

SPECIFICATIONS FOR THE ERECTION OF TWO UNITS

FOR MR J. & MRS M.E.LANG, 13 NIKAU STREET, WANGANUI

SITE The site of the work is at 13 Nikau Street, Wanganui, Being Pt Lot 6, D.P. 2953.

The tenderer shall visit the site before submitting his price to verify the nature of the ground and site etc.

GENERAL The contract comprises the erection of two self-contained units, one carport and one garage, and incidental works as indicated on plan or specified.

All work is to be executed as indicated or implied by the drawings and specifications. Anything specified but not shown on the plans, or anything not specified but necessary in accordance with the usual customs of the trade concerned shall be allowed for by the contractor in his tender.

All work shall comply with the N.Z.S.S. 1900, and the Wanganui City Council By-laws.

Any alterations, extras and deductions to the contract must be agreed upon in writing between the owner and the contractor before any such work is carried out. If the contractor has to substitute specified materials for any reason, he must first consult the owner.

Protect all materials generally, and finished or partly finished work from damage by weather or any other cause during the currency of the contract.

All trades are to wait upon and make good after all other trades as may be necessary or required by the contractor. All trades are to be responsible for the cleaning away of their rubbish from the site, and the contractor shall clean up and remove all surplus building materials and rubbish and leave the place broom clean at the termination of the contract.

INSURANCES The contractor shall take out all insurances, and satisfy the owner of this, to cover Builder's Risk, Fire Risk, and Workers' Compensation, and shall maintain such policies in force from commencement of work until completion and handing over.

MAINTENANCE PERIOD The contractor shall maintain the work for a period of thirty days after occupation. At the end of this period he shall go over the works, ease doors and windows where necessary, and rectify any defects due to inferior materials and/or faulty workmanship.

PERMITS AND FEES The contractor shall take out all permits and pay all fees etc. as required.

PAYMENTS Payments will be made monthly up to 90% of the value of materials and work done on the site. 10% may be retained to be paid after 30 days of completion to comply with the Wages Protection and Contractor's Liens Act or its amendments.

CONCRETOR

EXCAVATIONS Excavate for foundation walls etc. to a min. depth of 12" below ground level, or more to solid bearing.

Clear building areas of all vegetable growth etc., and fill as required with clean, coarse sandfilling well compacted.

CONCRETE Concrete shall be 6 parts metal to 1 part cement with only sufficient water added to make a workable mix. Concrete shall be machine mixed and gently tamped. Metal and sand shall be clean, sharp and free from loam.

Concrete may be Readi-mixed to a min. crushing strength of 2500 lbs



framing by notching or boring plates and dwangs. Cut diagonal bracing in flush with faces of studs at an angle of 45 degrees approx. to provide continuous bracing to all walls and partitions.

Roof pitch shall be 15 degrees. Construct roof with 4"x 2" rafters at 36" cc. cut tight up to ridge board and birdsmouthed over top wall plates. Strut roof off partitions with continuous 4"x 2" under purlins supported by 4"x 2" struts at 4'6" cc. Fix 6"x 1" collar ties to rafters at 6'0" cc. Lay purlins in long lengths as specified by the makers of Decramastic tiles.

Dwang all eaves with 3"x 2" dwangs at 18" cc. Soffit overhang shall be 2'0", verge 1'6".

Construct ceilings of 4"x 2" joists at 20" max. cc., lapped at least 12" over partitions. Set joists at right angles to the ridge. Secure joists spanning more than 8'0" to ceiling runners. Dwang all ceilings with 4"x 2" dwangs. Trim for ceiling access door in each unit where directed.

RHS supports shall be 3" square with fish-tail ends set in conc. pile, and flanged top to support framing.

Garage and carport roof. Bolt 6"x 2" bearer to side of units and each side of concrete block wall to support rafters. Carport bearer to be carried through and bolted to side of RHS support. Rafters shall be 6"x 2" at 2'6" cc, with 4"x 2" roof dwangs cut in between rafters at 3'0" cc.

ROOF Units Cover with Decramastic tiles as selected by owner, and fixed strictly in accordance with the maker's specifications.

An additional price to be given of the difference in cost to covering the roof areas with wire netting, building paper, and long-run 26g. galv. corrugated iron.

Carport and Garage Cover with wire netting and building paper, then with 26g. galv. long-run corrugated iron. Project 2" beyond fascia and side lap 1½ corrugations. Prime all laps before fixing. Barge roll 24g. galv. iron. Flashing to side of units 24g. galv. iron.

EAVES To underside of eaves, verges and porch ceilings fix flat fibrolite with galv. clouts and aluminium jointing strips. Fascia board ex 6"x 1¼" D.H.R.

INSULATION Line all exterior framing of both units with double sided sisalcraft fixed to the makers instructions.

In unit 1 only, fit in ceilings R13 fibreglass batts.

EXTERIOR WALLS Line all exterior walls with fibrolite Fibroplanks, fixed in long lengths strictly in accordance with the maker's instructions. Line also side walls of units inside garage and carport.

Line gables with vertical fibrolite Coverline or similar as selected by owner.

WINDOWS shall be aluminium anodised awning opening and fixed, of a manufacture approved by owner. They shall be to the overall sizes indicated on plan, and opening or fixed as indicated on the elevations. To be fixed in position with jamb liners, ex 6"x 1" sill boards, and architraves etc. To be finished externally with ex 3"x 1" Ht. Rimu facings and a timber sill.

Glaze bathroom and W.C. sashes with selected obscure glass, and the remainder with best quality clear glass.

PELMETS Unit 1 only, to all main windows, build pelmets down from ceiling in gibraltar board, framed behind. Finish with scotai.

**DOORS** Ranch-slider doors to be anodised aluminium and to be fitted as for windows. To be 6'8" x 6'0" overall, fixed panel and sliding door, with vision rails fitted, and Dining door unit 1, and lounge door unit 2 to have key locking units fitted.

Exterior doors shall have solid rebated jambs, and ex 3"x 1" Ht. Rimu facings. Interior jambs shall be 1½" solid rebated B.A.R. All interior doors including wardrobes, linen and H.W.C. doors shall be flush mahogany veneer.

Laundry doors - 6'6" x 2'6" 4-panel selected obscure glazed.

Main interior doors - 6'6" x 2'6"

Bathroom, W.C. doors - 6'6" x 2'2"

Lounge/dining unit 1 - 2/6'6" x 2'6" flush sliding doors.

Linen unit 1 - 2/6'6" x 2'0" flush sliding

Broom cupboard unit 1, linen cupboard unit 2 - 6'6" x max. width flush doors

H.W.C. - 6'6" x max. width flush doors

Wardrobe Bedroom 1 unit 1 - 6'0" x 4'0" overall, divided and bi-fold. doors above to ceiling, 2/2'0" wide hinged.

Wardrobe bedroom 2 unit 1 - 6'0" x 2'0", door above to ceiling 2'0" wide hinged.

Wardrobes unit 2 - 6'6" x 2'0"

Garage door - 6'8" x 8'0" aluminium tilt-a-door as selected by owner and fixed to the manufacturer's instructions.

Garage rear door - 6'6" x 2'6" flush exterior grade.

All main doors shall be hung on 1½ pair 3½" loose pin butts, and cupboard doors on 1 pair 3" loose pin butts. Sliding doors and bi-fold doors shall be hung on proper track. Sliding doors shall have neat pelmets fitted over track.

**INTERIOR LININGS** Line all walls with first grade gibraltar board. This includes the inside of all cupboards and wardrobes.

Line all ceilings with first grade Pinex softboard neatly jointed with aluminium jointing strips. Finish around edge of ceiling and wall with 1½" pinex moulding. Fit in each ceiling where trimmed a removeable manhole cover.

**SKIRTINGS & ARCHITRAVES** All skirtings and architraves shall be moulded ex 3"x 1" and as selected by owner.

**KITCHEN FITTINGS** shall be constructed of treated pine. They shall generally finish 3'0" high with toespace 3"x 3".

All bench top and dresser tops and upstands to be selected formica, stainless steel bowls. Bench tops and returns to be moulded in one piece.

Bench units- Allow for 2 drawers and fixed panel across top, and three doors below, one shelf.

Bench returns and dresser units, allow to divided equally, one set of drawers vertically, and cupboard doors, one shelf.

Top cupboards to be divided equally, to to have four shelves.

**HOT WATER CUPBOARDS** Fit 2 rows of slat shelves ex 4"x 1" with ½" space between.

**LINEN CUPBOARDS** Fit 5 rows of full width shelving.

**BROOM CUPBD** Unit 1 only, fit two 12" wide shelves at 5'0" and 6'0" above floor.

**WARDROBES** Unit 1 - Fit one shelf 12" wide at 5'0" above floor and a ¾" galv. pipe for coathangers. Fit a full width shelf at 6'0" above floor to form cupboard above.

Unit 2 - Fit one 12" wide shelf at 5'6" above floor and a ¾" galv. pipe for coathangers.

**SHOWER** Unit 1 only. Line shower recess with selected formica wallboard with all necessary PVC mouldings to make a water-

tight job. Provide and fix a 1" chrome pipe rail to hang curtain. Fit in wall where directed a double size plastic soap recess.

VANITY Unit 1 only. Allow the P.C. sum of \$120 for a vanity unit to be selected by owner.

BATH Unit 1, frame up front and line with selected formica wall-board, recessed toespace. Fit around bath to height of top of vanity splashboard, a formica splashboard. Set in splashboard a double size plastic soap recess.

Unit 2. Frame up bath and line front with gibraltar board. Finish at floor with skirting. Finish around bath with a formica splashboard approx. 10" deep. Set in splashboard a double size soap recess.

BATHROOM CABINET Unit 2 only. Build cabinet in depth of wall, not over basin, approx. 22" x 16" with 2 shelves and mirror to door.

TOILET PAPER RECESS In each W.C. where directed, fit a plastic toilet paper holder recess.

TUBS Obtain standard stainless steel tubs from plumber, build into cupboard unit. Fix in position with a formica splashboard behind. Set in splashboard a single size plastic soap recess.

SWITCHBOARDS Frame up for recesses required by electrician, line with fire resistant materials, and fit hinged covers.

HARDWARE Allow the P.C. sum of \$150 for all hardware, other than hinges and sliding door gear etc., to be selected by owner.

#### PLASTERER AND BLOCKLAYER

CONCRETE BLOCK WALL Build up block wall where indicated with 16"x 8"x 8" concrete blocks, reinf. with 1/2" dia. rods at 2'0" cc. and bond wire every fourth course. All cells containing reinforcing shall be filled with grout and be well rodded and tamped. Top course shall be open end channel bond beam or poured 8"x 8" concrete, reinf. with four 1/2" dia. rods and 1/4" stirrups at 2'0" cc. Block wall to be taken to underside of roofing iron.

FOUNDATION WALL Any exposed foundation wall shall be plastered with 3 to 1 plaster to a dense coat 3/8" thick, screed to an even plane, and dash coat as selected by owner.

CONCRETE SLABS By entrance doors and laundry doors shall be rendered with 3 to 1 cement mortar, finished with a steel trowel.

#### ELECTRICIAN

GENERAL The whole installation shall be done in accordance with the 1961 N.Z. Wiring Regulations. Wirings shall be in T.P.S. cables of appropriate ratings.

MAINS & SWITCHBOARDS Instal main cable from point of entry to switchboard position in rear of garage. Each unit to have a separate sub-switchboard and meter, in rear of garage and rear of carport. Meter to be mounted so as to be easily read from outside.

Fit up and leave switchboards in perfect order to the Power Board's requirements.

LIGHT CIRCUITS shall be wired on a minimum of 2 circuits in each unit.

Unit 1 - Allow for 10 ceiling lights; 1 wall light; 2 soffit lights.  
 Unit 2 - Allow for 9 ceiling lights; 1 soffit light.

All light and switch positions to be where directed by owner. All switches shall be flush ivory rocker type. Provide suitable sized lamps at each light outlet, and fit conical ivory shades to all ceiling and soffit lights.

POWER POINTS Power points in kitchen, laundry and garage to be wired on 20 amp fused circuits, the remainder may be divided between two 15 amp M.C.B.'s in each unit.

Unit 1 - Allow for 9 single power points; 2 double power points; 1 combined power point and T.V. outlet.  
 Unit 2 - Allow for 7 single power points; 1 combined power point and T.V. outlet.

Wire T.V. outlets with appropriate tape, leaving sufficient in ceilings for connection to aerials.

All power point positions to be where directed by owner. Power points to match lighting switches.

WATER HEATING Supply unit 1, 1500 watt; unit 2, 1000 watt; element and thermostat for hot water cylinders, and co-operate with plumber in installing same.

STOVE Allow the P.C. sum of unit 1 \$250; unit 2 \$200; for the supply of approved electric stoves. Control same with switch mounted above stove within easy reach.

#### PLUMBER AND DRAINLAYER

All work is to be carried out in accordance with the N.Z. Standard Code of Sanitary Plumbing and Drainage Regulations 1959. Anything not specified but necessary in accordance with the above regulations and the Wanganui City Council By-laws must be allowed for by the Plumbing contractor in his price.

PERMIT The plumber shall provide a plan and section of the drainage for the building permit.

STORMWATER All stormwater is to discharge into gully traps.

DRAINS shall be run from vents and gullies, soil pipes etc. in first quality 4" glazed E.W. pipes, with joints set in 2 to 1 cement mortar. Pipes to be laid in easy bends and even falls not flatter than 1 in 40. Connect to the city sewer.

GULLY TRAPS shall be level inlet type placed where required and shall have side built up in concrete finished smooth. Provide cast iron grating.

VENTS Main and terminal vents shall be placed where required and shall be 3" PVC finished with a wire cowl.

WASTES Wastes shall run to gully traps in diameters to suit the regulations and shall be PVC well supported with galv. channel.

TAPS Interior taps, valves etc. shall be chromium plated streamlined of standard patterns. Allow for 2 hose taps unit 1; 1 hose tap unit 2; of polished brass fitted for a 1/2" hose fitting.

HOT WATER SUPPLY Provide and install in unit 1 a 40 gallon; unit 2 a 30 gallon; copper circulating cylinders, a 20 gallon PVC supply tank and lid in each roof, feed pipe, sludge cock, overflow etc. Run 3/4" lead to baths, 1/2" to vanity or basin, shower, sinks and tubs. Hot water piping to be drawn copper tube

with welded joints, all to be properly lagged with hair felt wired on.

COLD WATER Connect to the city supply in 3/4" tubing, T off at a junction and run in 1/2" tubing to each unit and to all fittings. Each unit to have a separate control valve at junction.

SPOUTING To all eaves, fix 24g. 5" galv. spouting on heavy brackets at 3'0" cc.max., all joints to be double soldered. Care to be taken to maintain correct gutter falls.

DOWNPIPES Allow for a total of five downpipes (2 each unit, 1 garage carport) 2 1/2" galv. to discharge into gully traps.

FLASHINGS In general, the whole of the buildings shall be flashed wherever necessary in 24g. galv. iron.

BATHS 5'6" flat top porcelain enamelled pressed steel bath first quality set low for framing in.

W.C.'s Best quality ceramic washdown pan with white plastic (Dux) low syphonic cistern. Joint between pan and soil pipe to be made with a plastic material and not cement mortar. Provide and fix a heavy plastic seat and flap, colours to be selected.

TUBS Provide a standard single stainless steel tub for each unit to joiner to build into cupboard unit. Do all necessary connections.

VANITY Unit 1, specified under Carpenter and Joiner. Do all necessary connections.

BASIN Unit 2, shall be 20" x 14" porcelain bracket basin to be set on brackets and against wall with red lead putty to prevent movement. Trap and waste pipe to be W.I. chrome plated.

SHOWER Unit 1 only, provide 3'0" x 2'6" stainless steel shower tray with 4" upstand and thresh-hold step. Fix in position complete with grating, waste pipe etc.

Provide Topliss or equal water mixer and control and C.P. shower rose.

Shower shall have cold supply feed off the supply tank, not from a reduction valve.

SINKS Specified under Carpenter and Joiner. Do all necessary connections.

#### PAINTER AND PAPERHANGER

PAINT All materials to be of the best obtainable and to the NZSS. All surfaces shall be protected from paint splashes. All colours to be selected.

EXTERIOR WOODWORK All exterior woodwork to be given one coat of priming before fixing. Stop all nail holes and defects with best quality oil putty, apply two undercoats and on of full gloss paint.

EXTERIOR WALLS, EAVES ETC. To all Fibroplanks, Coverline, eaves, verges, porch ceilings, plastered foundation walls etc. give two coats of P.V.A. or similar paint.

SPOUTING ETC. To all spouting, downpipes, vent pipes etc., RHS supports, give one coat of appropriate primer, two undercoats and one of full gloss enamel.

GARAGE & CARPORT ROOF All laps to be primed before fixing. Leave unpainted.

INTERIOR WOODWORK Allow to paint all woodwork in kitchens, laundry's, bathrooms and W.C., Including inside of all cupboard doors, but excluding main doors.

Allow to varnish all remaining woodwork, but consult owner before commencing.

Woodwork to be painted to receive one coat of primer-undercoat, stop all nail holes and defects, apply one undercoat and one coat of approved enamel.

Woodwork to be varnished to be given one coat of sanding sealer, to have all nail holes and defects stopped in matching colour, and be given two coat of clear varnish, gloss or matt as selected by owner.

INTERIOR WALLS All joints and nail holes in gibraltar board to be stopped and trowelled to a smooth even surface.

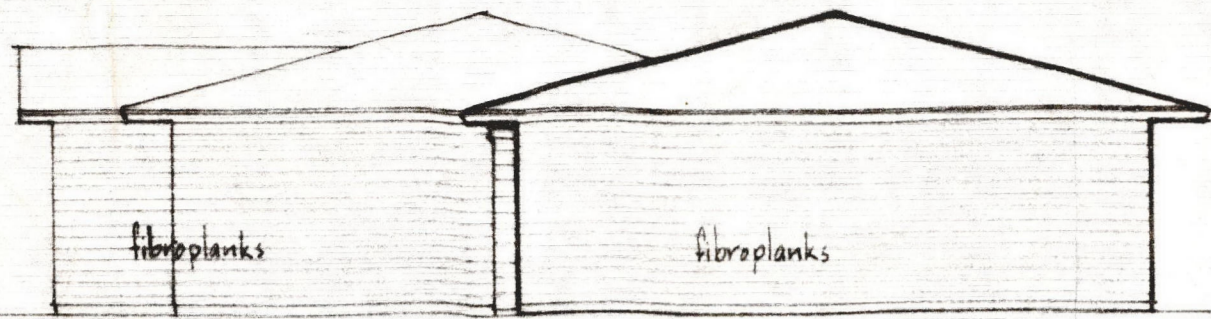
Walls in both laundries, unit 2 bathroom, W.C. and kitchen to be given one coat of sealer, two undercoats and one good coat of approved enamel.

Allow the P.C. sum of \$6 per roll for papers in unit 1 kitchen, dining, bathroom and W.C.

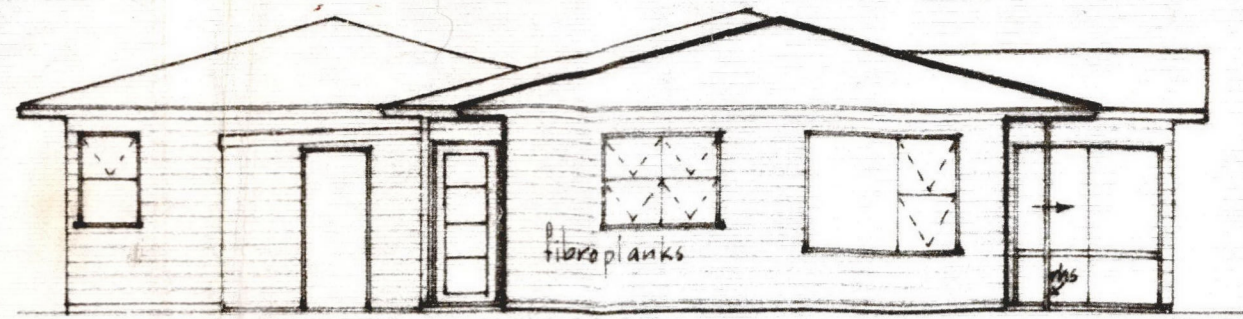
Allow the P.C. sum of \$3 per roll for all remaining rooms.

All gibraltar board to be given one coat of glue size or similar before papering. All papers to be trimmed, cut true and square, butt jointed, hung true and plumb, patterns to be matched, and all to be left free of all defects and disfigurements. All papers to be selected by owner.

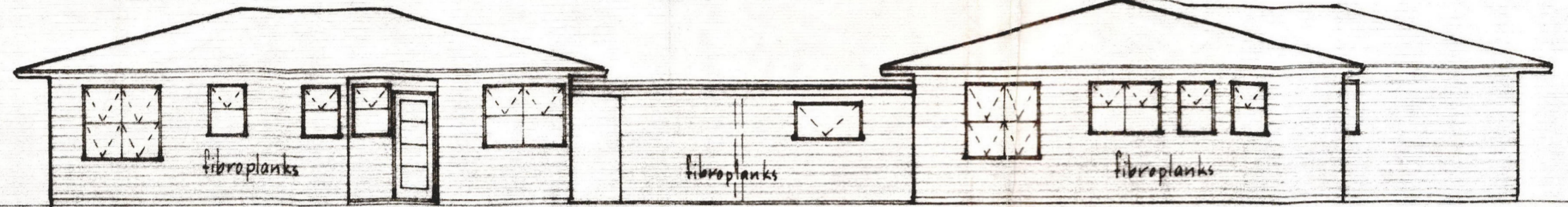
CEILINGS All pinex nail holes and defects to be pointed and filled. All ceilings to be given one coat of sealer, two undercoats and one finishing coat, either enamel or matt as selected by owner.



Unit 1 Unit 2  
Rear Elevation (S.W.)



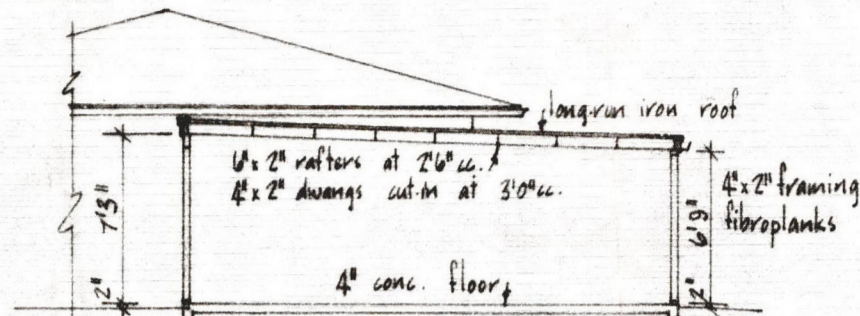
Unit 2 Garage Unit 1  
Front Elevation (N.E.)



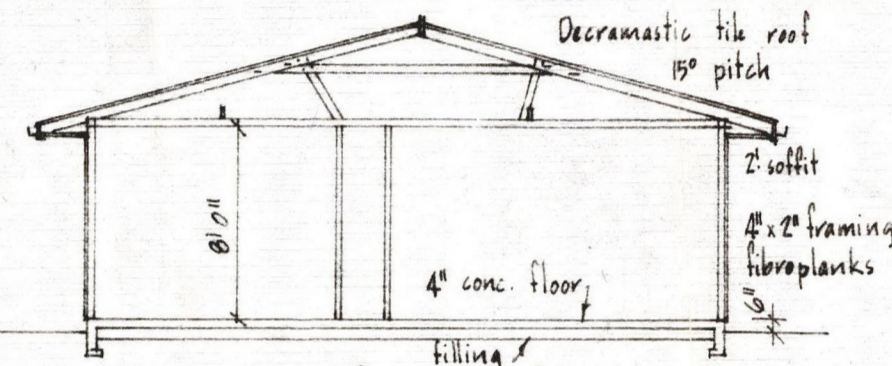
Unit 2 Carport Garage Unit 1  
Side Elevation (S.E.)



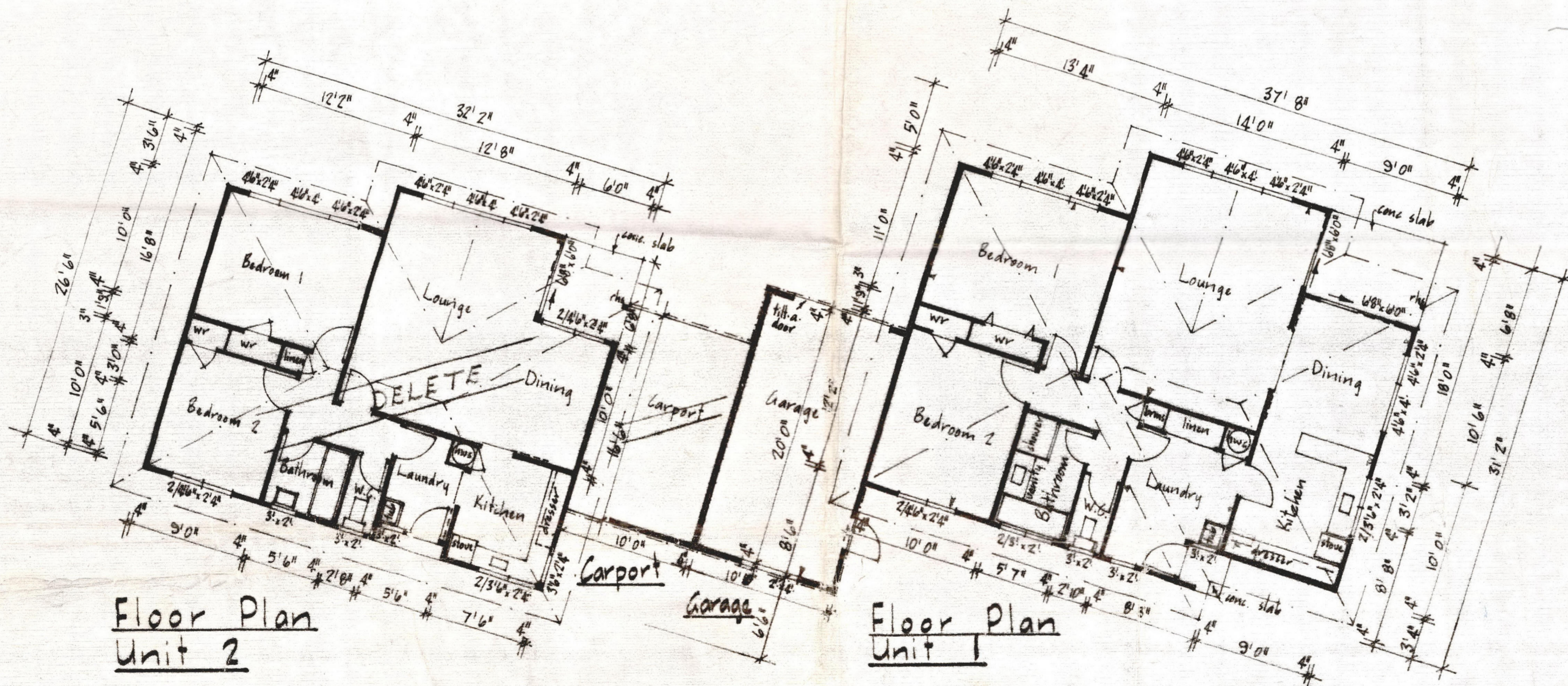
Unit 1 Garage Carport Unit 2  
Side Elevation (N.W.)



Section thru Garage

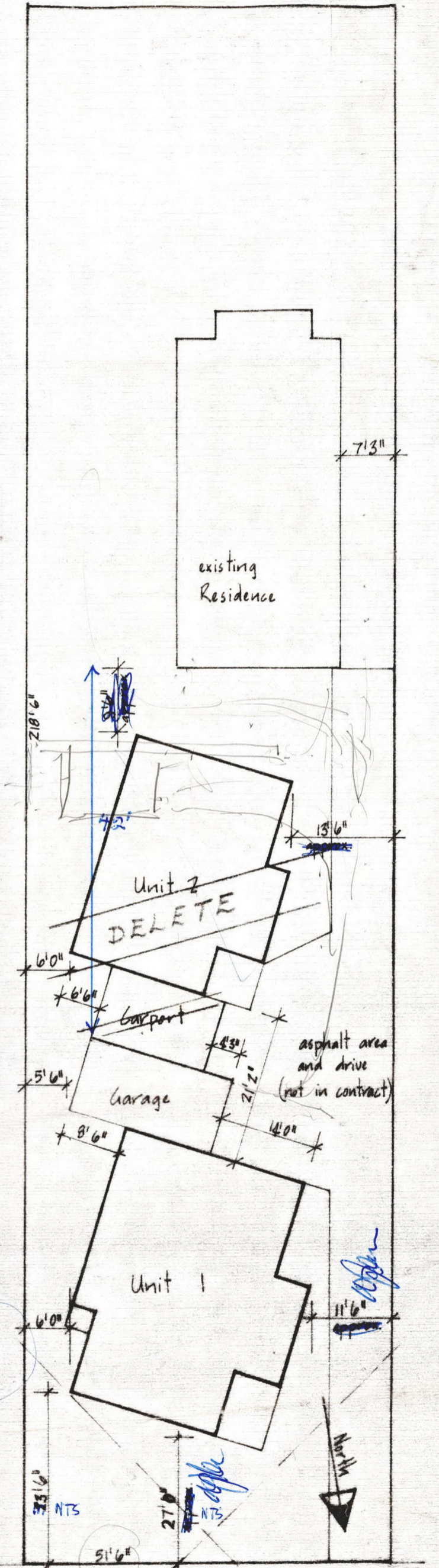


Typical Cross Section



Floor Plan  
Unit 2

Floor Plan  
Unit 1



Pt Lot 6  
D.P. 2953

13 Nikau Street  
Site Plan

Proposed Erection of Two Units for Mr. J. & Mrs. M.E. Lang, 13 Nikau Street, Wanganui

## VALUATION ROLL No.

## LEGAL DESCRIPTION

2349

1311/299

LOT 1 D.P. 19322

13A NIKAU STREET

## DRAINAGE &amp; PLUMBING PERMITS

## BUILDING PERMITS

Existing Use

Permit No.

Date

Permit No.

Date

Nature of Work

Designation

Zoning

129435 26.9.61 DWELLING

B016445 18.2.69 GARAGE

K093908 24.3.82 EXTEND GARAGE

Undersize Section

Building Line Restriction

Proposed Street

Proposed Service Lane

Proposed Access Way

Dangerous  
Goods Licence

Fill Points

Housing File No.

Underground Tank

Type

Capacity  
gals

Water Connection

Reg. No.

Amt. Paid.

Conditional Use

File:

Water Meter

Water Bore

Drainage Connection

Reg. No.

Amt. Pd.

Specified Departure

File:

Pool

Filtered

Back Flow  
PreventerStormwater  
Connection

Reg. No.

Amt. Pd.

Dispensations

Reference

Date

Heating

Gas

Oil-fired

Coal-  
Wood

Electric

Other

Kerb Crossing

Reg. No.

Amt. Pd.

1069  
23898  
\$4.10  
\$20 -