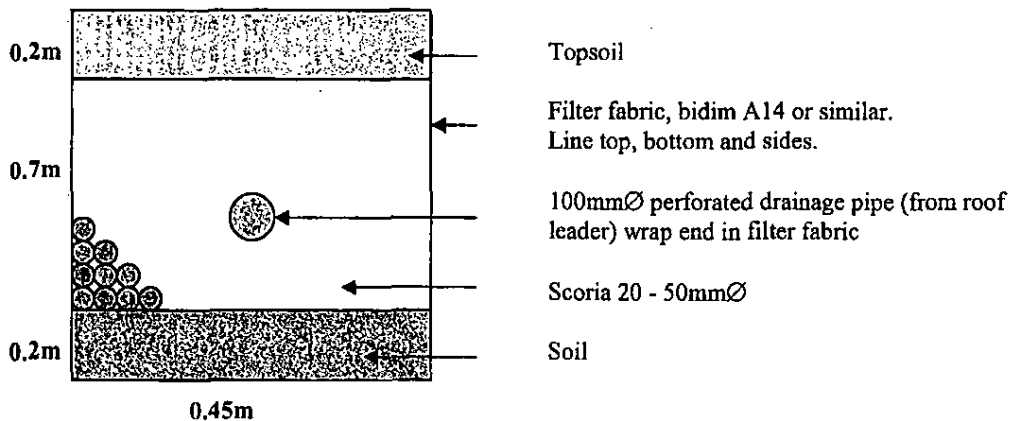
Width = 0.45m

Length = 3.8m

Volume = 0.7(0.45)(3.8) = 1.2m³

Stormwater Rainfall Storage Volume = 1.2m³(0.5) = 0.6m³ = 600 L

Trench Profile:



STAMPED

Great North Road

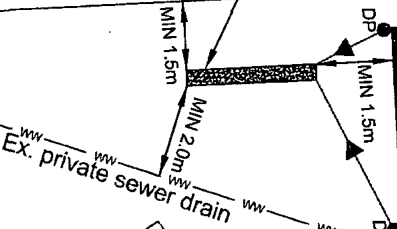
Garage
Roof Area = 24.1 m²

Prop. Scoria Trench
Length 3.8m x Width 0.45m x Depth 0.7m
Must be 1.5m from Boundaries and
Buildings and 2.0m from sanitary sewers
As per ACC ' Scoria Trench' detail

Unit 186
Lot 2
DP 192062
0.0466ha

150mmØ public sewer drain

EX. SANMH



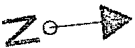
Grassed Area

EX. Paved Driveway

Unit 184
Lot 1
DP 192062
0.0647ha

Unit 182
Lot 2
DP 41129
0.1113ha

SUPERSEDED



NOTES:

1. Locations of features approximate only.
 2. Location of all buried services to be verified prior to construction.
 3. Original sheet size A3
 4. Boundary information on this Site Plan adapted from information on Quickmap by Custom Software
 5. Boundary/Cross section positions based on Borehole/Cross section positions based on Summit GPS
- B. Soil and Rock Consultants Site plan adapted from 184 Great North Road - Site Plan Plan by Architect

DATE	REV	DESCRIPTION

Check all dimensions and levels on all before commencing construction.
This drawing and design remains the property of Queensland Civil and Environmental Engineers Pty Ltd.
written permission of Queensland Engineers Ltd.

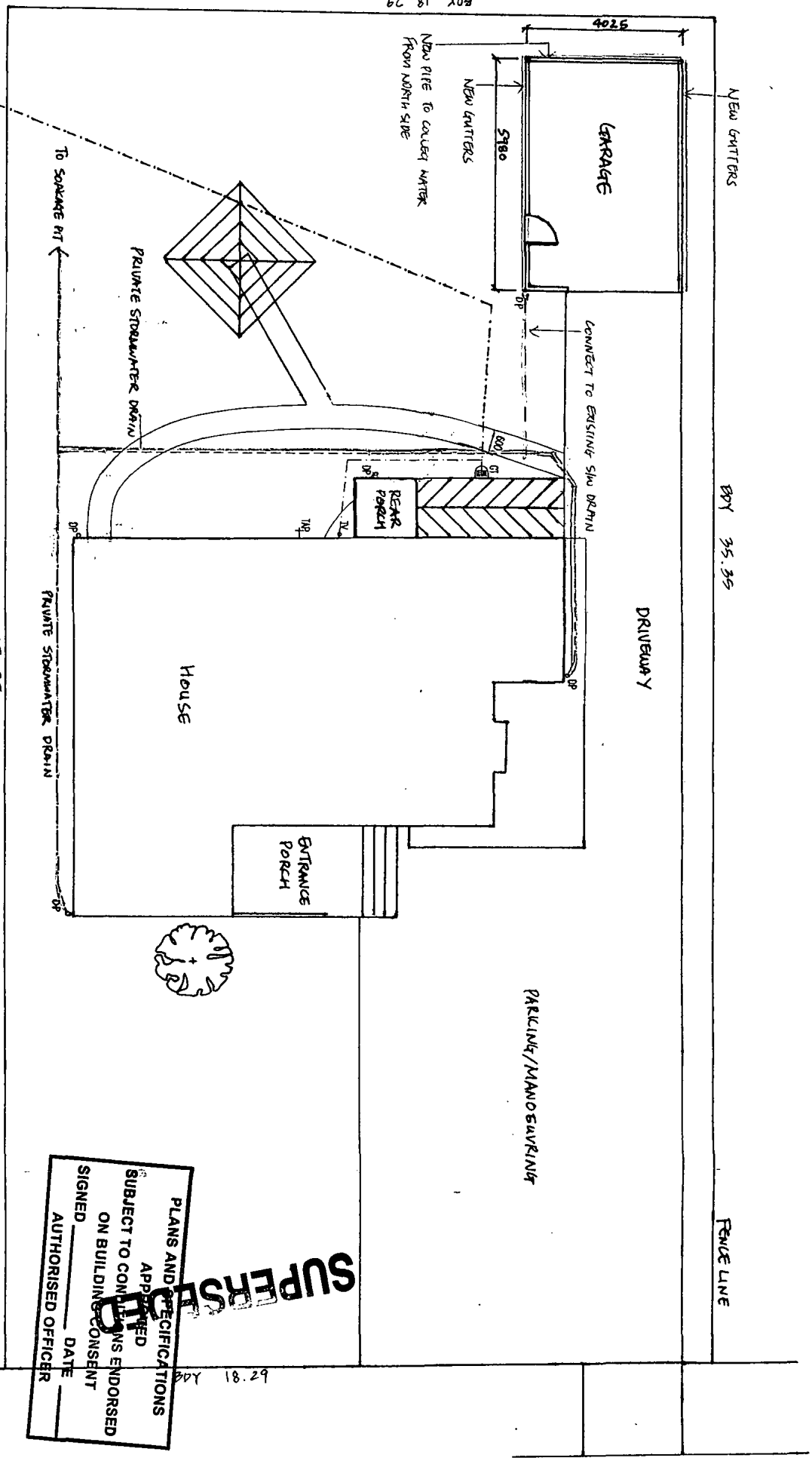
SoilaRock Consultants
CONSULTING ENGINEERS
184 Great North Road
Glendene QLD 4112
Phone: 07 559 1700
www.soilark.com.au

184 Great North Road
Glendene

SITE PLAN	
09359 /1	ISSUE DATE: 14 July 2009
SCALE: 1:200	CHECKED: []
AT A3	REV: []
CAD REF:	

150 PA. PUBLIC SEWER

BDY 18.29



BDY 35.35

BDY 35.35

FENCE LINE

FENCE LINE

GREAT NORTH ROAD

PLANS AND SPECIFICATIONS
 APPROVED
 SUBJECT TO CONDITIONS ENDORSED
 ON BUILDING CONSENT
 SIGNED _____ DATE _____
 AUTHORISED OFFICER

SUPERSEDED

184 GREAT NORTH ROAD GLENDENE		SCALE 1:100
LOT1 DP 192062		DATE PROPOSED WORKS
		EXISTING SW DRAIN
		MINOR PLUMBING AND DRAINAGE CONSENT - CONVERT GARAGE TO EXISTING STRUCTURE LINE



Application form for Building consent and/or Project Information Memorandum

Section 33 or section 45 Building Act 2004

Consent number <u>ABA 2009-821</u>	Date received <u>15 JUN 2009</u>	Office use only <u>MIN. P + D - JOHN G.</u>
	<u>17 JUN 2009</u>	

1. THE OWNER <u>EL CALLAO LIMITED</u> Name of owner <u>Annabel Khoo</u> If owner is a company or trust provide name of contact person _____ Mailing address <u>PO Box 47020</u> <u>Ponsonby</u> <u>Auckland.</u> Street address <u>66 Vermont Street</u> (For courier) <u>Ponsonby</u> <u>Auckland 1144</u> Landline number <u>09 360 8656</u> Mobile number <u>021 274 7786</u> After hours <u>021 274 7786</u> Facsimile number <u>09 360 8655</u> Email address <u>annabelkhoo@gmail.com</u>	2. AGENT* (only required if application is being made on owners behalf) Name of agent _____ If agent is a company or trust provide name of contact person _____ Mailing address _____ Street address _____ (For courier) _____ Landline number _____ Mobile number _____ After hours _____ Facsimile number _____ Email address _____
---	--

3. LICENSED BUILDING PRACTITIONERS (Complete this section ONLY if a Licensed Building Practitioner has been engaged)

Design License No. _____	Contact person _____	Ph number _____
Site License No. _____	Contact person _____	Ph number _____
Builder License No. _____	Contact person _____	Ph number _____
DIY _____	Contact person _____	Ph number _____

4. APPLICATION

I request that you issue a building consent project information memorandum for the building work described in this application. (Please tick one or both as appropriate)

Project Information Memorandum Number (If applied for previously) _____

 Contact phone number/s 021 274 7786

GST Number _____

I will notify council if any of the information provided on this application form changes before building consent is granted.

 Signature of owner/agent  Date 15/6/09
5. THE BUILDING

 Address of building 184 Great North Road, Glendene.

 Legal description: Lot Number 1 DP Number 192062

 Building name/Trading name Garage

 Location of building within site/block number North west corner at end of driveway

 Level/unit number - Site Area (m2) 647

 Current, lawfully established, use garage

 Include number of occupants per level and per use none Year first constructed approx. 2005

6. THE PROJECT

Stage 1 of an intended 1 Stage~~s~~

Description of the building work:

(Provide sufficient description of building work to enable scope of work to be fully understood continue on a separate page if necessary, or refer to an attached documents setting out the description)

Refer to attached letter

What is the existing use of the building? garage

Will the building work result in a change of use for the building? Yes No *(Please tick appropriate one)*

If yes, provide details of the new use _____

Does the building work create a granny flat and/ or minor unit? Yes No *(Please tick appropriate one)*

Intended life of new building *(if less than 50 years)* N/A

Estimated value of intended work *(include GST)* \$1000+

Existing gross floor area (m2) 24 Floor area of new work (m2) - Total floor area (m2) 24

List consents (if any) previously issued for this project *(resource, building, subdivision)* -

7. PROJECT INFORMATION MEMORANDUM *(Complete this section ONLY if you are applying for a Project Information Memorandum)*

The following matters are involved in this project: *(Tick relevant matters)*

- Subdivision
- Alterations to land contours
- New or altered connections to public utilities
- New or altered locations and/ or external dimensions of buildings
- New or altered access for vehicles
- Building work over or adjacent to any road or public place
- Disposal of stormwater
- Building work over any existing drains or sewers or in close proximity to wells or water mains
- Other matters known to the applicant that may require authorisations from the territorial authority: *(please specify)* _____

8. THE BUILDING CONSENT *(Complete this section ONLY if you are applying for a building consent)*

The following plans and specifications are attached to this application: *(Please tick appropriate box)*

- Specifications
- Calculations
- Producer Statement
- Plans*
- Other _____

**Provide two sets of plans and a third copy of floor plans with application as specified on Lodgement Checklist*

Do any of the drawings for building consent include any existing building work constructed without building consent/ permit?

(Please tick appropriate box)

Yes No

Does the property have an outstanding Notice to Fix? *(Please tick appropriate box)*

Yes No

If yes, please include copy of Notice to Fix with application.

9. The building work will comply with the following code(s): (Complete this section ONLY if you are applying for a building consent)

Clause (involved in the proposed work)	Means of Compliance (refer to compliance documents(s) or detail of alternative solution in the plans or specifications)	Clause (involved in the proposed work)	Means of Compliance (refer to compliance documents(s) or detail of alternative solution in the plans or specifications)
B1 Structure	<input type="checkbox"/> B1/AS2 <input type="checkbox"/> NZS 3604 <input type="checkbox"/> NZS4229 <input type="checkbox"/> NZS4203 <input type="checkbox"/> Other _____	G1 Personal hygiene	<input type="checkbox"/> G1/AS1 <input type="checkbox"/> Other _____
B2 Durability	<input type="checkbox"/> B2/AS1 <input type="checkbox"/> NZS 3101 <input type="checkbox"/> NZS3604 <input type="checkbox"/> NZS3602 <input type="checkbox"/> Other _____	G2 Laundering	<input type="checkbox"/> G2/AS1 <input type="checkbox"/> Other _____
C1-4 Fire	<input type="checkbox"/> C/AS1 <input type="checkbox"/> Other _____	G3 Food preparation and prevention of contamination	<input type="checkbox"/> G3/AS1 <input type="checkbox"/> Other _____
D1 Access Routes	<input type="checkbox"/> D1/AS1 <input type="checkbox"/> NZS 4121 <input type="checkbox"/> Other _____	G4 Ventilation	<input type="checkbox"/> G4/AS1 <input type="checkbox"/> AS1668.2 <input type="checkbox"/> Other _____
D2 Mechanical installations for access	<input type="checkbox"/> D2/AS1 <input type="checkbox"/> NZS 4332 <input type="checkbox"/> EN81 <input type="checkbox"/> EN115 <input type="checkbox"/> Other _____	G5 Interior environment	<input type="checkbox"/> G5/AS1 <input type="checkbox"/> Other _____
E1 Surface water	<input type="checkbox"/> E1/AS1 <input checked="" type="checkbox"/> AS/NZS3500.3 <input type="checkbox"/> Other _____	G6 Airborne and impact sound	<input type="checkbox"/> G6/AS1 <input type="checkbox"/> Other _____
E2 External moisture	<input type="checkbox"/> E2/AS1 <input type="checkbox"/> Specific design and testing <input type="checkbox"/> Other _____	G7 Natural light	<input type="checkbox"/> G7/AS1 <input type="checkbox"/> Other _____
E3 Internal moisture	<input type="checkbox"/> E3/AS1 <input type="checkbox"/> Other _____	G8 Artificial light	<input type="checkbox"/> G8/AS1 <input type="checkbox"/> NZS 6703 <input type="checkbox"/> Other _____
F1 Hazardous agents on site	<input type="checkbox"/> F1/AS1 <input type="checkbox"/> Other _____	G9 Electricity	<input type="checkbox"/> G9/AS1 <input type="checkbox"/> Other _____
F2 Hazardous building materials	<input type="checkbox"/> F2/AS1 <input type="checkbox"/> NZS4223	G10 Piped services	<input type="checkbox"/> G10/AS1 <input type="checkbox"/> NZS 5261 <input type="checkbox"/> Other _____
F3 Hazardous substances	<input type="checkbox"/> F3/AS1 <input type="checkbox"/> Other _____	G11 Gas as an energy source	<input type="checkbox"/> G11/AS1 <input type="checkbox"/> Other _____
F4 Safety from falling	<input type="checkbox"/> F4/AS1 <input type="checkbox"/> FSP Act <input type="checkbox"/> Other _____	G12 Water supplies	<input type="checkbox"/> G12/AS1 <input type="checkbox"/> AS/NZS3500.2 <input checked="" type="checkbox"/> AS/NZS3500.5 <input type="checkbox"/> Other _____
F5 Construction and demolition hazards	<input type="checkbox"/> F5/AS1 <input type="checkbox"/> Other _____	G13 Foul water	<input type="checkbox"/> G13/AS1 <input type="checkbox"/> BS5572 <input type="checkbox"/> AS/NZS3500.2 <input type="checkbox"/> Other _____
F6 Lighting for emergency	<input type="checkbox"/> F6/AS1 <input type="checkbox"/> Other _____	G14 Industrial liquid waste	<input type="checkbox"/> G14/AS1 <input type="checkbox"/> Other _____
F7 Warning systems	<input type="checkbox"/> F7/AS1 <input type="checkbox"/> NZS1668 <input type="checkbox"/> NZS4512 <input type="checkbox"/> NZS4515 <input type="checkbox"/> Other _____	G15 Solid waste	<input type="checkbox"/> G15/AS1 <input type="checkbox"/> Other _____
F8 Signs	<input type="checkbox"/> F8/AS1 <input type="checkbox"/> Other _____	H1 Energy efficiency	<input type="checkbox"/> H1/AS1 <input type="checkbox"/> NZS 4218 <input type="checkbox"/> NZS4243 <input type="checkbox"/> NZS4241 <input type="checkbox"/> ALF Design Manual <input type="checkbox"/> Other _____

IMPORTANT NOTICES

Commencement of work

A building consent cannot be issued for any work that has been commenced/ completed prior to the granting of the building consent. Undertaking building work before the consent is granted is an offence under the Building Act 2004 for which the owner and contractors can be prosecuted and fined. I confirm that this application does not relate to building work that has already been commenced.

Availability of Information

The information collected in this form is required under the provisions of the Building Act 2004. This information forms part of the Council's records relating to the property and will be held for at least the life of the building to which it relates. The information is available to any person who wishes to inspect Council's records except for those plans marked confidential under Section 217 of the Building Act 2004. Information relating to the applicant/ owner, the project and the property contained in this form will be used as part of the statistical information produced by the Council which is provided to Statistics New Zealand and Quotable Values and is also available, for a fee, to any person upon request from the Council.

Fees

A fee is required on lodgement of all applications. All base fees and lodgement fees are the minimum operational costs incurred by Council and are therefore non-refundable. All other fees shall be paid in full without set-off or deduction of any kind within 14 days of the date of the invoice or prior to the issue of the Building Consent, whichever is the sooner. The owner shall further pay to Waitakere City Council, all costs and expenses (including costs on a solicitor/ client basis and debt collector's costs) incurred in the enforcing attempting to enforce these terms and conditions or in seeking payment of all fees. Where you fail to make payment of any amount the due date, Waitakere City Council may in addition require you to compensate it by making payment of interest as liquidated damages on the amount due from the due date for payment until the date of actual payment at a rate equal to the current overdraft interest rate Waitakere City Council has with its principal registered bank. All development contributions will be billed to the owner(s). Refer to the current Regulatory Fees & Charges Schedule for upfront Building Consent fees.

10. BUILDING CONSENT APPLICATION CHECKLIST

Please check that all items on the checklist relevant to your building consent have been completed and included. The application will not be accepted by Council unless all the required and appropriate information is provided.

Attachments

- | | |
|--|--|
| <input checked="" type="checkbox"/> Lodgement Checklist | <input type="checkbox"/> Application for Compliance Schedule |
| <input type="checkbox"/> Water meter connection form | <input type="checkbox"/> Development Contribution Notice |
| <input type="checkbox"/> Project Information Memorandum(PIM)/ Certificate attached to PIM | <input type="checkbox"/> Application for Vehicle Crossing/ Street damage deposit |
| <input checked="" type="checkbox"/> Certificate of Title* / letter of authorisation from the owner for agent to make application on the owner's behalf | |
| <input checked="" type="checkbox"/> Plans and specifications (as listed by applicant under section 8 "The Building Consent" above) | |

*Certificate of Title must not be older than 90 days

DECLARATION

All the above information is, to the best of my knowledge, true and correct. I understand that all plans, documentation and reports submitted as part of an application are required to be kept available for public record. Therefore the public may view this application, once submitted.

I have authorisation from my co-owners to sign this application on their behalf. If this application is submitted by an agent a letter of authorisation from the owner to make the application in their behalf has been provided. The letter outlines alternative billing instructions if the primary contact for billing is not the owner.

Signature of Owner*/ Authorised agent _____ Date 15/6/09

*If application submitted on behalf of company/ trust include copy of authorising documents for the company/trust and sign below.

I, Annabel Khoo have authority to bind the trust/ company to the agreement.

Signature  Date 15/6/09

SUBMITTING YOUR APPLICATION

To submit your application for Building Consent via a pre-lodgement meeting, please call Waitakere City Council Customer Services to arrange meeting time. Phone 839 0400.

Location for pre-lodgement meeting: Waitakere Central, 6 Henderson Valley Road, Henderson

Alternatively mail your Application for Building Consent to: Waitakere City Council, Private Bag 93109, Henderson, WAITAKERE 0650

If you have any queries about any part of the Building Consent process, please contact our Customer Services line 839 0400 or email info@waitakere.govt.nz

15 June 2009

Waitakere City Council
Private Bag 93109
Henderson
Waitakere City 0650
Attn: Jonathan Mailata

Dear Jonathan

184 GREAT NORTH ROAD, GLENDENE
APPLICATION FOR MINOR PLUMBING AND DRAINAGE CONSENT

We respond to the Council's letter dated 16 March 2009 to address the stormwater disposal on the above property.

Following meetings with Andrew Holmes and yourself, we propose to collect the stormwater run off from the garage roof and connect it to the existing private stormwater line running between the house and the garage.

We have obtained aerial photographs from the years 2000 and 1959 from the Council and the ARC respectively and note that there has been a garage of essentially the same size (or slightly larger) in essentially the same location since the 1950s.

We have also obtained from the Council property file a site plan which indicates that there is a private stormwater line taking stormwater from the house (and probably the original garage) along the western edge of the house. Accordingly, we propose to:

1. Provide new gutters on the north and south sides of the garage
2. Run a pipe along the back of the garage from the north side to the south side
3. Connect the two sets of guttering to the existing private stormwater line to the west of the house.

All work will be undertaken by a registered drainlayer to Council's normal standards. We have owned the property since December 2006 and had the same tenants the whole time. The tenants advise us that they have never observed any ponding on the site or any water bubbling out of the ground where the downpipes from the house enter the ground. You would be welcome to talk with our tenants to verify this. Given the small roof area involved, the longstanding presence of a garage of essentially the same size in essentially the same location, probably connected into the same private network, and the advice from our tenants that they have not observed any

drainage issues on the site, we anticipate that connecting the garage to the existing private system will provide a satisfactory solution to the present situation.

We have attached to this letter the following documents:

- Application form (building consent)
- Lodgement check list (building consent)
- Certificate of title
- Letter of authorisation
- A3 site/drainage plan
- A4 aerial photograph from 1959 (from ARC)
- A4 aerial photograph from 2000 (from WCC)

Although the replacement of the garage was undertaken by a previous owner, we are keen to resolve the issue, and would like to thank you for your assistance to date. Please do not hesitate to contact the undersigned if you have any questions.

Yours Sincerely,



Annabel Khoo

El Callao Ltd

PO Box 47020

Ponsonby

Auckland 1144

Ph: 360 8656

Mob: 021 274 7786

GtNth WCC Ltr 09-0615

16 June 2009

EL CALLAO LIMITED
C/- Annabel Khoo
PO Box 47020
Ponsonby
AUCKLAND 1144

Dear Sir / Madam

**DETERMINATION OF INCOMPLETE APPLICATION
IN ACCORDANCE WITH THE BUILDING ACT 2004**

Building Consent Application: ABA-2009-821
Application Location: 184 Great North Road, HENDERSON
Description of Project: Connect stormwater line from existing garage to the existing stormwater system.

We acknowledge lodgement of your application.

The information you have provided with the application is not sufficient to enable an adequate assessment of your proposal. Therefore, in accordance with the Building Act 2004 your application has been rejected for the following reasons:

Lodgement fee of \$248.00 required.

Please note that the Council has also attached to this letter all papers associated with your application. The Council has retained no copies of your application.

In accordance with the Building Act 2004, the processing of your application cannot proceed until this information is received.

If you have any queries regarding the above, please contact Customer Services on (09) 839-0400.

Yours faithfully

Jonathan Mailata
Counter Services



Waitakere City Council
16 March 2009

The Director
El Callao Limited
P O Box 47-020
Ponsonby
AUCKLAND 1144

Waitakere City Council
Waitakere Central
6 Henderson Valley Road
Henderson 0612

Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 836 8000

24Hr Call Centre
09 839 0400

Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

Website: www.waitakere.govt.nz

Dear Sir/Madam

**STORMWATER DISPOSAL - LOCAL GOVERNMENT ACT 1974
LOT 1 DP 192062**

ADDRESS:

**184 GREAT NORTH ROAD
HENDERSON
WAITAKERE CITY**

A recent inspection at the above address has been undertaken by Council following the receipt of a complaint regarding excessive stormwater run-off. It has revealed the following:

- No guttering and spouting fitted to the garage located to the rear of the site
- General lack of provision for drainage to the driveway and vehicle manoeuvring area

As owner of the property you are required to convey roof/surface water to an appropriate outfall to be installed by a registered drainlayer to the provisions of the Local Government Act 1974, section 459, for which a building (minor drainage) consent is required from Council.

We are concerned to note that these issues were first raised in 2005 and subject of a requisition (reference **REQ 2005-839**) which also extends to the garage itself. This structure appears to have been unlawfully constructed. When requested to address these issues the previous owners proceeded to apply for building consent (reference **COM 2006-0369**) to have the garage dismantled and re-constructed. However, the building consent was subsequently cancelled and Council's fees refunded.

There appears to have been no progress made beyond that point. Apart from the pressing issues concerning drainage which have now re-surfaced the separate issue, that of the legality of the garage urgently needs to be addressed. The procedure prescribed by current legislation is an application for certificate of acceptance under section 97 of the Building Act 2004 which will usually involve an inspection and report from an independent building consultant. This procedure will not necessarily call for the disassembly and reconstruction of the garage as originally proposed. An extension to the existing drainage system is likely to be required and will call for building consent. The building consent and certificate of acceptance will be considered together and can be looked upon as complementary.

Your co-operation would be appreciated to ensure that repair work is initiated within one month from receipt of this letter. Should you wish to discuss any aspect of this

requirement, please contact the writer at Council's offices between 9:00 a.m. and 3:00 p.m.

Yours faithfully

Andrew Holmes
ENFORCEMENT OFFICER - BUILDING

15 June 2009

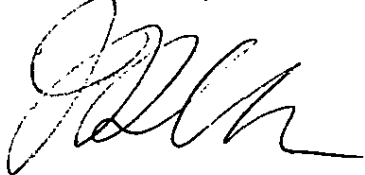
Waitakere City Council
Private Bag 93109
Henderson
Waitakere City 0650
Attn: Jonathan Mailata

Dear Sir

LETTER OF AUTHORISATION, 184 GREAT NORTH ROAD, GLENDENE

I confirm that Annabel Khoo has authority to act on behalf of El Callao Ltd for all matters in relation to the above property.

Yours Sincerely,



Iain McManus
Director, El Callao Ltd
PO Box 47020
Ponsonby
Auckland 1144
Mob: 021 360 866
Email: iainmcmanus@gmail.com

GtNth WCC Auth 09-0615



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy


R.W. Muir
Registrar-General
of Land

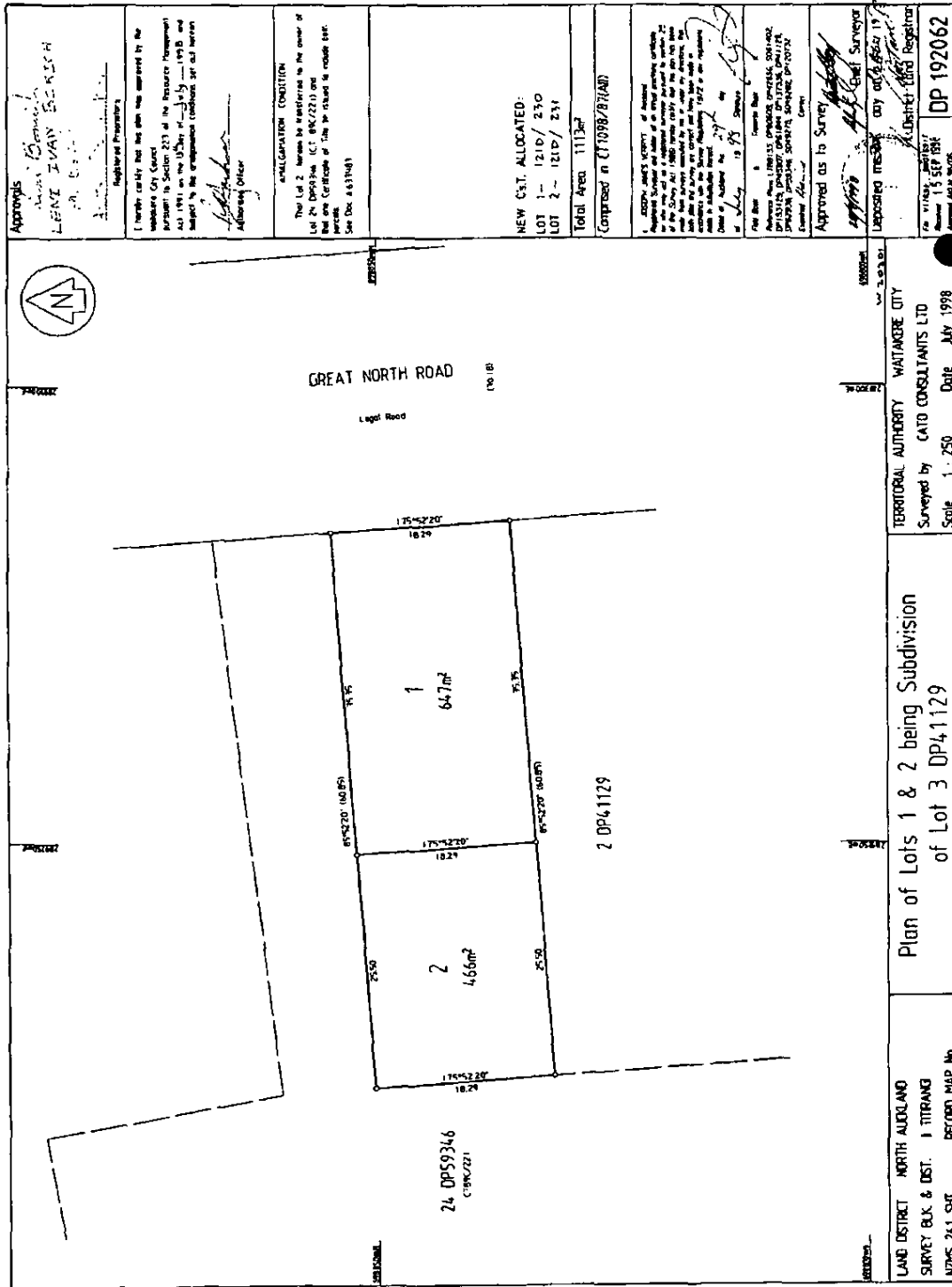
Identifier NA121D/230
Land Registration District North Auckland
Date Issued 30 October 1998

Prior References
NA1098/87

Estate Fee Simple
Area 647 square metres more or less
Legal Description Lot 1 Deposited Plan 192062

Proprietors
El Callao Limited

Interests
7167733.3 Mortgage to ANZ National Bank Limited - 18.12.2006 at 9:00 am



Approvals
 Approved by
 LEANI IVAN BISHOP
 Regional Proprietor

1. Transfer of title to the owner of the land shown in the plan approved by the Waitakere City Council pursuant to Section 223 of the Resource Management Act 1991 on the 15th day of July 1998 and subject to the covenants contained in and hereon.
 Approved Officer

CONVEYANCE CONDITION
 The Lot 2 herein is transferred to the owner of Lot 24 DP59346 (C 18/2/21) on the condition that the certificate of title for the land is made in accordance with the provisions of the Resource Management Act 1991.
 See Doc. 4437461

NEW C.S.T. ALLOCATED:
 LOT 1 - 121D/230
 LOT 2 - 121D/231
 Total Area 111.367
 Comprised in (1898/8740)

1. ACCORDING TO THE SURVEY OF THE LAND SHOWN IN THE PLAN APPROVED BY THE WAITAKERE CITY COUNCIL PURSUANT TO SECTION 223 OF THE RESOURCE MANAGEMENT ACT 1991 ON THE 15TH DAY OF JULY 1998 AND SUBJECT TO THE COVENANTS CONTAINED IN AND HEREON, THE SURVEYOR HAS MADE THE FOLLOWING ALLOCATION OF THE LAND SHOWN IN THE PLAN TO THE LOTS SHOWN IN THE PLAN.
 Date of Allocation 15 SEP 1998
 Surveyor

Approved as to Survey
 Approved as to Survey

DP 192062
 15 SEP 1998

TERRITORIAL AUTHORITY WAITAKERE CITY
 Surveyed by CATO CONSULTANTS LTD
 Scale 1:250 Date July 1998

Plan of Lots 1 & 2 being Subdivision
 of Lot 3 DP41129

LAND DISTRICT NORTH AUCKLAND
 SURVEY B.L.K. & DIST. 1 TITIRANGI
 RECORD MAP No.

9 NOV 1998

(UPDATE DETAILS) (NEW SEARCH)

(COMPANY DETAILS | FORMER DIRECTORS | CHARGES - PPSR | HISTORIC ADDRESSES)

Company Number	1877466	View Certificate Of Incorporation
Company	EL CALLAO LIMITED	(EMAIL CERTIFICATE)
Incorporated	19-OCT-2006	View Online Extract
Current Status	REGISTERED	(EMAIL EXTRACT)
Entity Type	Company	
Constitution Filed	Yes	(CERTIFICATE OF GOOD STANDING)
Annual Return Filing Month	June	

[Print This Page](#)

Previous Names

No Previous Names on record

Address Details

Registered Office

C/-Neesham Pike Thomas Limited
 2 Pompallier Terrace
 Ponsonby
 Auckland

Address for Service

C/-Neesham Pike Thomas Limited
 2 Pompallier Terrace
 Ponsonby
 Auckland


Directors

Name	Date Appointed:
MCMANUS, Iain Frederick 66 Vermont Street, Ponsonby, Auckland	19-OCT-2006

Share Parcels

Total Number of shares	100	
Number of Shares	100	
Shareholder(s)	MCMANUS, Iain Frederick	66 Vermont Street, Ponsonby, Auckland



Documents Registered

Date	Barcode	Description	File Size	Available
30-JUN-2008 15:04:05		Online Annual Return		
29-JUN-2007 13:51:22		Online Annual Return		
 20-OCT-2006 13:24:45		Adoption/Amendment Of	93 Kb	

Constitution

19-OCT-2006 10:57:52

Application To Incorporate A
Company

- | |
|---|
|  <u>19-OCT-2006 10:57:52</u> <u>30011125311</u> <u>Consent Of Director</u> <u>31 Kb</u> |
|  <u>19-OCT-2006 10:57:52</u> <u>30011125322</u> <u>Consent Of Shareholder</u> <u>29.2 Kb</u> |

[Click to download viewing software.](#)

Printed: Tuesday, 16th June 2009 10:47:43

CERTIFICATE OF INCORPORATION

EL CALLAO LIMITED
1877466

This is to certify that EL CALLAO LIMITED was incorporated under the Companies Act 1993 on the 19th day of October 2006.

Neville Harris

Registrar of Companies
16th day of June 2009



EcoWater (Network Utility Operator) Checklist for Building & Resource Consents

Application Address: 184 St Hill Rd	LUC-
Applicant Name:	SUB-
Type of Development:	ABA-
	COM- 20090821
Checklist Completed By: Wahneem Rahman	Date: 15/06/2009
Assets & Network Approvals By:	Date:
Quality Check & Approvals By:	Date:

	CHECKLIST ITEM	DP, COP, POLICY (Specification)	ASSESSMENT (Fill in Data or Circle One Option)			
			yes	no	n/a	
APPLICATION & SITE INFORMATION	Infringement Types (relating to EcoWater)	Consent Document / Planner				
	Notified Consent	Consent Document / Planner	yes	no	n/a	if yes, Team Leader sign-off
	Pre-Application - RMA Number	PRE-	yes	no	n/a	
	Pre-Application - OSS Advice	DS Database/Pathway Property Memo	yes	no	n/a	
	Requisitions (relating to EcoWater)	Pathway / InfoBase	yes	no	n/a	
	Hansen Jobs	Hansen	yes	no	n/a	
	EcoWater Property File	relevant documents or advice	yes	no	n/a	
	Human Environment	GIS - human environment layer				Living
	Natural Environment	GIS - natural environment layer				hansen
	Special Subdivision Area (eg Structure Plan)	DP Maps & Variations	yes	no	specify:	
Riparian Margin	GIS - natural environment layer	yes	no	n/a		
Stability Sensitive	requires Geotech report	yes	no	n/a		
Hazards & Special Features	Pathway Property Conditions	yes	no	n/a	Horticulture	

	WATERCARE SERVICES LTD	DP, COP, POLICY (Specification)	ASSESSMENT (Fill in Data or Circle One Option)				
			yes	no	n/a		
OTHER APPROVALS REQUIRED	Works within 10m of WSL WW or WS lines.	WSL approval given in writing	yes	no	n/a	if no, applicant must provide	
	Trade Waste Discharge Consent	WSL approval for industrial discharge	yes	no	n/a	if no, applicant must provide	
	AUCKLAND REGIONAL COUNCIL						
	WCC comprehensive discharge consent	application complies with CMP	yes	no	n/a	if no, amend proposal or apply to ARC	
	Urban - new impermeable >1000m ²	pipe discharges to coast / tidal area	yes	no	n/a	SWQT, energy dissipation	
		pipe discharges to fresh water stream	yes	no	n/a	SWQT, energy dissipation, detention	
	New pipe outlet to coastal or stream environ.		yes	no	n/a		
	Rural - more than 5 Lot subdivision		yes	no	n/a		
	Filling in 1%AEP floodplain		yes	no	n/a		
	Downstream flooding or erosion		yes	no	n/a		
	Works within 50m of a watercourse		yes	no	n/a		
	Culvert more than 20m long		yes	no	n/a		
	WCC ASSETS & NETWORK						
	Building over/near >150mm WW drain	approval given	yes	no	n/a	if no, amend proposal	
	Building over/near >350mm SW drain	approval given	yes	no	n/a	if no, amend proposal	
Building platform clear of large drains	(build over, reroute, amend boundaries)	yes	no	n/a	if no, discuss with Team Leader		
Stream crossing	approval given (bridge or culvert)	yes	no	n/a			
Esplanade reserve if stream >3m wide	check if required by Parks	yes	no	n/a			
Drainage reserve	required by Assets	yes	no	n/a			
Utility reserve	required by Assets	yes	no	n/a			
Twin Streams property purchase	property identified for purchase	yes	no	n/a	if yes, discuss with Team Leader		
NEIGHBORING PROPERTIES							
Services connection points located in neighbouring properties	Private agreement for access (no Council involvement)	yes	no	n/a	Add to SPECDE report & alert planner. Condition - cannot commence consent until connections in place.		

	EARTHWORKS & GEOTECH	DP, COP, POLICY (Specification)	ASSESSMENT (Fill in Data or Circle One Option)			
			yes	no	n/a	
EARTHWORKS & GEOTECH	Earthworks near stream / overland flowpath	inside 1%AEP flood area	yes	no	n/a	if yes, discuss with Team Leader
	Earthworks over drains	minimum coverage 1200mm roads	yes	no	n/a	
		minimum coverage 750mm other	yes	no	n/a	
		max. coverage 2000mm (class 2)	yes	no	n/a	
		raise manhole lid level & access	yes	no	n/a	
		lower manhole lid level & access	yes	no	n/a	
	retaining walls over/within 2m of drains	bridging piles - min. clearance 1m	yes	no	n/a	
	Geotech Report	instability, slips, stream erosion	yes	no	n/a	
		specific stormwater disposal	yes	no	n/a	
		specific wastewater disposal	yes	no	n/a	
specific pipe/trench design		yes	no	n/a		
specific bridge/foundation design		yes	no	n/a		

CHECKLIST ITEM	DP, COP, POLICY (Specification)	ASSESSMENT (Fill In Data or Circle One Option)					
Supercatchment name	GIS - project table - StwSupCatShp	Anderson Grak South - 10					
Catchment Management Plan	proposal complies with CMP	yes	no	n/a			
Integrated Catchment Management Plan	proposal complies with ICMP	yes	no	n/a			
WCC - Comprehensive Discharge Consent	proposal complies with CDC	yes	no	n/a			
CATCHMENT INFORMATION	Site affected by flooding or overland flow	close to stream or large dia SW pipes	yes	no	n/a		
	Flooding assessment provided (open stream)	check rainfall, catchment area etc	yes	no	n/a		
	Geotech assessment of stream bank erosion	check, setback required	yes	no	n/a		
	Riparian Margin	refer GIS natural areas map	yes	no	specify:		
	Overland flowpath assessment provided	check rainfall, catchment area etc	yes	no	n/a		
	Easements required for flood areas		yes	no	n/a		
	Crossing major stream - bridge required	check abutments, x-section, velocity	yes	no	n/a		
	Driveways <200mm flood during 1%AEP		yes	no	n/a		
	Private culverts - 5yr capacity & condition	as-built, cctv, calcs, erosion, upgrade	yes	no	n/a	adequate	upgrade
	Fish Passage on culverts / outlets	complies with TP131	yes	no	n/a		
	Piping of stream proposed	not allowed, not in accord with policy	yes	no	n/a	if yes, discuss with Team Leader	
	Buildings entirely outside 1%AEP floodplain	refer DP, Hazards	yes	no	n/a	if no, discuss with Team Leader	
	Minimum floor level required	Manukau Coastal - R.L. 2.74m + 1.0m	yes	no	n/a		
		Waitemata Coastal - R.L. 2.25m + 1.0m	yes	no	n/a		
		All Streams - 0.5m freeboard	yes	no	n/a		
OLF Catchment >2Ha - 0.5m freeboard		yes	no	n/a			
OLF Catchment <2Ha - 0.2m freeboard		yes	no	n/a			
	specified in Flood Report	yes	no	n/a			

CHECKLIST ITEM	DP, COP, POLICY (Specification)	ASSESSMENT (Fill In Data or Circle One Option)					
INFRASTRUCTURE - WATER SUPPLY	WS - existing connection	GIS, Pathway Water Billing	yes	no	n/a	new connection	
	WS - separate meters for each Unit/Lot	check Pathway, manifold for units	yes	no	n/a	new connection	
	WS - backflow prevention required	check COP and ByLaw	yes	no	n/a		
	WS - building over waterpipes	not allowed - reroute waterpipes	yes	no	n/a		
	WS - pressure zones	change at approx R.L. 60.0m	yes	no	n/a		
	WS - pressure to long/steep driveways	check HGL minus R.L. is >35m	yes	no	n/a		
	WS - new public water main	not under driveway/carriageway	yes	no	n/a		
	WS - tank supply only	reduce mitigation requirements	yes	no	n/a		
	Fire hydrant within 270m / 135m / 90m / 65m	GIS - use ruler (along roads/driveways)	yes	no	n/a	existing	new
	Fire hydrant - flow available for NZFS Class		Res-25l/s	schl-50l/s	ind-100l/s	lge comm-200l/s	
	Domestic sprinkler system for fire coverage	check water supply system capacity	yes	no	n/a		
	Rural / Urban fire districts	GIS - project tbl - RuralFire... / UrbanFire...	Urban	Huia	Piha	Waiaatarua	Rural
	Urban fire district without fire coverage	design provided to NZFS COP	yes	no	n/a		

CHECKLIST ITEM	DP, COP, POLICY (Specification)	ASSESSMENT (Fill In Data or Circle One Option)					
INFRASTRUCTURE - WASTE WATER	WW - inner drainage area (reticulated)	GIS - project table - InnerDmBdy	yes	no	n/a		
	WW - works over/within 2m of drains/MHs	1m clear, cctv, no build over connections	yes	no	n/a		
	WW - pipe material earthenware	automatic relay required (no CCTV)	yes	no	n/a	(for building consent)	
	WW - pipe material CPVC/PE	CCTV - relay if bad condition	yes	no	n/a	(for building consent)	
	WW - existing connection/disconnect	GIS - Infrastructure Layer	yes	no	n/a	dry chamber	new
	WW - all of site served by gravity	1m above invert of public drain or pump	yes	no	n/a	if no, discuss with Team Leader	
	WW - new public drainage	refer COP, no conflict with trees	yes	no	n/a	if yes, discuss with Team Leader	
	WW - new public drainage	serve upstream catchment	yes	no	n/a	construct	easement
	WW - privately owned drains	check ownership in GIS	yes	no	n/a	if yes: can't authorise - need owners approval	
WW - on-site disposal (septic systems)	GIS - Infrastructure Layer	yes	no	n/a	existing	new	

CHECKLIST ITEM	DP, COP, POLICY (Specification)	ASSESSMENT (Fill In Data or Circle One Option)					
INFRASTRUCTURE - STORM WATER	SW - works over/within 2m of drains/MHs	1m clear, cctv, no build over connections	yes	no	n/a		
	SW - existing connection/disconnect	GIS - Infrastructure Layer	yes	no	n/a	wet chamber	new?
	SW - all of site served by gravity	1m above soffit of public drain	yes	no	n/a	if no, discuss with Team Leader	
	SW - downstream capacity for MPD	check GIS modelling	under	over	unknown	if under, require SW mitigation	
	SW - new public drainage	within 100m of bdy, no conflict with trees	yes	no	n/a	if yes, discuss with Team Leader	
	SW - new public drainage	serve upstream catchment	yes	no	n/a	construct	easement
	SW - privately owned drains	check ownership in GIS	yes	no	n/a	if yes: can't authorise - need owners approval	
	SW - existing discharge point	check GIS, as-builts, consent plans etc	pipe	kerb	soakage	watercourse	coast
	SW - approved discharge point	stormwater pipe connection (reticulated)	yes	no	n/a	if yes: may be subject to conditions	
	SW - approved discharge point	kerb & channel (non-reticulated)	yes	no	n/a	if yes: mitigation required	
	SW - approved discharge point	soakage (non-reticulated)	yes	no	n/a	if yes: mitigation required	
SW - approved discharge point	watercourse (new outfall)	yes	no	n/a	if yes: mitigation required		
SW - approved discharge point	coastal outfall	yes	no	n/a	if yes: stormwater quality treatment required		

So disposal not known? Kerb & channel??

	CHECKLIST ITEM	DP, COP, POLICY (Specification)	ASSESSMENT (Fill In Data or Circle One Option)				
			2	10	100	34.5mm/24hrs	
STORMWATER MANAGEMENT / LOW IMPACT DESIGN / TUSC	Stormwater mitigation for storm events	refer CMP, pipe modelling, COP, ARC	2	10	100	34.5mm/24hrs	
	Impermeable Surfaces allowed	refer District Plan Rules	10%	15%	20%	60%	90%
	Impermeable Surfaces restricted	refer Consent Notice / previous SUB	specify:				
	Impermeable Surfaces exceed allowable %	refer site plan - actual %	yes	no	n/a	if yes, require SW mitigation	
	ICMP Req Low Impact Design (LID)		yes	no	n/a		
	TUSC - Dev Con Remission	outline mitigation requirements below	yes	no	n/a	TUSC score:	
	Bush Planting	mitigate 1%AEP or pay Twin Streams	yes	no	area:		
	Twin Streams Payment	mitigate 1%AEP or pay Twin Streams	yes	no	amount:		
	Rain Water Reuse Tank (full or partial)	mitigates 1/2 roof area, max 100m ²	yes	no	size:	TANK or 60%.	
	Detention Tank	mitigation level required	yes	no	size:		
	Low Flow Water Saving Devices		yes	no	size:		
	Rain Garden		yes	no	size:		
	Permeable Paving		yes	no	size:		
	Downstream Stormwater Quality Device	check pipe system discharge point	yes	no	size:		
	Stormwater Quality Treatment Required	roads, driveways, industrial roofs, coast	yes	no	size:		

	CONTRIBUTIONS						remission: \$
			yes	no	n/a		
	Development Contribution - TUSC Remission		yes	no	n/a		\$
	Financial (RMA) - Water Supply	GIS project tbl - Developer Contr.	yes	no	n/a		\$
	Financial (RMA) - Wastewater	GIS project tbl - Developer Contr.	yes	no	n/a		\$
	Financial (RMA) - Stormwater Quantity	GIS project tbl - Developer Contr.	yes	no	n/a		\$
	Financial (RMA) - Stormwater Quality	GIS project tbl - Developer Contr.	yes	no	n/a		\$
	Financial (RMA) - Twin Streams Oratia	zone/proposal (credit bush planting)	med.dens	resid.	foothills	commercial	\$
	Financial (RMA) - Twin Streams Opanuku	zone/proposal (credit bush planting)	med.dens	resid.	foothills	commercial	\$
	WCC contribution towards cost of asset	discuss with Assets and T. L.	yes	no	specify: %		\$ (max)

	MEDIUM DENSITY & APARTMENT DEVELOPMENTS					
			yes	no	n/a	
	Building over public drains	not allowed - reroute drains	yes	no	n/a	
	Public drains in front yards (not under drive)		yes	no	n/a	
	Avoid retaining walls over new public drains		yes	no	n/a	
	Private drainage or devices	body corporate rules - maintenance	yes	no	n/a	only private if no upstream catchment
	Cutoff drains & fall from basement parking		yes	no	n/a	
	Basement - cesspits pump to sewer/SWQT	no SWQT for basement parking	yes	no	n/a	
	Check public watermain capacity/pressure	may need to upgrade public mains	yes	no	n/a	
	Internal fire sprinkler system	check flow rates available	yes	no	n/a	
	Water supply pressure zones per floor		yes	no	n/a	
	Bulk Council water meter & private meter/unit	body corporate rules - water charging	yes	no	n/a	
	SW contribution charged by impermeable m ²		yes	no	n/a	

	SUBDIVISIONS					
			yes	no	n/a	
	Unit title subdivision (will have body corp.)	private devices and drains OK	yes	no	n/a	
	Cross lease	separate private drainage	yes	no	n/a	
		consent notice re shared drainage	yes	no	n/a	
	Freehold subdivision	platform free of hazards/large drains	yes	no	n/a	if no, discuss with Team Leader
		all public devices and drains	yes	no	n/a	if no, discuss with Team Leader
		culvert under shared drive - private	yes	no	n/a	if no, discuss with Team Leader
		boundaries over manholes	yes	no	n/a	if no, amend plans
		ICT Infrastructure on new public road	yes	no	n/a	condition to require ICT
		sites large enough for on-site WW	yes	no	n/a	if no, amend plans
	Urban Design (liase with Parks/Roads etc)	on-site WW disposal all within bdy	yes	no	n/a	if yes, amend plans or move WW
		road next to stream or reserve	yes	no	n/a	
		integrated SW devices/amenity	yes	no	n/a	

Building consent application process sheet Amended plans - Un-issued consents

Address	184 Great North Rd Glendene	Lot	11	Account Manager	John
ABA/COM	2009-821	DP	42187	Date received	7-8-09

REQUIRED INSPECTIONS:

- B1 Siting and Foundations
- B2 Reinforced Concrete and Blockwork
- B3 Tanking
- B4 Floor Slab
- B5 Specialty Slab
- B6 Timber Sub Floor
- B7 Framing
- B8 Building Wrap and Cavity
- B9 Cladding - Plaster

Second-hand Building Materials Report Attached: YES / NO

- B10 Cladding - Brick Veneer
- B11 Cladding - Other
- B12 Pre-Line Building
- B13 Waterproof Membranes
- B14 Gibnail
- B15 Final Building
- P1 Pre-Floor Plumbing
- P2 Pre-Line Plumbing
- P3 Drainage
- P4 Pre On-Site Waste Water Disposal
- P5 On-Site Waste Water Installation
- P6 Final Plumbing
- W1 Weather tightness
- 222 Resource Consent Monitoring
- MISC Miscellaneous
- DEM Demolition
- SFH Solid Fuel Heating
- F2 Pool Fencing

	TO	DATE IN	DATE OUT	SENT TO	PAUSED (P=Paused)	APPROVED BY (F=Final)	STAFF CODE	TIME
	112 Process Support	7-8-09	10-8-09	11M	F	YM		0.35
	113 Building Surveyor							
	114 Plumbing & Drainage Surveyor (Retic. Site)							
	11S Plumbing & Drainage Surveyor (Septic Tanks)							
	115 Structural Check							
	11E EcoWater	10/8/09	11/8/09	11M	F	ARh	MR	PW
		12 AUG 2009	13/8/09	11M	F	ARh	MR	PW
	11F Fire & Egress							
224C ISSUED	11L Resource Planner							

Financial contributions	Yes / No	Is a section 37 required?	Yes / No If yes →	<input type="checkbox"/> No building work to commence <input type="checkbox"/> Specific building work to commence
Uplifted		Date:		

	11M Account Manager	10-8-09	10/8/09	11E	-	Kirsty	KL	0.2
		11-8-09	12 AUG 2009	11X	F	J	PEI	0.2
RMA	11X Final	14/8/09	14/8/09	Plup	F		PV	.75
	Document Preparation							

BUILDING SURVEYORS PROCESSING SHEET

Structural check report – residential or minor building works

Calculations and Producer Statement check

Each of the items must be checked and the box ticked:

- 1. Site not stability sensitive
- 2. Calculations provided
- 3. Calculations cover all work on drawings requiring design

I recommend that the application be approved subject to the conditions listed below:

Signed by: Building Surveyor: Date:

STRUCTURAL ENGINEER'S PROCESSING SHEET

Commercial/Industrial/Assembly buildings

Residential buildings requiring geotechnical reports

- 1. The following items are required to further process this application: (see letter attached).

Signed: Structural Engineer Date:

- 2. I recommend that the application be approved subject to the conditions listed below:

Signed: Structural Engineer Date:

Processing time:

Staff Code	Conditions (incl. 1 to 3 standard conditions)

Staff Code	Notations

Building consent application process sheet

Minor plumbing and drainage

Address	184 Great North Rd	Lot	1	Account Manager	John
ABA/COM	2009-821	DP	192062	Date received	16/6/09

REQUIRED INSPECTIONS:

Second-hand Building Materials Report Attached: YES / NO

- | | | |
|---|---|--|
| <input type="checkbox"/> B1 Siting and Foundations
<input type="checkbox"/> B2 Reinforced Concrete and Blockwork
<input type="checkbox"/> B3 Tanking
<input type="checkbox"/> B4 Floor Slab
<input type="checkbox"/> B5 Specialty Slab
<input type="checkbox"/> B6 Timber Sub Floor
<input type="checkbox"/> B7 Framing
<input type="checkbox"/> B8 Building Wrap and Cavity
<input type="checkbox"/> B9 Cladding - Plaster | <input type="checkbox"/> B10 Cladding - Brick Veneer
<input type="checkbox"/> B11 Cladding - Other
<input type="checkbox"/> B12 Pre-Line Building
<input type="checkbox"/> B13 Waterproof Membranes
<input type="checkbox"/> B14 Gibnail
<input type="checkbox"/> B15 Final Building
<input type="checkbox"/> P1 Pre-Floor Plumbing
<input type="checkbox"/> P2 Pre-Line Plumbing
<input checked="" type="checkbox"/> P3 Drainage | <input type="checkbox"/> P4 Pre On-Site Waste Water Disposal
<input type="checkbox"/> P5 On- Site Waste Water Installation
<input checked="" type="checkbox"/> P6 Final Plumbing
<input type="checkbox"/> W1 Weather tightness
<input type="checkbox"/> 222 Resource Consent Monitoring
<input type="checkbox"/> MISC Miscellaneous
<input type="checkbox"/> DEM Demolition
<input type="checkbox"/> SFH Solid Fuel Heating
<input type="checkbox"/> F2 Pool Fencing |
|---|---|--|

	TO	DATE IN	DATE OUT	SENT TO	PAUSED (P=Paused)	APPROVED BY (F=Final)	STAFF CODE	TIME
	102 Process Support	16/6/09	18/6/09	10M	F	Pom	P.V	0.3
	103 Building Surveyor							
	104 Plumbing & Drainage Surveyor (Retic. Site)	19/6/09	22 JUN 2009	10M	F	J/N	PER	0.25
	10S Plumbing & Drainage Surveyor (Septic Tanks)							
	105 Structural Check							
	10F EcoWater	19 JUN 2009	18/6/09	104	P	Letter	MR PW	
	10F Fire & Egress							
		4/8/09		RRI				0.2
224C ISSUED	10L Resource Planner							

Financial contributions	Yes / No	Is a section 37 required?	Yes / No If yes →	<input type="checkbox"/> No building work to commence <input type="checkbox"/> Specific building work to commence
Uplifted		Date:		

	10M Account Manager	18/6/09	22 JUN 2009	2 JUN 2009	10X	P	PER	0.2
RMA	10X Final Document Preparation	22 JUN 2009	22/6/09	SUS	P	Letter	BS	0.35

BUILDING SURVEYORS PROCESSING SHEET

Structural check report – residential or minor building works

Calculations and Producer Statement check

Each of the items must be checked and the box ticked:

- 1. Site not stability sensitive
- 2. Calculations provided
- 3. Calculations cover all work on drawings requiring design

I recommend that the application be approved subject to the conditions listed below:

Signed by: Building Surveyor: Date:

STRUCTURAL ENGINEER'S PROCESSING SHEET

Commercial/Industrial/Assembly buildings

Residential buildings requiring geotechnical reports

- 1. The following items are required to further process this application: (see letter attached).

Signed: Structural Engineer Date:

- 2. I recommend that the application be approved subject to the conditions listed below:

Signed: Structural Engineer Date:

Processing time:

Staff Code	Conditions (incl. 1 to 3 standard conditions)
PE1	41, 42, 57, 58

Staff Code	Notations

Plumbing and Drainage		Initial or N/A
WCC Sanitary Sewers Checked:	Release/Hold	
ARC Sewers Checked:	Release/Hold	
WCC Stormwater Sewers Checked	Release/Hold	

Checklist for building consent document preparation Residential, commercial & minor P & D

Consent Number: 2009-821

The following should be checked on all consents:

1. **Section 71 (building on land subject to natural hazards)** – will be noted on process sheets - should have been to Legal Services and fees charged;
2. **Section 75 (construction of building on 2 or more allotments)** – will be noted on process sheets - should have been to Legal Services and fees charged;
3. **Second hand materials used** – will be noted on checklist – if report not attached to file, check with Account Manager
4. **Consent for more than one unit** – add urgent memo for call centre.
5. **Swimming / Spa Pool** – check for pool fencing guidelines, F02 inspection, inspection fee & registration fee
6. **Compliance schedule** – Load CERT inspection, generate SPECSYS, fees on fees letter, memo.
7. **If all required fees have been paid the building consent can be issued**– attach post-it note for the counter.

HARDCOPY FILES	
<input checked="" type="checkbox"/>	1. Check all "Paused" have been "Finalled" and account manager has signed.
<input checked="" type="checkbox"/>	2. Duplicate Only: Remove process sheet and planning checklist
<input checked="" type="checkbox"/>	3. Duplicate Only: Replace superseded plans. Check all plans signed
<input checked="" type="checkbox"/>	4. Original Only – Place amendment on top of each letter request.
PATHWAY	
<input checked="" type="checkbox"/>	5. Location Maintenance – Check against application form
<input checked="" type="checkbox"/>	Names Maintenance - C/- address and owners name should be showing
<input checked="" type="checkbox"/>	Dates - Application & Lodgement - Check against application form and any rejections
<input checked="" type="checkbox"/>	Fees –Are there any outstanding upfront fees?
<input checked="" type="checkbox"/>	Building Categories – Check for BT minor development categories & PIM questions
<input checked="" type="checkbox"/>	NZ Building Stats – Check Project Value, Intended Life, work types, floor area etc
<input checked="" type="checkbox"/>	Is a VXG required? – Lodge VXG application if value of work is over \$5000.
<input checked="" type="checkbox"/>	Check if Preliminary Street Damage inspection requested.
Conditions Maintenance	
<input checked="" type="checkbox"/>	6. Conditions - Check all conditions have been entered including 4 standard conditions.
<input checked="" type="checkbox"/>	Sort by Condition Group & re-order if required.
<input checked="" type="checkbox"/>	Section 37 – Is stop scheduling Inspections box ticked? Have planning seen FIR?
<input checked="" type="checkbox"/>	Add urgent memo to warn the call centre not to book inspections.
<input checked="" type="checkbox"/>	7. Notations – Check if notations have been entered?

<input checked="" type="checkbox"/>	8.	Inspections Maintenance – Have all inspections been entered? Is 222 Resource Consent Monitoring inspection required? Are resource consents related?
		Workflow – Continue Document Preparation task
<input checked="" type="checkbox"/>	9.	Related Applications – PIM, LUC, VXG & Water. Check fees have been entered.
<input type="checkbox"/>	10.	PIM - Generate, Format and print
<input checked="" type="checkbox"/>	11.	Conditions – Check formatting and print
<input checked="" type="checkbox"/>	12.	Inspection Sheets – Check, sort into numerical order by column 2, print
<input checked="" type="checkbox"/>	13.	Application status – Tick required option
<input type="checkbox"/>	14.	Notations –Manually generate, check and print
<input type="checkbox"/>	15.	Section 37 Certificate – Check and print
CALCULATE FEES		
<input checked="" type="checkbox"/>	16.	Check the Debtor and Receipt
<input checked="" type="checkbox"/>	17.	Close time recording tasks – check for hours, rate, activity code and billable tick. Doc Prep time entered for Process Support? Enter Records, Issue & Consultant Fees.
<input type="checkbox"/>	18.	For a Pre-Pathway application – have the additional steps been followed?
<input checked="" type="checkbox"/>	19.	Complete Time Cost Sheet & Compare with base fee.
<input checked="" type="checkbox"/>	20.	Enter Granted Fees.
<input type="checkbox"/>	21.	Section 37? – Charge fee
<input checked="" type="checkbox"/>	22.	Produce Invoice
<input checked="" type="checkbox"/>	23.	Enter any fees to be paid at issue stage. Do not transfer to Debtors
<input checked="" type="checkbox"/>	24.	Print GTD fees letter(s). Include all fees entered but not yet transferred to Debtors, Inspections, CCC, VXG, Water, Development Contributions, Compliance Schedule
<input checked="" type="checkbox"/>	25.	Double check amount due on letter against time cost sheet. Scan and attach Time cost sheet, time recording report and consultant invoices
<input checked="" type="checkbox"/>	26.	Copying, collating and filing – no staples left in file. Stamp copy of GTD letter with 'Consent Issued'. Is a VXG Bond Receipt Holder form required? E-mail to contact.
<input checked="" type="checkbox"/>	27.	Insert & start Pickup task
<input checked="" type="checkbox"/>	28.	Update Process sheet.
<input checked="" type="checkbox"/>	29.	Complete Clipboard showing consents waiting to be collected by Counter

Signed

P.V.

Dated

14/8/09

1. Your application will only be accepted if the information outlined in this checklist is provided.
2. Please work through this checklist and circle the information that you have provided.
3. Two (2) sets of plans and other documents are required; include a third copy of floor plans.
4. Drawings must be produced on a minimum A3 sheet size.
5. Only original copies will be accepted.
6. All drawings must meet the minimum requirements of the Technical Drawings standard AS/NZS1100 with equivalent Microsoft Word text size 11 (**free-handed drawings will not be accepted**)
7. If a Project Information Memorandum (PIM) has already been issued for this project, please provide a copy with this application.
8. 2nd hand building report is required if using second-hand materials or buildings.
9. If building is positioned over two or more allotments, a third set of plans is required.

Declaration

This section must be completed by applicant (*Please cross-out what is not applicable from the following statements*):

1. This work ~~is~~ / **is not** covered by a WHRS claim.
2. This work ~~does~~ / **does not** involve re-cladding as a result of leaking.
3. This work ~~includes~~ / **excludes** monolithic cladding.
4. This application ~~includes~~ / **excludes** a swimming pool or spa pool.
5. This property ~~is~~ / **is not** known to be in a flood affected area.
6. The building ~~does~~ / **does not** involve building over an existing boundary or two lots.
7. This building work **is** / ~~is not~~ as a result of a notice to fix.

Applicant's Signature: 

Date: 15/6/09

For Council Use only:

Consent Number: _____

Wind Zone: _____

District Plan: Human Environment _____

PIM Number: _____

District Plan: Natural Area _____

Natural Hazards _____

Other Relevant Consent Number/s: _____

Hazardous Facilities / Contaminated Sites _____

Stability Sensitive (Waitemata District Scheme) _____

Heritage Status _____

Impact on Waahi tapu? Yes / No

Archaeological Site? Yes / No

Customer Use

Council Use Only

Circle as appropriate			Doc reference/ Page #		Council Use Only			Comments
<input checked="" type="radio"/>	N	NA		Application form completed in full and signed	<input checked="" type="radio"/>	N	NA	
Y	N	NA		Water meter connection and location plan	Y	N	<input checked="" type="radio"/>	
Y	N	NA		Vehicle crossing form (if applicable)	Y	N	<input checked="" type="radio"/>	
Y	N	NA		Street damage exists – notification received	Y	N	<input checked="" type="radio"/>	
Y	N	NA		Application for septic tank (if applicable)	Y	N	<input checked="" type="radio"/>	
Y	N	NA		Second hand building materials	Y	N	<input checked="" type="radio"/>	
Y	N	NA		Road Opening Notices (RON)	Y	N	<input checked="" type="radio"/>	
Y	N	NA		Compliance Schedule	Y	N	<input checked="" type="radio"/>	

Customer Use				Council Use Only		
Circle as appropriate	Doc reference/ Page #					Comments
Y	N	NA	Swimming Pool Registration	Y	N	(NA)
Y	N	NA	Approval from Parks Department to build on Council Reserve	Y	N	(NA)
Y	N	NA	Application to erect a structure on a road reserve	Y	N	(NA)
Proof of Ownership						
(Y)	N	NA	Certificate of title and flats plan (no older than 90 days)	(Y)	N	NA
Y	N	NA	Sale and purchase agreement (full copy)	Y	N	(NA)
Y	N	NA	Letter from owner if applicant / agent is not owner (state details of the Authorisation from the owner to make the application on the owner's behalf)	(Y)	N	NA
(Y)	N	NA	If application is submitted on behalf of company/trust include copy of authorising documents for the company/trust.	(Y)	N	NA
Resource Consents (1 copy only)						
Y	N	NA	Copy of approved resource consent or reference number if application has been lodged (record consent number in comments)	Y	N	(NA)
District Plan / Site Plan Requirements (2 x copies of each of the following plans)						
Y	N	NA	Cross-lease property (minimum scale 1:100)	Y	N	(NA)
(X)	N	NA	Show entire property including boundaries for each unit and any common areas	Y	N	(NA)
Y	N	NA	Rural property Full site plan (note: smaller scale may be used for large sites)	Y	N	(NA)
Y	N	NA	o Source of potable water supply	Y	N	(NA)
Y	N	NA	o Test Report required if bore water being used	Y	N	(NA)
Y	N	NA	All other property (minimum scale 1:100)	(Y)	N	NA
Y	N	NA	Show all existing and proposed building and eaves line	(Y)	N	NA
(Y)	N	NA	Legal description and street address	(Y)	N	NA
Y	N	NA	Vehicle access and manoeuvring, finished levels of driveway. Each car park space must have dimensions of at least 2.5 x 5.0m and slope not exceeding 1 in 16 (6.25%)	(Y)	N	NA
Y	N	NA	Designated space (i.e. outdoor space – in living and rural villages only)	Y	N	(NA)
Y	N	NA	Site area and boundary dimensions	(Y)	N	NA
Y	N	NA	Building set-out (yard dimensions)	Y	N	NA
Y	N	NA	Calculations for building coverage	Y	N	(NA)
Y	N	NA	Calculations for existing and proposed impermeable surfaces (totals for each)	Y	N	(NA)
(Y)	N	NA	North point, boundary bearings	(Y)	N	NA

Customer Use			Council Use Only		
Circle as appropriate	Doc reference/ Page #				Comments

Y	N	NA	Datum and contours (or spot levels) Provide spot levels at corners of new building work and on the site boundaries immediately adjacent and at any point from which a height to boundary recession plane is measured.	Y	N	NA	
Y	N	NA	Volume of earthworks including cut and fill, including provision for silt control	Y	N	NA	
Y	N	NA	Differentiate between the earthworks within the building eaves line and outside the eaves line	Y	N	NA	
Y	N	NA	Retaining walls – proposed heights	Y	N	NA	
Y	N	NA	Site management plan showing: Provisions for the protection of public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise, traffic management	Y	N	NA	
Y	N	NA	Identify any trees protected by the District Plan, location, species, height, girth, extent of drip-line of all trees (incl. overhanging from neighbouring property and clearance required)	Y	N	NA	
Y	N	NA	Watercare Services Ltd. Approval if building within 10m of WSL line	Y	N	NA	
Y	N	NA	Show vehicle crossing – show 50 meters of roadway in each direction	Y	N	NA	
Y	N	NA	Finished floor level (relative to ground levels)	Y	N	NA	
Drainage Plan							
<input checked="" type="checkbox"/>	N	NA	Existing drainage	<input checked="" type="checkbox"/>	N	NA	
Y	N	NA	New private and public drainage/water course if to be used including manholes / invert levels	<input checked="" type="checkbox"/>	N	NA	
Y	N	NA	Septic tank and effluent	Y	N	NA	
Y	N	NA	Protection of public drains (if bridging or in close proximity a video maybe required) Buildings over or within 1.0m of a public sewer require a bridging design including actual invert levels	Y	N	NA	
<input checked="" type="checkbox"/>	N	NA	o Stormwater disposal	<input checked="" type="checkbox"/>	N	NA	
Y	N	NA	o Detention / retention tanks	Y	N	NA	
Y	N	NA	o Location of HWC, if external	Y	N	NA	
Y	N	NA	Retaining Walls	Y	N	NA	
Y	N	NA	o Show provisions for drainage	Y	N	NA	
Floor Plan (minimum scale 1:50 / Please provide extra copy)							
Y	N	NA	Proposed use of all spaces e.g. kitchen, bathrooms, toilets, etc.	Y	N	NA	
Y	N	NA	All rooms fully dimensioned	Y	N	NA	
Y	N	NA	Drawings must show key for elevations and include floor areas	Y	N	NA	
Y	N	NA	Smoke alarms and locations	Y	N	NA	
Y	N	NA	Window location / size	Y	N	NA	
Y	N	NA	Lintel / specific designed beams sizes	Y	N	NA	
Y	N	NA	Bracing type, location and length	Y	N	NA	
Y	N	NA	Location and type of hot water cylinder	Y	N	NA	

Customer Use				Council Use Only		
Circle as appropriate	Doc reference/ Page #					Comments
Y	N	NA	Location and type of heating – solid fuel / gas	Y	N	NA
Y	N	NA	Alterations	Y	N	NA
Y	N	NA	Existing floor plan and use of space	Y	N	NA
Y	N	NA	Proposed floor plan and use of space	Y	N	NA
Y	N	NA	New work must be clearly defined	Y	N	NA
Foundation – fully dimensioned (scale 1:100 or 1:50)						
Y	N	NA	Timber – pile type, size, location, fixing details	Y	N	NA
Y	N	NA	Sub-floor bracing, location, type, fixing details	Y	N	NA
Y	N	NA	Bracing calculations and layout	Y	N	NA
Y	N	NA	Bearer size and connection details	Y	N	NA
Y	N	NA	Floor joist layout and size	Y	N	NA
Y	N	NA	Concrete – width and depth of footing	Y	N	NA
Y	N	NA	Masonry and reinforcing details	Y	N	NA
Y	N	NA	Slab dimensions, point loads, pads, eg. Plumbing fixtures	Y	N	NA
Y	N	NA	Mesh size and type	Y	N	NA
Y	N	NA	Damp proof membranes	Y	N	NA
Y	N	NA	Raft floor – engineers design and calculations	Y	N	NA
Elevations (scale 1:100 or 1:50)						
Y	N	NA	Each external face of the building	Y	N	NA
Y	N	NA	Existing and finished ground levels	Y	N	NA
Y	N	NA	Ground clearances and cladding clearance	Y	N	NA
Y	N	NA	Joinery openings	Y	N	NA
Y	N	NA	Roof cladding and pitch	Y	N	NA
Y	N	NA	Eaves overhang	Y	N	NA
Y	N	NA	Gutter	Y	N	NA
Y	N	NA	Cladding type	Y	N	NA
Y	N	NA	Control joint location (if applicable)	Y	N	NA
Y	N	NA	Subfloor access and ventilation	Y	N	NA
Y	N	NA	Deck, balconies, chimney, and pergolas	Y	N	NA
Y	N	NA	Height in relation to boundary – building in relation to site boundaries. Spot levels on elevation drawings	Y	N	NA
Y	N	NA	Maximum height. Demonstrate compliance by rolling height or mean ground level method. Calculations may be required. (8 metre maximum height in Living Environment Zone)	Y	N	NA
Cross-sections (minimum scale 1:50) referencing all details and sheet numbers to full demonstrate scope of work						
Y	N	NA	Cross-sections and long-sections	Y	N	NA
Y	N	NA	Foundation / slab details showing	Y	N	NA
Y	N	NA	o piles, footing depth and width	Y	N	NA
Y	N	NA	o damp proof membrane	Y	N	NA
Y	N	NA	Timber floor construction details	Y	N	NA
Y	N	NA	o treatment level and type and fixing details	Y	N	NA
Y	N	NA	o insulation (type and R value)	Y	N	NA

Customer Use			Council Use Only		
Circle as appropriate	Doc reference/ Page #				Comments

Y	N	NA		o ground clearance in sub-floor space	Y	N	NA	
Y	N	NA		Wall framing construction details	Y	N	NA	
Y	N	NA		o treatment level and type (grade)	Y	N	NA	
Y	N	NA		o wall lining / insulation / building paper	Y	N	NA	
Y	N	NA		o wall cladding / cavity	Y	N	NA	
Y	N	NA		o finished floor levels	Y	N	NA	
Y	N	NA		Roof framing construction details	Y	N	NA	
Y	N	NA		o roof pitch	Y	N	NA	
Y	N	NA		o ceiling lining / insulation / building paper	Y	N	NA	
Y	N	NA		o roof cladding	Y	N	NA	
Y	N	NA		Retaining walls and drainage design	Y	N	NA	
Y	N	NA		Structural components and fixings	Y	N	NA	
Y	N	NA		Stairs and decks	Y	N	NA	
Y	N	NA		o barrier construction details	Y	N	NA	
Y	N	NA		o pitch, tread, riser heights	Y	N	NA	
Roof framing (scale 1:100 or 1:50)								
Y	N	NA		Truss or rafter layout shown as a buildable design	Y	N	NA	
Y	N	NA		Spacing and dimensions of all roof framing	Y	N	NA	
Y	N	NA		Roof catchments area, fall direction and gutter size	Y	N	NA	
Y	N	NA		Downpipe sizes and location	Y	N	NA	
Y	N	NA		Roof bracing	Y	N	NA	
Y	N	NA		Area and type of all membrane roofs	Y	N	NA	
Y	N	NA		Outfall and overflow locations	Y	N	NA	
Y	N	NA		Lintels & specific design beams	Y	N	NA	
Floor framing (minimum scale 1:50) required for each level of the building								
Y	N	NA		Subfloor and decks	Y	N	NA	
Y	N	NA		Pile type, size and location	Y	N	NA	
Y	N	NA		Sub-floor braces (location and direction)	Y	N	NA	
Y	N	NA		Bearer size, span and spacing	Y	N	NA	
Y	N	NA		Floor joist size, span and spacing	Y	N	NA	
Y	N	NA		Bracing calculations	Y	N	NA	
Y	N	NA		o subfloor	Y	N	NA	
Y	N	NA		o deck if > 2.0m wide	Y	N	NA	
Y	N	NA		Exposed deck fixings to be stainless steel or hot dipped galvanised with epoxy coating	Y	N	NA	
Y	N	NA		Timber mid-floor - joist layout, spacing, size, stairwell openings, treatment type and level	Y	N	NA	
Y	N	NA		Concrete mid floor - reinforcing, mesh, shrinkage control joints, damp proof membrane and thickness, point loads pads and thickenings	Y	N	NA	
Y	N	NA		Floor framing plans must also show - plumbing and drainage fixtures, pipe sizes and location	Y	N	NA	

Customer Use			Council Use Only		
Circle as appropriate	Doc reference/ Page #				Comments

Cladding details (scale 1:10 or 1:5) Drawings should be of sufficient scale and detail to enable construction						
Y	N	NA	Flashing details for window, doors and other openings including	Y	N	NA
Y	N	NA	o head, jamb and sill	Y	N	NA
Y	N	NA	o parapets	Y	N	NA
Y	N	NA	o balconies / decks	Y	N	NA
Y	N	NA	o balustrades	Y	N	NA
Y	N	NA	o apron flashings	Y	N	NA
Y	N	NA	o junctions and interfaces	Y	N	NA
Y	N	NA	o roof penetrations	Y	N	NA
Y	N	NA	o meter box, pipes, penetrations, flashings	Y	N	NA
Y	N	NA	Control joint design and location (monolithic only)	Y	N	NA
Y	N	NA	Manufacturer's technical installation details / data	Y	N	NA
Y	N	NA	Product accreditation or appraisal certificates for claddings	Y	N	NA
Y	N	NA	E2 risk matrix for each wall face	Y	N	NA
Plumbing and schematic						
Y	N	NA	Type of system - AS3500 or NZ Standards	Y	N	NA
Y	N	NA	Plumbing schematic (if 2 or more storeys)	Y	N	NA
Y	N	NA	Fixtures identified	Y	N	NA
Y	N	NA	Vent, waste sizes and materials	Y	N	NA
Y	N	NA	Floor finishes (wet and dry areas)	Y	N	NA
Internal elevations NOTE: to be provided where the cross-sections or floor plans do not show the finishes and materials for walls and floors.						
Y	N	NA	Wall finishes (wet and dry areas)	Y	N	NA
Y	N	NA	Benches – surface finish	Y	N	NA
Y	N	NA	Shower / bath – construction and waterproofing details	Y	N	NA
Specifications (2 copies minimum) Generic specifications will not be accepted.						
Y	N	NA	Specification relevant to project	Y	N	NA
Y	N	NA	Appropriate standards referenced	Y	N	NA
Y	N	NA	All technical sections or trades covered	Y	N	NA
Y	N	NA	Types of materials, finishes and fixings to be used	Y	N	NA
Y	N	NA	Heating (manufacturer's details)	Y	N	NA
Y	N	NA	Hot water (manufacturer's details and seismic restraint)	Y	N	NA
Product Literature (2 copies minimum)						
Y	N	NA	Technical data sheets for products to be used	Y	N	NA
Y	N	NA	Installations instructions	Y	N	NA
Y	N	NA	Product certification / appraisal certificates	Y	N	NA
Y	N	NA	Maintenance schedule	Y	N	NA
Bracing Calculations (2 copies minimum)						
Y	N	NA	Wind zone defined	Y	N	NA
Y	N	NA	Wall bracing layout showing length and type of brace - must be shown on plans	Y	N	NA

Customer Use			Council Use Only		
Circle as appropriate	Doc reference/ Page #				Comments

Y	N	NA	Wall bracing calculation sheets (required for each floor level)	Y	N	NA
Y	N	NA	Sub-floor bracing calculations	Y	N	NA
Y	N	NA	Deck sub-floor bracing calculations if > 2.0m wide	Y	N	NA
Design Reports and calculations (2 copies minimum) Note: All Engineers issuing a producer statement must be registered with the Waitakere City Council.						
Y	N	NA	Engineering design calculations	Y	N	NA
Y	N	NA	Engineering must be detailed on plans and show fixing details	Y	N	NA
Y	N	NA	o beams and lintels	Y	N	NA
Y	N	NA	o retaining walls	Y	N	NA
Y	N	NA	o other	Y	N	NA
Y	N	NA	Geotechnical report - a geotechnical report must be provided for sites steeper than 1:4 or where there are fill or stability issues	Y	N	NA
Y	N	NA	Swimming pool design and fencing	Y	N	NA
Y	N	NA	Fire report	Y	N	NA
Y	N	NA	Septic tank and effluent design	Y	N	NA
Y	N	NA	Soakage reports and construction details	Y	N	NA
Y	N	NA	Material compatibility schedule	Y	N	NA
Y	N	NA	Where glazing exceeds 30% of wall area an alternative solution must be provided	Y	N	NA
Y	N	NA	Acoustic reports (high noise route or Whenuapai Airbase contours, living accommodation in the working/community environment)	Y	N	NA

Comments:

FEEES FOR LODGEMENT ~~ARE~~ PAID 16-06-09 (INTERNET BANKING)
~~WHEN~~ PAYMENT REFLECTED ON WCC A/C 17-06-09.
 OK TO LODGE

Lodgement Officer:  Date: 17-06-09.

Please Note:
 This document has been produced to assist in the preparation of the documents required in the application of the Building Consent and is not in any way or form a Technical Processing Checklist.
 Once processing commences, information may still be requested to ensure compliance with the Building Act 2004, the NZ Building Code, and the Waitakere City council District Plan.
 We strongly recommend adhering to standard drafting practice (as outlined in NZ/AS 1100) and refer to the Department of Building and Housing (DBH) - "Guidelines to applying for a Building Consent". This can be found on the DBH website (www.dbh.govt.nz) or hard copies are available at our offices.
 The Building Consent Authority (BCA) requires all construction information and details to be provided on the relevant drawings, using clear scales and presented in a manner that can be efficiently processed.
 This Application Checklist may change due to our ongoing commitment to quality and education.

Great North Road

Garage

Roof Area = 24.1 m²

PVC stormwater line to be laid within grass verge alongside driveway

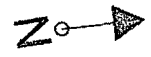
Discharge to kerb - detail to WCC requirements

Ex. Paved Driveway

Grassed Area

Unit 184
 Lot 1
 DP 192062
 0.0647ha

Unit 182
 Lot 2
 DP 41129
 0.1113ha



150mmØ public sewer drain

Ex. SANMH

Ex. private sewer drain

PLANS AND SPECIFICATIONS APPROVED
 SUBJECT TO CONDITIONS ENDORSED ON BUILDING CONSENT
 SIGNED *[Signature]* DATE 15/8/09
 AUTHORIZED OFFICER

NOTES:

1. Locations of features approximate only.
2. Location of all buried services to be verified prior to construction
3. Original sheet size A3
4. Boundary information on this Site plan adapted from information on Clickmap by Geom Services

AMENDMENTS	
DATE	REVISION DESCRIPTION

Check all dimensions and levels on site before commencing construction.

184 Great North Road

Glendene

SITE PLAN

SCALE: 1:200 AT A3	DATE: 14 JAN 2009
CHECKED: [Signature]	REV: [Signature]
CAD REF:	

Building Consent

SECTION 51, BUILDING ACT 2004



THE BUILDING

Street address of building: 184 Great North Road, HENDERSON

Legal description of land where building is located: LOT 1 DP 192062

*Building name:

‡Location of building within site/block number: LOT 1 DP 192062

‡Level/unit number:

THE OWNER

Name of owner: EL CALLAO LIMITED

*Contact person: EL CALLAO LIMITED

Mailing address: C/- Annabel Khoo, PO Box 47020, Ponsonby, AUCKLAND 1144

Street address/registered office:

Phone number: Landline: Mobile:

Daytime: After hours:

Facsimile number:

Email address:

Website:

First point of contact for communications with the council/building consent authority: †

BUILDING WORK

The following building work is authorised by this building consent:

Connect stormwater line from existing garage to the existing stormwater system.

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

‡This building consent is subject to the attached conditions:

1 page

COMPLIANCE SCHEDULE

A compliance schedule is not required for the building.

‡ATTACHMENTS

Copies of the following documents are attached to this building consent:

J Blas

Signature

Center Services

Position

On behalf of: Waitakere City Council

Date: 17 August 2009

*Delete if the applicant is an individual.

†Contact details must be in New Zealand.

‡Delete items not applicable.

§Delete if the building is intended to have a life of 50 years or more.

Notes (The following are not applicable for amendments):

1. On completion of the work covered by this building consent application must be made on the prescribed form for Code Compliance Certificate, once final inspection(s) have passed.
1. The building consent will lapse and be of no effect if the building work has not been commenced within 12 calendar months of the date of issue of the consent.
2. Work must be completed and the Code Compliance Certificate issued within 2 years of the date of approval for granting of the consent.

CONDITIONS OF BUILDING CONSENT ABA-2009-821

The above Building Consent has been approved today subject to the following conditions:-

1. To notations on plans.
2. The applicant shall take all steps necessary to avoid damaging the street, footpath or verge area and shall reinstate any damage to those areas to the satisfaction of Council.
3. Where one is not already constructed, the owner shall construct to a standard satisfactory to Council a vehicle crossing between the carriageway and the owner's land in accordance with Council Code of Practice.

If a non-standard crossing is required approval must be obtained from Transport Assets prior to construction of the crossing.

When excavating for the crossing the owner shall take all steps necessary to avoid damaging Council's watermain, which is generally located in the berm area with 450mm minimum cover. Where more than 250mm is being excavated the depth and location of the watermain should be confirmed by hand digging prior to commencement of excavation. (For further information please contact Council on phone 836-8045). In the event of any damage to the watermain the cost of any repairs will be charged to the owner.

4. Officers of Council are entitled at all times during normal working hours or while work is being carried out, to inspect
 - land on which building work is being or is proposed to be carried out
 - building work that has been or is being carried out on or off the building site
 - any building
5. Drainage shall be inspected and tested by Waitakere City Council Plumbing & Drainage Surveyor prior to backfilling.
6. Stormwater / sanitary drainage shall be carried out by a registered drainlayer in compliance with the NZ Building Code or an alternative solution approved by Council.
7. **As-Built Drawings:**
The drainlayer must provide an 'as-built' drainage drawing to the drainage surveyor at the time of the inspection.
8. The builder/drainlayer is to check and verify all drainage depths, positions and connections before commencing any work on site.
9. **PUBLIC DRAINAGE INFRASTRUCTURE – ECOWATER CONDITIONS**
(DE 1) Collect runoff from all downpipes in the garage and discharge to the kerb and channel via a new kerb outlet. Construct the kerb outlet as per SD 3.16 of WCC Code of Practice for City Infrastructure and Land Development. The applicant is required to submit a Road Opening notice to Council before commencing work within the legal road.

Requested Further Information (RFI) Form

IMPORTANT

Please read before completing this form:

1. RFIs can only be accepted if within the scope of works of the original Building Consent application. New work will require a new Building Consent. Work already started prior to an approved building consent requires a certificate of acceptance. Otherwise, the Council might not be able to issue a CCC upon completion of the project stated in the original building consent.
1. RFI Plans must be collated together when submitted to council as one document.
2. All changes must be highlighted on the RFI Plans and supplied to Council with a second copy.
3. Processing of RFIs will be charged at the actual processing time as per the current Regulatory Fees and Charges Schedule.

Tick to acknowledge that you have taken note of the above issues **THE OWNER****AGENT** only required if application made on owners behalf
 Name ELCALAO LTD
 Phone number 360 8656

 Name ANNABEL KHOO
 Phone number 360 8656 OR 021 274 7786
CONSENT INFORMATION
 Consent number ABA-2009-821
 Property address 184 GREAT NORTH RD, GLENDENE
Has an RFI resulted in an increase of estimated value of intended work?(please tick appropriate) Yes No

If yes, please state new estimated value of intended work _____

RFI DETAILS

Itemise all changes below (please use space overleaf should you require more lines)

PROPOSED ALTERNATIVE SOLUTIONS AS FOLLOWS:① DISCHARGE STORMWATER TO KERB② DISCHARGE STORMWATER TO SCOURIA TRENCH**DECLARATION**

The RFI plans as specified above have been attached and are ready for processing by council.

Applicant Name ELCALAO LTD, ATTN ANNABEL KHOOSignature  Date 5 AUGUST 2009

5 August 2009



Waitakere City Council
Building Consent Processing Unit
Private Bag 93109
Henderson
Waitakere City 0650

Dear Sir/Madam

Building Consent Application: ABA-2009-821

Application Location: 184 Great North Road, Glendene

Description of Project: Connect existing garage to stormwater

We refer to your letter dated 22 June 2009. Subsequent to that letter, we met with Mohammad Rahman of Ecowater. We have also taken advice from an engineer and drainlayer.

At our meeting with Mohammad, we proposed an alternative solution of discharging the stormwater from the garage to its own scoria trench. After consultation with his manager, Mohammad agreed that this would provide a satisfactory alternative and asked us to provide supporting plans and calculations.

Since then, we have also received advice that it would be feasible to discharge the stormwater from the garage via a line to the road kerb. We think this option has a couple of key advantages over on-site disposal. In particular, we note that discharging to the kerb would keep the stormwater away from the neighbour to the rear who we understand was the source of the original complaint. In addition, the continued effective operation of this option would not be dependent on periodic maintenance, so it represents a more reliable long term solution for all parties – us (or any future landowner), the neighbour and Council.

We have attached for your review plans for both options. Our preference would be for approval to discharge to the kerb, for the reasons outlined above, however, if this is not acceptable, we seek approval to discharge to a scoria trench.

Thank you for your assistance to date. Please feel free to call us if you have any questions regarding the above.

Yours Sincerely,

Annabel Khoo

El Callao Ltd

PO Box 47020

Ponsonby

Auckland 1144

Ph: 360 8656

Mob: 021 274 7786

Attachments

1. Preferred Option – Discharge to Kerb
2. ~~Alternative Option – Discharge to Scoria Trench~~
3. RFI Form

Copy

Mohammad Rahman, Ecowater

GtNth WCC Ltr 09-0805

EL CALLAO LIMITED
C/- Annabel Khoo
PO Box 47020
Ponsonby
AUCKLAND 1144

RRI.

Description: Connect stormwater line from existing garage to the existing stormwater system.

Application Location: 184 Great North Road, HENDERSON

Our Reference: ABA-2009-821

Dear Sir/Madam

Your application for building consent was processed for compliance with the requirements of the New Zealand Building Code and processing was suspended and a letter sent requesting further information.

To date we do not appear to have received a response to our letter and so we are now issuing a second request for this information. If no reply has been received within 7 working days this application will be refused under Section 50 of the Building Act 2004 without further reference.

Attached is a copy of our previous letter for your reference. All requested items must be collated together and submitted to Council as **one document**. Should this not occur the material will be returned to the applicant and the processing of your consent **will not recommence** until such time as all items requested below are received.

Please supply all requested information in duplicate, highlight all changes to any amended plans, complete the enclosed form, and send only to the following:

**Building Consent Processing Unit
Waitakere City Council
Private Bag 93109
Henderson
Waitakere City.**

Please note: It is important that your replies are not sent directly to the technical units or marked to the attention of specific officers.

Should you wish to discuss any of the technical requests above, please contact the staff member as indicated by phone on 839 0400.

Yours faithfully



Quentin Dagger
Team Leader
Building Consent Processing Unit
(Copy sent to owner)

4 August 2009

EL CALLAO LIMITED
PO Box 47020
Ponsonby
AUCKLAND 1144

Description: Connect stormwater line from existing garage to the existing stormwater system.

Application Location: 184 Great North Road, HENDERSON

Our Reference: ABA-2009-821

Dear Sir/Madam

Your application for building consent was processed for compliance with the requirements of the New Zealand Building Code and processing was suspended and a letter sent requesting further information.

To date we do not appear to have received a response to our letter and so we are now issuing a second request for this information. If no reply has been received within 7 working days this application will be refused under Section 50 of the Building Act 2004 without further reference.

Attached is a copy of our previous letter for your reference. All requested items must be collated together and submitted to Council as **one document**. Should this not occur the material will be returned to the applicant and the processing of your consent **will not recommence** until such time as all items requested below are received.

Please supply all requested information in duplicate, highlight all changes to any amended plans, complete the enclosed form, and send only to the following:

**Building Consent Processing Unit
Waitakere City Council
Private Bag 93109
Henderson
Waitakere City**

Please note: It is important that your replies are not sent directly to the technical units or marked to the attention of specific officers.

Should you wish to discuss any of the technical requests above, please contact the staff member as indicated by phone on 839 0400.

Yours faithfully



Quentin Dagger
Team Leader
Building Consent Processing Unit

(Copy for your interest - Original sent to authorised representative)

22 June 2009

EL CALLAO LIMITED
C/- Annabel Khoo
PO Box 47020
Ponsonby
AUCKLAND 1144

Building Consent Application: ABA-2009-821
Application Location: 184 Great North Road, HENDERSON
Description of Project: Connect stormwater line from existing garage to the existing stormwater system.

Dear Sir/Madam

Request for Further Information

A) Please note that District Plan compliance is assessed separately with the PIM application. You should refer to the PIM to identify all requirements in terms of District Plan matters. If changes are required to the Building Consent application as a result of resolving District Plan issues, a new Building Consent application may be required.

B) Council's Technical Specialists have now completed the initial processing of your consent. We request that you supply **two copies** of each of the following:

1. PUBLIC DRAINAGE INFRASTRUCTURE – ECOWATER REQUIREMENTS

Please contact Mohammad Rahman on 836 8000 extension 8576 for enquiries or clarification relating to the requirements numbered (DE1) below.

- (DE 1) The proposal is to discharge the stormwater runoff from the 24.1m² garage to the existing soakhole. Please demonstrate and provide calculations from a suitably qualified engineer that this soakhole has sufficient capacity to accommodate the runoff from the garage without any potential overflow.

Please highlight all changes on amended plans.

The enclosed Request to Process Amended Plans form must be completed and sent only to the following:

Building Consent Processing Unit
Waitakere City Council
Private Bag 93109
Henderson
Waitakere City 0650

We would appreciate the return of the **complete set** of information by **20th July 2009**, so that processing can continue without delay.

Please note, electronic submission of separate requirements will not be processed

Please also advise us in writing immediately should you no longer wish to proceed with this application.

Should you wish to discuss any of the technical requests above, please contact the staff member as indicated by phone on 839 0400.

Yours faithfully



John Guich

cc: **Owner:**
EL CALLAO LIMITED
PO Box 47020
Ponsonby
AUCKLAND 1144



Waitakere City Council
Te Taiao o Waitakere

Waitakere City Council
Waitakere Central
6 Henderson Valley Road
Henderson 0612

Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 836 8000

24Hr Call Centre
09 839 0400

Facsimile
09 836 8001

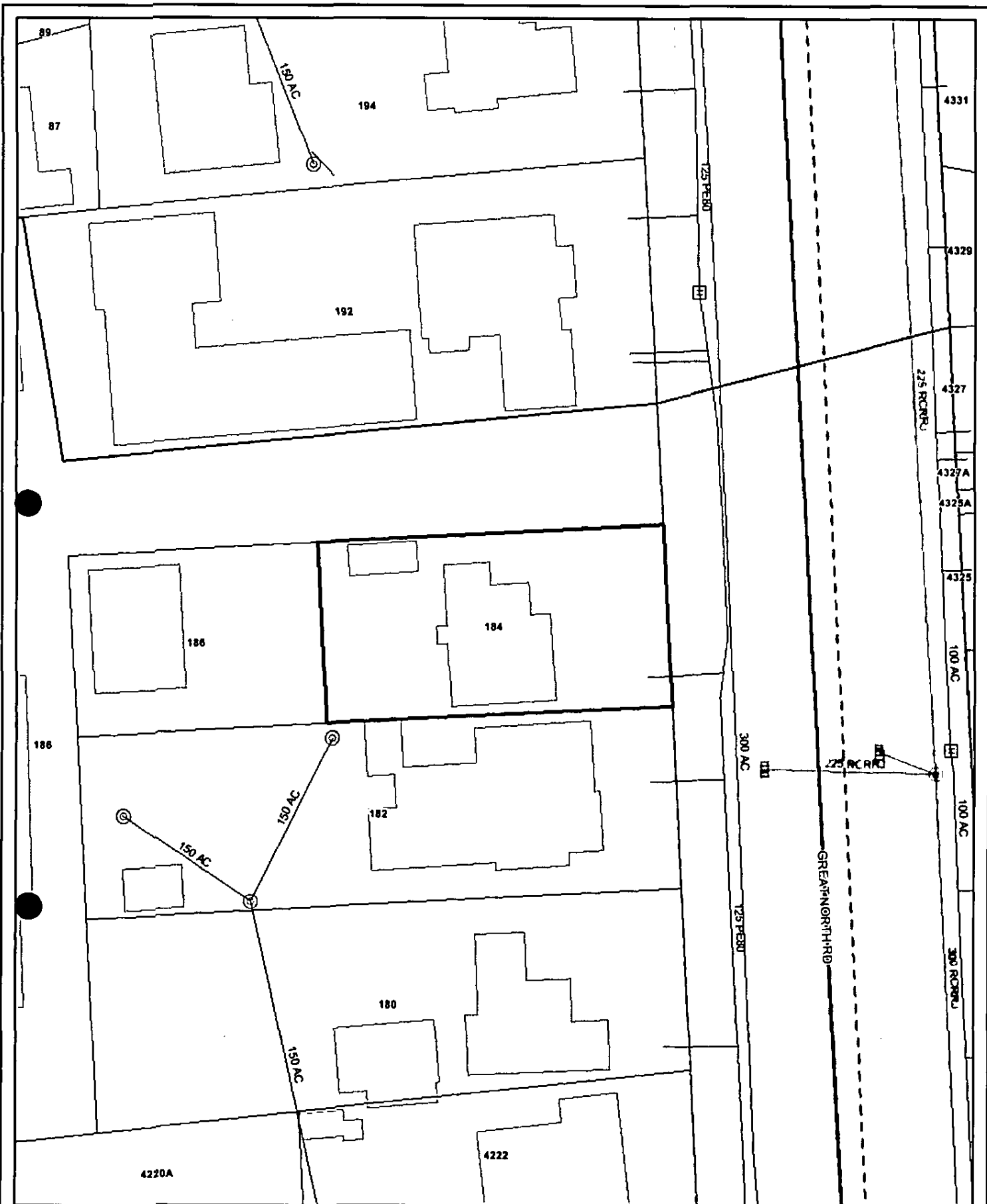
DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

Website: www.waitakere.govt.nz

22 June 2009

EL CALLAO LIMITED
PO Box 47020
Ponsonby
AUCKLAND 1144

(Copy for your interest - Original sent to authorised representative)



UNDERGROUND SERVICES

Scale = 1:500

Print Date: 19/06/2009

184 Great North Road HENDERSON
 LOT 1 DP 192062

Cadastral Information from Land Information New Zealand Digital Cadastral Database DCDB Crown Copyright Reserved.

Services shown on public amenity (and are not public drains unless used as through drains). While Council endeavours to provide accurate spatial data no guarantee as to the completeness and accuracy of the data shown on this plan can be given. All information, including levels and locations, are not of survey grade accuracy and should be verified on site. For enquiries about the information shown please phone the call centre (09) 839 0400.





Waitakere City Council
 Te Tatao o Waitakere



UNDERGROUND SERVICES LEGEND

Water


Water Supply Facility

-  Water Pump Station
-  Drinking Water Sampling Manual

Water Supply Bulk Meter

-  Bulk Meter
-  Standard Meter Installation





Water Supply Valve

-  Air Valve
-  Backflow
-  No Return Valve
-  Peet Valve
-  Zone Valve Peet
-  Pressure Reducing Valve
-  Sluice Valve
-  Zone Valve Sluice
-  Scour Valve
-  Water Control Valve

Water Supply Hydrant

-  Water Supply Hydrant

Water Supply Node

-  Caps
-  End Point
-  Junction
-  Reduce






Water Supply Storage Unit

-  Reservoir




Water Supply Miscellaneous

-  Valve Chamber

Water Supply Main Line





-  WCC Assets
-  Pipe Bridge
-  Water Care Assets
-  Abandoned Assets
-  Private Assets

Water Supply Service Line







-  WCC Assets
-  Abandoned Assets
-  Private Assets

Stormwater


Stormwater Manhole

-  Catchpit Manhole
-  Drop Manhole
-  Standard Manhole
-  Inspection Chamber

Stormwater Inlet

-  Catchpit - Super
-  Catchpit - Double
-  Catchpit - Single
-  Culvert / Pipe Inlet / Outlet / Wingwall
-  Open Pipe End
-  Debris Control Structure





Stormwater Node

-  End Point / Outlet Point / Trap





Stormwater Miscellaneous

-  Overflow Path




Stormwater Storage Basin

-  Stormwater Pond
-  Low Impact Devices
-  Filtration Devices
-  Detention Device

Stormwater Main Line

-  Subsoil Drain
-  WCC Assets
-  Abandoned Assets
-  Private Assets

Stormwater Service Line




-  WCC Assets
-  Abandoned Assets
-  Private Assets

Stormwater Channel




-  Stormwater Channel

Wastewater


Wastewater Manhole

-  Drop Manhole
-  Manhole
-  Inspection Chamber

Wastewater Miscellaneous

-  Campervan Dumping Point
-  Septic Tank Standard
-  Septic Tank High Tech







Wastewater Node

-  End Point




Wastewater Pumpstation

-  Pumpstation

Wastewater Main Line

-  Pipe Bridge
-  Rising Main
-  WCC Assets
-  Water Care Assets
-  Abandoned Assets
-  Private Assets




Wastewater Service Line

-  WCC Assets
-  Abandoned Assets
-  Private Assets




Information Communication Technology

-  ICT Node



ICTManhole

-  ICT Inspection Chamber
-  ICT Manhole
-  ICT Traffic Chamber

ICTDuct

-  ICT Duct
-  ICT Fibre Optic Duct
-  ICT Traffic Cable Duct


Miscellaneous

-  Error in Unit Type
-  Error in Unit Type

Gas Petroleum

-  High Pressure Gas Pipeline

Contour

-  2 metre

14 August 2009

EL CALLAO LIMITED
C/- Annabel Khoo
PO Box 47020
Ponsonby
AUCKLAND 1144

Consent Issued	17 / 8 / 09
Receipt No	272 8659-
Issued by	Gail Blair (GEMS CODE)

Dear Sir/Madam

RE: BUILDING CONSENT APPLICATION: ABA-2009-821

Connect stormwater line from existing garage to the existing stormwater system.

ADDRESS: 184 Great North Road HENDERSON

Thank you for your Building consent application lodged with Council on 16-Jun-2009. This consent is now ready to be issued.

The following fees for processing the application are outstanding (GST invoices enclosed). The payment of these additional fees and invoices are required within 14 days of this letter

Invoice: 428233	\$371.60
-----------------	----------

Our counter staff will produce an additional invoice when you collect your Building consent as per the following fee schedule:

Base Inspection Fees	\$356.00
----------------------	----------

Total To Pay:	\$727.60
----------------------	-----------------

Note: Code Compliance Certificate Fee is payable at the time of Code Compliance Certificate application, and at the rate as shown in the Regulatory Fees and Charges schedule at that time.

If Payment is made by cheque(s) to a value of more than \$3,000.00, there will be a five working day clearance period before the consent is issued. If payment is made by Bank Cheque, this consent can be uplifted immediately. Council is unable to accept Credit Card payments.

Note: Your Building consent must be picked up within 42 days of the date of this letter, or we will refuse to issue and return your consent application. Any outstanding fees will still be payable. Until payment is made and the consent picked up, no work is allowed to commence.

Please note that District Plan compliance is assessed separately with the PIM application. You should refer to the PIM to identify all requirements in terms of District Plan matters. If amendments are made to the PIM as a result of resolving District Plan issues a new Building Consent application may be required.

Yours faithfully

A handwritten signature in black ink, appearing to read 'P. Vonk'.

Pam Vonk

PROCESS SUPPORT

(Copy sent to owner)

14 August 2009

EL CALLAO LIMITED
PO Box 47020
Ponsonby
AUCKLAND 1144

Dear Sir/Madam

RE: BUILDING CONSENT APPLICATION: ABA-2009-821

Connect stormwater line from existing garage to the existing stormwater system.

ADDRESS: 184 Great North Road HENDERSON

Thank you for your Building consent application lodged with Council on 16-Jun-2009. This consent is now ready to be issued.

The following fees for processing the application are outstanding (GST invoices enclosed). The payment of these additional fees and invoices are required within 14 days of this letter

Invoice: 428233	\$371.60
-----------------	----------

Our counter staff will produce an additional invoice when you collect your Building consent as per the following fee schedule:

Base Inspection Fees	\$356.00
----------------------	----------

Total To Pay:	\$727.60
----------------------	-----------------

Note: Code Compliance Certificate Fee is payable at the time of Code Compliance Certificate application, and at the rate as shown in the Regulatory Fees and Charges schedule at that time.

If Payment is made by cheque(s) to a value of more than \$3,000.00, there will be a five working day clearance period before the consent is issued. If payment is made by Bank Cheque, this consent can be uplifted immediately. Council is unable to accept Credit Card payments.

Note: Your Building consent must be picked up within 42 days of the date of this letter, or we will refuse to issue and return your consent application. Any outstanding fees will still be payable. Until payment is made and the consent picked up, no work is allowed to commence.

Please note that District Plan compliance is assessed separately with the PIM application. You should refer to the PIM to identify all requirements in terms of District Plan matters. If amendments are made to the PIM as a result of resolving District Plan issues a new Building Consent application may be required.



Waitakere City Council
Te Taiao o Waitakere

Waitakere Central
6 Henderson Valley Rd
Henderson 0612
Waitakere

Waitakere City Council
Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 839 0400

TAX INVOICE

GST Registration Number

52-211-247

EL CALLAO LIMITED
PO Box 47020
Ponsonby
AUCKLAND 1144

Date: 14 August 2009
Customer No: 327809
Invoice No: 428233

Application Location: 184 Great North Road, HENDERSON Application: ABA-2009-821

Fee Code	Transaction Description	Amount
FMINPD	Base Process Fee Minor Plumbing and Drainage	-248.00
PLNPRO	Plan Processing Fee	332.85
ECWPRO	Drainage Engineer - Ecowater Processing Fee	185.00
RECORD	Records Fee	16.00
PICKUP	Issuing Fee	22.75
COUNTR	Counter Processing Fee	63.00

This account includes a total GST content of \$41.25

Invoice Total 371.60
Invoice Due 28 August 2009

Remittance Advice :
(Please Detach and return with payment)



Waitakere City Council
Te Taiao o Waitakere

Waitakere Central
6 Henderson Valley Rd
Henderson 0612
Waitakere

Waitakere City Council
Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 839 0400

Invoice Date:	14 August 2009	Application:	DAP
Invoice Number:	428233	Debtor Number:	327809
Name:	EL CALLAO LIMITED	Payment Reference:	359825
Application:	ABA-2009-821	Invoice Total:	371.60

Code Compliance Certificate

Section 95, Building Act 2004
(Form 7 – Building (Forms) Regulations 2004)

COPY

THE BUILDING

Building consent number: ABA-2009-821

Date building consent issued: 17-Aug-2009

Street address: 184 Great North Road, Henderson

Legal description: Lot number and Deposited plan: Lot 1 DP 192062

Valuation number: 33311-94700

Current, lawfully established use: Dwelling

Year first constructed: 1950's

THE OWNER

Name of owner: El Callao Limited

Mailing address: PO Box 47020, Ponsonby, Auckland 1144

Street address/Registered office: 66 Vermont Street, Ponsonby

Telephone no: (work) 09 360 8656

Mobile number: 021 360 866

Email address: iainmcmanus@gmail.com

Facsimile: 09 309 8932

BUILDING WORK

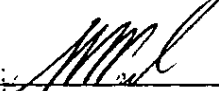
The following building work is authorised by this building consent: Connect stormwater line from existing garage to the existing stormwater system.

Intended life: Indefinite

CODE COMPLIANCE

The building consent authority named below is satisfied, on reasonable grounds, that:

The building work complies with the building consent.

Signature: 

Date: 11 May 2010

On behalf of Waitakere City Council

Print name: PETER PROCTOR
SENIOR BUILDING INSPECTOR

Position: _____

Checklist for the granting of a Code Compliance Certificate

This checklist makes up the requirement for what is to be kept on file in conjunction with checklist BCI-40.

Building Consent Number: 2009 - 221

Check if the building work completed complies with the approved building consent and conditions on file	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A
In case of a compliance schedule check to ensure that the specified systems meet the required performance standards and all IQP statements have been provided	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Check if all producer statements received are acceptable under the producer statement register	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A
Check if the energy work certificate has been provided (section 94(3))	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Check to make sure that any amendments have been granted, & whether documentation associated with these has been properly completed	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Check if any warnings or bans have been applied (section 94(2))	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A

Check if there are any outstanding documents still to be collected:

Survey Certificates:	
<input type="checkbox"/> Height in relation to boundary	<input type="checkbox"/> Siting
<input type="checkbox"/> Maximum height of building	<input type="checkbox"/> Minimum floor level
<input type="checkbox"/> Emergency warning systems	<input type="checkbox"/> Concrete strength
<input type="checkbox"/> Mechanical ventilation	<input type="checkbox"/> Fire doors
<input type="checkbox"/> Foundation observation	<input type="checkbox"/> Spread of flame
<input type="checkbox"/> Ground conditions	<input type="checkbox"/> Backflow
<input type="checkbox"/> Masonry – A or B grade	<input type="checkbox"/> Compaction
<input type="checkbox"/> Lifts (electrical and installation)	<input type="checkbox"/> Pile driving
<input type="checkbox"/> Drain layer's and plumber's form	<input type="checkbox"/> Waterproofing
<input type="checkbox"/> Framing treatment level and location plans	<input type="checkbox"/> As built drainage plan
<input type="checkbox"/> Engineer's certificate for storm water disposal system	<input type="checkbox"/> Structural reviews
<input type="checkbox"/> On-site storm water treatment system certificate	<input type="checkbox"/> Site welding
<input type="checkbox"/> On-site waste water treatment system certificate	<input type="checkbox"/> Glazing
<input type="checkbox"/> Electrical or gas energy work certificates	<input type="checkbox"/> Drainage
<input type="checkbox"/> Installer's PS3 for on-site waste water installation	<input type="checkbox"/> Truss layout
<input type="checkbox"/> Smoke alarms and sprinklers	<input type="checkbox"/> Home heating (fires)
<input type="checkbox"/> Cadastral plan for drainage	<input type="checkbox"/>

None outstanding

Please record reasons for granting or refusing the CCC:

No Ref. Consent

All inspections have been passed and all complying producer statements and certificates have been received, OK to issue CCC		<input checked="" type="radio"/> Yes / No
Date	10 MAY 2010	Name <i>[Signature]</i>

Checklist for the issuing of a Code Compliance Certificate

Note: This checklist makes up the requirement for what is to be kept on file in conjunction with checklist BCI-70.

Building Consent Number: ABA-2009-821

SECTION A	1. Application for CCC received & complete; is CCC application fee paid?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A
	2. If applicable, has the Building final inspection passed?	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
	3. If applicable, has the P & D final inspection passed?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A
	4. CER inspection – have all certificates, etc been received and passed?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A
	5. Have any outstanding fees from Gems been paid (O Bal note)?	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
	6. If there are any outstanding fees and/or development contributions from Pathway, is the outstanding fee less than \$200.00? Customer phoned: <input type="checkbox"/> Y <input type="checkbox"/> N To pay electronically <input type="checkbox"/> / To pay on pick-up <input type="checkbox"/>	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
	7. If the consent was granted after 31 March 2005, is the CCC application within 2 years of the consent being granted?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A
	8. If the consent was granted after 31 March 2005 and has expired, has an extension of time been applied for?	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
	9. If this consent was approved after 1 July 2008, have the Inspection Fees been reconciled?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A
	10. If there are any Amendments, have they been granted?	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
	11. If a CCTV was required, has clearance been received and EW fees invoiced?	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
	12. Are all workflow tasks completed?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	
	13. Is the consent description correct?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	
• E-mail records for file.	<input checked="" type="checkbox"/> Y			
• Print field sheet and collate file.	<input checked="" type="checkbox"/> Y			
• If applicable, send file for Commercial Review.	<input type="checkbox"/> Y		<input checked="" type="checkbox"/> N/A	
CCC Application	<u>Accept</u> / Reject / Suspend			
Date	<u>7/05/2010</u>	Name	<u>[Signature]</u>	

Did the Technical Review for the granting of a CCC pass? Y N

SECTION B	14. Check if the intended life has been specified as less than 50 years.	<input type="checkbox"/> ___ yrs	<input checked="" type="checkbox"/> Indefinite
	15. If this is part of a current subdivision, has the address been checked?	<input type="checkbox"/> Y	<input type="checkbox"/> N <input type="checkbox"/> N/A
	16. Is there is a related requisition? (Put a note in Pathway to email Field Services when CCC issued.) <u>Req-2005-839</u>	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N
	17. Is there a related COA? (Building Construction Review Team Leader to advise wording to be added to CCC.)	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N
	18. Are the Owners' details correct? (Update or add if required.)	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N
	19. Is a Compliance Schedule required?	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N
	20. Is a Septic Tank installation included?	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N
	21. Has a Certificate for Public Use previously been issued?	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N
22. Will the building be included as part of the social infrastructure?	<input type="checkbox"/> Y	<input type="checkbox"/> N	
CCC Generated			
Date	<u>11.5.10</u>	Name	<u>Karen Rogers</u>

Building Consent Status: Construction Review
Building Consent Issued: 17/08/2009

Property

Legal Desc LOT 1 DP 192062
Contact EL CALLAO LIMITED
Address 184 Great North Road HENDERSON
Description Connect stormwater line from existing garage to the existing stormwater system.
Amendments

ABA-2009-821
Expiry Date: 13-Aug-2011

Date	Event	Description	Officer	Status / Result / Reason
28/04/2010 00:00:00 5806/2010	CER Certificates	RECEIVED: 1. Plumbers Form - 17.03.10 2. Drainlayers Form - 17.03.10 3. As-Built - Drainage - 27.04.10		
26/04/2010 09:30:00 14701/2009	P06 Final Plumbing and Drainage	Certificates or Producer Statements Required: AS-BUILT - DRAINAGE AM/ Contact Person: first contact Mark 818 4683 or Ian 360 8656 Contact Number: Additional Information: Plans and conditions will be on site	Tony Gibson	Passed 1. Okay for CCC.
25/03/2010 12:00:00 14700/2009	P03 Drainage	Certificates or Producer Statements Required: PM Contact Person: Brett (contractor) Contact Number: 021 276 0880 Additional Information: **Plans on site**	Glenn Moser	Passed 1. Flush out required on syphon system. *2. SN16 pipe used in footpath *3. As-Built - Drainage @ Final
07/08/2009	Amendment	RFI-01 - Further info received req let 22.06.09 Item 1	John Gutch	N/A

\$179 CCC Fee paid



Waitakere City Council
Te Taiāo o Waitakere

Application for code compliance certificate

Section 92, Building Act 2004
(Form 6 – Building (Forms) Regulations 2004)

For office use
Receipt No: _____
Date: _____

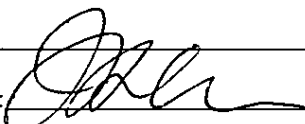
Building consent number: ABA-2009-821

Issued by: **Waitakere City Council**

Site address: 184 GREAT NORTH RD, GLENDIENE

Location of building (please tick)

- Auckland
 Manukau
 Waitakere
 North Shore
 Papakura
 Rodney
 Franklin

THE OWNER	AGENT
Name of owner: <u>ELCALLAO LTD</u> <small>(Include preferred form of address, eg. Mr, Miss, Dr, if an individual)</small>	<small>(Only required if application is being made on behalf of the owner)</small>
Mailing address: <u>PO BOX 47020, PONSONBY,</u> <u>AUCKLAND 1144</u>	Name of agent: _____
Street address: (for courier) <u>66 VERMONT ST, PONSONBY,</u> <u>AUCKLAND 1011</u>	Mailing address: _____ _____
Telephone No: (Home): _____	Street address: (for courier) _____ _____
Telephone No: (Work): <u>360 8656</u>	Telephone No: (Home): _____
Mobile number: <u>021 360 866</u>	Telephone No: (Work): _____
Facsimile number: <u>309 8932</u>	Mobile number: _____
Email address: <u>iclanmcmannus@gmail.com</u>	Facsimile number: _____
Evidence of ownership: (copy of certificate of title, lease, agreement for sale & purchase or other document showing full name of legal owner(s) of the building should be attached)	Relationship to owner: (state details of the authorisation from the owner to make the application on the owner's behalf)
Signature of owner: 	Signature of agent: _____
Print name: <u>IAN MCMANUS (DIRECTOR)</u>	Print name: _____

FIRST POINT OF CONTACT FOR COMMUNICATION (Must be in New Zealand)

(if first point of contact for communications from the council is different to above, please provide full name, mailing address, phone numbers and email addresses)

Full name: AS ABOVE

Mailing address: _____

Street address/Registered office: _____

Telephone no. (home): _____ Telephone no. (work): _____

Mobile number. (home): _____ Facsimile number: _____

Email address: _____

APPLICATIONStage _____ of an intended _____ Stages
All building work to be carried out under the above building consent was completed on: _____**KEY CONTACTS/PERSONNEL WHO CARRIED OUT THE BUILDING WORK**

Designer or Architect		Structural Engineer	
Business/Name:		Business/Name:	
Address:		Address:	
Daytime:	After Hours:	Daytime:	After Hours:
Mobile:	Fax:	Mobile:	Fax:
Registration/Qualifications:		Registration/Qualifications:	
Builder		Plumber BRETT LOVE DAY / MARK HEYNARD	
Business/Name:		Business/Name: WATKINS PLUMBING	
Address:		Address: SABULITE ROAD, KELSTON	
Daytime:	After Hours:	Daytime: 818 4683	After Hours:
Mobile:	Fax:	Mobile:	Fax: 818 6263
Registration/Qualifications:		Registration/Qualifications: ON COUNCIL FILE	
Drainlayer AS PER PLUMBER		Electrician	
Business/Name:		Business/Name:	
Address:		Address:	
Daytime:	After Hours:	Daytime:	After Hours:
Mobile:	Fax:	Mobile:	Fax:
Registration/Qualifications:		Registration/Qualifications:	
Head Contractor/Site Manager		Other	
Business/Name:		Business/Name:	
Address:		Address:	
Daytime:	After Hours:	Daytime:	After Hours:
Mobile:	Fax:	Mobile:	Fax:
Registration/Qualifications:		Registration/Qualifications:	

(tick)	SPECIFIED SYSTEM
<input checked="" type="checkbox"/>	No specified system installed
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	1.0 Automatic systems for fire suppression 1.1 Automatic sprinkler systems 1.2 Gas and foam flood or deluge system, dry and wet chemical extinguishing systems
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	2.0 Automatic/manual emergency warning systems for fire or other dangers 2.1 Emergency warning systems including manual and automatic fire alarms, heat detectors, halon, gas, radiation systems. Are they audible or visual signals? 2.2 Automatic gas leak detection systems for the detection and measurement of combustible gases
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	3.0 Electromagnetic or automatic doors or windows 3.1 Automatic doors (sliding/revolving/panic) 3.2 Access controlled doors (swipe card/key pad/sensor/delayed egress) 3.3 Interfaced fire or smoke doors or windows (electromagnetic door holders)
<input type="checkbox"/>	4.0 Emergency lighting systems. Stand-by generator, self-contained units, other
<input type="checkbox"/>	5.0 Escape route pressurisation. Location of control panel
<input type="checkbox"/>	6.0 Riser mains for fire service use. Physical location of the riser, point of entry for fire service etc.
<input type="checkbox"/>	7.0 Any automatic back-flow preventer connected to a potable water supply. Type of device and location (testable device)
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	8.0 Lifts, escalators or travelators or other systems for moving people or goods within buildings: Specify number of lifts and location. 8.1 Passenger carrying lift 8.2 Goods lift 8.3 Escalators and moving walks
<input type="checkbox"/> <input type="checkbox"/>	9.0 Mechanical ventilation or air conditioning system. Owners operation manual may have maintenance provisions included. Note: Cooling tower installed?
<input type="checkbox"/>	10.0 Building maintenance units for providing access to the exterior and interior walls of buildings.
<input type="checkbox"/>	11.0 Laboratory fume cupboards. Location: _____
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	12.0 Audio loops or other assistive listening systems 12.1 Audio loop 12.2 FM radio-frequency systems and infrared beam transmission systems.
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	13.0 Smoke control systems: 13.1 Mechanical smoke control 13.2 Natural smoke control 13.3 Smoke curtains
<input type="checkbox"/>	14.0 Emergency power systems or signs relating to a specified system in any of the specified systems 1.0-13.0. See 15.4, Signs
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	15.0 Means of escape: 15.1 System for communicating information for evacuation 15.2 Final exits 15.3 Fire separation 15.4 Signs. Such signs as required by • the building code (all systems above) • section 120 of the Building Act 2004 15.5 Smoke separation
<input type="checkbox"/>	SS16 Cable cars
<input type="checkbox"/>	The compliance schedule for this building complies with section 103(d) of the Building Act 2004

REQUEST


I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

The code compliance certificate should be sent to:

Name: EL CALLAO LTD Owner Agent

Address: PO BOX 47020, PONSONBY, AUCKLAND

Owner/agent signature:



Date:

14/5/10

Print name:

IAIN MC MANUS

If you are signing this application on behalf of a company/trust/other entity (the Applicant), you represent that you are authorised on behalf of the Applicant to make such application.

ATTACHMENTS

The following documents are attached to this application:

- Evidence of ownership
- Certificates from the personnel who carried out the work — ADVISED THAT THESE ARE HELD ON COUNCIL FILE
- Certificates that relate to the energy work
- Evidence that specified systems are capable of performing to the performance standards set out in the building consent
- Other (specify): AS BUILT PLAN PROVIDED TO COUNCIL INSPECTOR AT FINAL INSPECTION

IMPORTANT PRIVACY INFORMATION

If you would like to request access to, or correction of, your details, please advise us on the contact details below

Waitakere City Council
Private Bag 93109
6 Henderson Valley Rd
Henderson
WAITAKERE CITY
Ph: 839 0400 Fax: 836 8001

① 2009-821

BCI-115

WCC Record of inspection
Final plumbing and drainage (P6)

ENTERED

Waitakere City Council
Te Taitua o Waitakere

Surveyor's Name	TONY GIBSON		Time in	1
Date	26 APR 2010		Time out	2
ABA #	09-821		Time total	60
Address	154 Great North Rd.			

Certificates & forms				
Septic tank	Y	N	N/A	
Stormwater tanks	Y	N	N/A	

Hot water source	Gas	Electric	Temperature	N/A	HWC	Capacity	Tempering valve	Y	N	N/A	
------------------	-----	----------	-------------	-----	-----	----------	-----------------	---	---	-----	--

Exterior												
Gas Bottles restrained & supported on pad	Y	N	N/A		Spouting	Y	N	N/A				
Water meter / supply pipe	Y	N	N/A		Pipe penetrations / clips	Y	N	N/A				
Gully location / height above finished GL	Y	N	N/A		Terminal vent	Y	N	N/A				
Discharge pipes	Y	N	N/A		Manholes (Correct ground level)	Y	N	N/A				
Downpipes / spreaders	Y	N	N/A		-Dry/chambers / Inspection chambers	Y	N	N/A				
Parapet / gutters drainage	Y	N	N/A		Cess pits	Y	N	N/A				
Balcony drainage	Y	N	N/A		Half-siphon bends	Y	N	N/A				
					Solar Heating / Panel, etc.	Y	N	N/A				

Interior												
HWC - restraint	Y	N	N/A		Bidets / Spa baths / bath	Y	N	N/A				
HWC - access	Y	N	N/A		Air-admittance valve	Y	N	N/A				
TPR & relief valves and drains	Y	N	N/A		Sprinklers	Y	N	N/A				
Showers tested	Y	N	N/A		Fire collars	Y	N	N/A				
Sanitary fittings sealed & secured	Y	N	N/A		Wetbacks - Open vent	Y	N	N/A				
WC's - water seal / dual flush	Y	N	N/A		Pool - backwash - to gully traps	Y	N	N/A				
Tap hardware	Y	N	N/A									

Backflow Preventer Device details									
Testable device(s)	Interior	Exterior	Devices total						
Non-testable device(s) or Air gap(s)	Y	N	Hazard		High	Medium	Low		
Description:									
Location:									

Stormwater Tanks / Devices											
Type of Device/s:	Retention tank	<input type="checkbox"/>	Detention tank	<input type="checkbox"/>	Bath garden	<input type="checkbox"/>	Swale/filter strip	<input type="checkbox"/>			
	Permeable paving	<input type="checkbox"/>	Dispersal device	<input type="checkbox"/>	Soakage pit / trench	<input type="checkbox"/>					
Other (specify):											
If tank, is it - Buried <input type="checkbox"/> Above ground <input type="checkbox"/>											
Operation and maintenance manual received?					Y	N	N/A		Producer Statement (PS4) received?		
					Y	N					

IMPORTANT: Please complete back page ... →

WCC Record of inspection Final plumbing and drainage (P6)

Result of Inspection:	
Passed <input checked="" type="checkbox"/>	Failed <input type="checkbox"/>
Notice to Fix Resolved <input type="checkbox"/>	Issue Notice to Fix <input type="checkbox"/>
Additional Inspections Required: Yes <input type="checkbox"/> No <input type="checkbox"/>	Field Note <input type="checkbox"/>
All previous inspections passed: Y / N	Failed Letter <input type="checkbox"/>
All Certs requested have been received Y / N	Certificates Required Letter <input type="checkbox"/>
	Amendments Required <input type="checkbox"/>
	Additional Inspections Required: Yes <input type="checkbox"/> No <input type="checkbox"/>

Producer statement check	Engineer's name:
Author on approved list	
	Y N

CERTIFICATES	Required	Received	CERTIFICATES	Required	Received
PLUMBING & DRAINAGE					
As-Built: Drainage <input type="checkbox"/> Pre-floor <input type="checkbox"/> Waste-Water <input type="checkbox"/>			Backflow Preventer Test Certificate		
Plumbers Form			Installers Certificate for Backflow Preventer		
Drainlayers Form			Water Saving Inventory Device		
Engineers Cert. for Waste-Water Installation			EcoWater Conditions		
Installers Certificate for Waste-Water Installation			Licensed Cadastral Surveyors As-Built		
Waste-Water Maintenance Service Contract			ENGINEERS (PS4)		
Quality Assurance Certificate			Eng Cert for Stormwater Mitigation Devices		
Solar Heating Certificate			Other:		
Gas Certificate			Other:		
Other:			Other:		
CERTIFICATES (AS TICKED ABOVE) ARE REQUIRED AT THE _____ INSPECTION.					

List of non-compliances / comments

.....


..... *OK for CCC*

.....

.....

.....

.....

Signed by: 

ATTENTION INSPECTION SUPPORT:	Is there a Backflow Prevention Device, has EcoWater been emailed?	YES	NO <input checked="" type="checkbox"/>
--------------------------------------	---	-----	--

ATTENTION INSPECTION SUPPORT:	Is there a Stormwater Device, has EcoWater been emailed?	YES	NO <input checked="" type="checkbox"/>
--------------------------------------	--	-----	--

Surveyor's Name	GLENN MOSEH	Time in	1:30
Date	25 MAR 2010	Time out	2:45
ABA #	2009-821	Time total	0:5
Address	184 Street North RD		

Certificates				
Registration checked	Y	<input checked="" type="radio"/> N	N/A	Number: Watkins Plumbing & Drainage
Stormwater tanks	Y	N	<input checked="" type="radio"/> N/A	

Drainage				System: AS3500 / NZ			
Stormwater on test	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A	Position of gullies	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Sewer on test	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A	Support & bedding of gullies	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Suitable gradient	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A	Gully heights and accessibility	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
AS3500 minimum	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A	Vent within 10m	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
NZ 100mm diameter	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N	<input type="checkbox"/> N/A	Manholes	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Cover to drains	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A	Invert levels correct	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Bedding of drains	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A	Dry chambers	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Connection to s/w lateral	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A	Sloping sites - subsoil drainage	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Connection to f/w lateral	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A	Surface water - drives paths, etc	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Connection to septic tank	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A	Cess pits	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Number & location of downpipes	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A				
Run between downpipes	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A				

Stormwater Tanks / Devices										
Type of Device/s:	Retention tank	<input type="checkbox"/>	Detention tank	<input type="checkbox"/>	Rain garden	<input type="checkbox"/>	Swale/filter strip	<input type="checkbox"/>		
	Permeable paving	<input type="checkbox"/>	Dispersal device	<input type="checkbox"/>	Soakage pit / trench	<input type="checkbox"/>				
	Other (specify):									
If tank, is it - Buried <input type="checkbox"/> Above ground <input checked="" type="checkbox"/>				Operation and maintenance manual received?				Y	N	N/A
				Producer Statement (PS4) received?				Y	N	N/A

Result of Inspection:	
<input checked="" type="checkbox"/> Passed Subject to production as stipulated of the documents indicated overleaf (if any)	<input type="checkbox"/> Failed
Notice to Fix Resolved <input type="checkbox"/> Additional Inspections Required: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Issue Notice to Fix <input type="checkbox"/> Field Note <input checked="" type="checkbox"/> Failed Letter <input type="checkbox"/> Amendments Required <input type="checkbox"/> Additional Inspections Required: Yes <input type="checkbox"/> No <input type="checkbox"/>

Producer statement check	Engineer's name:
Author on approved list	Y N

IMPORTANT: Please complete back page ... →

WCC Record of inspection Drainage (P3)

CERTIFICATES	Required	Received	CERTIFICATES	Required	Received
PLUMBING & DRAINAGE					
As-Built Drainage <input checked="" type="checkbox"/> Pre-floor <input type="checkbox"/>	✓		Backflow Preventer Test Certificate		
Plumbers Form		✓	Installers Certificate for Backflow Preventer		✓
Drainlayers Form		✓	Water Saving Inventory Device		✓
Engineers Cert. for Waste-Water Installation		✓	EcoWater Conditions		✓
Installers Certificate for Waste-Water Installation		✓	Licensed Cadastral Surveyors As-Built		✓
Quality Assurance Certificate		✓	ENGINEERS (PS4)		
Solar Heating Certificate		✓	Eng Cert for Stormwater Mitigation Devices		✓
Gas Certificate		✓	Other:		✓
Other:		✓	Other:		✓
CERTIFICATES (AS TICKED ABOVE) ARE REQUIRED AT THE <u>Final</u> INSPECTION.					

List of non-compliances / comments

Flush out required on syphon system.

50/16 pipe used in foot path.

Signed by: *S & M*

ATTENTION INSPECTION SUPPORT: :	Is there a Stormwater Device, has EcoWater been emailed?	YES	NO
---------------------------------	--	------------	-----------

2009-821

17 MAR 2010

16 MAR 2010
in internal mail
SG



Waitakere City Council
Te Tatao o Waitakere

Drainlayer

ENTERED

Building Consent No: ABA-2009-821

NOTIFICATION OF LICENSED TRADESMAN – DRAINLAYER

To be completed and returned to Council 48 hours prior to any work commencing

OWNER: EL CALLAO LIMITED

MAILING ADDRESS:

C/- Annabel Khoo
PO Box 47020
Ponsonby
AUCKLAND 1144

PROJECT LOCATION

ADDRESS:
184 Great North Road, HENDERSON

LEGAL DESCRIPTION

VALUATION ROLL NO:
LOT & DP: LOT 1 DP 192062

DRAINLAYER

DATE: 16-03-2010

LICENSED DRAINLAYER NAME: MARK HAYWOOD

ADDRESS: P.O. BOX 15239 NEW LYNN

PHONE: 8184683

LICENSE NUMBER: 19334

TRADESMAN'S SIGNATURE: M. Haywood

Has been appointed to carry out the work described in the above referred building consent.

DESCRIPTION OF WORK: S-W DRAINAGE TO CANAL

Copy of tradesman's current licence (tick)

Attached

Onfile

Inspection Required:

All Drainage

:Before being backfilled

The Plumbers, Gasfitters and Drainlayers Board has pointed out that there appears to be some confusion about the effect of the Building Act on who can legally do sanitary plumbing, gasfitting and drainlaying. In fact, the Building Act made only a minor amendment to the Plumbers, Gasfitters and Drainlayers Act 1976 and has not altered the situation that, under the Act, subject to certain specific expectations:

Sanitary plumbing and gasfitting must still be done by a craftsman plumber or gasfitter, as appropriate, or by a registered plumber or gasfitter under their directions; and drainlaying must still be done by a registered drainlayer.

In this respect, it should be noted that the Form 3 in the Second Schedule of the Regulations mentions registered plumbers and gasfitters. The fact that it does not mention craftsman plumbers and craftsmen gasfitters does not affect the requirements of the Plumbers, Gasfitters and Drainlayers Act 1976 as outlined above.

2009-821-

ENTERED *Plumber* ✓

17 MAR 2010

16 MAR 2010 SA.
internal mail



Building Consent No: ABA-2009-821

NOTIFICATION OF LICENSED TRADESMAN – PLUMBER
To be completed and returned to Council 48 hours prior to any work commencing

OWNER: EL CALLAO LIMITED

MAILING ADDRESS:
C/- Annabel Khoo
PO Box 47020
Ponsonby
AUCKLAND 1144

PROJECT LOCATION
ADDRESS:
184 Great North Road, HENDERSON

LEGAL DESCRIPTION
VALUATION ROLL NO:
LOT & DP: LOT 1 DP 192062

PLUMBER DATE: 16-03-2010

LICENSED PLUMBER NAME: KEVIN HARRIS

ADDRESS: P.O. Box 15239 NEW LYNN

PHONE: 8184683 LICENSE NUMBER: 03988

TRADESMAN'S SIGNATURE: [Signature]

has been appointed to carry out the work described in the above referred building consent.
DESCRIPTION OF WORK: SANITIAL - DOWNPIPE TO CHANGE

Copy of tradesman's current licence (tick) Attached Onfile

Inspection Required: All Drainage :Before being backfilled

The Plumbers, Gasfitters and Drainlayers Board has pointed out that there appears to be some confusion about the effect of the Building Act on who can legally do sanitary plumbing, gasfitting and drainlaying. In fact, the Building Act made only a minor amendment to the Plumbers, Gasfitters and Drainlayers Act 1976 and has not altered the situation that, under the Act, subject to certain specific expectations:
Sanitary plumbing and gasfitting must still be done by a craftsman plumber or gasfitter, as appropriate, or by a registered plumber or gasfitter under their directions; and drainlaying must still be done by a registered drainlayer.
In this respect, it should be noted that the Form 3 in the Second Schedule of the Regulations mentions registered plumbers and gasfitters. The fact that it does not mention craftsman plumbers and craftsmen gasfitters does not affect the requirements of the Plumbers, Gasfitters and Drainlayers Act 1976 as outlined above.



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy


R. W. Muir
Registrar-General
of Land

Identifier **NA121D/230**
Land Registration District **North Auckland**
Date Issued 30 October 1998

Prior References

NA1098/87

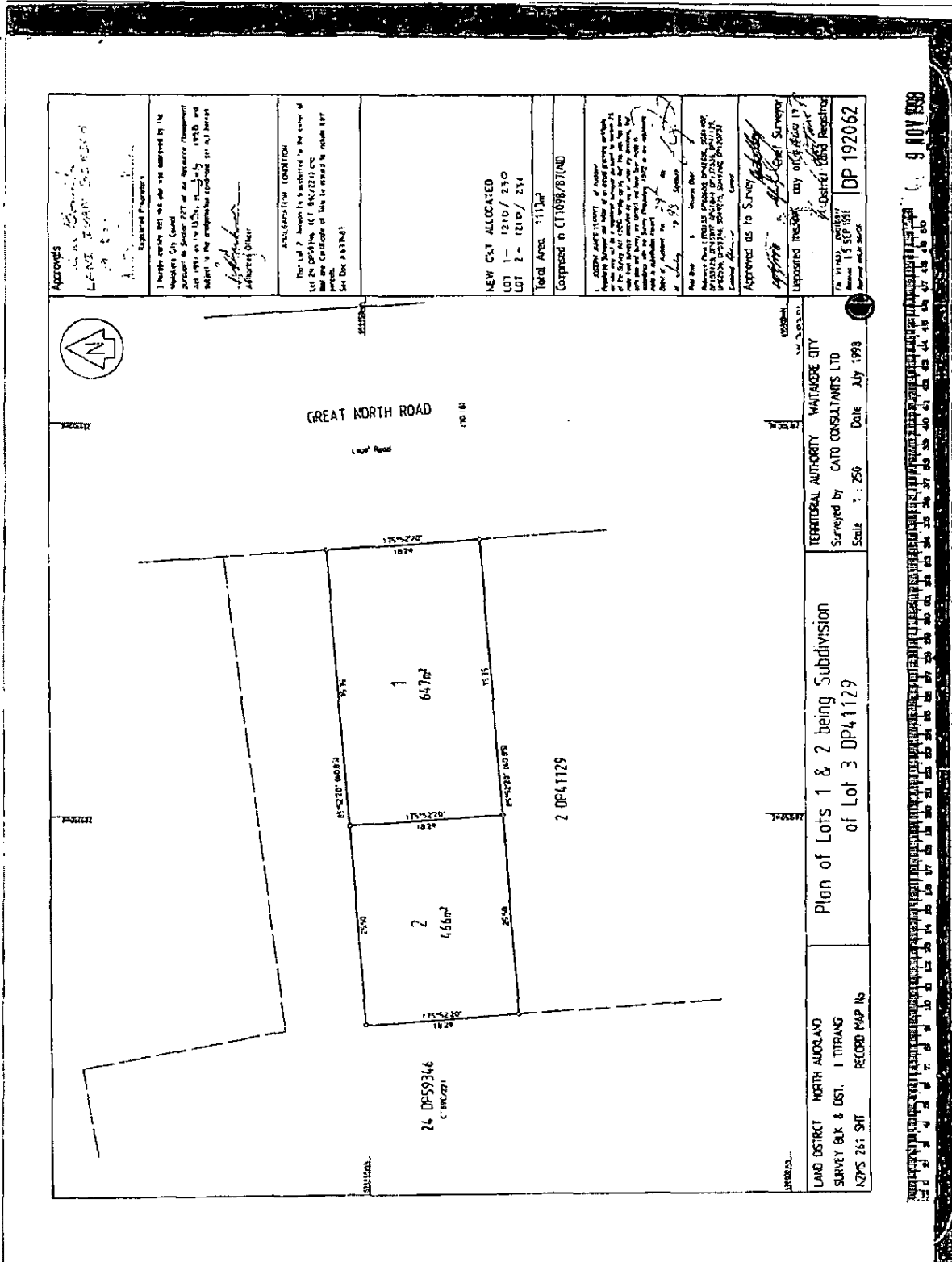
Estate	Fee Simple
Area	647 square metres more or less
Legal Description	Lot 1 Deposited Plan 192062

Proprietors

El Callao Limited

Interests

7167733.3 Mortgage to ANZ National Bank Limited - 18.12.2006 at 9:00 am



9 NOV 1998

[\[UPDATE DETAILS \]](#) [\[NEW SEARCH \]](#)

[\[COMPANY DETAILS | FORMER DIRECTORS | CHARGES - PPSR | HISTORIC ADDRESSES \]](#)

Company Number	1877466	View Certificate Of Incorporation
Company	EL CALLAO LIMITED	[EMAIL CERTIFICATE]
Incorporated	19-OCT-2006	View Online Extract
Current Status	REGISTERED	[EMAIL EXTRACT]
Entity Type	Company	
Constitution Filed	Yes	[CERTIFICATE OF GOOD STANDING]
Annual Return Filing Month	June	

[Print This Page](#)

Previous Names

No Previous Names on record

Address Details

Registered Office

C/-Neesham Pike Thomas Limited
 2 Pompallier Terrace
 Ponsonby
 Auckland

Address for Service

C/-Neesham Pike Thomas Limited
 2 Pompallier Terrace
 Ponsonby
 Auckland




Directors

Name	Date Appointed:
MCMANUS, Iain Frederick 66 Vermont Street, Ponsonby, Auckland 1011	19-OCT-2006

Share Parcels

Total Number of shares	100	
Number of Shares	100	
Shareholder(s)	MCMANUS, Iain Frederick	66 Vermont Street, Ponsonby, Auckland

Documents Registered

Date	Barcode	Description	File Size Available
30-JUN-2009 15:13:33		Online Annual Return	
30-JUN-2008 15:04:05		Online Annual Return	
29-JUN-2007 13:51:22		Online Annual Return	
 20-OCT-2006 13:24:45		Adoption/Amendment Of Constitution	93 Kb
 19-OCT-2006 10:57:52	30011125322	Consent Of Shareholder	29.2 Kb
 19-OCT-2006 10:57:52	30011125311	Consent Of Director	31 Kb

19-OCT-2006 10:57:52

Application To Incorporate A Company

[Click to download viewing software.](#)

Printed: Monday, 3rd May 2010 23:43:03 NZST
