

Enhancing the quality of the environment



RECEIVED WANGANUI DISTRICT COUNCIL 07 MAR 2003

APPLICATION for P.I.M/Building Consent

This application is for a: (tick the appropriate box)

- Project Information Memorandum - PIM (preliminary application for a Building Consent)
Building Consent
Alteration to Approved Plan

BC # 3/0280

(A) Owner

Name: Wendall Hart
Mailing Address: P.O. Box 4198 Wanganui
Phone: 063483560 Fax: -

(B) Designer

Name: Margaret Sherriff
Mailing Address: 11 Dickson Cres
Phone: 3477360 Fax: 347730

(C) Builder

Name: Simon Skelsey
Mailing Address:
Phone: Fax:

(D) Craftsman Plumber

(E) Registered Drainlayer

CONTACT PERSON i.e. A B C D E (Circle one)

Project

Description of PROJECT and USE: Dwelling

Project Location

Street Address/Rural No: 17 Bell St.

Durable Life of Project (i.e. 5, 15, 50+ years)

Value of Project Work

(include all labour & materials)

\$ 154,000 (Incl. GST)

Consent Fees to be paid by? Owner

Code Compliance Certificate to be sent to? Owner

FLOOR AREA OF PROJECT

New Residential Dwellings or New Commercial Only 155 m^2

LEGAL DESCRIPTION

WDC Property No.
Valuation Roll No.
Lot(s) DP
Section Block
Survey District

Signed by (on behalf of) the applicant Signature

Owner, builder, plumber, designer, agent (circle one)

Date:

FEES APPLICABLE (office use only)

Table with 2 columns: Fee Name and Amount. Includes Building Consent Application, Issue, P.I.M., Non-notified Appl. Fee, Prepaid Crossing, Sewer Connection, Water Connection, Stormwater Connection, BIA Levy, Additional Charges, and Total Fees (Incl. G.S.T).

PTO

The information will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act:1993:section 54. This may result in receipt by the 'Owner' of trade advertising.

Project Details

The project involves the following
 (tick each applicable box, if any, and attach two(2) copies of any relevant information)

- (1) Location in relation to legal boundaries and external dimensions of new, relocated or altered buildings
- (2) New provisions to be made for vehicular access and on-site parking, ie. a new crossing
- (3) Provisions to be made in building over or adjacent to any road or public place, ie. hoardings, signs
- (4) New provisions to be made for disposing of stormwater and wastewater
- (5) Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains
- (6) New connections to public utilities, ie. new drainage or water connections
- (7) Provisions to be made for any demolition work ie. the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
- (8) Any cultural heritage significance of the building or building site, including whether it is on a marae

Project Documents (provided with this application)

- Plans and specifications
- (22) Producer Statements (ie. truss design, design review) - specify: Engineer's Produce Statement
- (23) Other Documents - specify:

Inspections

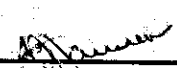
- (26) By Wanganui District Council
- (27) Other - specify (ie. Design Engineer):

Unit	For office use only					
	Checks		Inspections		Approved	
	Initials	Date	Initials	Date	Initials	Date
Administration	LC	10/3/03				
Planning	C.L.	11/08/03				
Fire Design						
Building						
Drainage						
Water						
Structural						
Plumbing/Drainage						
Roading						
Health						
Dangerous Goods						

PRICE
 JEFF 212
 DAVE 205
 PAUL 200
 BILL 212
 GWJ 210

 AV. 220

 say \$200K

Approved for issue of PIM/Building Consent
 District Building Controller:  Date: 11/11/03



TOTAL INSPECTION TIME REPORT

Building Consent Number BC3/0282

Total Estimated Inspection Time	200
Total Actual Inspection Time	0
Inspection Time Difference	200
At BC Issue Time to be charged.	
At Completion Positive amount = time to be credited	
Negative amount = time to be charged	

Signed for and on behalf of the Wanganui District Council

135
20

155

Development Checksheet

Residential

Property Address: <i>17 Bell Street</i>						
Project: <i>Dwelling</i>				Site Area:		
	Operative Plan			Proposed Plan		
Rule	Required	Provided	O.K.	Required	Provided	O.K.
Coverage				<i>40%</i>	<i>35%</i>	✓
Maximum Height				<i>10m</i> <i>- 4 levels</i>	① 5.3 ② 5.6 in (m) ③ 5.4 ④ 4.4	✓
9m x 9m Triangle				<i>N/A</i>		
Front Boundary					<i>11.4m</i>	✓
Side Boundary				② <i>1.8m</i> ③ <i>0.5m</i> ④ <i>0.3m</i>	<i>encroaches in 3 (maximum) areas</i>	✗
Side Boundary						✓
Rear Boundary					<i>11.4m</i>	✓
Separation of Units				<i>N/A</i>		
Outdoor Living				<i>N/A</i>		
Storage				<i>N/A</i>		
Parking				<i>N/A</i>		
Access	<i>→ Vehicle Crossing —</i>			<i>3.5m max</i>	<i>3m wide</i>	✓
Dimensions/Easements				<i>easement (sewage drainage) through NW side of property</i>		

Comments:

Resource Consent Required
File Opened branches height recession plane in 3x areas. ✗

Wanganui District Council

Building a better community with the people of the Wanganui District



101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz

31 March 2003

Mr WR Hart
P O Box 4198
Wanganui 5031

Dear Sir or Madam:

1st Request for further information on Application.

Project Number: BC3/0282
Project Location: 17 Bell St WANGANUI 5001
Project Description: To build a new dwelling with attached garage.

The documentation supplied for the above project has been reviewed and raises the following comments:

1. Please show on plan the location of the existing water toby connection and the new water service main for this site. (Graham Steele-Plumbing and Drainage) *New Connections by Council Refer Chris C*
2. Please provide names of craftsman plumber and registered drainlayer who will undertake this work. (Graham Steele-Plumbing and Drainage) *Done by owner.*
3. Please show location on plan of the t/vent to the foulsewer drain on the eastern side of the dwelling, should be on wet side of g/trap at head of that section of drain. (Graham Steele-Building Control Officer) ✓
4. Is a live water connection on this site? (Chris Carter) *Yes. New connection by Council Refer Chris C.*
5. According to the site plan the vehicle crossing will encroach on the existing road sump. Could you please either move the crossing or discuss with Chris Carter at Water Services. (Chris Carter) *Realigned.*

We have placed this application on hold until we receive your advice regarding the above comments, and the issues raised have been resolved. If you have any queries please contact this office and quote Project Number BC3/0282

Yours sincerely


Kim Glentworth
Customer Services Officer

PRODUCER STATEMENT - DESIGN

Job No. 6204

P.I.M. No.

Building Regulation Clause (s) B1

	Bycroft Petherick Ltd Engineers Valuers Arbitrators
	86 Victoria Avenue Wanganui New Zealand Phone (06) 345 3959 Fax (06) 345 9295 Email office@bycroftpetherick.co.nz

ISSUED BY: STUART JOHN MACKINTOSH

TO: Wanganui District Council

IN RESPECT OF: Hart Residence

AT: 17 Bell St, Wanganui

Bycroft Petherick Ltd has been engaged by Margrett Sherriff Architectural Design to provide Structural Engineering Design services in respect of the requirements of Clause(s) B1 of the Building Regulations 1992 for

All of the building work Part only of the building work
as specified below:

Foundations, Retaining Walls, Structural Steelwork, Subfloor Bracing.

The design has been prepared in accordance with B1/VM1 of the approved documents issued by the Building Industry Authority and the work is described on Margrett Sherriff Architectural Design drawings titled Hart Residence and numbered 1-9 and the specification and other documents according to which the structure is proposed to be constructed.

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000, I BELIEVE ON REASONABLE GROUNDS that subject to:

(i) the verification of the following design assumptions :

and (ii) all proprietary products meeting the performance specification requirements.

The drawings, specifications, and other documents according to which the building is proposed to be constructed comply with the relevant provisions of the building code.

This company has been engaged to carry out construction monitoring of the subgrade and structural steelwork.



BE MIPENZ

Date: 6/3/03

ERB Reg.No: 132460

Member ACENZ
IPENZ

This form to accompany Form 3 of the Building Regulations 1992 for the application of a Building Consent.

NOTE: This Producer Statement covers only those sections of the work and Building Regulation clauses specifically referred to in the details above.
Unless specifically noted, compliance of the drawings to Non Specific codes such as NZS 3604 and NZS 4229 have not been checked by this practice.
This certificate does not cover stability or suitability of the site.

GUIDANCE ON USE OF PRODUCER STATEMENTS

This producer statement has been prepared by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand, Building Officials Institute of New Zealand, New Zealand Master Builders Federation and New Zealand Contractors Federation.

Four producer statements are available and brief details on the purpose of each are as follows:

- Design:** Intended for use by the party responsible for the design when the territorial authority carries out a less rigorous review of the documents.
- Design Review:** Intended for use by a suitably qualified independent design professional where the territorial authority does not undertake an internal review and relies on the independent design professional's review to issue the building consent.
- Construction:** Intended for the use by the contractor of the building works where the territorial authority requires a producer statement at the completion of construction.
- Construction Review:** Intended for use by the design professional required by the building consent to undertake construction monitoring of the building works.

The producer statements system is intended to provide territorial authorities with reasonable grounds for the issuing of a Building Consent or Code Compliance Certificate without having to undertake rigorous design or construction checking using their own resources.

The following criteria are recommended to Territorial Authorities with respect to the use of the producer statements.

Definition of Suitably Qualified Design Professional

A suitably qualified design professional should have recognised qualifications and experience for the work undertaken and should be either:

- (i) an active member of the Association of Consulting Engineers of New Zealand (ACENZ) or;
- (ii) a corporate member of the Institution of Professional Engineers of New Zealand (IPENZ) having a current policy of Professional Indemnity Insurance for a sum not less than \$200,000 or;
- (iii) a member of the New Zealand Institute of Architects (NZIA) having a current policy of Professional Indemnity Insurance for a sum of not less than \$200,000.

Design Build Contracts

If the design professional is engaged by the contractor, the territorial authority should satisfy itself that it is appropriate for the territorial authority to rely upon a producer statement from the design professional.

Consulting Services during Construction Phase

There are several levels of service which a design professional may provide during the construction phase of a project. The territorial authority is encouraged to require that the service to be provided by the design professional is appropriate for the project concerned.

Requirement to provide Producer Statement

Territorial authorities should ensure that a design professional is aware of any requirement to provide producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the design professional's engagement.

Attached Particulars

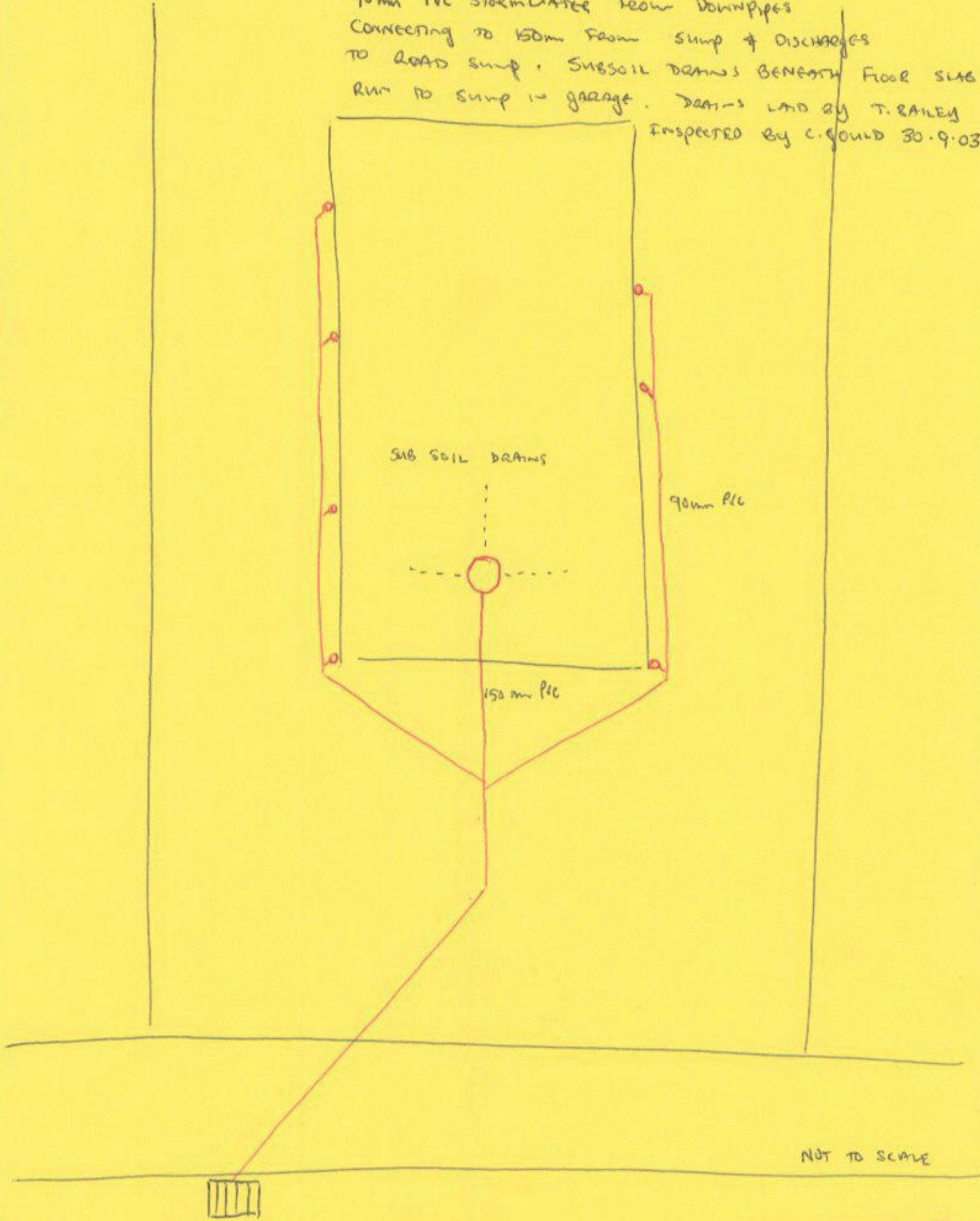
Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

17 BELL ST

BC# 3/0282



90mm PVC stormwater from downpipes
connecting to 150mm from sump & discharges
to road sump. Subsoil drains beneath floor slab
run to sump in garage. Drains laid by T. BAILEY
Inspected by C. GOUND 30.9.03



NOT TO SCALE

ENTERED



WANGANUI DISTRICT COUNCIL

PRODUCER STATEMENT - CONSTRUCTION

VEHICLE CROSSING INSTALLATIONS

Building Consent Application No.

Issued By: Keenan Concrete Services
(Permitted Installer)

To: WANGANUI DISTRICT COUNCIL

IN RESPECT OF AN APPLICATION FOR BUILDING CONSENT MADE BY Wendell

Hart IN RELATION TO vehicle crossing
(Building Consent Applicant) (Description of Building Work)

At: 17 Bell Street Wanganui
(Address)

Lot DP SO

Wayne Keenan has undertaken to Wendell Hart to
(Permitted Installer) (Building Consent Applicant)

construct All Part only as specified in the attached particulars

of the building work the subject of Building Consent No. and the attached conditions of building consent and am satisfied on reasonable grounds that the building work specified above has been completed to the extent required by that Building Consent and complies with the Street Opening Policy and relevant Acts. I understand that if this Producer Statement is accepted, it will be relied on by Wanganui District Council for the purposes of establishing compliance with the Street Opening Policy.

Wm/Lees
(P I Certifier)

10-12-03
(Date)

Approved W.D.C. Installer
(Qualification)

.....
(Address)

027 454 791
(Phone)

06 3433381
(Facsimile)

Please fill in
Building Consent No. &
Lot no. etc. for me.

To.

Caren.

SPECIFICATION FOR THE HART RESIDENCE 17 BELL ST. WANGANUI.

DRAWINGS AND SPECIFICATION:

This specification is to be read in conjunction with the plans, working drawings and bracing schedule. It is the contractors responsibility to check dimensions and suggested methods of construction before commencement of work.

WORKMANSHIP:

Each trade shall attend upon all other trades as necessary and shall protect and make good any damage to any other trade. All workmanship shall be in accordance with good trade practice and shall comply with the New Zealand Building Code, NZS 3604/1999 and any other applicable standard bylaw or regulation. Each trade shall obtain any necessary permit or approval before commencement of work.

EXCAVATION:

Excavate to levels as required. Remove any soft material and compact in layers to required levels. All foundations must be bearing on solid ground

MATERIALS:

1. CONCRETE: Crushing strength to be 17 Mpa at 28 days. All reinforcing shall be free of mud, loose flaking rust etc. Lap mesh to slab 150mm at joints. All concrete to be worked around reinforcement or piles and consolidated to leave a mass completely free of voids, cavities or areas of honeycombing.
2. CONCRETE BLOCK: 200 series concrete block foundation walls as shown, with all cavities to be filled.
3. DAMP PROOF COURSE: Between all concrete and timber to be standard duroid d.p.c.
4. STRUCTURAL STEEL: 150 PFC beams and 76 shs posts to Engineers details, provide all bolt fixings and welds as shown.
5. TIMBER: All timber to be well seasoned to a moisture content of 16%. Framing timber to be dry-frame to regulations NZMP 3640 and AS/NZS 1748, or framing A grade, boric treated.
6. WALL FRAMING: 90 x 45 studs at 600crs maximum.
90 x 45 dwangs at 900crs or to suit wall linings.
Lintels to be trifold or as in NZS 3604/1999.
7. ROOF FRAMING: Trusses as shown. The contractor is to provide the truss design certificates and layouts. Brace trusses according to NZS 3604/1999.
8. WALL BRACING: As shown on bracing schedules. Adequately brace complete structure until all brace linings are fixed. Braceline sheets are to be fixed strictly in accordance with the manufacturers directions with associated straps and fixings as designated. Diagonal braces are to be set in flush as near as possible to 45 degrees.
9. BUILDING PAPER: Self supporting to roof.
Standard building paper to walls under zincalume, and protex under monotek

10. **INSULATION:** R1.8 Fibreglass batts to ceilings and exterior walls.
Perforated foil insulation under floor.
11. **CLADDING:** Zinalume, and Monotek cladding system where shown. This system is to fixed strictly in accordance with the manufacturers instructions and a written guarantee is to be provided.
12. **CEILING LININGS:** Ultraline on metal battens at 450crs
13. **WALL LININGS:** 10mm aqualine or similar to wet areas, 10mm standard gib board elsewhere, all fitted strictly in accordance with manufacturers directions.
14. **GIB STOPPING:** All linings taped and stopped to a high quality finish for painting. 90 Gibcove cornice as selected.
15. **ALUMINIUM JOINERY:** Powder coated windows and doors as shown on drawings. Glazing to comply with NZS 4223 part 3 for human impact. No sill reveals to door joinery.
16. **ROOF LIGHTS:** Velux Skylights FS.0075.304 (780x980 fixed)
to have tinted double glazing with flashings kits
17. **FLASHING AND SEALANTS:** To roof, windows and wherever necessary to make building completely water-tight, coloured to match adjoining materials.
18. **ROOFING:** Longrun coloursteel roofing with matching nails, flashings, cappings etc.
19. **SOFFITS:** Hardisoffit into rebated fascias.

20. PLUMBING AND DRAINAGE:

The whole of the plumbing and drainage shall be done in strict accordance with Building Code G12 and G13.

All hot and cold water piping to be in polybutylene.

All wastes, soil and vent pipes to be P.V.C.

All runs shall be in straight lines with minimum bends and junctions.

All pipework to be concealed in framing, or ceiling cavity.

All individual fittings shall have a 12mm minimum connection, and where grouped together 20mm supply will be taken to each group with 12mm connections made.

Provide wing backs securely fixed to framing for all tap connections.

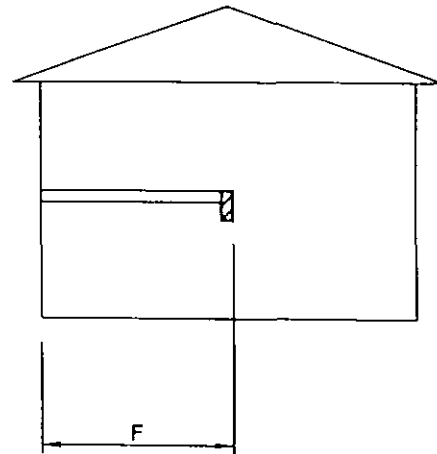
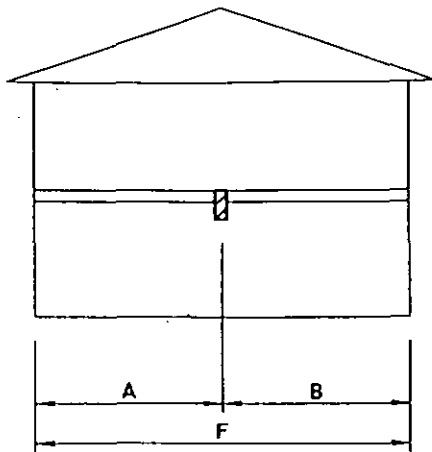
Provide and install all fittings as shown on drawings and leave in working order.

Provide all terminal vents to drains and back vents to fittings as shown, back vents in wall cavities (projecting above roof) terminal vents neatly clipped to exterior of walls, capped with P.V.C. perforated flush end.

Waste pipes to sizes as shown on drawings, turned down into gullies as applicable, under grates.

All drains to be laid in a uniform line, level and grade. All junction fittings shall be inspection fittings. Size of pipes as shown on drawings.

21. ELECTRICAL: This work is to be carried out by registered tradesmen only, carried out strictly in accordance with the local bylaws. The electrical contractor shall obtain the necessary permits and arrange for inspections as required.



FLOOR BEAM SUPPORTING JOISTS

1.5 KPA LIVE LOAD	MAXIMUM FLOOR BEAM SPAN (M)					
	JOISTS SPAN F (M)					
	2.4	3.6	4.8	6.0	7.2	8.4
FB20H	4.9	4.3	3.9	3.6	3.4	3.2
FB25H	5.7	5.1	4.6	4.3	4.0	3.8
FB30H	6.4	5.7	5.3	5.0	4.7	4.4

2.5 KPA LIVE LOAD	MAXIMUM FLOOR BEAM SPAN (M)					
	JOISTS SPAN F (M)					
	2.4	3.6	4.8	6.0	7.2	8.4
FB20H	4.5	3.7	3.2	2.9	2.1	2.4
<u>FB25H</u>	5.2	4.8	4.3	<u>3.8</u>	3.5	3.2
FB30H	5.5	5.3	4.9	4.3	4.0	3.7

3.0 KPA LIVE LOAD	MAXIMUM FLOOR BEAM SPAN (M)					
	JOISTS SPAN F (M)					
	2.4	3.6	4.8	6.0	7.2	8.4
FB20H	4.1	3.5	2.9	2.6	2.4	2.2
FB25H	5.0	4.5	4.0	3.5	3.2	3.0
FB30H	5.2	5.0	4.7	4.1	3.7	3.4

LOAD CONDITIONS:

FLOOR:
 DEAD LOAD = 0.20 KPA FLOORING MATERIAL
 0.15 KPA CEILING MATERIAL

ALL OTHER DETAILS AS PER SPECIFICATION AT FRONT OF
 GANG-NAIL FLITCH BEAM MANUAL.

FLOOR BEAM

Bycroft Patrick Ltd
 Engineers Valuers Arbitrators
 36 Victoria Avenue
 Waiwairua New Zealand
 Phone (06) 345 3959
 Fax (06) 345 9295
 Email: office@bycroftpatt.co.nz

Client: *M Sheriff*
 Subject: *Nest House*

Job No. *0204*
 Date *21/2/03*

Page *1*
 By *SP*

Nest braising!

Upper floor R1, T1, Urban → L.
 3m wall + 1m roof seg = 30 BU/m

Front wall 5m x 30 = 150
 Next wall 5.8m x 30 = 180 BU

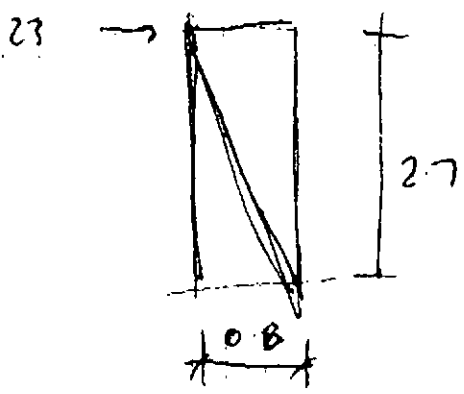
Front wall available

$2.4/2.7 (10.9 + 0.6 \times 11.0) = 147 \sim 150$ ok
 BR9

Next wall

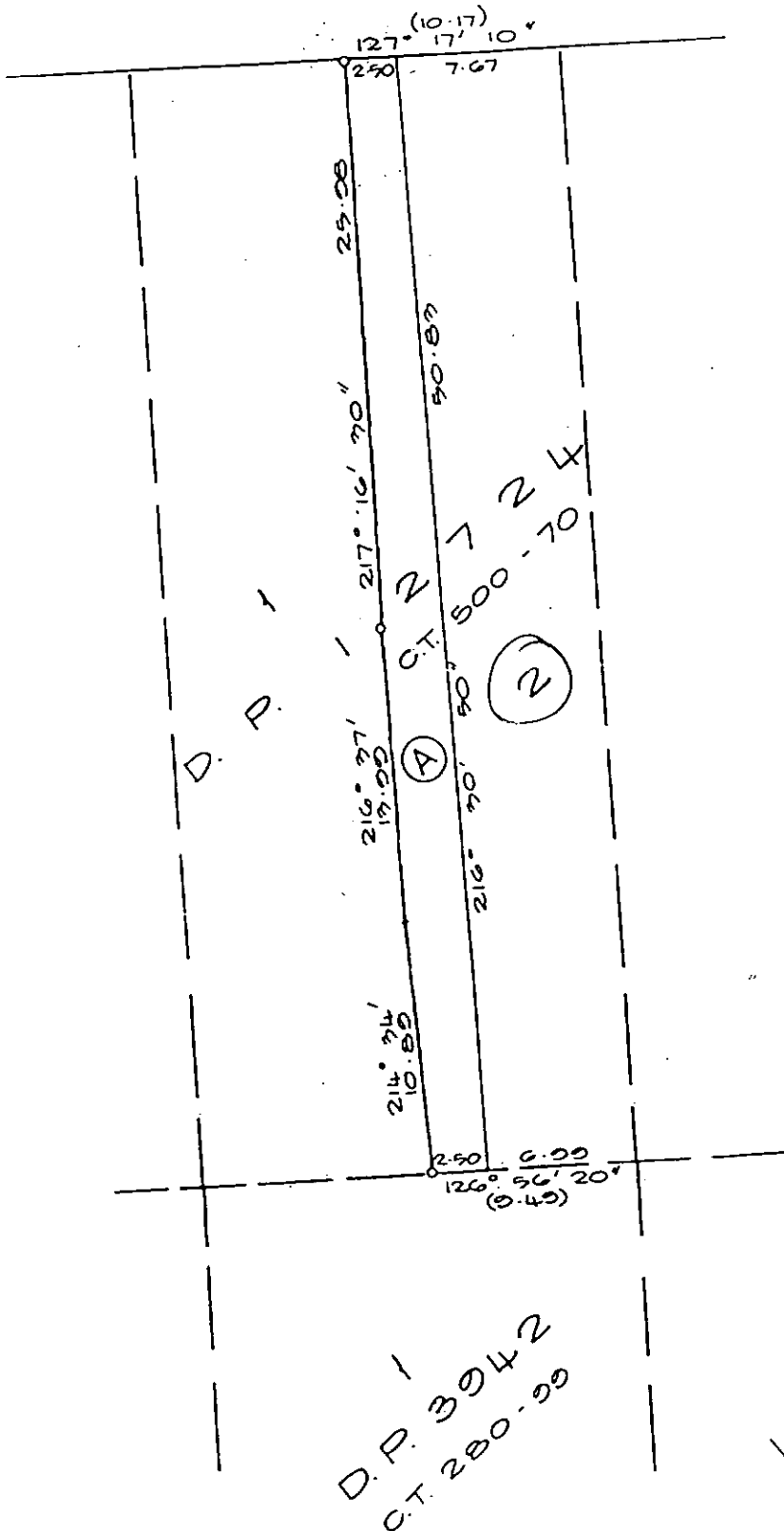
Provide brace in wall
 to take 180 BU

Reqd strength
 $= \frac{180 \text{ BU}}{20} \times \frac{2.7}{2.7} = 23 \text{ kN}$

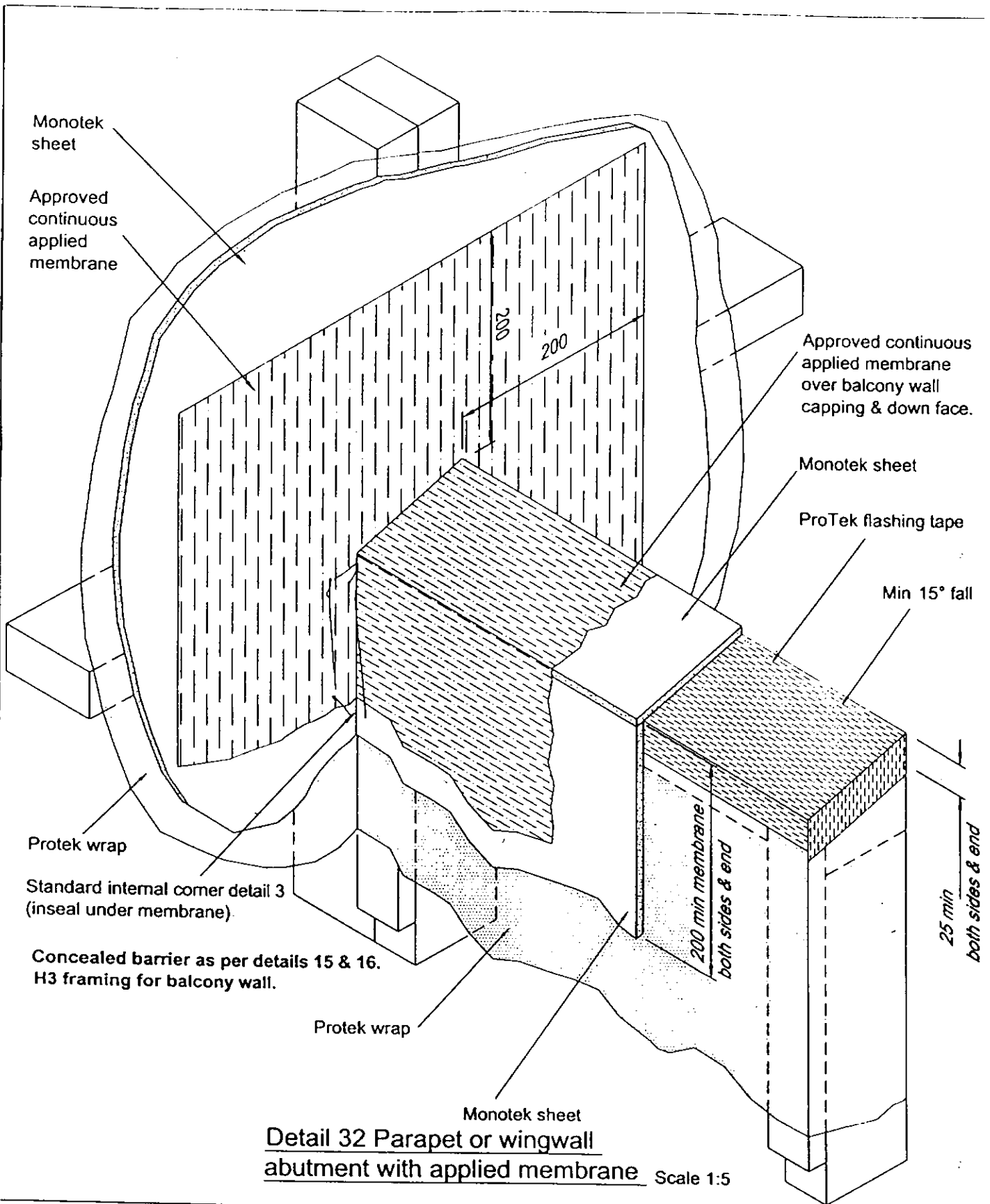


BELL STREET

Legal Road - 20.12 wide

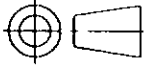


CON



Detail 32 Parapet or wingwall abutment with applied membrane Scale 1:5

COPYRIGHT
 THE COPYRIGHT OF THIS DRAWING IS THE PROPERTY
 OF JAMES HARDIE NEW ZEALAND LIMITED. NO PART
 OF IT MAY BE REPRODUCED BY PHOTOCOPYING OR
 BY ANY OTHER MEANS AND MUST NOT BE PASSED
 ON TO A THIRD PARTY WITHOUT PRIOR WRITTEN
 CONSENT OF THE TECHNICAL MANAGER.


 DIMENSIONS IN mm
 FOR STRUCTURAL LAYOUT
 REFER TO ARCHITECT'S
 DRAWINGS.

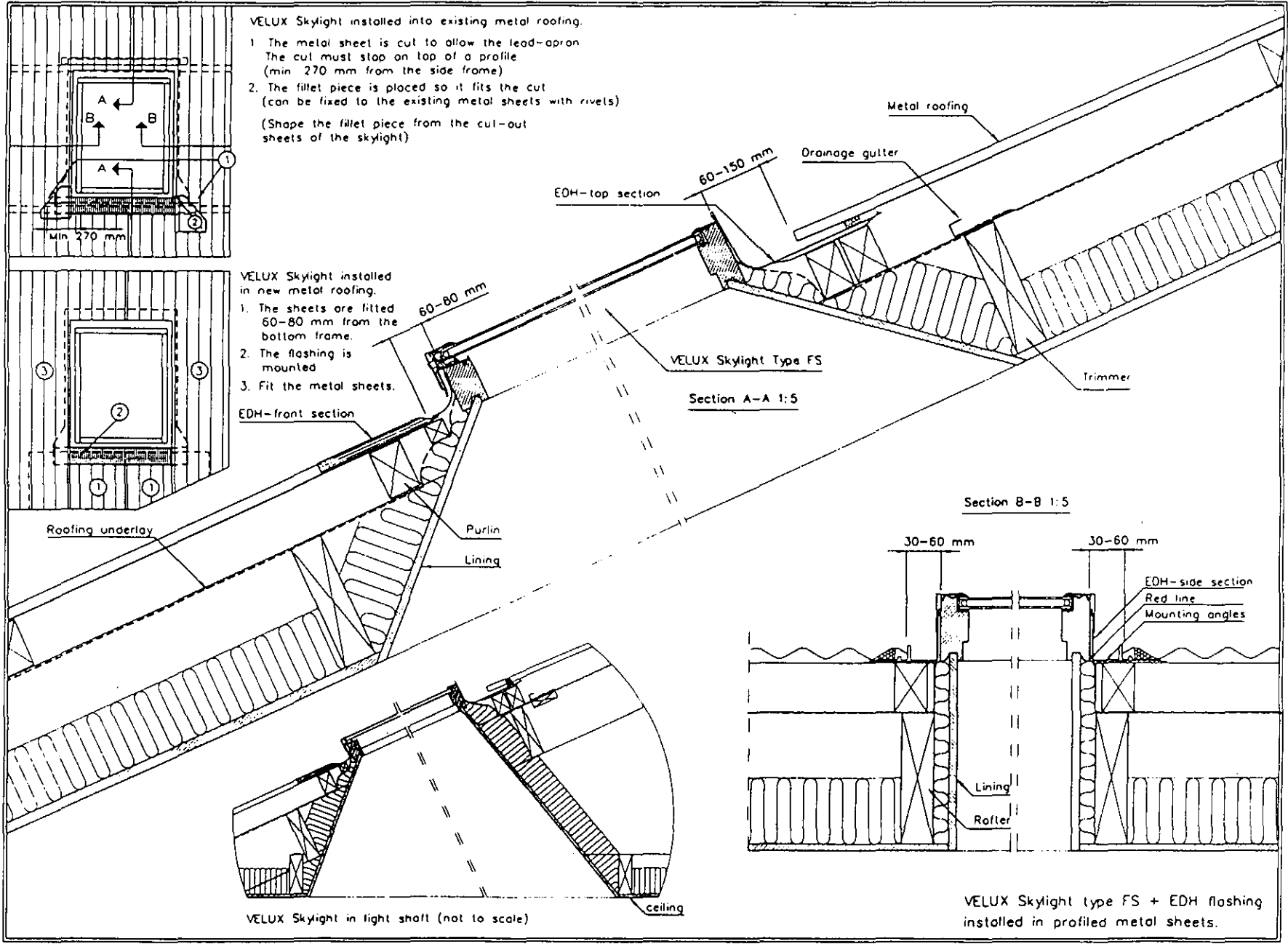
MONOTEK

50 O'Rorke Road
 Penrose, Auckland
 New Zealand

Monotek

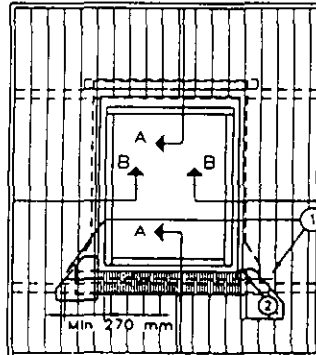


Phone: 08
 Fax: 08



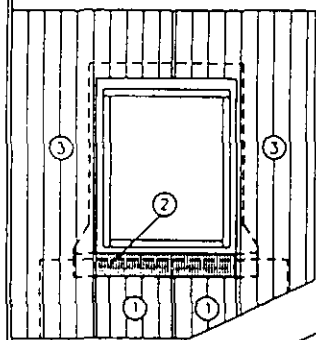
VELUX Skylight installed into existing metal roofing.

1. The metal sheet is cut to allow the lead-apron. The cut must stop on top of a profile (min 270 mm from the side frame)
2. The fillet piece is placed so it fits the cut (can be fixed to the existing metal sheets with rivets) (Shape the fillet piece from the cut-out sheets of the skylight)



VELUX Skylight installed in new metal roofing.

1. The sheets are fitted 60-80 mm from the bottom frame.
2. The flashing is mounted.
3. Fit the metal sheets.



EDH-front section

VELUX Skylight in light shaft (not to scale)

VELUX Skylight type FS + EDH flashing installed in profiled metal sheets.

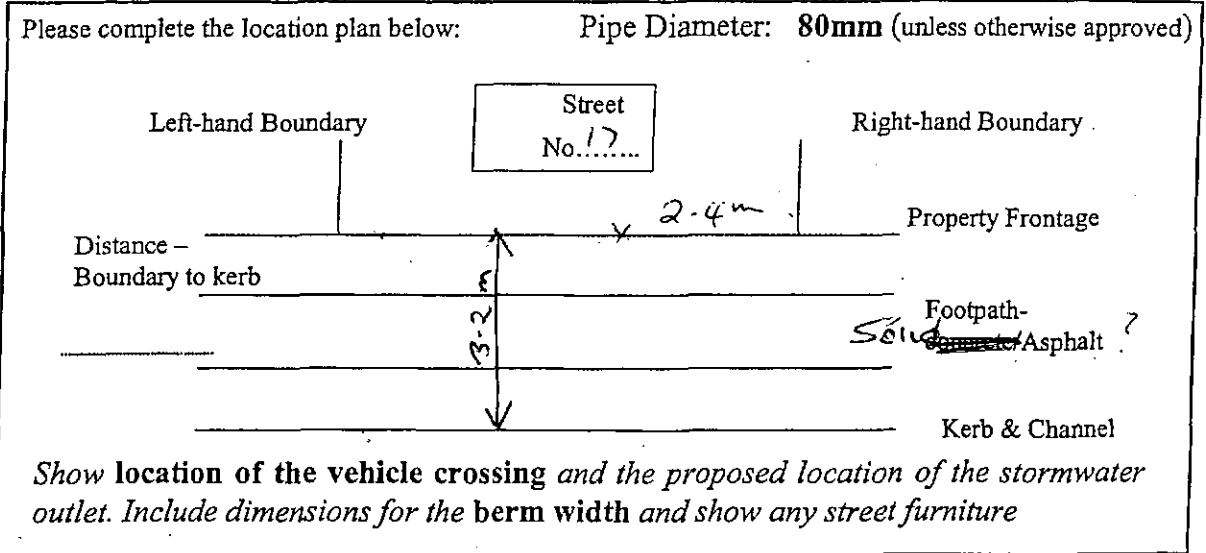
Third Schedule

WANGANUI DISTRICT COUNCIL STORMWATER TO KERB APPLICATION/QUOTATION FORM

SWC NO.

No: 17 Street: BELL ST Date: 7/5/03
 City: WANGANUI Daytime Contact Phone No:
 Owner: MR W. HAAT FEE payable: **\$337.50 incl GST**
 Postal Address: Box 4195 WANGANUI

OFFICIAL USE ONLY: B/C: 3/0282
 WDC Debtor Acct No: 40002 Date paid: 8/5/03 Receipt No.: 20600



QUOTATION:

Contractor: Fax No.)

My price to install the stormwater connection as above and in accordance \$.....

with Contract No. 920 Standards and Specification and its amendments. GST

Contractor's Signature: Date: / / Total \$.....

WWS OFFICIAL USE ONLY

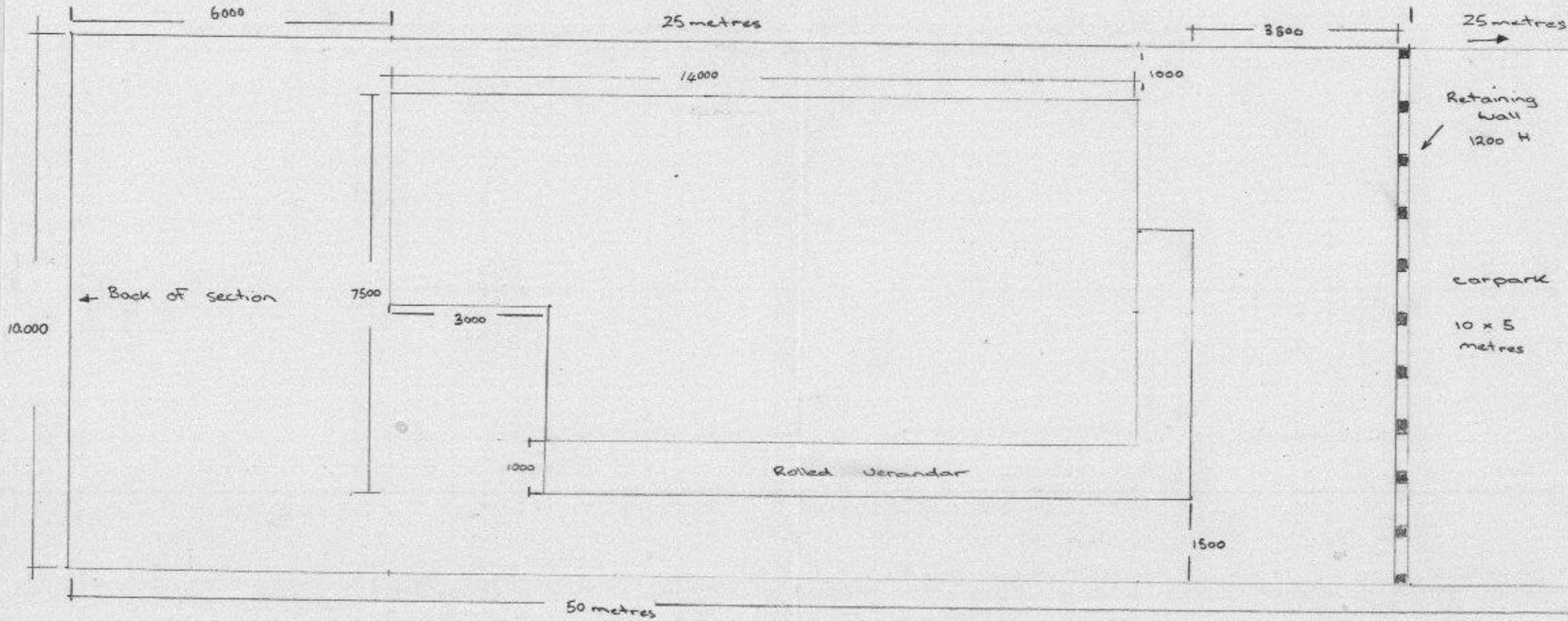
Quotation Accepted / Declined Installation required by/...../.....

Engineers Signature: Date: / / WWS No.....

Approved Contractors "As - Built" Producer Statement:

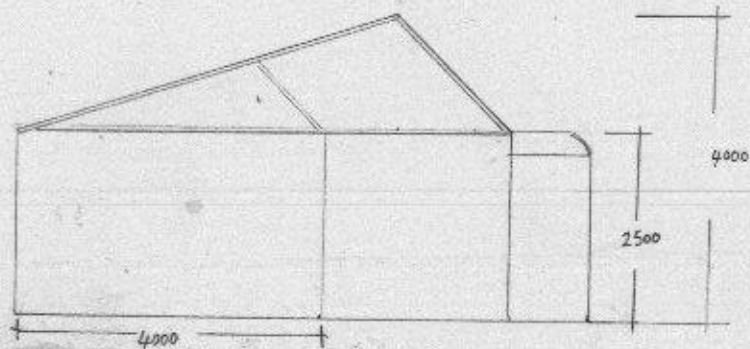
I confirm that the stormwater connection has been installed as per the above details and in accordance with the requirements of Contract No. 920.

Contractor's Signature: Date: / /



note

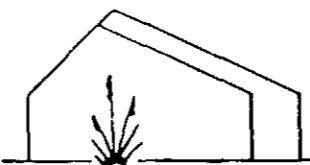
Have Neighbours
consent both sides.
As one section 50 metres
long



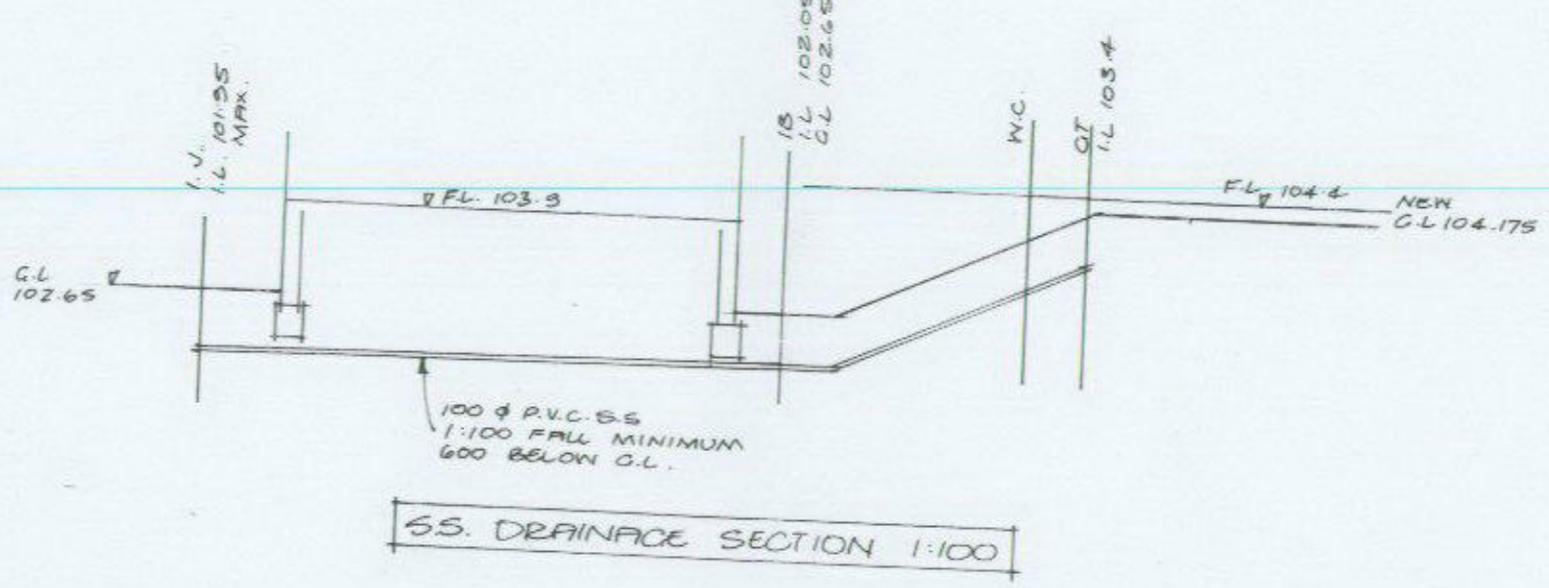
APPROVED

- 3 / 0 2 8 2

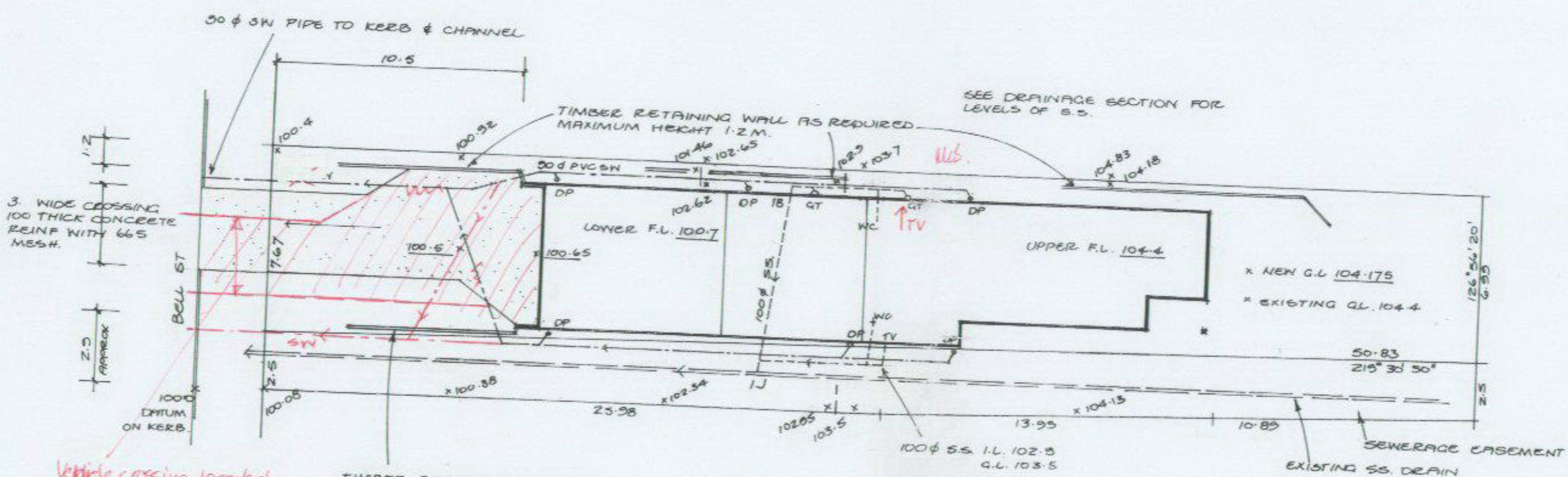
Consent No.

	<p>Margaret Sherriff Architectural Design 11 Dickson Crescent St John's Hill, Wanganui Ph 025 279 8843 Fax (06) 347 7360 A/H (06) 347 7360</p>
---	--

HART RESIDENCE
17 BELL ST. WANGANUI.



SS. DRAINAGE SECTION 1:100



SITE PLAN 1:200

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3/0282

Consent No.

NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK ALL DIMENSIONS, LEVELS, & SUGGESTED METHODS OF CONSTRUCTION BEFORE COMMENCEMENT OF WORK.

**Margaret Sherriff
Architectural Design**
11 Dickson Crescent
St John's Hill, Wanganui
Ph 025 279 8843 Fax (06) 347 7360
A/H (06) 347 7360

HART RESIDENCE 603.03.
17 BELL ST SHEET 1.

Vehicle crossing located to avoid existing road sump
M.S.

TIMBER RETAINING WALL AS REQUIRED. MAXIMUM HEIGHT 1.2M.

SEE DRAINAGE SECTION FOR LEVELS OF S.S.

TIMBER RETAINING WALL AS REQUIRED. MAXIMUM HEIGHT 1.2M.

30 Ø SW PIPE TO KERB & CHANNEL

3. WIDE CROSSING
100 THICK CONCRETE
REINF WITH 665
MESH.

BELL ST
1000 DATUM ON KERB

* NEW G.L. 104.175
* EXISTING G.L. 104.4

SEWERAGE CASEMENT
EXISTING S.S. DRAIN

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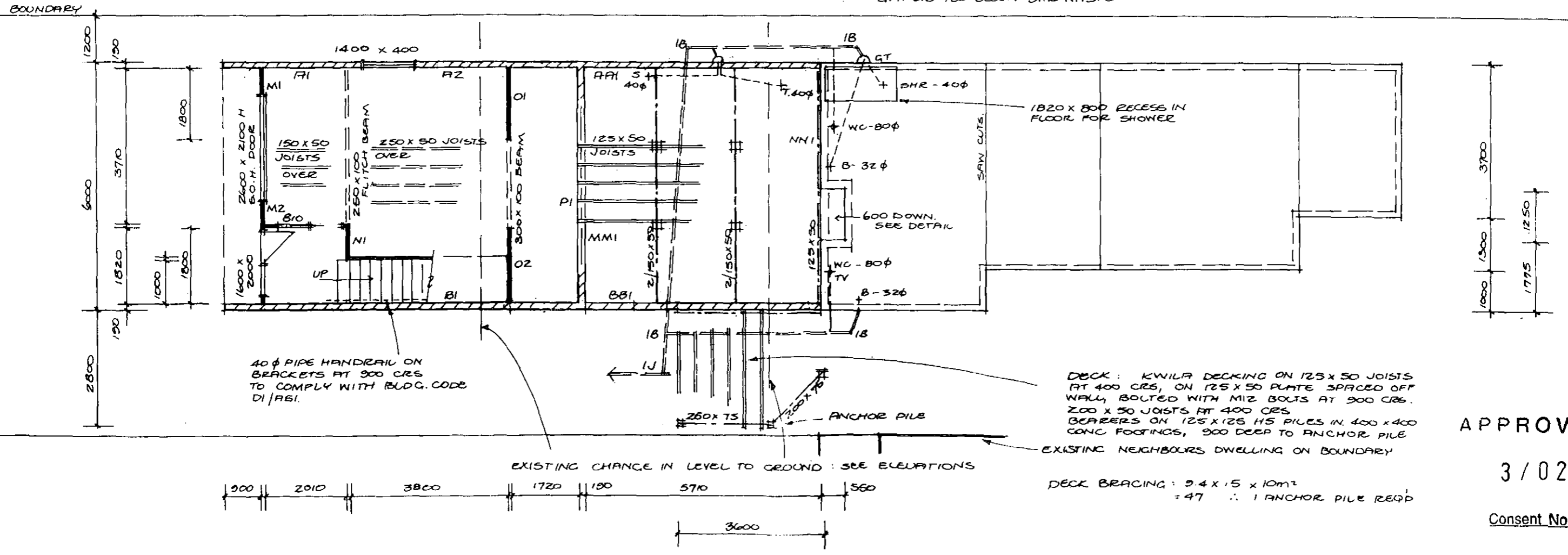
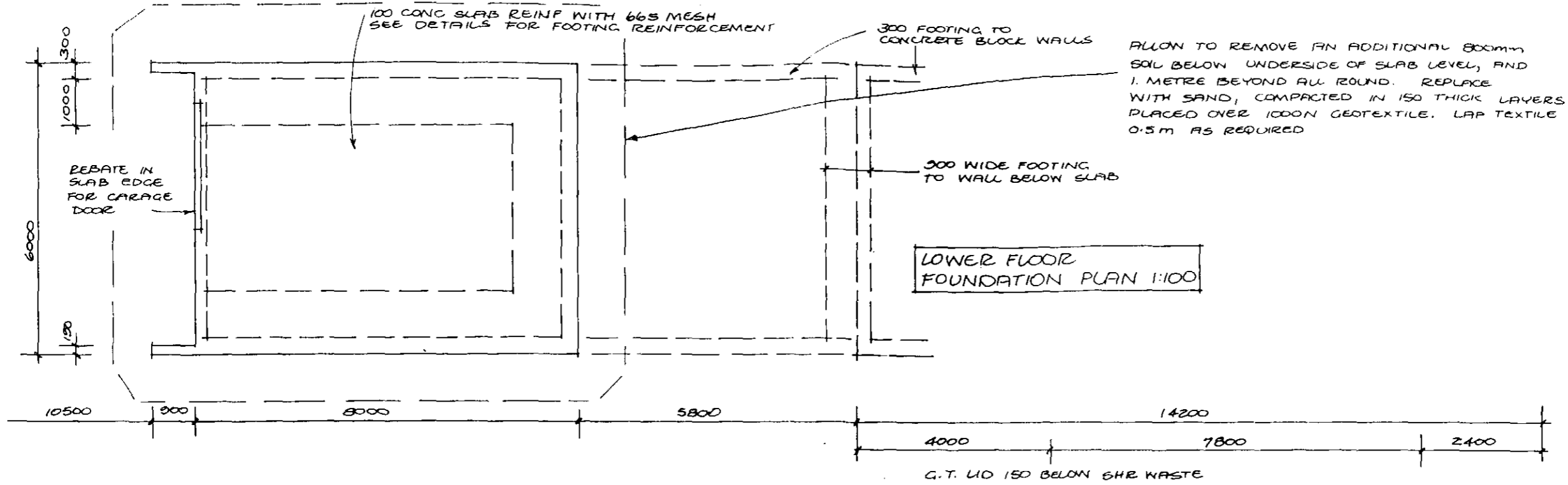
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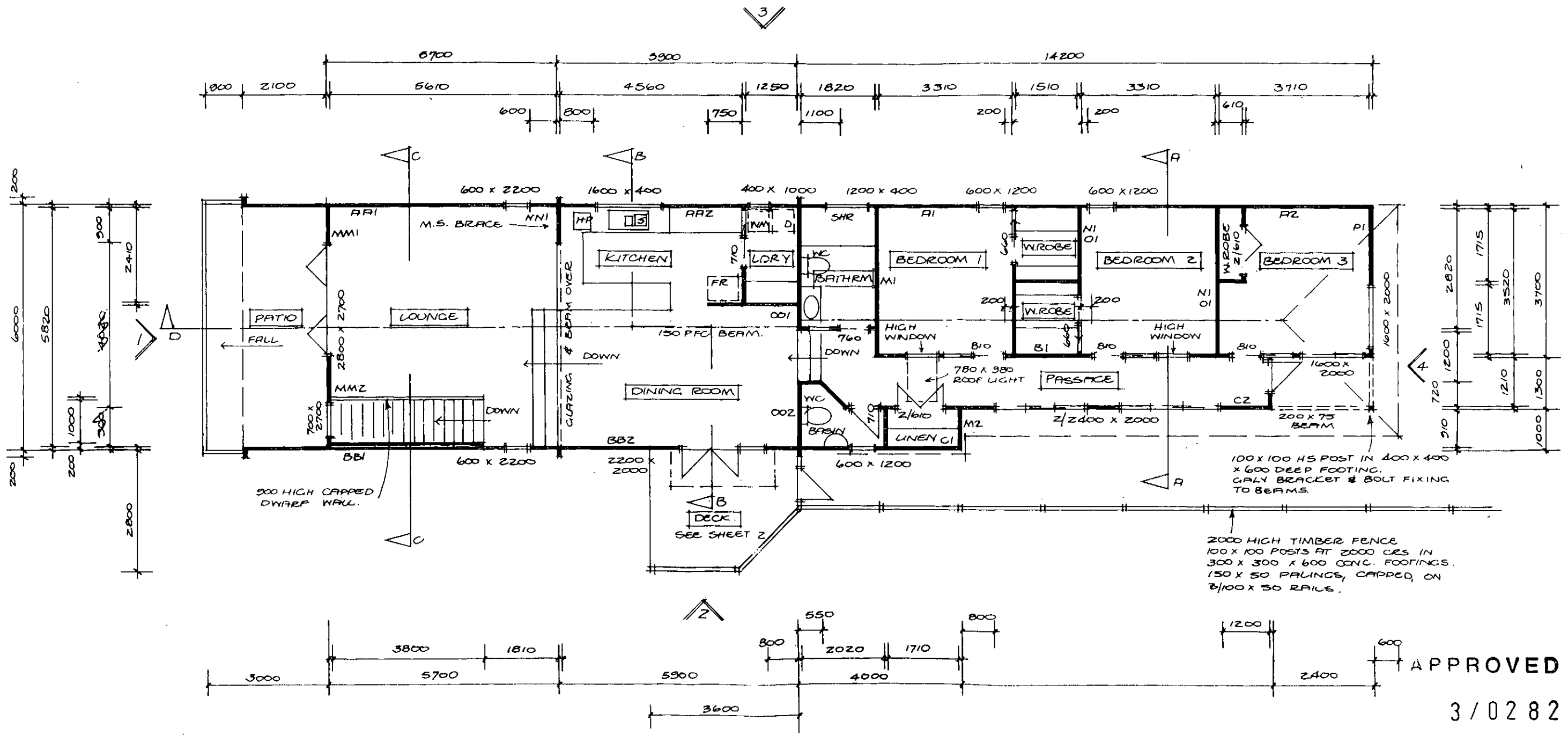
Consent No.

LOWER FLOOR PLAN 1:100

HART RESIDENCE 6.03.03.
17 BELL ST SHEET 2.

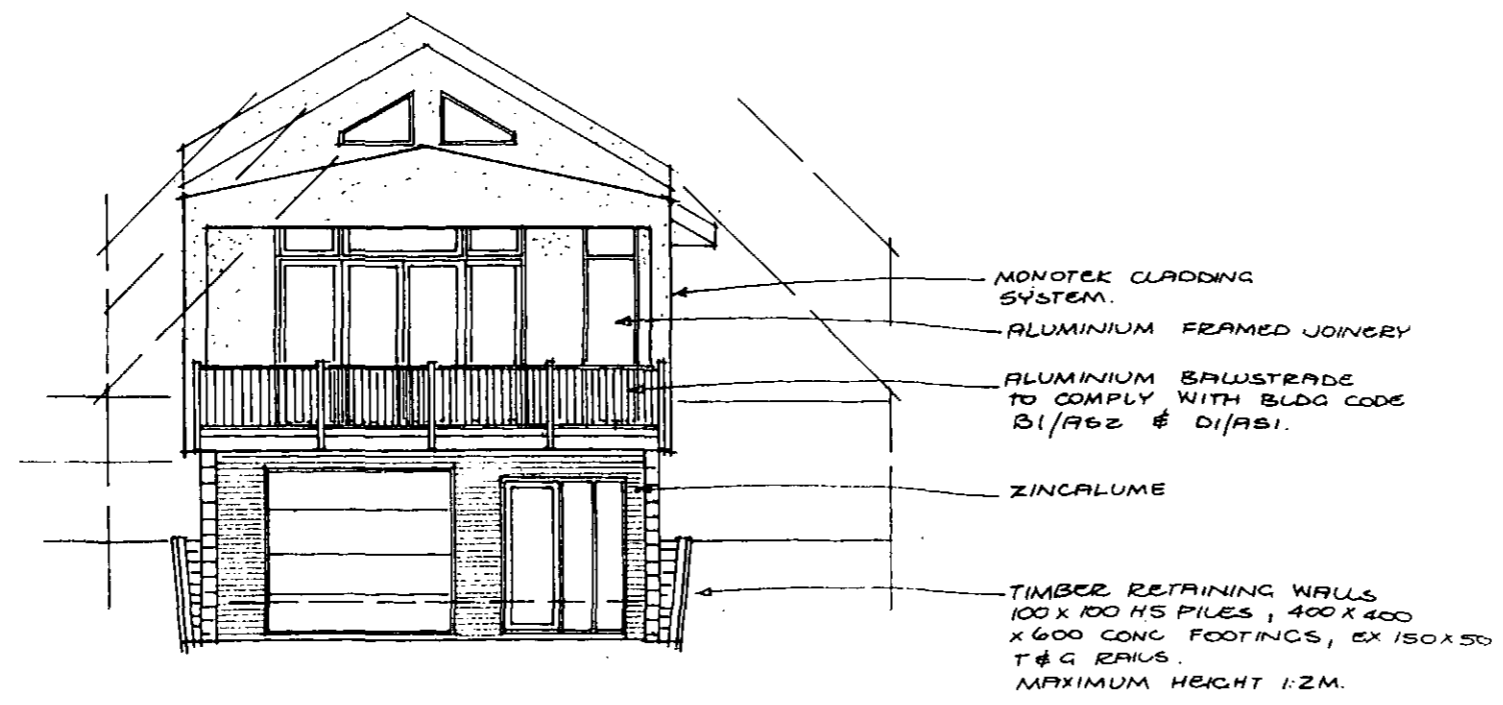
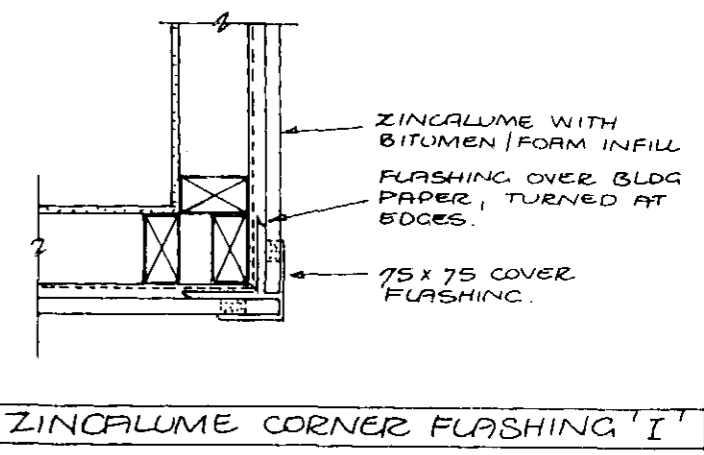
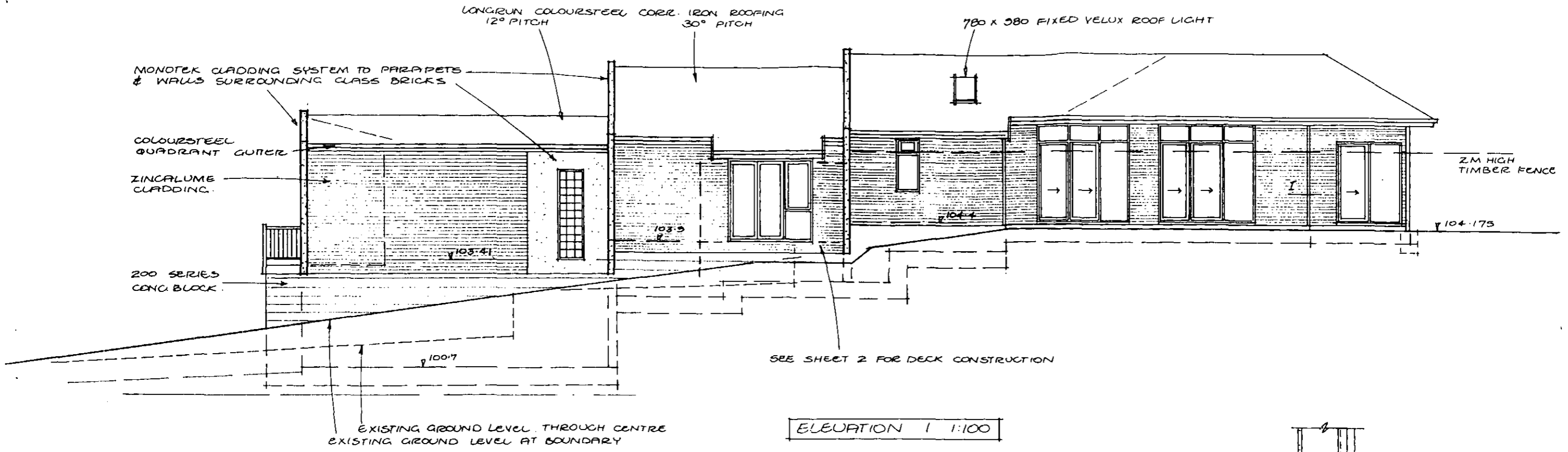
Margaret Sherriff
Architectural Design

!! Dickson Crescent
St John's Hill, Wangarui
Ph 025 279 8843 Fax (06) 347 7360
A/H (06) 347 7360



**Margaret Sherriff
Architectural Design**
11 Dickson Crescent
St John's Hill, Wanganui
Ph 025 279 8843 Fax (06) 347 7360
A/H (06) 347 7360

HART RESIDENCE 6.03.03
17 BELL ST SHEET 3



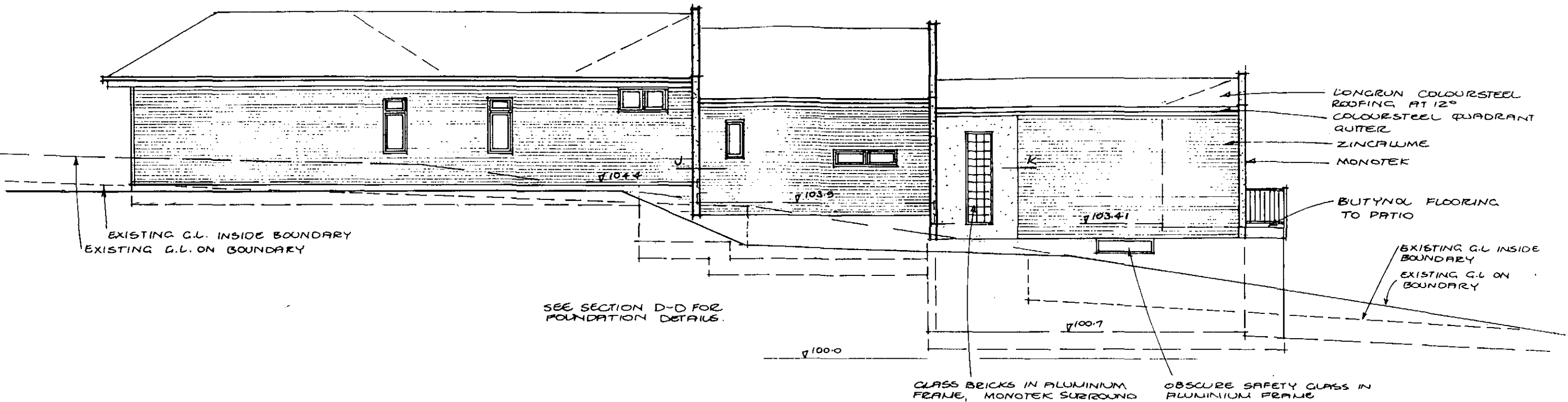
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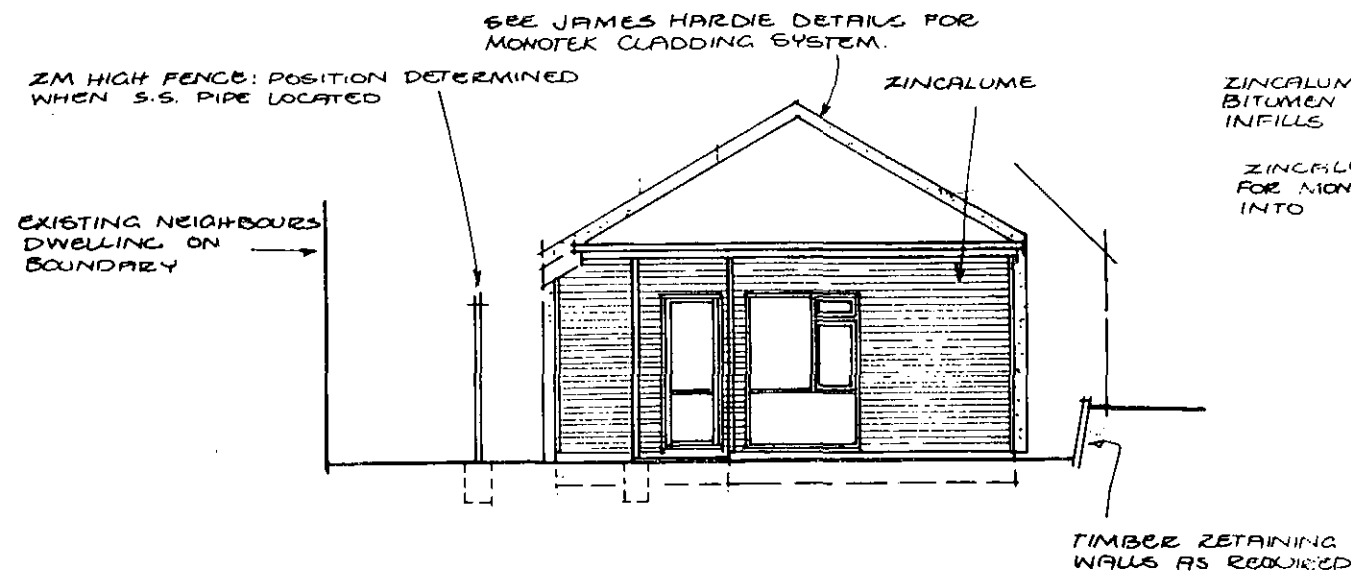
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ELEVATION 2

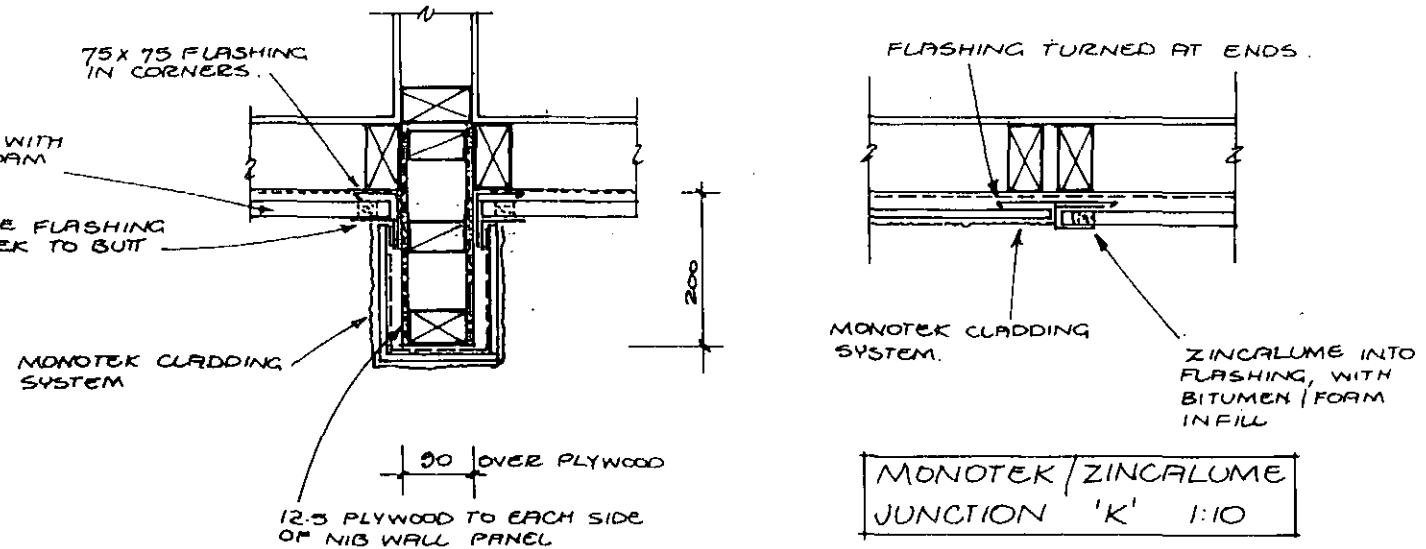
HART RESIDENCE 6.03.03
17 BELL ST SHEET 4



ELEVATION 3



ELEVATION 4 1:100



NIB CONSTRUCTION 'J' 1:10

MONOTEK / ZINCALUME JUNCTION 'K' 1:10

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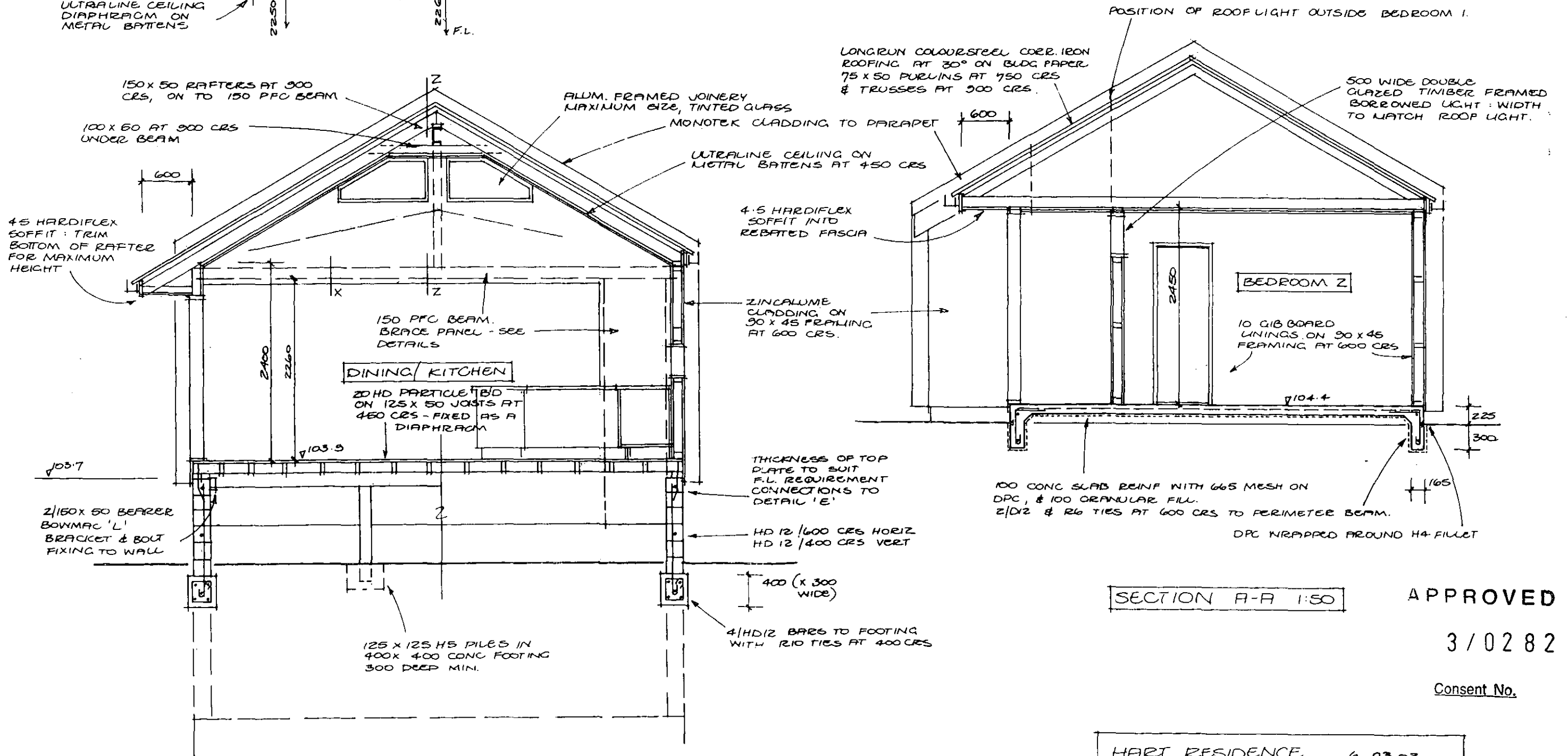
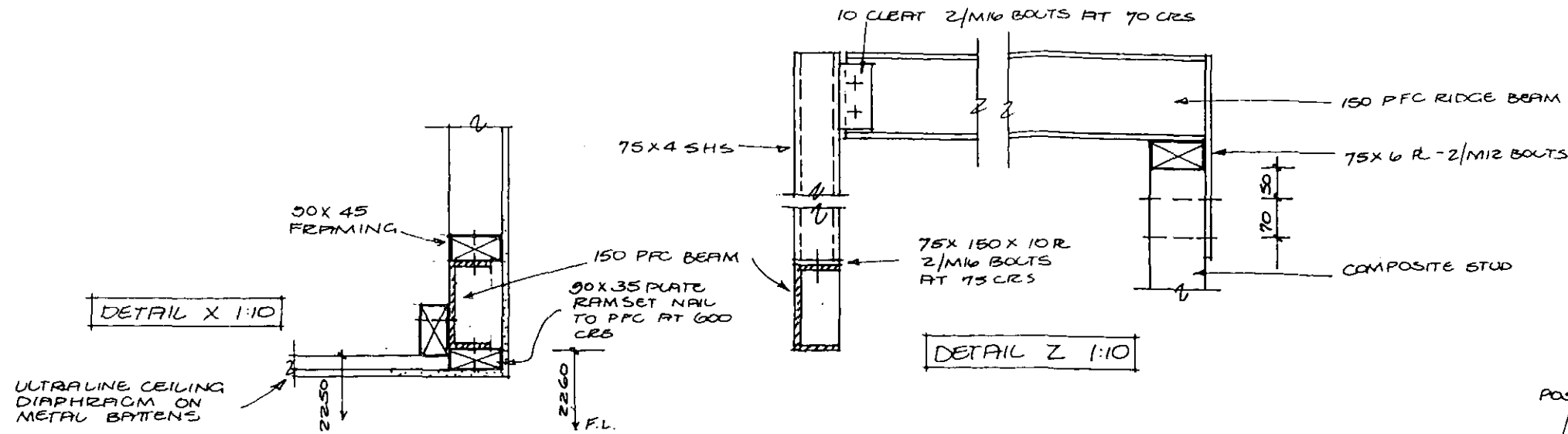
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Margaret Sherriff
Architectural Design

11 Dickson Crescent
St John's Hill, Wanganui
Ph 025 279 8843 Fax (06) 347 7360
A/H (06) 347 7360

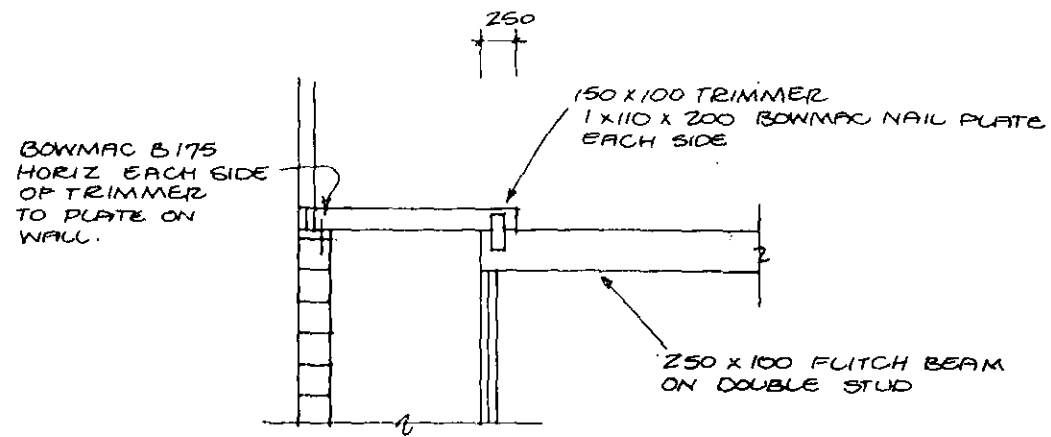
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17 BELL ST SHEET 5



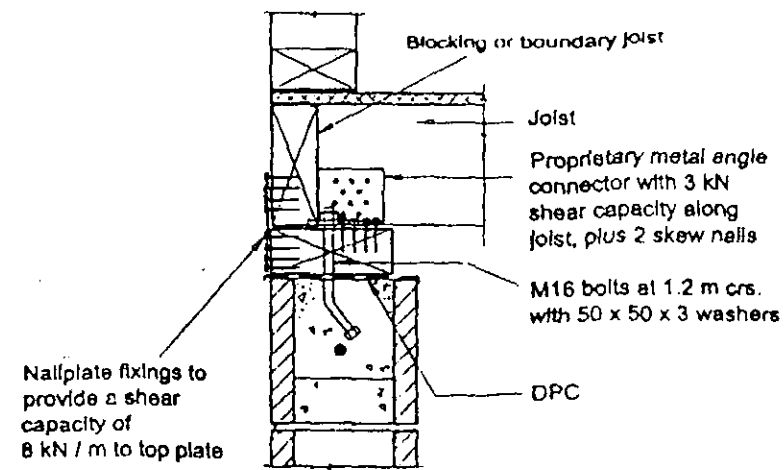
SECTION B-B 1:50

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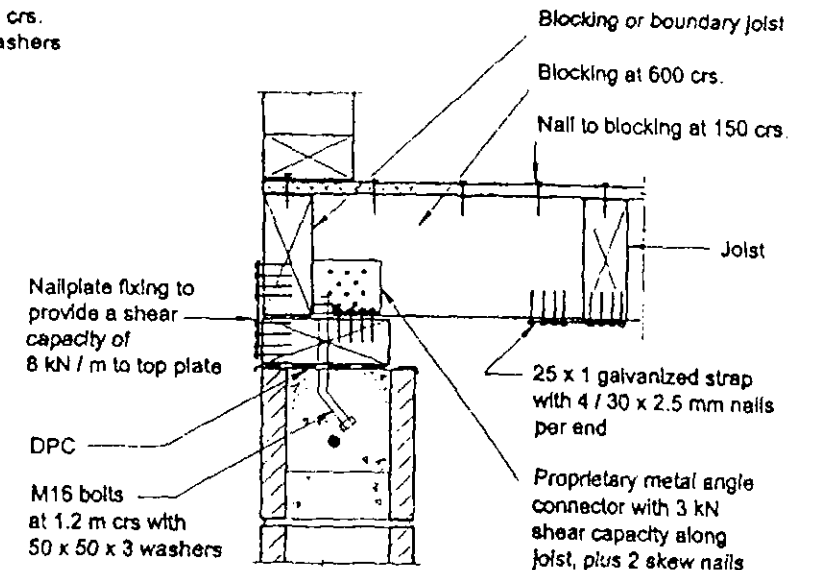
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17 BELL ST SHEET 6



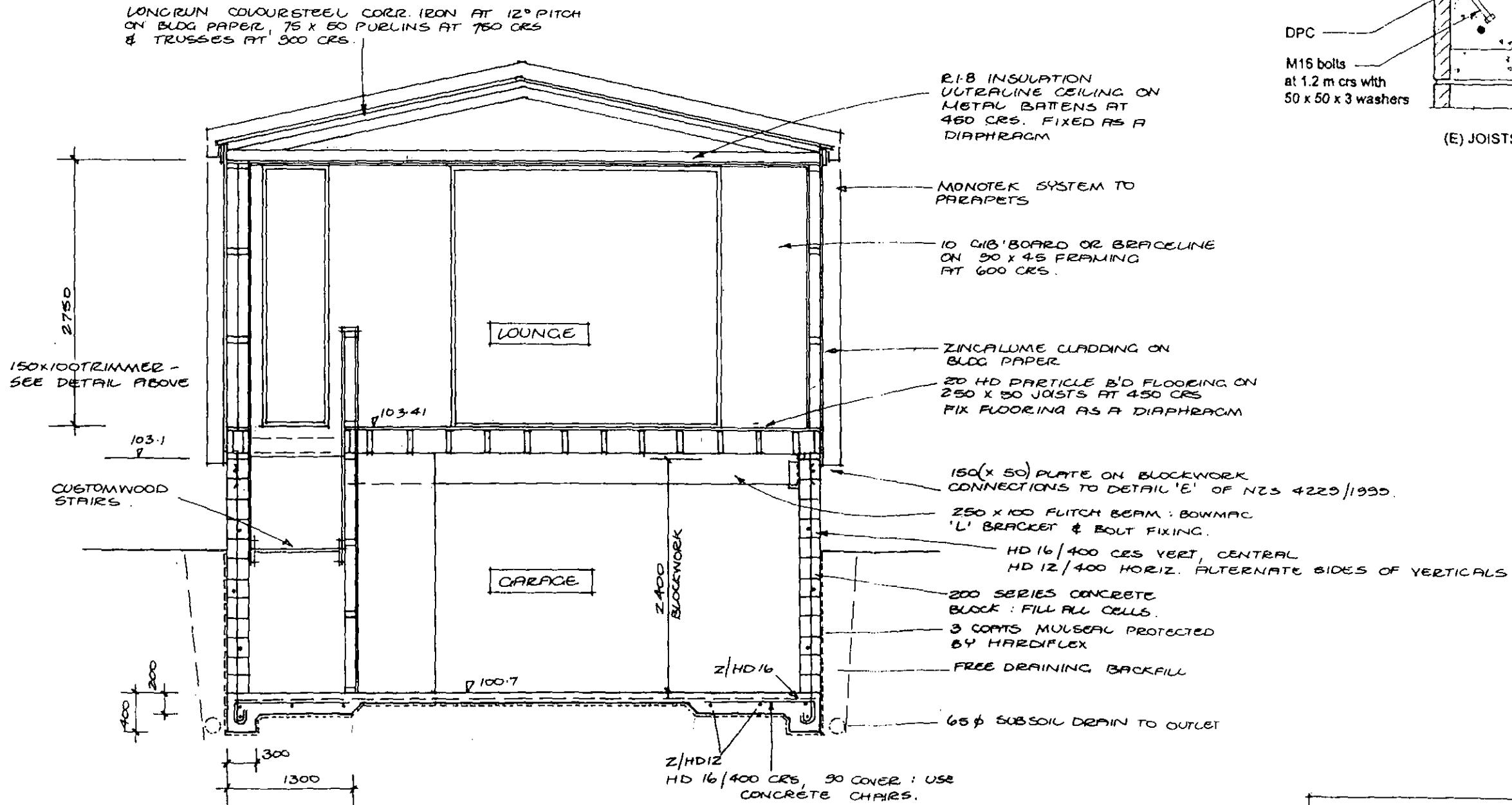
TRIMMER FIXING 1:50



(D) JOISTS NORMAL TO WALL



(E) JOISTS PARALLEL TO WALL



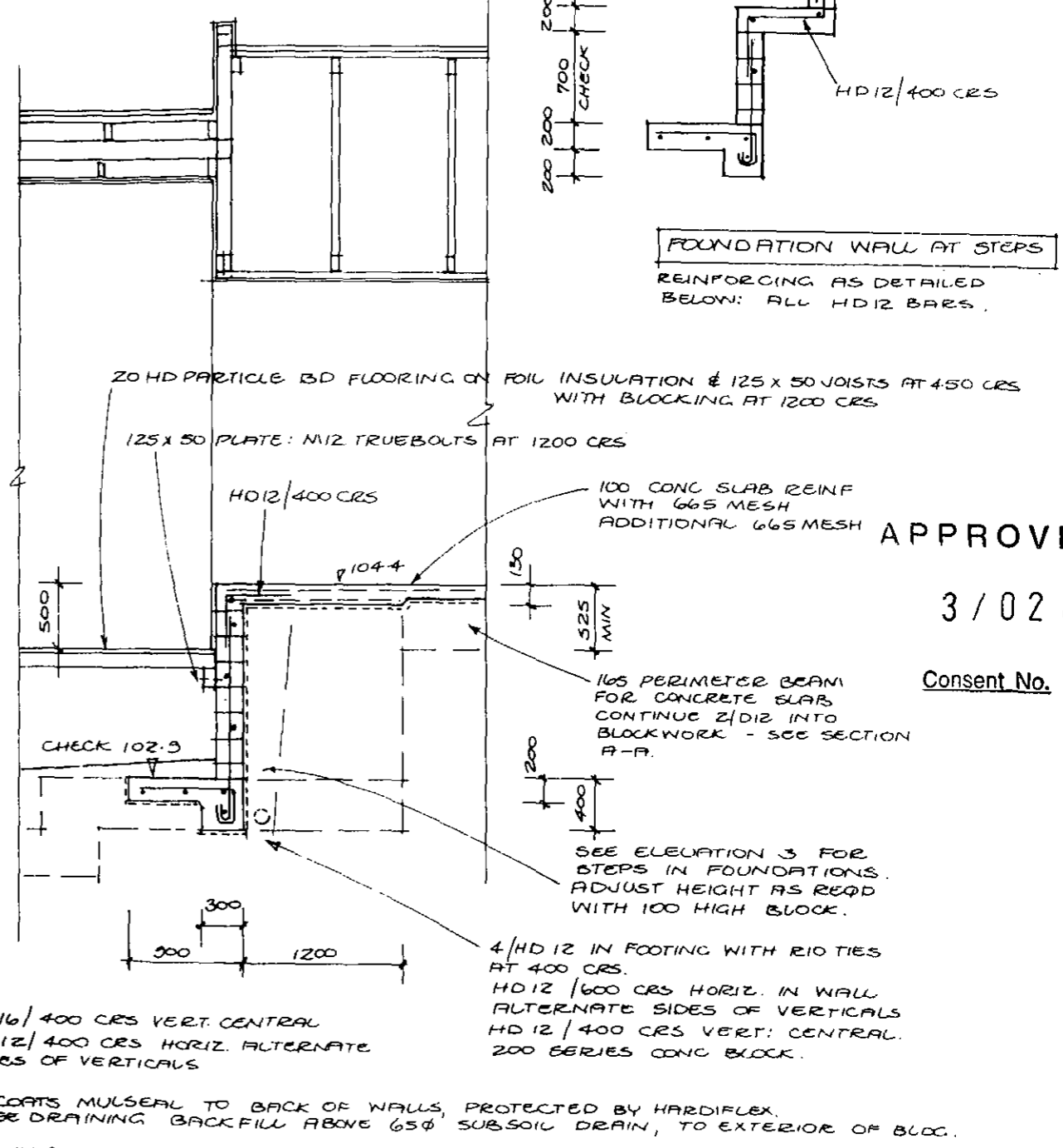
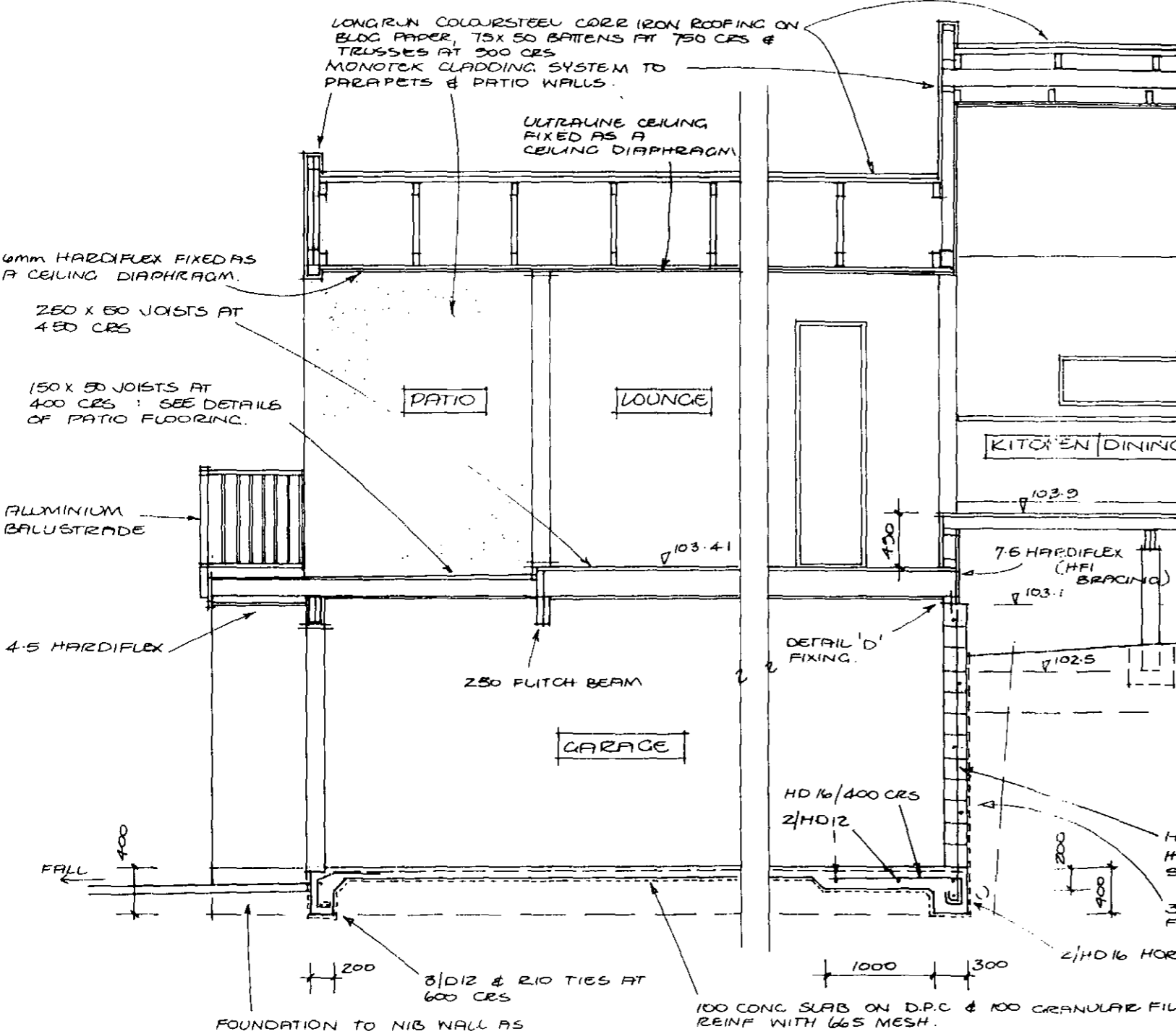
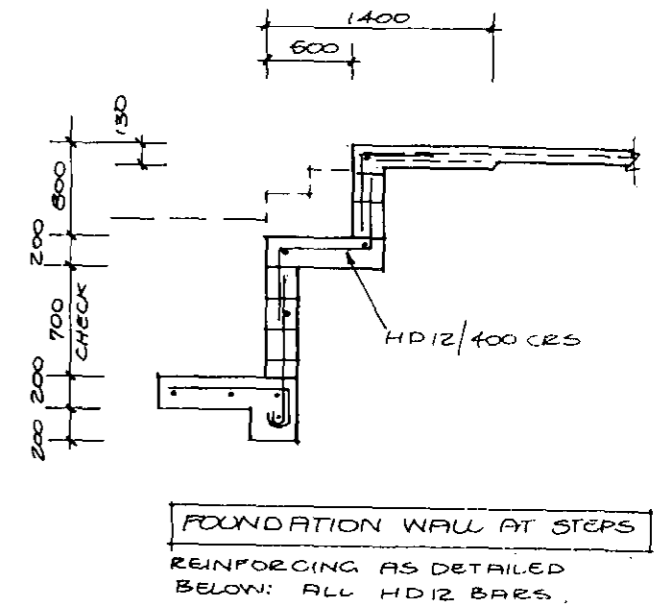
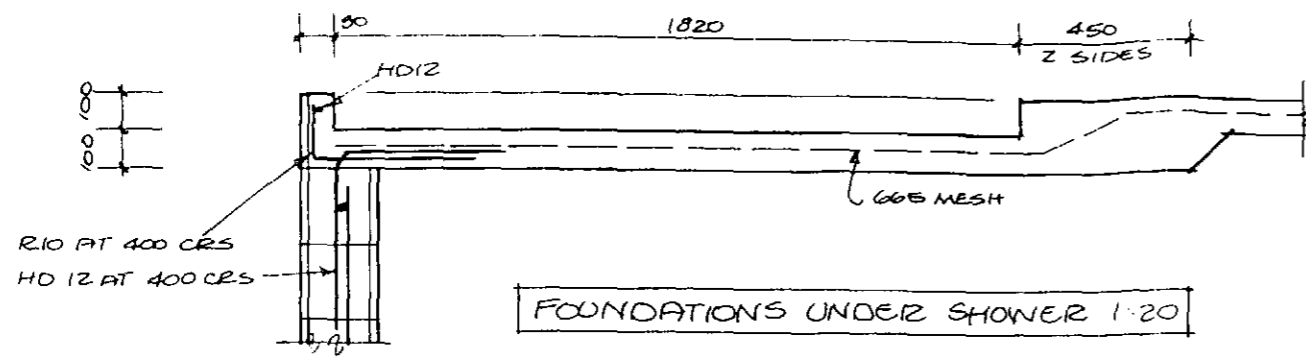
SECTION C-C 1:50

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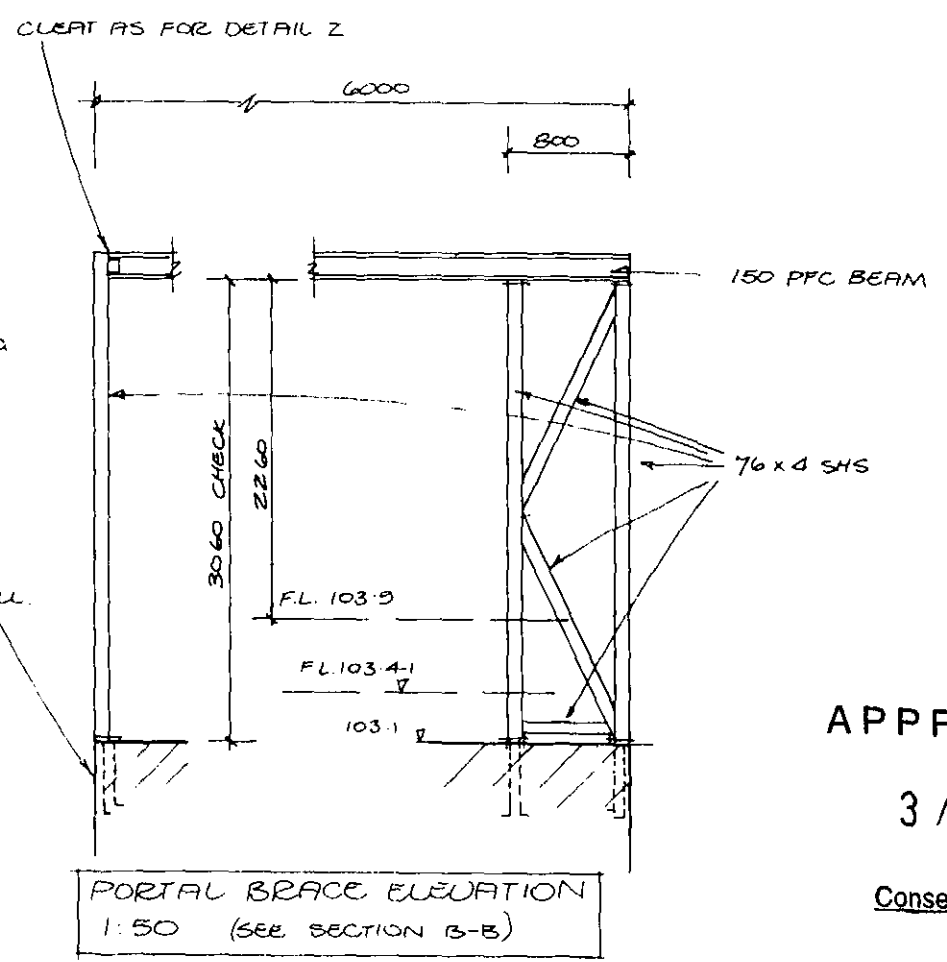
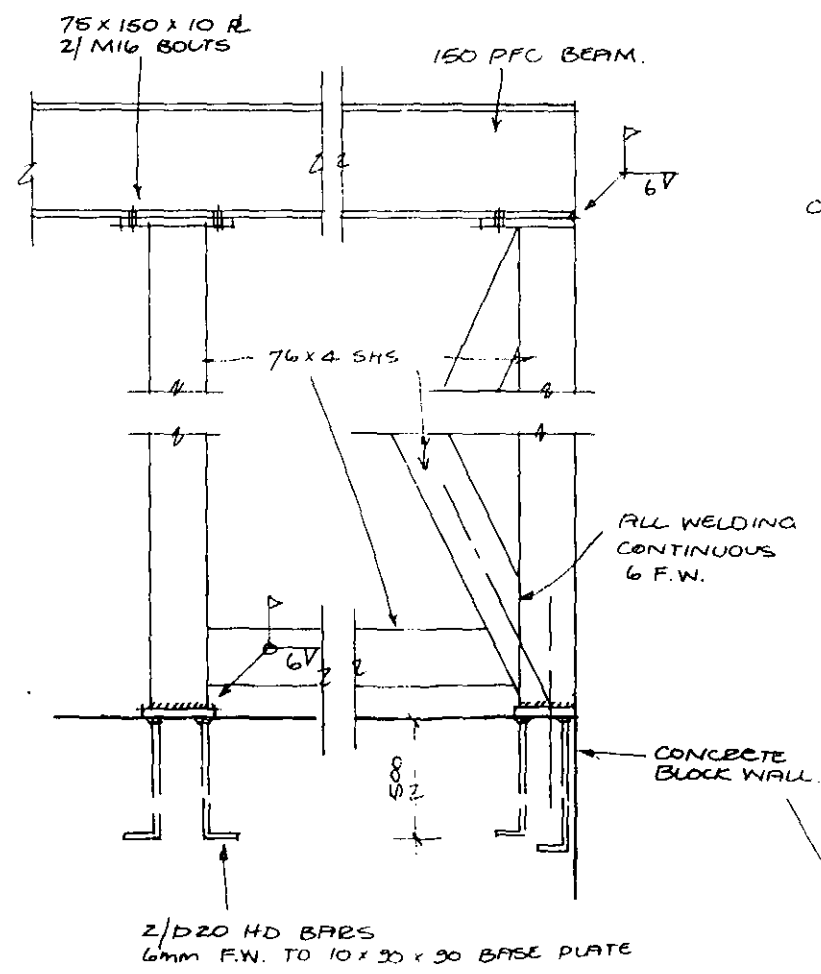
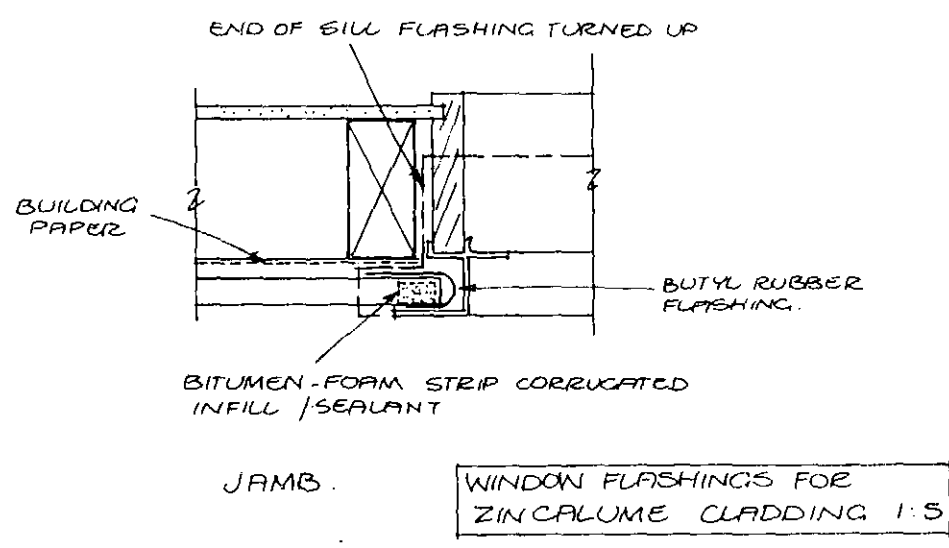
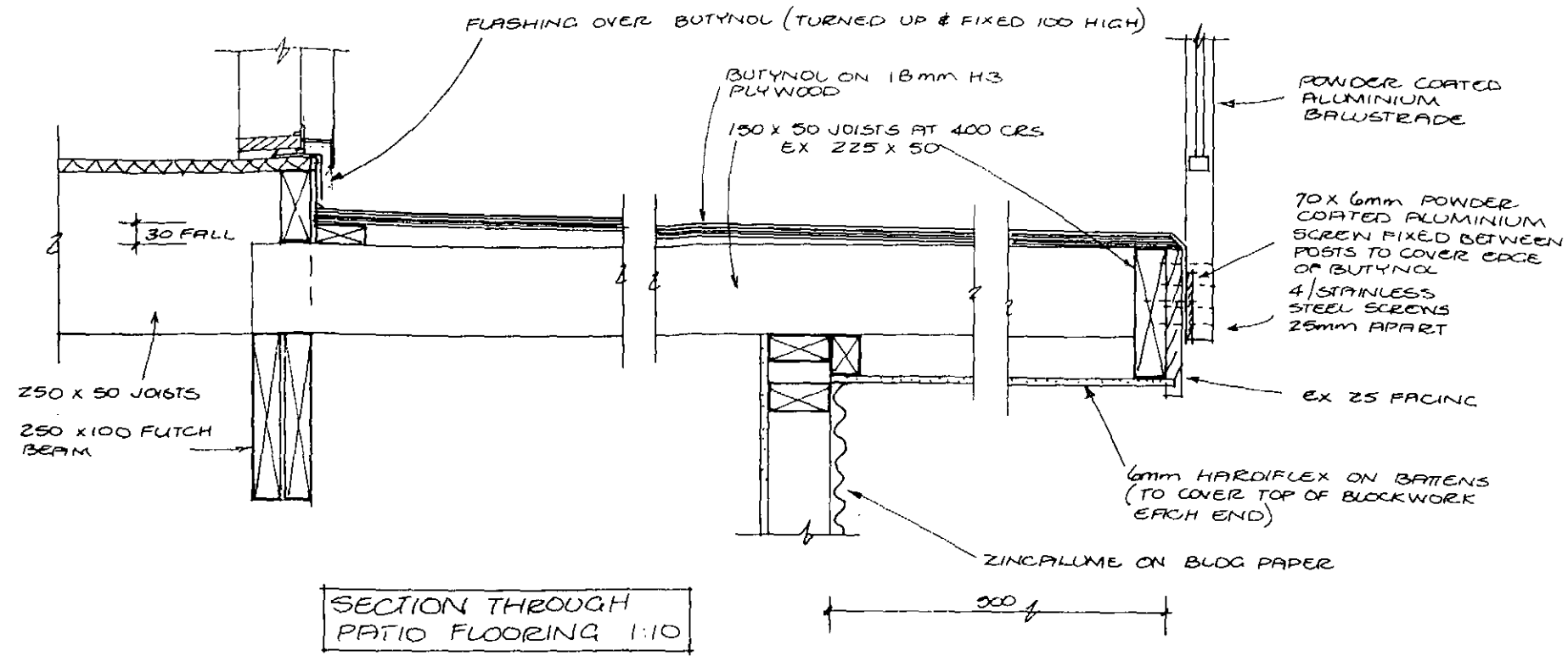
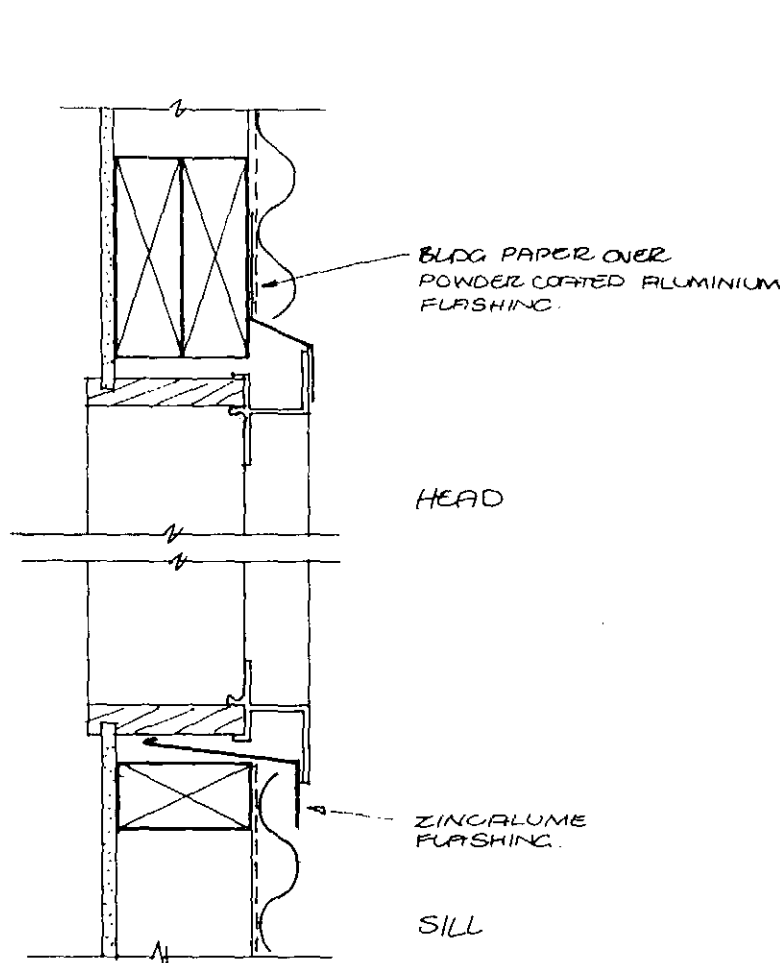
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HART RESIDENCE 6.03.03.
17 BELL ST SHEET 7



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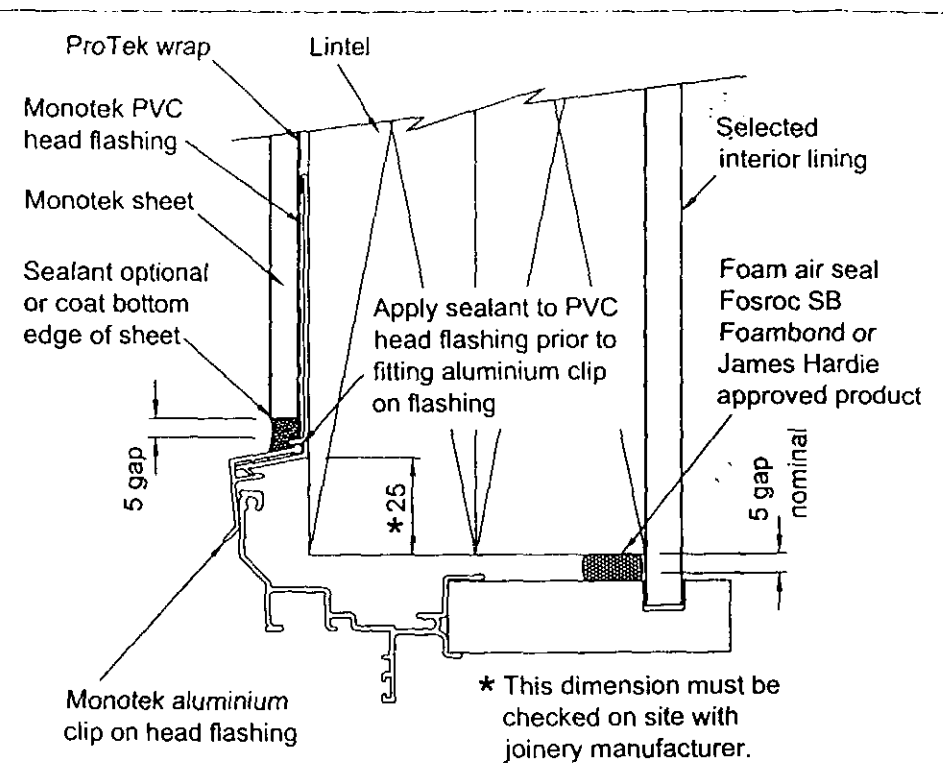
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17 BELL ST SHEET 8



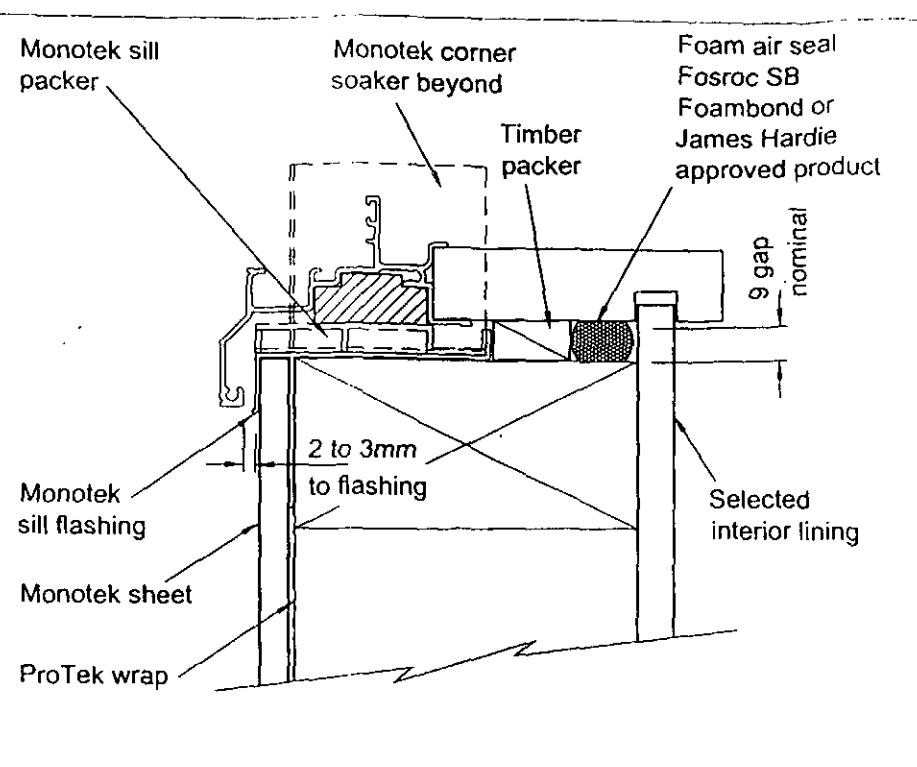
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Margaret Sherriff
Architectural Design
 11 Dickson Crescent
 St John's Hill, Wanganui
 Ph 025 279 8843 Fax (06) 347 7360
 A/H (06) 347 7360

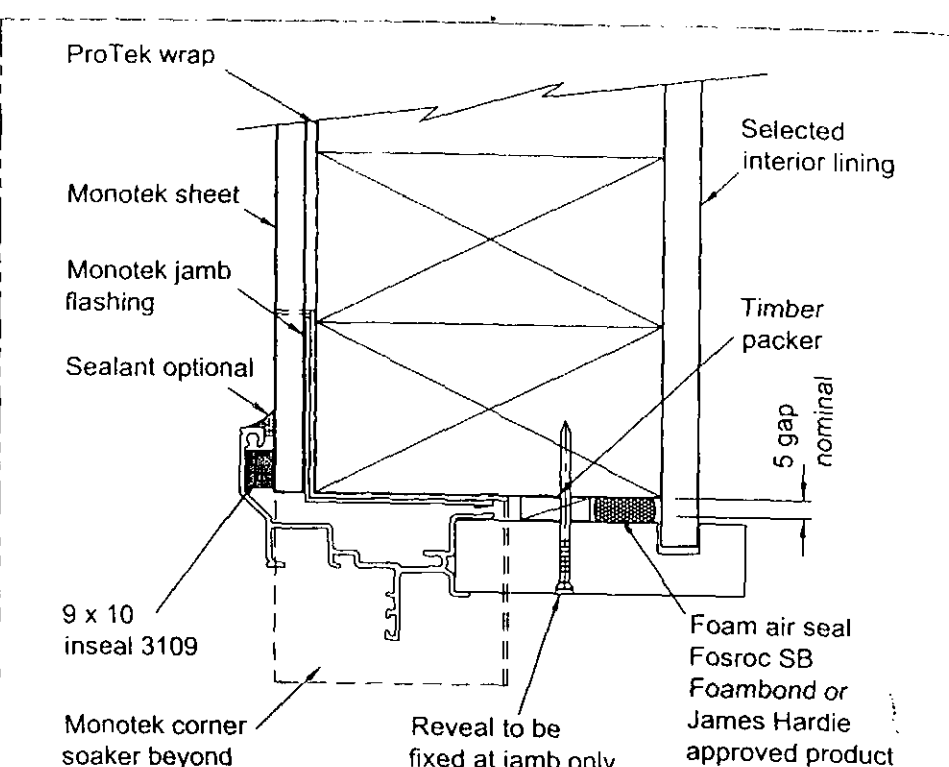
HART RESIDENCE 6.03.03
 17 BELL ST SHEET 9



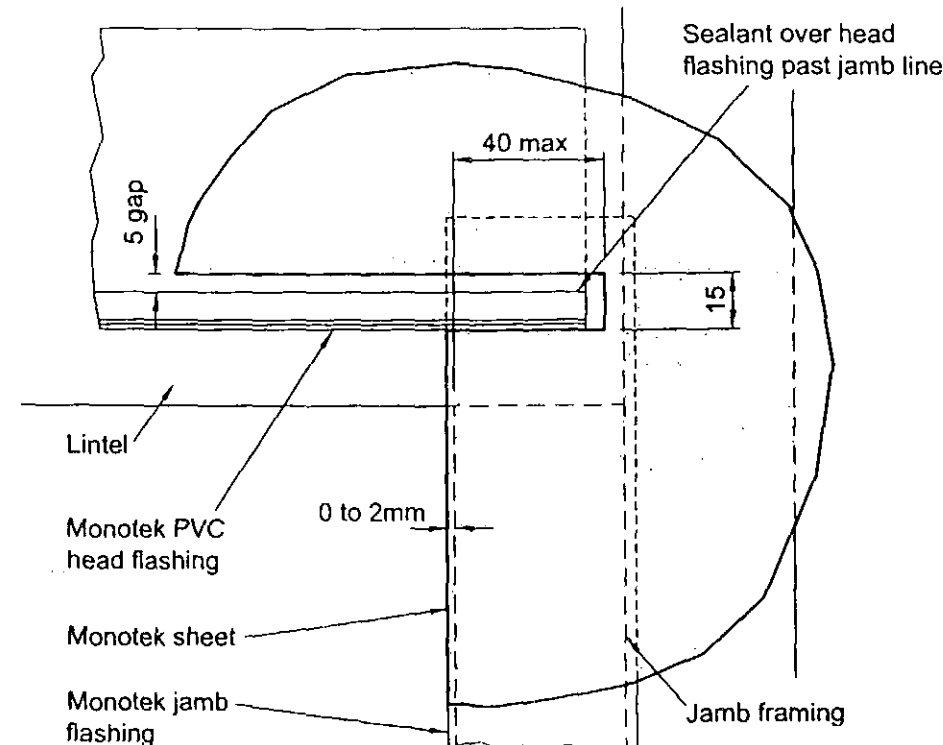
Detail 21 - Section through window head
Scale 1:2



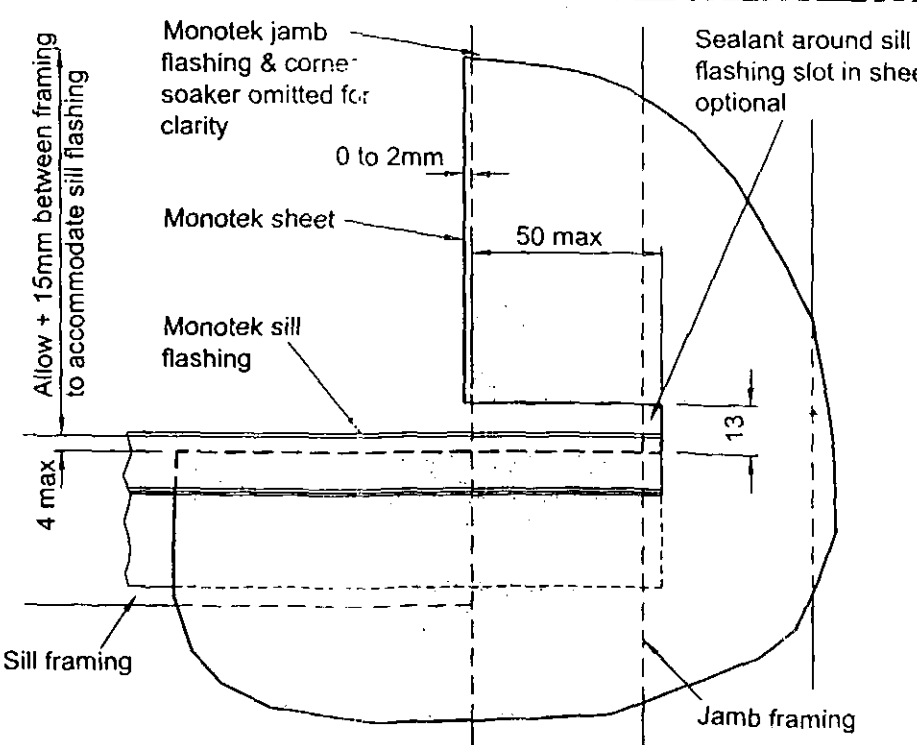
Detail 22 - Section through window sill
Scale 1:2



Detail 23 - Section through window jamb
Scale 1:2




Detail 24 - Sheet cutting detail at head
Scale 1:2



Detail 25 - Sheet cutting detail at sill
Scale 1:2

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DIMENSIONS IN mm
FOR STRUCTURAL LAYOUT
REFER TO ARCHITECT'S
DRAWINGS.

MONOTEK
50 O'Rorke Road
Penrose, Auckland
New Zealand

Monotek Cladding System by
James Hardie
Phone: 0800 308 868
Fax: 0800 308 988

**WINDOW FLASHINGS
DETAILS 21 - 25**

Rev	Description	Date
Scale	Original size	Date
As ntd	A3	01.06.01
Drawing No.		
JH-MONOTEK-009		

Please Photocopy

Wall Bracing Calculation Sheet A

Job Details

box 1

Name Hart
 Street and Number 17 Bell St
 Lot and DP Number _____
 City/Town/District Wanganui Front Portion = Timber Floor
 Location of Storey: single/upper of two/lower of two Floor load: 2kPa/3kPa
 Building height to apex 8 m Roof weight light/heavy
 Roof height above eaves 2 m Cladding weights: Subfloor light/medium/heavy
 Stud height 2.7 m Lower Storey light/medium/heavy
 Average roof pitch 30° Upper Storey light/medium/heavy
 Room in Roof Space Yes (No)
 Building length BL = 11.6 m Gross Building 70m²
 Building width BW = 6.0 m Plan Area, GPA
 Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.
 Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone

box 2

Region: R1 0 Terrain: Inland 0 Exposure: Sheltered 0 Topography: Gentle 0
 R2 1 Coastal 1 Exposed 1 Moderate 1 Extreme 3
 Total points 2
 Wind Zone: Low (0) Very high (3)
 Medium (1) Specific Design (4)
High (2)

Earthquake Zone

box 3

From figure EQ1 select Earthquake Zone: A B C

BU's required Wind

box 4

From Table W1A/W1B
 W along = 73 BU's/m
 W across = 63 BU's/m
 Total wind load,
 W ALONG:
 W along x BW = 438 BU's
 W ACROSS
 W across x BL = 417.6 BU's

BU's required Earthquake

box 5

From Table EQ1/EQ2/EQ3/EQ4/EQ5/EQ6
 E = 7.8 BU's/m²
 Note: For a room in the roof space use E x 3
 Total earthquake load,
 EQ ALONG and EQ ACROSS
 E x GPA BU's = 546 BU's

From Table 5.8



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Wall Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
A		AA1	GIB1	3.0	75	225	50	150
		AA2	GIB1	1.8	55	99	50	90
B		BB1	GIB1	3.0	75	225	50	150
		BB2	GIB1	2.7	75	202.5	50	135
C		CC1	GIB2	2.1	75	157.5	60	126
D								
E								
Totals Achieved					W	808	E	578
From Sheet A Totals Required					W	438	E	546
Wreq/Ereq =								

÷ 2.7 x 2.4

*If Wreq/Ereq is 1 or less complete E column only
 If Wreq/Ereq is 1.5 or more complete W column only
 Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
M		MM1	BR9	0.9	110	99	95	85.5
		MM2	BR9	0.6	110	66	95	57
N		NN1	MS brace	0.9		180		180
O		OO1	BR5	2.4	115	276	85	204
		OO2	BR5	1.8	115	207	85	153
P						828		679.5
O								
Totals Achieved					W	736	E	604
From Sheet A Totals Required					W	417.6	E	546
Wreq/Ereq =								

÷ 2.7 x 2.4

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Wall Bracing Calculation Sheet A

Job Details box 1

Name Hart

Street and Number 17 Bell St

Lot and DP Number _____

City/Town/District Wanganui Front Portion

Location of Storey: single/upper of two lower of two Floor load: 2kPa/3kPa

Building height to apex 8 m Roof weight light/heavy

Roof height above eaves 1 m Cladding weights: light/medium/heavy

Stud height 2.4 m Subfloor light/medium/heavy

Average roof pitch 12° Lower Storey light/medium/heavy

Upper Storey light/medium/heavy

Room in Roof Space YES / No

Building length BL = 8 m Gross Building 48m²

Building width BW = 6 m Plan Area, GPA

Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.

Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone box 2

Region: R1 0 Terrain: Inland 0 Exposure: Sheltered 0 Topography: Gentle 0

R2 1 Coastal 1 Exposed 1 Moderate 1

Extreme 3

Total points 2

Wind Zone: Low (0) Very high (3)

Medium (1) Specific Design (4)

High (2)

Earthquake Zone box 3

From figure EQ1 select Earthquake Zone: A B C

BU's required Wind box 4

From Table W1A/W1B

W along = 183 BU's/m

W across = 168 BU's/m

Total wind load,

W ALONG:

W along x BW = 1098 BU's

W ACROSS

W across x BL = 1344 BU's

From Table 5.7

BU's required Earthquake box 5

From Table EQ1/EQ2/EQ3/EQ4/EQ5/EQ6

E = 13.5 BU's/m²

Note: For a room in the roof space use E x 3

Total earthquake load,

EO ALONG and EO ACROSS

E x GPA BU's = 648 BU's

From Table 5.10



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Wall Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m	BU's Achieved (BU/m x L)	Rating BU/m	BU's Achieved (BU/m x L)
					W	W	E	E
A		A1	Wall	3.4	42	142.8		
		A2	Wall	3.4	42	142.8		
B		B1	Wall	8.9	200	1780		
C								
D								
E								

Totals Achieved		W	2065.6	E	
From Sheet A Totals Required		W	1098	E	648
Wreq/Ereq =					

*If Wreq/Ereq is 1 or less complete E column only
If Wreq/Ereq is 1.5 or more complete W column only
Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m	BU's Achieved (BU/m x L)	Rating BU/m	BU's Achieved (BU/m x L)
					W	W	E	E
M		M1	BR 9	0.6	110	66		
		M2	BR 9	0.6	110	66		
		N1	BR 9	0.8	110	88		
N		O1	BR 6	1.8	150	270		
		O2	BR 6	1.8	150	270		
O		P1	Wall	6.0	100	600		
P								
O								

Totals Achieved		W	1360	E	
From Sheet A Totals Required		W	1344	E	648
Wreq/Ereq =					

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Wall Bracing Calculation Sheet A

Job Details

box 1

Name Hart
 Street and Number 17 Bell Street
 Lot and DP Number _____
 City/Town/District Wanganui Rear Portion = concrete floor
 Location of Storey: single/upper of two/lower of two Floor load: 2kPa/3kPa
 Building height to apex 4.5 m Roof weight light/heavy
 Roof height above eaves 2.0 m Cladding weights: light/medium/heavy
 Stud height 2.4 m Lower Storey light/medium/heavy
 Average roof pitch 30° Upper Storey light/medium/heavy
 Room in Roof Space Yes/No
 Building length BL = 14.2 m Gross Building 85.2 m²
 Building width BW = 6.0 m Plan Area, GPA
 Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.
 Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone

box 2

Region: R1 0 Terrain: Inland 0 Exposure: Sheltered 0 Topography: Gentle 0
 R2 1 Coastal 1 Exposed 1 Moderate 1
 Extreme 3
 Total points 2
 Wind Zone: Low (0) Very high (3)
 Medium (1) Specific Design (4)
High (2)

Earthquake Zone

box 3

From figure EQ1 select Earthquake Zone: A B C

BU's required Wind

box 4

From Table W1A/W1B
 W along = 64 BU's/m
 W across = 54 BU's/m
 Total wind load,
 W ALONG:
 W along x BW = 384 BU's
 W ACROSS
 W across x BL = 766.8 BU's

BU's required Earthquake

box 5

From Table EQ1/EQ2/EQ3/EQ4/EQ5/EQ6
 E = 3.6 BU's/m²
 Note: For a room in the roof space use E + 3
 Total earthquake load,
 EQ ALONG and EQ ACROSS
 E x GPA BU's = 306.7 BU's

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Wall Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BU's Achieved (BU/m x L) W	Rating BU/m E	BU's Achieved (BU/m x L) E
A	142	A1	A1B1	2.4	70	168	55	132
		A2	A1B1	2.4	70	168	55	132
B	70	B1	A1B3	1.5	65	97.5	60	90
C	142	C1	BR5	1.7	115	195.5	85	144.5
		C2	BR9	1.2	110	132	95	114
D								
E								

Totals Achieved		W	761	E	
From Sheet A Totals Required		W	384	E	306.7
Wreq/Ereq =					

*If Wreq/Ereq is 1 or less complete E column only
 If Wreq/Ereq is 1.5 or more complete W column only
 Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BU's Achieved (BU/m x L) W	Rating BU/m E	BU's Achieved (BU/m x L) E
M		M1	A1B2	2.4	80	192	70	168
		M2	BR9	0.9	110	99	95	76.5
N		N1	A1B2	2.0	75	150	60	120
		N1	A1B2	2.0	75	150	60	120
O		O1	A1B2	2.4	80	192	70	168
		O1	A1B1	1.8	55	99	50	90
P								
Q								

Totals Achieved		W	792	E	
From Sheet A Totals Required		W	766.8	E	306.7
Wreq/Ereq =					



APPROVED

3/028

Consent No.

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Wall Bracing Calculation Sheet A

Job Details box 1

Name Hart

Street and Number 17 Bell St

Lot and DP Number _____

City/Town/District Wanganui Foundations: Mid Section

Location of Storey: single/upper of two/lower of two Floor load: 2kPa/3kPa

Building height to apex 6 m Roof weight light/heavy

Roof height above eaves 2 m Cladding weights: light/medium/heavy

Stud height 2.4 m Subfloor light/medium/heavy

Average roof pitch 30° Lower Storey light/medium/heavy

Upper Storey light/medium/heavy

Room in Roof Space Yes/No

Building length BL = 6 m Gross Building 36 m²

Building width BW = 6 m Plan Area, GPA

Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.

Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone box 2

Region: R1 0 Terrain: Inland 0 Exposure: Sheltered 0 Topography: Gentle 0

R2 1 Coastal 1 Exposed 1 Moderate 1 Extreme 3

Total points 2

Wind Zone: Low (0) Very high (3)

Medium (1) Specific Design (4)

High (2)

Earthquake Zone box 3

From figure EQ1 select Earthquake Zone: A B C

Box 4: BUS required Wind

From Table W1A/W1B

W along = 128 BUS/m

W across = 21 BUS/m

Total wind load,

W ALONG:

W along x BW = 768 BUS

W ACROSS

W across x BL = 726 BUS

Box 5: BUS required Earthquake

From Table EQ1/EQ2/EQ3/EQ4/EQ5/EQ6

E = 11.6 BUS/m²

Note: For a room in the roof space use E x 3

Total earthquake load,

EQ ALONG and EQ ACROSS

E x GPA BUS = 417.6 BUS



Please Photocopy

Wall Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
A		AA1	Wall	6.0	300	1800		
		BB1	Wall	3.7	200	740		
B								
C								
D								
E								

Totals Achieved		W	<u>2540</u>	E	
From Sheet A Totals Required		W	<u>768</u>	E	<u>417.6</u>
Wreq/Ereq =					

If Wreq/Ereq is 1 or less complete E column only
If Wreq/Ereq is 1.5 or more complete W column only
Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
M		MM1	HF1	2.4	132	316.8	96	
		NN1	Wall	6.0	300	1800		
N								
O								
P								
Q								

Totals Achieved		W	<u>2116.8</u>	E	
From Sheet A Totals Required		W	<u>726</u>	E	<u>417.6</u>
Wreq/Ereq =					



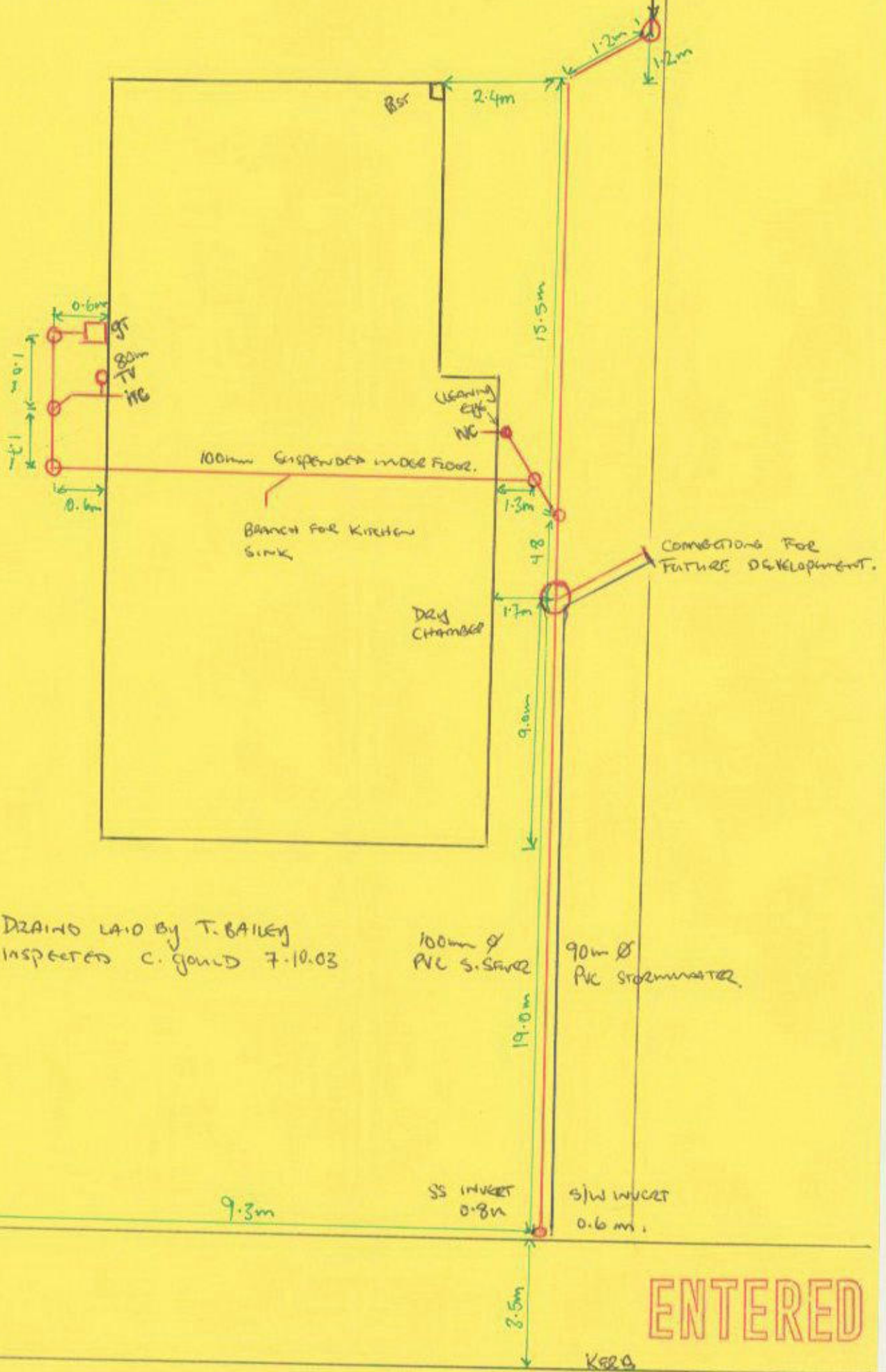
APPROVED

3/0282

Consent No.

17 BELL ST
 BC 3/0282
 NOT TO SCALE

Existing S-Serve
 From 10 Campbell St
 (4" EASTERN MADE)



DRAINING LAID BY T. BAILEY
 INSPECTED C. GAULD 7-10-03



CODE COMPLIANCE CERTIFICATE NUMBER BC3/0282

Section 43(3), Building Act 1991

Mr WR Hart
17 Bell Street
Wanganui 5031

**Building Consent
No:** BC3/0282

Issue Date: 16/05/05

Project Location	Assessment Number/Legal Description
17 Bell St WANGANUI 5001	LOT 2 DP 12724 0.0511 Ha
Type of Work	Description of Work
SingDetRes	To build a new dwelling with attached garage
Intended Life	Estimated Value
50 years	\$200000.00

This is a final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.

Signed for and on behalf of the Wanganui District Council:

A J Jamieson
**Team Leader Building Services
Environmental Services Business Unit**

Date: 16 May 2005