

217 Somme Parade



CK
5-00

Wanganui District Council

Building Consent 20 NOV 2014 Front Cover

BCA T-33C page 1 of 1
v7 23/05/13

Wanganui District Council
BCA QM System

Building Consent File Content/Checklist

ACCEPTED

DBH Building Category

R1

Consent number: 14/0638

(Type 1, 2 or 3)

	Description	Added to file	Comment & Reference
1.	Consent Application	18-11-14	
2.	Pre-Vet Checksheet	18-11-14	
3.	Plans & Specifications	18-11-14	
4.	Bracing Calculations	18-11-14	
5.	PIM : C/T : Consent Notes	18-11-14	CT
6.	Regional Authority Consent (Dams)		
7.	Fire Design		
8.	DRU - NZFS		
9.	Consultant Reports		
10.	Producer Statements PS1, PS2, PS4		
11.	Engineering Calculations		
12.	Peer Review		
13.	Relocate: Condition Reports		
14.	Truss Layouts		
15.	FIR		
16.	Correspondence		
17.	Copy of Invoice(s)	18-11-14	DP
18.	Compliance Assessment Checksheets	12-12-14	CG.
19.	Photos		
20.	Notice to Fix / Enforcement Action		
21.	DBH Notification (Warnings etc)		
22.	Amendments/Alterations to Existing		
23.	Historic Places Trust Approval letter		
24.	Request for Further Information letter(s)	17-12-14	DB
25.		19-12-14	RFB #1
26.			
27.	Building Consent (signed copy) Including Conditions	23-12-14	BCON.
28.			
29.			
30.	Inspection Checksheets	8/4/16	
31.	Supporting As-Built documentation		
32.	Energy Work Certificates - Electrical	8/4/16	
33.	Energy Work Certificates - Gas	8/4/16	
34.	Vehicle Crossing Producer Statement		
35.	LBP memoranda	8/4/16	
36.			
37.			
38.	Application for C.C.C.	8/4/16	
39.	C.C.C. Assessment Checklist	8/4/16	
40.	Code Compliance Certificate	8/4/16	
41.	Project Complete CCC Issued.		

**JOB COMPLETED
CCC ISSUED**

LARGE PLANS HELD IN: (PLAN TUBE or FILE BOX?)

LARGE PLANS LOCATED IN: G18 FILE ROOM or BASEMENT

Interior Alterations and New Veranda.

Building Consent Application
Section 32 or 45, Building Act 2004
FORM 2



**Wanganui
District Council**

18 NOV 2014

1. Application type

(Please tick appropriate box)

- Project Information Memorandum and/or
 Building Consent or
 Alteration to Existing Building Consent

Building Consent/PIM No.

14/0638

Note: Shaded areas for office use only

2. The building

- 2a. Site address
217 SOMME PARADE
WANGANUI
- 2b. Current lawfully established use
RESIDENCE
- 2c. Legal description
Lot P Lot 9 DP 2844
- 2d. Council property no.
38870
- 2e. Number of levels
-
- 2f. Level/Unit number
-
- 2g. Floor area
Existing 140 m² New - m² Total 140 m²
- 2h. Year building first Constructed
(If applicable/or approx. year)
1950?

3. The owner

- 3a. Name
Tracy Fisher & Tracy Thackeray
- Postal address
217 Somme Parade
Aranda Wanganui
- Contact numbers
06 3433130 027 2793 272 027 276 1211
Phone Mobile Fax
- Email
alva@xta.co.nz tracythackeray@hotmail.com

4. Evidence of ownership

- 4A. Evidence of ownership attached
 Certificate of Title (copy) Sale and purchase agreement
 Lease agreement Other document showing full name of legal owner(s), such as a rate instalment notice

5. Applicant's details (if not the owner)

- 5A. Name of Agent
N/A
- Postal address
- Contact numbers
Phone Mobile Fax
- Email
- Relationship to owner
- Details of authorisation
 Evidence attached
 Other—please specify

6. Applicants's declaration

Signature of Owner/Agent: Tracy Fisher Date: 17/11/14
 Signature of Builder/Agent: Tracy Thackeray

Name (print clearly)

Consent fees to be paid by
(Please tick appropriate box)

Owner
 Designer

Builder
 Agent

Plumber

The information provided will be included in a Public Register of Consents which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising.
 The person signing the Building Consent application form is the person responsible for the debt.

7. The project

7a. Description of the building work

PROPOSED ADDITION / ALTERATION

7b. Will the building work result in a change of use of the building?

Yes No

7c. If yes, please provide details of the new use

7d. Intended life of the building

Indefinite but not less than 50 years
 Less than 50 years—please specify

years

7e. Have any PIM and/or Building Consents been issued previously for this project?

Yes No
 Provide details below

Date of consent	Consent number

7f. Restricted Building Work

Yes No N/A

7g. Estimated value of the building work

\$ 20,000 including GST

7h. Category

R1

Office use only

8. Project Information Memorandum

The following matters are involved in the project (please tick the appropriate project)

- Subdivision
- Alterations to land contours
- New or altered connections to public utilities
- New or altered locations and/or external dimensions of buildings
- New or altered access for vehicles
- Building work over, or adjacent to, any road or public place
- Disposal of stormwater and wastewater
- Building work over existing drains or sewers, or in close proximity to wells or water mains
- Other matters known to the applicant that may require authorisations for the council—please specify

9. Supporting documentation

The following plans and specifications are attached to this application:

- Two sets of plans drawn to a recognised metric scale; include two sets of specifications and other documentation
- Project Information Memorandum
- Producer Statements
- Truss Layout Plan
- Memoranda (Certificates of Design work)
- Certificate attached to Project Information Memorandum
- Details/Calculations
- Fire Design Analysis
- Development Contribution Notice
- Copies of other Authorisations—please specify
- Other—please specify

10. Building practitioners involved in this project (continue on another sheet of paper if needed)

Designer—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

ARCHITECTURAL DESIGN	
BRYAN STEWART DESIGN 118451	
P.O. Box 314 Waihanau	
3058187	bryan.stewart@extra.co.nz

Builders—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

TBA	

Certifying plumber—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

TBA	

Certifying drainlayer—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

TBA	

Electrician—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

TBA	

Other—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

N.A	

11. Waiver or modification required

Waiver or modification
(Please circle and detail below)

B1	B2	C1	C2	C3	C4	D1	D2
E1	E2	E3	F1	F2	F3	F4	F5
F6	F7	F8	G1	G2	G3	G4	G5
G6	G7	G8	G9	G10	G11	G12	G13
G14	G15	H1					

Additional information

Alternative Solution
(Please circle and detail below)

B1	B2	C1	C2	C3	C4	D1	D2
E1	E2	E3	F1	F2	F3	F4	F5
F6	F7	F8	G1	G2	G3	G4	G5
G6	G7	G8	G9	G10	G11	G12	G13
G14	G15	H1					

Additional information

12. Compliance with the New Zealand Building Code

NZBC Clause

Tick relevant building code clauses

Means of compliance

Please circle or add means of compliance

Proposed inspections

Please circle as appropriate—see key below

<input checked="" type="checkbox"/> B1	Structure	B1/AS1 P/S1	NZS 4229	NZS 3604-2011	AS/NZS 1170	1	2	3
<input checked="" type="checkbox"/> B2	Durability	B2/AS1	NZS 3604	NZS 3101	NZS 3602	1	2	3
<input type="checkbox"/> C1-C2-C3-C4	Fire	C/AS1		SED		1	2	3
<input type="checkbox"/> D1	Access routes	D1/AS1		NZS 4121		1	2	3
<input type="checkbox"/> D2	Mechanical installations for access	D2/AS1		NZS 4322	EN/81	1	2	3
<input checked="" type="checkbox"/> E1	Surface water	E1/AS1		AS/NZS 3500		1	2	3
<input checked="" type="checkbox"/> E2	External moisture	E2/AS1		Specific Design		1	2	3
<input type="checkbox"/> E3	Internal moisture	E3/AS1				1	2	3
<input type="checkbox"/> F1	Hazardous agents on site	F1/AS1				1	2	3
<input type="checkbox"/> F2	Hazardous building materials	F2/AS1		NZS 4223		1	2	3
<input type="checkbox"/> F3	Hazardous substances & processes	F3/AS1				1	2	3
<input type="checkbox"/> F4	Safety from falling	F4/AS1		Fencing of Swimming Pools Act		1	2	3
<input type="checkbox"/> F5	Construction & demolition hazards	F5/AS1				1	2	3
<input type="checkbox"/> F6	Lighting for emergency	F6/AS1	AS/NZS 1668	NZS 4512	NZS 4515	1	2	3
<input checked="" type="checkbox"/> F7	Warning systems	F7/AS1	AS/NZS 1668	NZS 4512	NZS 4515	1	2	3
<input type="checkbox"/> F8	Signs	F8/AS1				1	2	3
<input checked="" type="checkbox"/> G1	Personal hygiene	G1/AS1				1	2	3
<input checked="" type="checkbox"/> G2	Laundering	G2/AS1				1	2	3
<input checked="" type="checkbox"/> G3	Food preparation & prevention of contamination	G3/AS1				1	2	3
<input checked="" type="checkbox"/> G4	Ventilation	G4/AS1				1	2	3
<input type="checkbox"/> G5	Interior environment	G5/AS1				1	2	3
<input type="checkbox"/> G6	Airborne & impact sound	G6/AS1				1	2	3
<input type="checkbox"/> G7	Natural light	G7/AS1				1	2	3
<input type="checkbox"/> G8	Artificial light	G8/AS1		NZS 6703		1	2	3
<input type="checkbox"/> G9	Electricity	G9/AS1				1	2	3
<input type="checkbox"/> G10	Pipes services	G10/AS1		NZS 5261		1	2	3
<input type="checkbox"/> G11	Gas as an energy source	G11/AS1				1	2	3
<input checked="" type="checkbox"/> G12	Water supplies	G12/AS1		AS/NZS 3500		1	2	3
<input checked="" type="checkbox"/> G13	Foul water	G13/AS1		AS/NZS 3500		1	2	3
<input type="checkbox"/> G14	Industrial liquid waste	G14/AS1				1	2	3
<input type="checkbox"/> G15	Solid waste	G15/AS1				1	2	3
<input type="checkbox"/> H1	Energy efficiency	H1/AS1	NZS 4212	NZS 4218	NZS 4243	1	2	3
<input type="checkbox"/>	Backcountry Huts	Acceptable solution		ALF design manual		1	2	3
<input type="checkbox"/>	Simple House	Acceptable solution				1	2	3

Key to proposed inspection: 1. Council Building Control Officer 2. Approved Consultant e.g. Engineer 3. Other—Please specify below

Important

The Building Act requires the applicant to state, for each relevant building code clause, what the means of compliance is. Alternative solutions may also be proposed, and must be accompanied with documentation demonstrating compliance. Please refer to Alternative Solution box previous page and provide additional information.

13. Compliance schedule

Do not proceed further if

- this is an application for a PIM only (Project Information Memorandum)
- this application is for Residential work only (except for a cable car after 31 March 2008)

The following specified systems are new, existing, being altered, added to, or removed in the course of building work



There are no specified systems in the building

	New	Existing	Altered	Added	Removed
Cable Car (including to individual dwelling) (to be implemented 31 March 2008)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Building Act 2004 (implemented 31 March 2005) (listed below are the systems and features from the 'new' Act)					
1. Automatic systems for fire suppression (for example, sprinkler systems)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
2. Automatic or manual emergency warning systems for fire or other dangers	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
3. Electromagnetic or automatic doors or windows (for example, ones that close on fire alarm activation)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
4. Emergency lighting systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
5. Escape route pressurisation systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
6. Riser mains for Fire Service's use	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
7. Any automatic back-flow preventers connected to a potable water supply	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
8. Lifts, escalators, travelators, or other systems for moving people or goods within buildings	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
9. Mechanical ventilation or air conditioning systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
10. Building maintenance units providing access to exterior and interior walls of buildings	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
11. Laboratory fume cupboards	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
12. Audio loops or other assistive listening systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
13. Smoke control systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
14. Emergency power systems for, or signs relation to, a system or feature specified in any of the above	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
15. Means of escape with systems and features, signs (1 to 6, 9 and 13) Fire and smoke separations	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

OFFICE USE ONLY

BCA

Date application received	11-11-14
Receiving Officer	CK
Application Fee Receipt No.	515798
Date of application Fee Rec.	19-11-14
Infrastructure Bond No.	

Fees (incl. GST)

23

Building Consent Application Fee (Prepaid)	\$ 475 —
Building Consent Issue	\$
PIM	\$
Building Levy (DBH)	\$
BRANZ Levy	\$
Stormwater Connection	\$
Vehicle Crossing	\$
Sewer Connection	\$
Water Connection	\$
Fordell Connection (Application charge)	\$
Development Contribution Levy	\$
NZFS Alternative Solution	\$
Waiver/Modification	\$
Resource Consent	\$
Relocation Bond	\$
Infrastructure Fee (non-refundable)	\$
Infrastructure Bond	\$
Certificate of Title	\$
Rural Rapid Number	\$
Photocopying/Plan printing	\$
Other	\$
Total	\$

Comments:

Fees Done by Dallas
checked by Anne
All Good

receipt no 519054

Processing Unit	Checks				Inspections No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	DB	21-11-14	CK	19-12			
Planning	AW	21/11/14				21/11/14 AW	
Fire Design (Referred to NZFS)							
Building	CK	11/12/14				DA	22/12/14
Drainage (Infrastructure)							
Water (Infrastructure)							
Fordell Water Scheme (Infrastructure)							
Structural							
Plumbing/Drainage	7	12/12/14				7	23-12-14
Roading							
Health							
Dangerous Goods							
Parks & Property / Mainstreet							

Approved for issue of PIM/Building Consent

Approving Officer: C. Hobbin Date: 23.12.14.

Notes: _____

**Building Consent Application
Prelodgement Vetting
New residential dwellings,
additions/alterations and
habitable garages**



**Wanganui
District Council**

Application details

(Additional information will need to be supplied if a resource consent is required)
This is a preliminary vetting sheet only to establish if there is sufficient information of an acceptable quality before it is received for lodgement and processing. This prelodgement form is designed to reduce processing time and save you on processing costs.

Plans are required to a suitable drafting standard.

Note: If you do not have the appropriate skills to prepare drawings, please engage a professional.

2 copies of all documentation is required (4 if resource consent required).

Date Received			
Site Address	217 SOMME PARADE		
Description of building work	PROPOSED ADDITION / ALTERATION		
Restricted building work	<input checked="" type="radio"/> YES	<input type="radio"/> NO	<input type="radio"/> N/A
LBP memorandum	<input checked="" type="radio"/> YES	<input type="radio"/> NO	<input type="radio"/> N/A
WDC Building Category (Circle where applicable)	<input checked="" type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3

Application type

Tick where applicable under Yes or Not applicable	Yes	N/A	WDC
New Building	<input type="radio"/>	<input checked="" type="radio"/>	<input checked="" type="checkbox"/>
Alterations	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Additions	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Demolition	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Relocation	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Change of use	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Stage of	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>

Property information

Tick where applicable under Yes or Not applicable	Yes	N/A	WDC
Cert. of title (less than 3 months old)	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Legal description checked	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Street address	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Number of floors ()	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Building history—listed	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Rapid Number required	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Current lawful use WDC	Residential Dwelling		

Building classification

	Yes	N/A	WDC
Housing—Detached	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
- Multi-unit	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
- Group Dwelling	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Garage—	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
- Habitable	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
- Non-habitable	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>

Floor area

Ground floor		M ²
Basement		M ²
1st floor		M ²
2nd floor		M ²
Outbuildings		M ²
Decks/balconies		M ²
Other		M ²
Total existing buildings on site		M ²
Total new work		M ²

Contact details, address, phone etc.				Compliance						
Tick where applicable under Yes or Not applicable		Yes	N/A	WDC	Tick where applicable under Yes or Not applicable		Yes	N/A	WDC	
Owner's details		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Means of compliance completed (as per application form)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Agent's details		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Standards—Current version specified		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Designer's details		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Alternative solution		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Engineer's details		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>						
Site Information					Site features					
Circle where applicable					Tick where applicable under Yes or Not applicable					
Wind Zone	<input checked="" type="radio"/> Low	Medium	High	Very High	Extra High	Is the site subject to natural hazards i.e.: flooding, subsidence, slipping etc.		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Corrosion Zone as defined NZS3604 4.2.3	B	<input checked="" type="radio"/> C	D	Sea Spray	Specific Design	Do the plans show how you are mitigating the risk i.e.: finished floor level etc.		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Earthquake Zones	1	<input checked="" type="radio"/> 2	3	4						
Plans					Site plan					
Tick where applicable under Yes or Not applicable		Yes	N/A	WDC	Tick where applicable under Yes or Not applicable		Yes	N/A	WDC	
Number of sets required (2/3 set required)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Scale 1:100 1:200 1:500		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Specifications: Project Specific					Site area & coverage		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Number of sets required (2/3 set required)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fully dimensioned		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Bracing calculations					North point & Building Orientation		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Subfloor/Deck (2 sets required)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing & Proposed building		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wall (per floor)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Finished floor level		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Structural Engineering					Contours, Datum		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Number of sets supplied (2 required)		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Extent of cut and fill		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Current Producer statement/Calc.		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Retaining walls/engineer or standard		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Beam layout plan		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Septic Tank/Water Tank/Soak Hole		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Connection details/truss/lintel/post		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drainage Plan (S/water & sewer)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Geotechnical Engineering					Infrastructure					
Number of sets supplied (2 required)		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Water connection position (new/existing)		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site plan		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Sanitary sewer connection position (new/existing)		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Soils analysis/report		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Stormwater connection position (new/existing)		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Producer statement		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Level & depths of connections		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
H1 Energy efficiency					Stormwater secondary flow path		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Design—Schedule		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Sump lid & kerb top levels at outlet		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Calculation		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Crown of road level		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Modelling		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Vehicle crossing application form		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Risk Matrix					Position of vehicle crossing on site plan		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Calculations supplied		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Infrastructure bond application		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Cross sections

Tick where applicable under Yes or Not applicable

Yes N/A WDC

	Yes	N/A	WDC
Minimum of one along the length	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Minimum of one across the width	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Clear ground levels	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Footings size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Subfloor ventilation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Foundation steel—size and centres	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Masonry and slab/hardfill/dpm	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Wall framing—sizes, centres, treatment, height, stress grade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wall/ceiling/floor insulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Cladding	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Cavity and battens	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Building paper	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Stairs—tread, rise, pitch, height	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Decks and balconies/balustrades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Linings and finishes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wet area waterproofing/tanking	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Foundation plan

Tick where applicable under Yes or Not applicable

Yes N/A WDC

	Yes	N/A	WDC
Timber floor —Pile size, centres, treatment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Footings size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Bracing layout type and position	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Joists and bearers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Concrete Floor —Dimensions, bays, mesh size, point load pads, slab thickenings, control joints, supplementary bars	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Specific design (raft)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Roof framing plan

Pitched roof—Ridge beam, rafters, purlins, building paper, insulation

	Yes	N/A	WDC
Eaves	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Pergola/Verandah	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Trussed roof —Truss type	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Point loads identified	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Roof bracing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Truss layout/design certificate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Elevations

	Yes	N/A	WDC
• North	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• South	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• East	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• West	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Height recession plane	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wall cladding(s)/control joints	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Roof cladding(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Finished floor levels	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Maximum building height	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Weathertightness—Flashing details

	Yes	N/A	WDC
Windows/doors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Balconies	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Parapets/apron/change of pitch	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Decks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Roof and wall junctions	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
More than one cladding	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Pergola	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other penetrations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Floor plans

	Yes	N/A	WDC
To scale, fully dimensioned, rooms named	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Window/door sizes and position	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fixtures and fittings, smoke detectors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Full plumbing layout, pipe sizes etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Solid fuel heating/heat pump/solar	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
HWC, position, tempering valve	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wall bracing—height, position, type	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Deck construction

	Yes	N/A	WDC
Foundation plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Pile size, centres, treatment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Bearer & joint, size, span, treatment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Stair, balustrade details	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Detail at junction of house	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Solid Fuel Heating

	Yes	N/A	WDC
Manufacturers specifications	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Construction details/flashings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Floor plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wetback details/Tempering valve	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Smoke Detectors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NESR compliance (Clean Air Act)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Electrical Plan

	Yes	N/A	WDC
Electrical layout	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Mechanical and ventilation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Designers Signature

[Handwritten Signature]

Name of Designer signing: (please print clearly)

Richard Stewart

Dated

12 / 11 / 2014

Comments

Plans OK to accept for

Date received

18-11-14

Application fee:

Processing

(please circle whichever is applicable)

YES

(please circle whichever is applicable)

Recheck

N/A

Received by

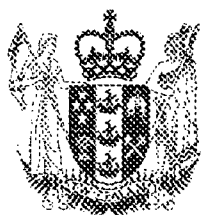
Chris E

WDC Vetting Officer:

Chris Keenan

(print name)


(print name)



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy


R. W. Muir
Registrar-General
of Land

Identifier WN32D/381
Land Registration District Wellington
Date Issued 13 July 1988

Prior References

WN250/206 WN606/283

Estate Fee Simple
Area 648 square metres more or less
Legal Description Part Lot 9 Deposited Plan 2844 and Part
Lot 30 Deposited Plan 3167

Proprietors

Tracy Fisher and Tracy Jane Thackeray

Interests

8622356.3 Mortgage to ASB Bank Limited - 29.10.2010 at 4:15 pm

Wanganui District Council

18 NOV 2014

RECEIVED

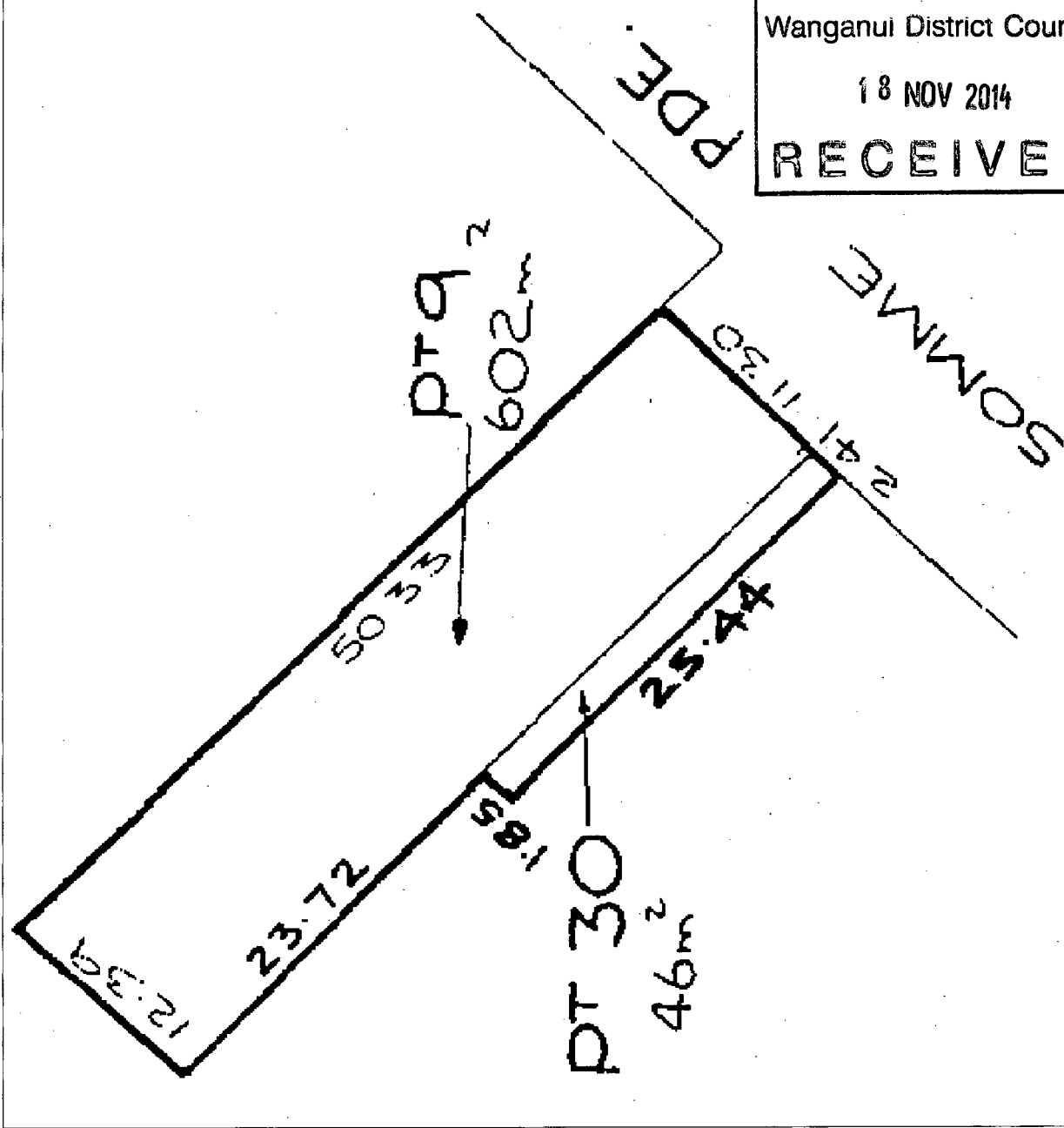
Identifier

WN32D/381

Wanganui District Council

18 NOV 2014

RECEIVED



- Links to other Functions
- IntraMaps
 - HUBBLE
 - Property Maintenance
 - Other Certificate
 - Owner Certificate
 - Property Due Amounts
 - Property Clone Process
 - Address Maintenance

- Sections to Display
- Owners
 - Land
 - Valuations
 - Summary
 - Topics
 - Applications
 - Charges
 - Transaction Summary
 - Custom Fields
 - Attachments
 - Notes
 - Expand All Collapse All Find

- Related Data
- Associations (9)
 - Attributes (13)
 - Memos (2)
 - Aliases (0)
 - Theme Associations (0)
- Show Historical Items

Property

Property ID: Address: 217 Somme Pde WANGANUI
 Legal Desc: PT LOT 9 DP 2844 0.0602 Ha PT LOT 30 DP 3167 0.0046 Ha
 Owners: Mrs Tracy Fisher(Own) & Mrs Tracy J Thackeray(Own)
 Service Address: 8 Wilson Street Hamilton 3216
 Rate Codes: Notice - Return Notice from Printers Analysis - Rateable Recovery - Direct Debt 7 Days No Penalty Assessment - 1320034600

Property	Rates	Charge Balance:	1,206.50
Status: <input type="text" value="Current"/>		Rates Balance:	1,206.50
Property Type: <input type="text"/>		Water Balance:	0.00
Electorate: <input type="text" value="Urban"/> Urban Ward			
Default Postal Address: <input type="text" value="8 Wilson Street Hamilton 3216"/>			
Legal Description: <input type="text" value="PT LOT 9 DP 2844 0.0602 Ha PT LOT 30 DP 3167 0.0046 Ha"/>			
Additional Description: <input type="text"/>			
Owners			
Land			
Valuations			
Summary			
Topics			
Applications			
Charges			
Transaction Summary			
Custom Fields			
Attachments			
Notes			

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File Note

Assessment of Building Consent



THIS NOTE RECORDS THE INITIAL ASSESSMENT MADE OF THE CONSENT APPLICATION. IT ASSESSES WHETHER THE APPLICATION INCLUDES ALL THE INFORMATION REQUIRED TO ACHIEVE COMPLIANCE WITH THE DISTRICT PLAN AS REQUIRED BY SECTION 37 OF THE BUILDING ACT 2004.

Applicant:	
Activity/Use:	<i>INTERNAL ALTERATIONS + VERANDA</i>
Date:	<i>21.11.14</i> BCon # <i>14/0638</i>
Address:	<i>27 SOMME PK</i>
Subject:	Development in the Residential Zone

Zone Rules

8.4.1 Activity	Residential (including Home Occupations), Community, Reserves & Utilities	<i>COMPLIES WITH DISTRICT PLAN</i>
8.4.2.1 Noise		
8.4.2.2 Light		
8.4.2.3 Vibration		
8.4.2.4 Granny Flats	Maximum 1 Maximum 60m ² Gross floor area	
8.4.2.5 Structures	Maximum 10m high	
(a) HRP	Front boundary	
	Side boundary	
	Side Boundary	
	Rear Boundary	
	Exemptions	
(b) Multi-Units	Detached (notional boundary)	
	Conjoined & residential care facilities $D = (L + 3H) \times 10$	
(c) Fences	Front boundary 1.2m solid Side & Rear 1.8m	
	(d) Site coverage	
(e) Accessory Buildings	Behind front line of main building	
8.4.2.6 Amenity	400m ² per dwelling	
	30m ² outdoor north facing living space	
	Multi-units: outdoor storage 2m ²	
	Non-Residential activities: 50 people max for local roads 100 people max for other roads	
8.4.2.8 Signs		

File Note Assessment of Building Consent



THIS NOTE RECORDS THE INITIAL ASSESSMENT MADE OF THE CONSENT APPLICATION. IT ASSESSES WHETHER THE APPLICATION INCLUDES ALL THE INFORMATION REQUIRED TO ACHIEVE COMPLIANCE WITH THE DISTRICT PLAN AS REQUIRED BY SECTION 37 OF THE BUILDING ACT 2004.

General Rules

Vehicle Crossing		
Car Parking	Must be screened from residential properties – 8.4.2.9	
	Comply with general rules	
Loading Bay		
Features	protected trees, heritage resources, transmission lines, designations, flooding, 20° slope, hazards, overlays	
Earthworks		
Retaining walls	1.5m max	

Other Standards

Easements/ Consent Notices	Certificate of Title	
Building over boundary?	If so, tell Greg and not on file	
Development Contribution	10 year Plan, page 152	
Archaeological Site	Site Features map	

Decision and any other matters not contained in table above including further information for building consent purposes:

Approved

[Signature] 20/10/14

Wanganui District Council

PO Box 637, Wanganui

Phone (06) 349-0001

Visit our Web Site www.wanganui.govt.nz

REPRINTED

Official Receipt

GST Reg No 51-668-324

18/11/2014

Receipt No: 515798

To: S Wood & T Thackeray

<u>Description</u>	<u>Am</u>	<u>nt</u>
General		
NOGPRECONSENT	\$475.00	
217 Somme Pde Additons/Alterations		
Transaction Total:	\$475.00	
Amounts Tendered		
Cheque	\$475.00	
Total	\$475.00	

Printed 18/11/2014 4:57:08p.m.



PREPAID - TAX INVOICE

GST Number 51-668-324

Payers Name:

Tracy Fisher

For Building Consent:

Reference No:

Date:

YOUR APPLICATION WILL NOT BE PROCESSED UNLESS THE FEE IS PAID

Location of project 217 Somme Parade **Description of project** Additions/Alterations

Reference	Details	Amount (Incl GST)
		28
1.	Building Consent Project Type – application fee (refer to 'Fees and Charges' Form)	\$ 475 —
2.	Resource Consent - deposit	
	• Land use - Non-Notified	\$
	• Subdivision - Notified	\$
3.	Infrastructure Bond	
	• Non-Refundable Charge	\$
4.	Other - Aerial photographs	\$
	- Plan pack Searches	\$
	- Rural Rapid Numbers (New)	\$
	- Large Plan photocopying A2	\$
	- A0 – A1	\$
5.	Certificate of Title	\$
Total Payable		\$ 475 —

WHEN PAID THIS FORM WILL BE PART OF YOUR CONSENT APPLICATION AND MUST BE ATTACHED TO THE CONSENT APPLICATION BEFORE IT WILL BE PROCESSED.

PLEASE RETURN TO CUSTOMER SERVICES

101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



24 December 2014

**Mrs T Fisher, Mrs TJ Thackeray
8 Wilson Street
Hamilton 3216**

Dear Sir or Madam:

Project Number: **BCon14/0638**
Project Location: **217 Somme Pde WANGANUI**
Project Description: **Interior alterations and new veranda.**

We are pleased to inform you that your building consent application has been assessed and has met the requirements of the New Zealand Building Code.

Once payment has been received as per the attached invoice your building Consent will be granted and issued as per the requirements of the Building Act 2004. Payment can be made by cheque, cash, Eftpos or direct debit (bank account details shown on invoice).

Once your consent has been issued work may proceed on your project. Please take the time to familiarise yourself with your consent documentation once it has been issued as there are ongoing requirements for you to fulfil.

If you have any queries in this matter please do not hesitate to contact a member of the Customer Services Technical Team.

Yours sincerely

A handwritten signature in black ink, appearing to read "Dallas Bullock", written in a cursive style.

Dallas Bullock
Customer Services Advocate

101 Guyton Street
 P O Box 637, Wanganui
 Phone: (06) 349 0001
 Fax: (06) 349 0000
 Email: wdc@wanganui.govt.nz
 Web: www.wanganui.govt.nz



TAX INVOICE
 GST Number 51-668-324

For: Building Consent (Building Act 2004)

Mrs T Fisher, Mrs TJ Thackeray
8 Wilson Street
Hamilton 3216

Tax Invoice No: 20141035735
Reference No: BCon14/0638
Date: 24/12/2014
Page: 1 of 1

<i>Location</i>	<i>Description</i>
217 Somme Pde WANGANUI	Interior alterations and new veranda.

<i>Reference</i>	<i>Details</i>	<i>GST</i>	<i>Amount (Incl GST)</i>
2BAppDed	2B application Deduction	-61.96	-475.00
Accred	Building consent accreditation fee	2.61	20.00
BCAdFee1	Administration Fee	14.35	110.00
BRANZ	BRANZ Levy (GST Exclusive)		20.00
DBH	DBH Levy	5.24	40.20
InspFee	Inspection Cost Fee	143.00	1096.32
ProcessFee	Processing Cost Fee	68.39	524.33
Total		171.63	\$ 1335.85

Please do not attach cheques with staples or pins
 Please Pay on Tax Invoice, as no Statement will be issued

\$ 1335.85

Direct credit payments can be made to the ANZ Bank: a/c 01-0790-0157-888-02. Please enter your Reference No. as the reference.

Do you have new contact details? Please let us know:

Name: _____
 New Address: _____

 Daytime Phone No: _____
 Email Address: _____

Payment Due By: 23/01/2015

Important: This portion must be returned with remittance to:

Wanganui District Council
P O Box 637
Wanganui

Invoice For: Building Consent (Building Act 2004)

Reference No: BCon14/0638
Tax Invoice No: 20141035735

Office Hours: 8:00am to 5:00pm Monday – Friday

Payment Amount: **\$**



PROCESSING TIME REPORT

Number BCon14/0638

<i>Project Location</i>	<i>Project Description</i>
217 Somme Pde WANGANUI	Interior alterations and new veranda.

Processing Time Details

<i>Referral</i>	<i>Section</i>	<i>Time</i>
Referral1	1st Request for further information on Application.	155
Referral2	2nd Request for further information on Application.	65
Total Processing Time		220

Building Consent
Process check sheet – Producer Statement Checklist



217 Sammie Pde.

BCon 14/0638

Producer Statement Checklist

Approved = More information required = X Not Applicable = N/A

Design (PS1) Design Review (PS2) Construction (PS3) Const Review (PS4)

Description of work covered by Producer Statement: *Roof trusses*

Authors Name: *In Ling Ng # 146585* Approved Author: *Mitek NZ Ltd.*

Acceptable solution Alternative solution Verification Method

Building Code Clauses covered: *B1 and B2 VMI.*

Producer Statement Specifics Comments

Author signed and dated the statement	<input checked="" type="checkbox"/>		
Peer Review Required	Yes	No	
Statement is site specific	<input checked="" type="checkbox"/>		
Statement is fully completed	<input checked="" type="checkbox"/>		
Calculations supplied		<input checked="" type="checkbox"/>	
Inspection requirements	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	

Producer Statement Approved Producer Statement Declined

Specific Conditions of Acceptance (Inspection, construction requirements that need to be conditions of consent)

Building Consent
Process check sheet – New Dwelling/Additions



New Dwelling/Additions

Approved = ✓	More information required = X	Not Applicable = N/A If a sub element is not relevant choose N/A
Address:	217 Somme Pde	
Building Consent No:	14/0638	Date: 10/12/14
Consent Officers:	DH	
Description:	Alterations & Additions to Residence	
Change of use BA(04)115(a)	Yes	(No)

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer review		
Site - Features	Positioning	Siting	i.o. >	✓				
		Hazard Maps		n/a				
		Subdivision Conditions – 224 & 221		n/a				
		Wind zone <u>W</u> / M / H / VH / EH / SED	medium	✓				
		Durability zone <u>B</u> / C / D		✓				
		Earthquake zone <u>2</u> / 3		✓				
B1. Structure	Foundation	Engineers design on architectural plans		n/a				
		Load paths addressed / pads indicated		n/a				
		Depth / width	Piles to NZS 3604	✓				
		Reinforcement		n/a				
	Slab on ground / concrete floor	Engineers design on architectural plans			n/a			
		Load paths addressed / pads indicated			n/a			
		Hard fill			n/a			
		Reinforcing – mesh cover, supplementary bars			n/a			
		Control joints			n/a			
		Timber subfloor	Subfloor bracing & layout provided	Anchor piles to NZS 3604		✓		
			Fixing / Connection			✓		
			Height above ground level (550mm for particle board / 450mm crawl space)	Detailled – 550.		✓		
			Ventilation	through baseboards		✓		
Timber flooring	Member sizing and loading (size / spacing / span)		Joists 145 x 45 @ 600cs		✓			
	End support / fixing / bearing			✓				

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer Review
		Flooring material	20mm Part board	✓		
		Lateral support, blocking		✓		
	Wall	Member sizing height / size / spacing	Studs 90x45	✓		
		Lintels – engineering design req	3604	n/a		
		Beams – engineering design req		n/a		
		Fixing / connection		✓		
		Wall bracing & calculation	Provided for altered rear half	✓		
	Roof	Roof framing	Some existing	✓		
		Truss certificate & layout provided	2 x trusses only	X	✓	SA
		Member sizing (size / spacing)	What's supporting roof	n/a		
		Fixing / connection – uplift resistance		✓		
		Roof bracing	Roof plane braces	✓		
		Ceiling framing – battens 450 / 600	400 CS specified	✓		
	External structure	Post footing / connection detailed	Post on 400x400x600	✓		
		Post / beam connection	Bowmerc BS 38/48	✓		
		Retaining wall		n/a		
		Swimming Pool		n/a		
		Other		n/a		
	Barriers	Timber barrier (B1/AS2)		n/a		
		Other approved barrier design		n/a		
	Chimney	Masonry / concrete chimney (B1/AS3) SED	No chimney.	n/a		
B2. Durability	Concrete	Concrete strength & cover	17.5 Mpa	✓		
	Timber treatment	Wall / fixings / compatibility / brace & fixings	H 1.2.	✓		
		Roof / fixings / compatibility		✓		
		Subfloor / fixings / compatibility	SS req'd within 600 CL	X	✓	SA
	Metal / Steel member	Material and coating system	Colorsteel roofing.	✓		
	Cladding material	Wall	W/Boards to match	✓		
C. Fire Safety	Outbreak of fire	Solid fuel fire/ fireplace location shown	Position shown.	SA ✓		
		Proprietary fires - Manufacturer's specifications provided	Metro.	✓		
		Open fire - construction material		n/a		

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer review
		Firebox opening size	Specified.	✓		
		Surround / hearth size	Specified.	✓		
		Chimney size	Triple flue	✓		
	Means of escape from fire	Dead end travel distance (24m max)	15m max.	✓		
	Spread of fire	Distance from boundary > 6501m)	650 >	✓		
		Fire rated construction	No fire rating req'd.	n/a		
	Stability during fire	Collapsing away from other property	1.0m >	n/a		
D1. Access route		Slip resistance	Front steps existing	n/a		
		Landing		n/a		
		Handrail		n/a		
		Tread & riser		n/a		
		Stair dimension		n/a		
		Clear height		n/a.		
		Lighting		n/a.		
D2. Mechanical installation for access	Lift / Escalator / moving walkway	Documentation for compliance with the code	_____	n/a		
E2. External moisture	Floor	Floor height above ground	550 mm	✓		
		DPM under slab	no slab	n/a		
		Waterproofing / tanking of retaining wall	_____	n/a		
		Subsoil drainage	_____	n/a		
		Step / threshold with deck	By Owner - exempt	n/a		
	Wall	E2 Risk matrix assessed	Mainly existing	n/a		
		Wind Barrier / Rigid underlay / Building wrap	To new with	✓		
		Cladding system specified	w/boards	✓		
		Cavity system	Direct fix.	n/a		
		Head, jamb & sill details	Provided	✓		
		External & Internal corners	"	✓		
		Junctions – dissimilar materials	_____	n/a		
		Clearance of wall cladding	_____	n/a		

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer review
		Outside visual awareness		✓		
G8. Artificial light			Not applicable for residential (SH)	N/A	N/A	
G11. Gas as an energy source		Gas hobs (combustible surfaces 200mm clearance)				
G12. Water supply		Source	Existing	✓		
		Tempered water / tempering valve	Geo infinity	✓		
	Sanitary plumbing	Schematic provided / layout provided in relation to floor joists	Basic Plumbing	N/A		
		Pipe size / length / gradient	Complies.	✓		
		Venting requirements		✓		
		Pipe under / within floor framing		✓		
1. Energy efficiency		Timber frame (wall / roof / floor insulation)				
		Solid construction (wall / roof / floor insulation)				
		Specific design				
		Protection of subfloor insulation (if req)				
		Glazing				
E1. Surface water	Site drainage	Floor level above crown road or lowest point	no change.	N/A		
		Secondary flow path	"	"		
		Drain pipe size and gradient	"	"		
		Sump / chamber	"	"		
		Soakhole / approved outfall	"	"		
		Stormwater design calculation (hydrological neutrality)	"	"		
	Roof water	Sufficient downpipe	not shown.	x		
		Internal External gutter				
		Overflow relief	external gutter	N/A		
G1. Hygiene		Fixture layout				
		Number of doors to kitchen, basin in wc - (yes) / no	2 doors to each.			
G2. Laundering		Sufficient laundry facility and space	in scullery	✓		
G3. Food preparation and prevention of contamination		Sink and cooking facility		✓		

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer review
G12. Water supply		Water heating system, location	Gas infinity	✓		
		Schematic provided (if applicable)		N/A		
G13. Foul water	Drainage	System specified		✓		
		Connection shown (layout provided)	Existing drain	N/A		
		Drain size / material / gradient		✓		
		Main drain vent (tv)		✓		
		Gully trap / ORG shown	Existing	✓		
		Drain under building		✓		
		Discharge stack / relief valve	Run under floor	✓		
14. Industrial liquid waste	On-site liquid waste	Engineer / other suitable qualified professional design	WDC Reticulation	N/A		
		Systems – Property size	"	"		
		Soil type, profile / loading rate	"	"		
		Tank size / effluent area	"	"		
		Clearance from waterway, ground water	"	"		
Misc		Specifications				
		Structural calculations				
		Foundation report				
		Producer statement design				
		Producer statement design – review				
		Has PIM been issued				
		Historic places check				
Engineering	Engineering comments					

Important note: This checklist is a guide for use by authorized WDC Officer only, for establishing compliance with the Building Code as part of the vetting and Building Consent application.

		Tick
Peer Review		
Application Suspended: I confirm that I have evaluated the proposed project against all items in the checklist		12.12.14 CG ✓
Application Approved: I confirm that I have evaluated the proposed project against all items in the checklist. Based on the information provided by the applicant, the project complies with the Building Code.		23.12.14 CG ✓

Wanganui District Council

20 NOV 2014

ACCEPTED

2nd SET

ADDRESS: **217 Somme Parade**

Department:	Sent	Returned	Sent	Returned	Sent	Returned
Water						
Drainage						
Roading						
Other						



INSPECTION TIME REPORT

Building Consent Number BCon14/0638

Consent or Alteration Number	Estimated Inspection Time	Actual Inspection Time	Inspection Time Difference
BCon14/0638	460	0	460
Inspection Time Difference			
At BC Issue	<i>Time to be charged.</i>		460
At Completion	Positive amount = time to be credited Negative amount = time to be charged		

Signed for and on behalf of the Wanganui District Council



INSPECTION RECORD

This record, together with the Building Consent and approved plans, is to remain on the construction site at all times.

Project Location	TO BOOK AN INSPECTION PLEASE PHONE WDC BUILDING CONTROL	BCon14/0638
217 Somme Pde WANGANUI	ON 349 0001 AND QUOTE THE FOLLOWING APPLICATION NUMBER:	Wanganui District Council 24 DEC 2014 ISSUED
Description of Work	Interior alterations and new veranda.	

Applicant	Mrs T Fisher, Mrs TJ Thackeray 8 Wilson Street, Hamilton 3216
Designer	Mr BJ Stewart PO Box 314, Wanganui Mail Centre, Wanganui 4540

SUMMARY OF CONDITIONS

Building Consent Number BCon14/0638

PIM Conditions

Code	Condition
	All work on the project must comply with the requirements of the NZ Building Code.
	A PIM only document is not an approval to build. A Building Consent is required before building work commences.
	W.D.C will follow up on building work not completed within two years of building consent issue.
	A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
	If the building is public premises it may not be occupied until either a code compliance certificate or certificate for public use has been issued.
	Please note [Electrical, and Gasfitting subtrades do not form part of the building consent inspection process. However, Council is required to receive 'Energy Certificates' from both of these trades before issue of a Code Compliance Certificate].

Building Consent Conditions

Code	Condition

Your project's inspections are listed on the next page...



Please Note: A minimum of 24 hours notice is required for the booking of an inspection. The inspection record sheet and accompanying building consent documentation must be on site for use by the inspector at the time of the inspection.

All inspections are to be carried out by BCA Building Inspectors unless prior arrangements have been made by the BCA to have an approved qualified person inspect specific items (eg. Engineer). Inspections shall be carried out in accordance with the attached schedule of inspection types. It is the owner's responsibility to ensure all necessary inspections are carried out as required. Please contact WDC if you are unsure what requires inspection – do not cover or enclose any building work without inspection.

Note: Further inspections may incur additional cost at time of Code Compliance Certificate issue.

Inspections Record For Building Consent Number BCon14/0638						
<i>Inspection</i>	<i>When to Request</i>	<i>Date</i>	<i>Inspector</i>	<i>Complies with Code</i>	<i>Reinspect</i>	<i>Notes</i>
PILE AND/OR POST INSPECTION	Prior to placing Concrete					includes verandah posts.
FRAMING INSPECTION	When all framing is complete.					
BUILDING PRELINE INSPECTION	Before Internal linings are fixed.					
POST LINE INSPECTION	To inspect fixings. Prior to covering up.					
FINAL BUILDING AND PLUMBING COMBINED INSPECTION	On Completion					
PLUMBING PRELINE INSPECTION	Before covering up					
SANITARY DRAINS INSPECTION	Before backfilling drains					With stormwater and soil pipe under floor complete.
CONSTRUCTION REVIEWS (NO INSPECTION)						The following are to be supplied to Council before final inspection: CCC application, Gas and Electrical Certificates. Memorandums of work for Builders and Roofer...



BUILDING CONSENT NUMBER BCon14/0638

Section 51, Building Act 2004

The building:

Street address of building:	Legal description of land where building is located:
217 Somme Pde WANGANUI	PT LOT 9 DP 2844 0.0602 Ha PT LOT 30 DP 3167 0.0046 Ha
Building name:	Location of building within site/block number:
Level/unit number:	

The owner:

Name of Owner:	
Mrs T Fisher, Mrs TJ Thackeray	
Mailing address:	Street Address/registered Office:
8 Wilson Street Hamilton 3216	8 Wilson Street Hamilton 3216

Phone numbers:

Landline:		Mobile:	
Daytime:		After hours:	
Facsimile number:			
Email address:		Website:	

First point of contact for communications with the building consent authority:

Contact Person:	
Mrs T Fisher, Mrs TJ Thackeray	
Mailing address:	Street Address/registered Office:
8 Wilson Street, Hamilton 3216	8 Wilson Street, Hamilton 3216

Phone number:

Landline:		Mobile:	
Daytime:		After hours:	
Facsimile number:			
Email address:		Website:	

Building Work

The following building work is authorised by this consent

Project
Interior alterations and new veranda.

<i>Intended Use</i>	<i>Intended Life</i>
Single Detached Residential	50+ Years
<i>Estimated Value (\$)</i>	
\$20000.00	

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty of responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition or removal would be in breach of any other Act.



CONDITIONS OF BUILDING CONSENT NUMBER BCon14/0638

Section 51, Building Act 2004

This Building Consent is issued Subject to the following conditions:

Building Act 2004, Section 90:

Inspections by Building Consent Authorities

Agents authorised by the building consent authority for the purposes of this section are entitled, at all times during normal working hours or while building work is being done, to inspect

- (a) land on which building work is being or is proposed to be carried out; and
- (b) building work that has been or is being carried out on or off the building site; and
- (c) any building.

Informative notes:

- [Informative note: The Building Consent, conditions, inspection sheet, and approved plans must be kept on site at all times until completion of the project.]
- [Informative note: Failure to request inspections will risk the non-issuing of a code compliance certificate and the structure may be deemed non-complying.]
- [Informative note: Any inspection time required over and above that allowed may incur a further charge.]
- [Informative note: Under Section 52, a building consent lapses and is of no effect if the building work to which it relates is not commenced within 12 months after the date of issue.]
- [Informative note: Under Section 93, if the owner has not made application within 24 months, the BCA (Building Control Authority), must decide whether or not to issue a CCC (Code Compliance Certificate).]

Compliance Schedule:

A compliance schedule (CS) is not required for this building.

#Attachments

#Copies of the following documents are attached to this building consent:
#Project information memorandum number BCon14/0638'

Signed for and on behalf of the Wanganui District Council

A handwritten signature in black ink, appearing to read 'GJ Hoobin'.

GJ Hoobin

Building Control Team Leader

Date: 23 December, 2014



PROJECT INFORMATION MEMORANDUM NUMBER BCon14/0638

Section 34, Building Act 2004

**Mrs T Fisher, Mrs TJ Thackeray
8 Wilson Street
Hamilton 3216**

Issue Date:

Project Location	Assessment Number/Legal Description
217 Somme Pde WANGANUI	PT LOT 9 DP 2844 0.0602 Ha PT LOT 30 DP 3167 0.0046 Ha
Category	Description of Work
Minor Building Work up to \$20000 limit in value	Interior alterations and new veranda.
Intended Life	Estimated Value (\$)
50+ Years	20000.00

This Project Information Memorandum is confirmation that the proposed work may be undertaken, subject to the provisions of the Building Act 2004 and any requirements of the Building Consent (number BCon14/0638), which has been granted.

This Project Information Memorandum is subject to the following conditions:

- **All work on the project must comply with the requirements of the NZ Building Code.**

Signed for and on behalf of the Wanganui District Council

A handwritten signature in black ink, appearing to read 'GJ Hoobin'.

GJ Hoobin
Building Control Team Leader

Date: 23 December, 2014



12 December 2014

**Mrs T Fisher, Mrs TJ Thackeray
8 Wilson Street
Hamilton 3216**

Dear Sir or Madam:

1st Request for further information on Application.

Project Number: **BCon14/0638**
Project Location: **217 Somme Pde WANGANUI**
Project Description: **Interior alterations and new veranda.**

The building consent application is currently being assessed. Please supply the answers to the questions below in a specific covering letter clearly cross-referencing our questions and ensure that the altered drawings are also cross-referenced and have appropriate '**clouding**' or **highlighting** etc. to clearly identify changes. All **RBW** questions **MUST** be addressed by the **LBP** responsible for the design and confirmation supplied. Please ensure that you quote this Project Number BCon14/0638 on all changes made to the documents.

1. **The truss design certificate specifies only 2 new trusses so what is holding up the rest of the roof over the kitchen, dining and sitting rooms? (D.Hall - Building Control)**
2. **Please specify Stainless Steel fixings where exposed to weather or sub-floor within 600mm of ground. (D.Hall - Building Control)**
3. **Please specify finishes to walls and ceilings etc to wet areas being altered. (D.Hall - Building Control)**
4. **Glass to wet areas needs to be grade A safety glass. Please address. (D.Hall - Building Control)**
5. **Please show downpipes and storm water drainage off the extension. (Chris Gould - P&D Officer).**

We appreciate the importance of your application and on receipt of the requested information we will endeavour to process your application without delay.

This information requires to be supplied within 2 months from the date of this letter or this consent maybe cancelled without further notice.

If you have any further enquiries please contact this office and quote your Project Number **BCon14/0638**.

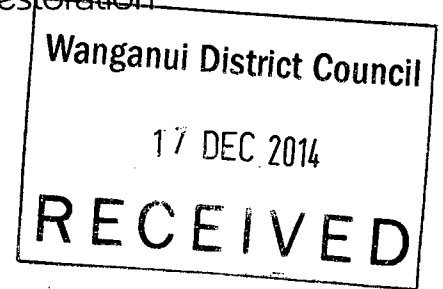
Yours sincerely

A handwritten signature in black ink, appearing to read 'Dallas Bullock'.

Dallas Bullock
Customer Services Advocate

bryan stewart design

architectural | residential | commercial | restoration



17.12.2014

Wanganui District Council,
PO Box 637,
Wanganui.

Re: BCon14/0638: 217 Somme Parade, Wanganui.

Att; Dave Hall and Chris Gould.

Dear Dave and Chris,

Further to your letter dated 12th Dec 2014 to Mrs T Fisher and Mrs T J Thackeray, I can advise the following.

1. A new truss design will be supplied direct to council from the supplier, to indicate roof support to the kitchen, dining, and sitting areas.
2. Plans now indicate stainless steel fixings for areas exposed to weather, and within 600mm of ground.
3. Walls/ceilings to wet areas will be paint finish. Plans amended.
4. Plans amended to state safety glass to wet areas. Plan shows all glazing to comply with NZS 4223 Pt 3
5. Storm water off the extension is now shown on the plans

Thanks Dave and Chris and I trust this further information will now allow building consent to be issued

Yours sincerely,

A handwritten signature in black ink, appearing to be "Bryan Stewart".

Bryan Stewart



LICENSED BUILDING PRACTITIONERS

Licensed Building Practitioner Details

Bryan Stewart - Licensed Building Practitioner

Building practitioner number BP113951
 Phone number 06 345 8187
 Fax number 06 345 8187
 Email address bryan.stewart@xtra.co.nz

Location

Location Saint Johns Hill
 Wanganui, 4500

Licence Classes

Licence class	Status of Licence	Status reason	Date granted
Design	Approved	Active	15 Feb 2012
<ul style="list-style-type: none"> • Areas of practice Design 2 			

Information about any person in the register of licensed building practitioners is held, maintained and may be viewed in accordance with the Building Act 2004 and the Privacy Act 1993.

18 NOV 2014

Memorandum from licensed building practitioner: Certificate of design work

Section 45 and section 30C, Building Act 2004

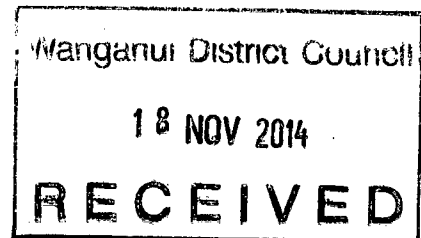
Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING	
Street address:	217 SOMME PARADE
Suburb:	ARAMOHO
Town/City:	WANGANUI
Postcode:	

THE OWNER(S)	
Name(s):	Tracy Fisher & Tracy Thackeray
Mailing address:	217 Somme Parade
Suburb:	Aramoho
PO Box/Private Bag:	
Town/City:	Wanganui
Postcode:	4500
Phone number:	06 34 33 130
Email address:	atva@xtra.co.nz

*



**RESTRICTED
Building Work**

18 NOV 2014

Wanganui District Council

18 NOV 2014

RECEIVED

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies

- sole** designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design work myself – no other person will be providing any additional memoranda for the project
- lead** designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and **no other** person will be providing any additional memoranda for the project
- lead** designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the **other** designers will provide their own memorandum relating to their specific RBW design
- specialist** designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I BRYAN STONACOT carried out / supervised the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included. Cross <input checked="" type="checkbox"/> if excluded	If appropriate, provide details of the RBW	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
All RBW design work relating to B1 <input checked="" type="checkbox"/>		<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Foundations and subfloor framing <input checked="" type="checkbox"/>	PILE FOUNDATION & SUB FLOOR FRAMING	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	SHEET 6, 7, 8.

RESTRICTED
Building Work

18 NOV 2014

Wanganui District Council

18 NOV 2014

RECEIVED

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included. Cross <input checked="" type="checkbox"/> if excluded	If appropriate, provide details of the RBW	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
Walls	<input checked="" type="checkbox"/> EXTENSIVE TIMBER WALLS, SINDS, LINTELS,	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	SHEET 4, 6, 7,
Roof	<input checked="" type="checkbox"/> TRUSS LAYOUT	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	SHEET 6, 7,
Columns and beams	<input type="checkbox"/> N.A.	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Bracing	<input checked="" type="checkbox"/> SHEET BRACING	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	BRACING SCHEDULE
Other	<input type="checkbox"/> N.A.	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	

RESTRICTED
Building Work

18 NOV 2014

Wanganui District Council

18 NOV 2014

RECEIVED

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included. Cross <input checked="" type="checkbox"/> if excluded	If appropriate, provide details of the RBW	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
EXTERNAL MOISTURE MANAGEMENT SYSTEMS: E2			
All RBW design work relating to E2 <input checked="" type="checkbox"/>		<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Damp proofing <input type="checkbox"/>	N.A.	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Roof cladding or roof cladding system <input checked="" type="checkbox"/>	Roofing, wrap, paper Flashings	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	Sheet 6,7,
Ventilation system (for example, subfloor or cavity) <input checked="" type="checkbox"/>	SUB FLOOR VENTILATION (BASE BOARDS)	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	Sheet 6,7,
Wall cladding or wall cladding system <input checked="" type="checkbox"/>	PULVICATED WEATHER RES FLASHINGS, WRAP	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	Sheet 6,7,
Waterproofing <input type="checkbox"/>	N.A.	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Other <input type="checkbox"/>	N.A.	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	

RESTRICTED
Building Work

18 NOV 2014

Mangalore District Council

18 NOV 2014

RECEIVED

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included. Cross <input checked="" type="checkbox"/> if excluded	If appropriate, provide details of the RBW	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work.	If appropriate, specify references
FIRE SAFETY SYSTEMS: C1 - C6			
Emergency warning systems Evacuation and fire service operation systems Suppression or control systems Other	<input type="checkbox"/>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
<p>Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order, 2011.</p>			

WAIVERS AND MODIFICATIONS	
Waivers or modifications of the Building Code are required. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, provide details of the waivers or modifications below:	
Clause	Waiver/modification required
List relevant clause numbers of building code	Specify nature of waiver or modification of building code required

RESTRICTED
Building Work

18 NOV 2014

Wanganui District Council

18 NOV 2014

RECEIVED

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise design work that is restricted building work.

Name: Bryan Stewart Design LBP or Registration number: 113951

The practitioner is a: Design LBP Registered architect Chartered professional engineer

Design Entity or Company (optional): Bryan Stewart Design

Mailing address (if different from below):

Street address/Registered office: 36 Ridgeway St

Suburb: Central City

Town/City: Wanganui

PO Box/Private Bag: 314

Postcode: 4500

Phone number: 3058187

Mobile: 027 4430003

After hours: 027 4430003

Fax: 06 3058187

Email address: bryan.stewart@extra.co.nz

Website: —

DECLARATION

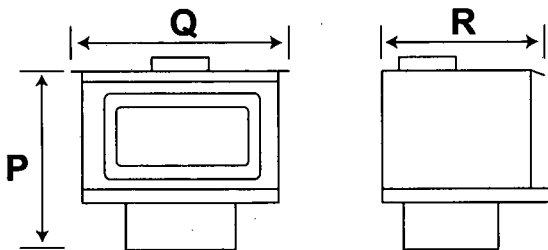
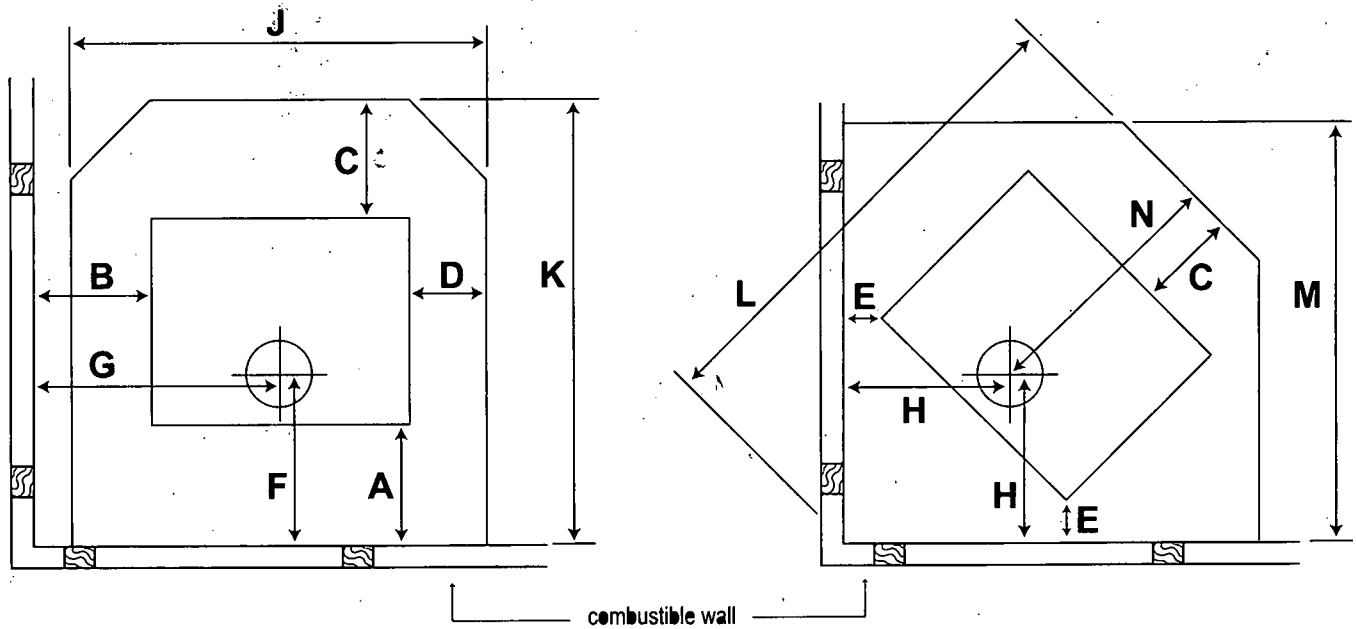
I, Bryan Stewart LBP, state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code, or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form

Signature: [Signature]

Date: 12.11.14.

PJ40015-0005



- A = Rear wall to top of top plate
- B = Side wall to side edge of top plate
- C = Door-seal lip (fire box) to the front of the floor protector
- E = Wall to rear corner of top plate

All dimensions are in millimetres.
All dimensions are set as a minimum guide only.

Minimum clearance requirements to combustible with 1200mm Jayline MKII double skin flue shield

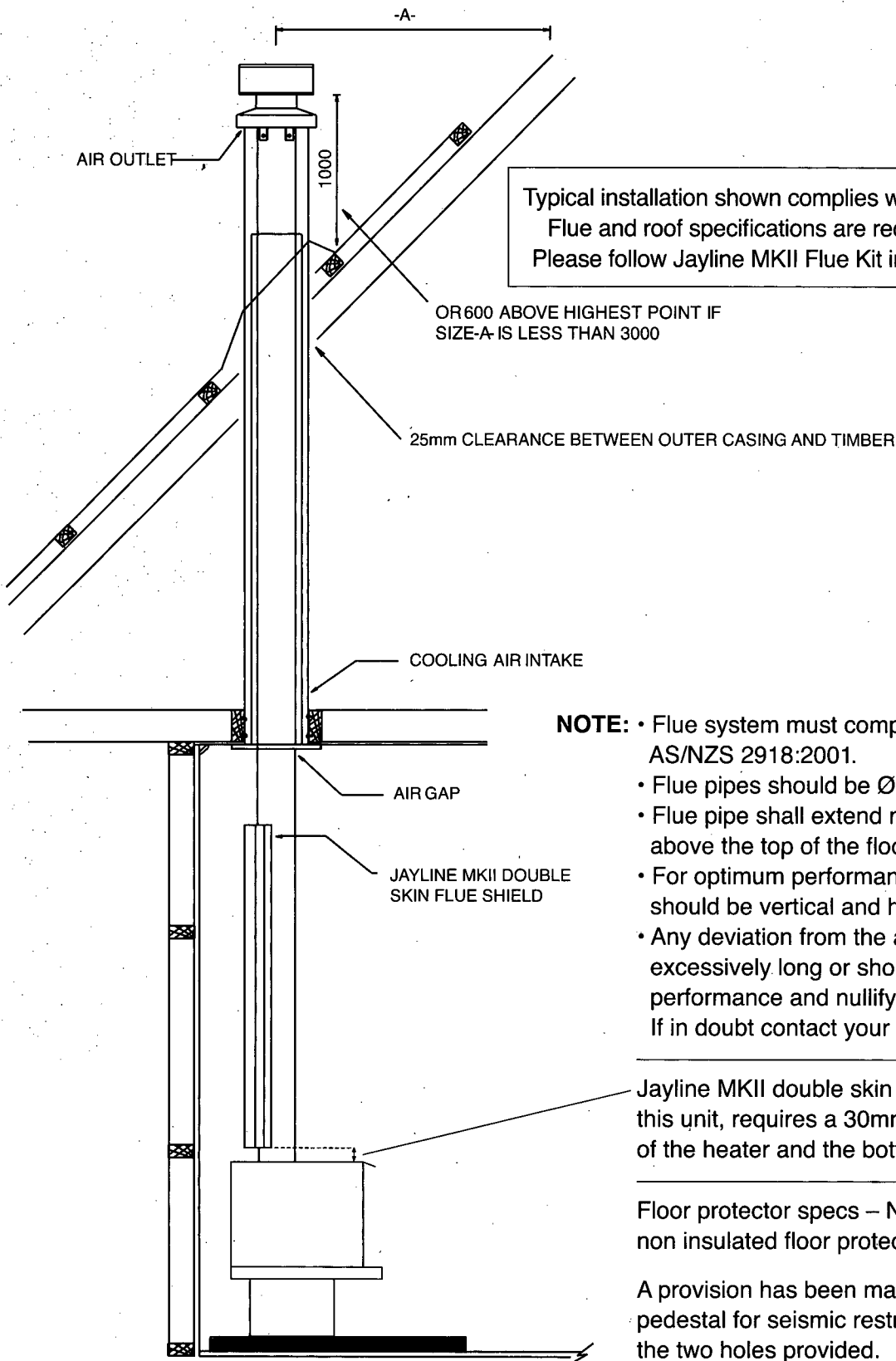
A	B	C	D	E	F	G	H	J	K	L	M	N	P	Q	R
200	340	300	89	120	356	705	488	908	926	1259	1070	569	625	730	509

Water Heating Option	Floor Protector	Emissions	Efficiency
No	Non insulated	1.37g/kg	66.4%

IF INSTALLED IN ACCORDANCE WITH THESE SPECIFICATIONS THE HEATER COMPLIES WITH AS/NZS 2918:2001 including Appendix F. The minimum clearance to combustible may be reduced if the combustible walls are shielded with an approved non-combustible material. Details of suitable shielding materials and appropriate clearance reduction factors are present in Section 3 of AS/NZS 2918:2001.

Clean Air Authorisation #N0025

RETAIL LINKS LTD RESERVE THE RIGHT TO CHANGE SPECIFICATIONS OR DESIGNS WITHOUT PRIOR NOTICE.



Typical installation shown complies with AS/NZS 2918:2001. Flue and roof specifications are recommendations only. Please follow Jayline MKII Flue Kit installation instructions.

- NOTE:**
- Flue system must comply with Appendix F of AS/NZS 2918:2001.
 - Flue pipes should be Ø150mm (Ø6").
 - Flue pipe shall extend no less than 4600mm above the top of the floor protector.
 - For optimum performance the flue system should be vertical and have no bends.
 - Any deviation from the above (eg: if the flue is excessively long or short) may alter the heaters performance and nullify the Jayline warranty. If in doubt contact your Jayline supplier.

Jayline MKII double skin flue shield, tested on this unit, requires a 30mm gap between the top of the heater and the bottom of the shield

Floor protector specs – New Zealand minimum non insulated floor protector only.

A provision has been made at the rear of the pedestal for seismic restraint by bolting through the two holes provided.

IF INSTALLED IN ACCORDANCE WITH THESE SPECIFICATIONS THE HEATER COMPLIES WITH AS/NZS 2918:2001 including Appendix F.



MiTek New Zealand Limited

Correspondence from : **AUCKLAND**
40 Neales Road, East Tamaki 2013
PO Box 58-014, Botany 2163
Phone: 09 274 7109
Fax: 09 274 7100

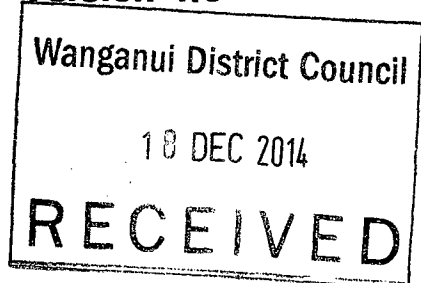
CHRISTCHURCH
14 Pilkington Way, Wigram 8042
PO Box 8387, Riccarton 8440
Phone: 03 348 8691
Fax: 03 348 0314

www.mitek.nz.co.nz

Printed: 13:46:53 17 Dec 2014

MiTek 20/20 Engineering 4.6.6.246

PRODUCER STATEMENT for MiTek 20/20[®] TRUSS DESIGN - Version 4.6



ISSUED BY: **MiTek New Zealand Limited**

TO: **Capital Precut Solutions**

IN RESPECT OF: **MiTek[®] Truss Designs**

This producer statement covers the MiTek 20/20[®] truss design and the structural performance of the GANG-NAIL[®] connector plate for the job reference **107576A** and may be used by a Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

The MiTek 20/20[®] truss design program has been developed by MiTek New Zealand Limited for the design of MiTek[®] timber roof, floor and attic trusses in New Zealand. The truss designs computed by MiTek 20/20[®] are prepared using sound and widely accepted engineering principles, and in accordance with compliance documents of the New Zealand Building Code and Verification Method B1/VM1; and internationally accepted standard ANSI/TPI 1 - 2002 as an alternative solution to satisfy the requirements of Clause B1 of the New Zealand Building Code.

On behalf of MiTek New Zealand Limited, and subject to:

- i) All proprietary products meeting their performance specification requirements
- ii) The provision of adequate roof bracing and overall building stability
- iii) Correct selection and placement of GANG-NAIL connector plates
- iv) Correct input of Truss Design Data as shown in the Fabricator Design Statement for this job
- v) The design being undertaken by the accredited fabricator under the terms of the software licence

I believe on reasonable grounds that the trusses, if constructed in accordance with the MiTek 20/20[®] truss design and shop drawings, will comply with the relevant provisions of the New Zealand Building Code.

MiTek New Zealand Limited holds a current policy of Professional Indemnity Insurance no less than \$500,000.

On behalf of MiTek New Zealand Limited,

Date: Wednesday, 17 December 2014

Ling Ng, BE (Hons), CPEng, IntPE, MIPENZ (ID: 146585)
TECHNICAL SERVICES MANAGER, MiTek New Zealand Limited

APPROVED

14/0638

Consent No.

Job: 107576A

Client: Bunnings Wanganui
Phone:

Site: Tracy Thackery
217 Somme Parade
Wanganui

Description:
Building Consent No.:
MITek 20/20 Engineering 4.6.6.246

MITek New Zealand Limited

Phone:

Printed: 13:46:53 17 Dec 2014

MITEK FABRICATOR DESIGN STATEMENT

This statement is issued by MiTek accredited fabricator **Capital Precut Solutions**, being licensed to use the MiTek 20/20[®] software, to the client listed above and may be used by the Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

MITek 20/20[®] TRUSS DESIGN DATA

The MiTek 20/20[®] computer design for this job is based on the following design parameters entered into the program. The Fabricator shall ensure that these job details are current and relevant to the project for the design of the MiTek[®] trusses.

Job Details		Importance Level :	2	Design Working Life :	50 years
Roof Truss					
Timber Group:	TRUSS	Pitch:	20.000 deg	Nominal Overhang:	400 mm
Roof		Ceiling		Wind	
Material:	Galv Iron .5mm	Material:	Standard	Area:	High (44.0 m/s)
Dead Load:	0.210 kPa	Dead Load:	0.200 kPa	Pressure Coeff:	Cpe = varies; Cpi = -0.30, 0.20
Restraints:	900 mm centres	Restraints:	400 mm centres		
Live Load:	Q _{ur} = 0.250 kPa Q _c = 1.100 kN	Live Load:	Q _c = 1.400 kN		

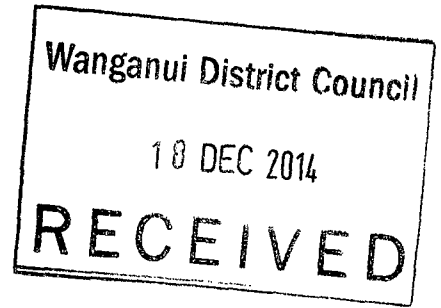
The timber for these MiTek[®] trusses shall be treated to the requirements of NZS 3602:2003 and shall be graded to the requirements of NZS 3603:1993. Unless otherwise noted, this design assumes that the steel fixings and timber connectors proposed are located in a "closed environment", as defined by NZS3604:2011 Section 4.

MiTek[®] Truss List

Legend: * = detail only, ? = input only, Fx = failed design, Ø = non certified, Unmarked trusses = designed successfully, LB = lateral bracing required
GB = gable brace required

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
ET01	1	9720	20.000	955 GB
T01	1	9720	20.000	955
T02	7	9720	20.000	814

Total quantity : 9



APPROVED
14 / 0 8 3 8
Consent no.

ie computer design input has been carried out by:

Signature of Detailer: Dave Buckthought

Name of Detailer: Dave Buckthought

On behalf of:

Capital Precut Solutions

Date: ...Wednesday, 17 December 2014....

Qualifications and Title:



Correspondence from : **AUCKLAND**
40 Neales Road, East Tamaki 2013
PO Box 58-014, Botany 2163
Phone: 09 274 7109
Fax: 09 274 7100

CHRISTCHURCH
14 Pilkington Way, Wigram 8042
PO Box 8387, Riccarton 8440
Phone: 03 348 8691
Fax: 03 348 0314

www.mitek.nz.co.nz

MiTek 20/20 Engineering 4.6.6.246

Printed: 13:11:58 18 Nov 2014

PRODUCER STATEMENT for MiTek 20/20[®] TRUSS DESIGN - Version 4.6

ISSUED BY: **MiTek New Zealand Limited**

TO: **Capital Precut Solutions**

IN RESPECT OF: **MiTek[®] Truss Designs**

**RESTRICTED
Building Work**

17 NOV 2014

This producer statement covers the MiTek 20/20[®] truss design and the structural performance of the GANG-NAIL[®] connector plate for the job reference **107576** and may be used by a Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

The MiTek 20/20[®] truss design program has been developed by MiTek New Zealand Limited for the design of MiTek[®] timber roof, floor and attic trusses in New Zealand. The truss designs computed by MiTek 20/20[®] are prepared using sound and widely accepted engineering principles, and in accordance with compliance documents of the New Zealand Building Code and Verification Method B1/VM1; and internationally accepted standard ANSI/TPI 1 - 2002 as an alternative solution to satisfy the requirements of Clause B1 of the New Zealand Building Code.

On behalf of MiTek New Zealand Limited, and subject to:

- i) All proprietary products meeting their performance specification requirements
- ii) The provision of adequate roof bracing and overall building stability
- iii) Correct selection and placement of GANG-NAIL connector plates
- iv) Correct input of Truss Design Data as shown in the Fabricator Design Statement for this job
- v) The design being undertaken by the accredited fabricator under the terms of the software licence

I believe on reasonable grounds that the trusses, if constructed in accordance with the MiTek 20/20[®] truss design and shop drawings, will comply with the relevant provisions of the New Zealand Building Code.

MiTek New Zealand Limited holds a current policy of Professional Indemnity Insurance no less than \$500,000.

On behalf of MiTek New Zealand Limited,

Date: Tuesday, 18 November 2014

In Ling Ng, BE (Hons), CPEng, IntPE, MIPENZ (ID: 146585)
TECHNICAL SERVICES MANAGER, MiTek New Zealand Limited

Wanganui District Council

18 NOV 2014

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Job: 107576

Client: Bunnings Wanganui

Site: Tracy Thackery
217 Somme Parade
Wanganui

Description:
Building Consent No.:
MITek 20/20 Engineering 4.6.6.246

Phone:

MITek New Zealand Limited

Printed: 13:11:58 18 Nov 2014

MITEK FABRICATOR DESIGN STATEMENT

This statement is issued by MITek accredited fabricator Capital Precut Solutions, being licensed to use the MITek 20/20® software, to the client listed above and may be used by the Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

MITek 20/20® TRUSS DESIGN DATA

The MITek 20/20® computer design for this job is based on the following design parameters entered into the program. The Fabricator shall ensure that these job details are current and relevant to the project for the design of the MITek® trusses.

Job Details		Importance Level :	2	Design Working Life :	50 years
Roof Truss					
Timber Group:	TRUSS	Pitch:	20.000 deg	Nominal Overhang:	400 mm
Roof		Ceiling		Wind	
Material:	Galv Iron .5mm	Material:	Standard	Area:	High (44.0 m/s)
Dead Load:	0.210 kPa	Dead Load:	0.200 kPa	Pressure Coeff:	Cpe = varies; Cpi = -0.30, 0.20
Restraints:	900 mm centres	Restraints:	400 mm centres		
Live Load:	Q _r = 0.250 kPa	Live Load:	Q _c = 1.400 kN		
	Q _c = 1.100 kN				

The timber for these MITek® trusses shall be treated to the requirements of NZS 3602:2003 and shall be graded to the requirements of NZS 3603:1993. Unless otherwise noted, this design assumes that the steel fixings and timber connectors proposed are located in a "closed environment", as defined by NZS3604:2011 Section 4.

MITek® Truss List

Legend: * = detail only, ? = input only, Fx = failed design, Ø = non certified, Unmarked trusses = designed successfully, LB = lateral bracing required
GB = gable brace required

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
T01	2	9720	20.000	955

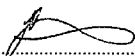
Total quantity : 2

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18 NOV 2014

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The computer design input has been carried out by:

Signed: 

Date: ...Tuesday, 18 November 2014....

Name of Detailer: Dave Buckthought

Qualifications and Title:

On behalf of: Capital Precut Solutions

Job: 107576

Client: Bunnings Wanganui
Phone:

Site: Tracy Thackery
217 Somme Parade
Wanganui

Description:
Building Consent No.:
MITek 2020 Engineering 4.6.6.246

MITek New Zealand Limited

Phone:

Printed: 13:19:01 18 Nov 2014

TRUSS FIXING SELECTION REPORT - Characteristic Loads

Fixings are selected from the LUMBERLOK Brochure 08/2014 (Timber Connectors Characteristic Loadings Data)

MITek Truss List

Legend: * = detail only, ? = input only, ✕ = failed design, Ø = non certified, Unmarked trusses = designed successfully

Truss	Qty	Span (mm)	Joint	Down (kN)	Uplift (kN)	Bearing	Fixing	
							Qty	Selected
T01	2	9720	B	5.768	5.245	Cross	2	CT400
			H	5.768	5.245	Cross	2	CT400

Fixing List

Qty	Selected Fixing	Cost
4	CT400	4.68
Total		4.68

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Note:

- 1) Fixings have been selected based on loading only. Please check that selected fixings are practical for each situation and that appropriate nailing can be applied on site.
- 2) Fixings are selected from the LUMBERLOK Brochure 08/2014 (Timber Connectors Characteristic Loadings Data) with down and uplift characteristic loads of at least the values shown for each joint.

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PROPOSED ADDITIONS / ALTERATIONS :
'TIKITERE' : 217 SOMME PARADE : WANGANUI :

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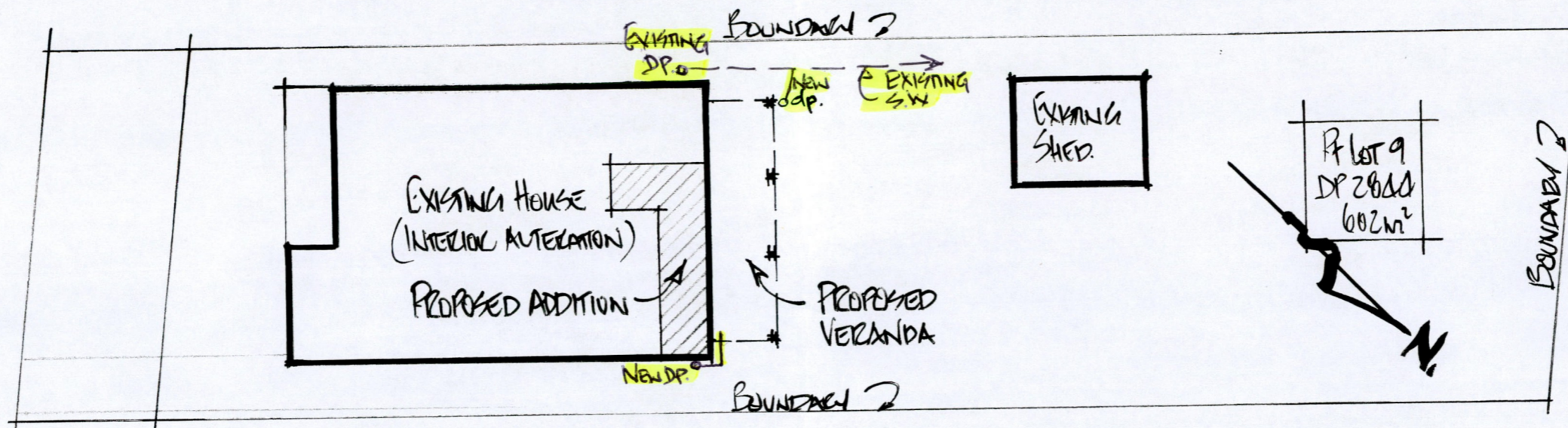
18 NOV 2014

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14/0638

Consent No.

217 SUMNER PARADE.



SITE PLAN:

SCALE: 1:200

NOTE:

CONTRACTOR MUST CONFIRM & VERIFY ALL DIMENSIONS ON SITE.

SHEET NUMBER 1.

REVISED 17.12.14

STEVEN WHITE

BRYAN STEWART DESIGN ©

36 RIDGWAY ST WANGANUI

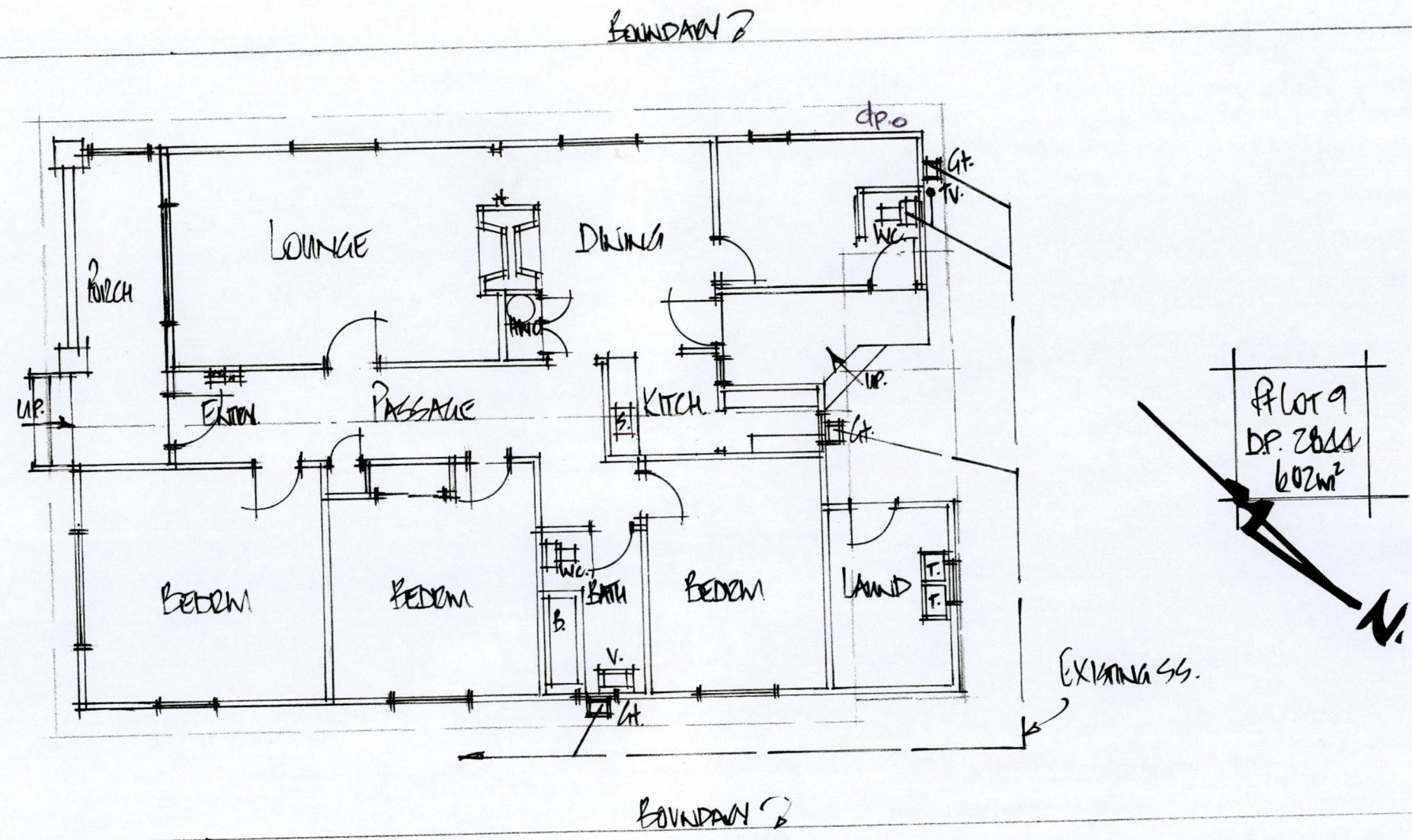
PHONE FAX 06 345 8197

JOB NO 14:2606 12.11.14

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Consent No.



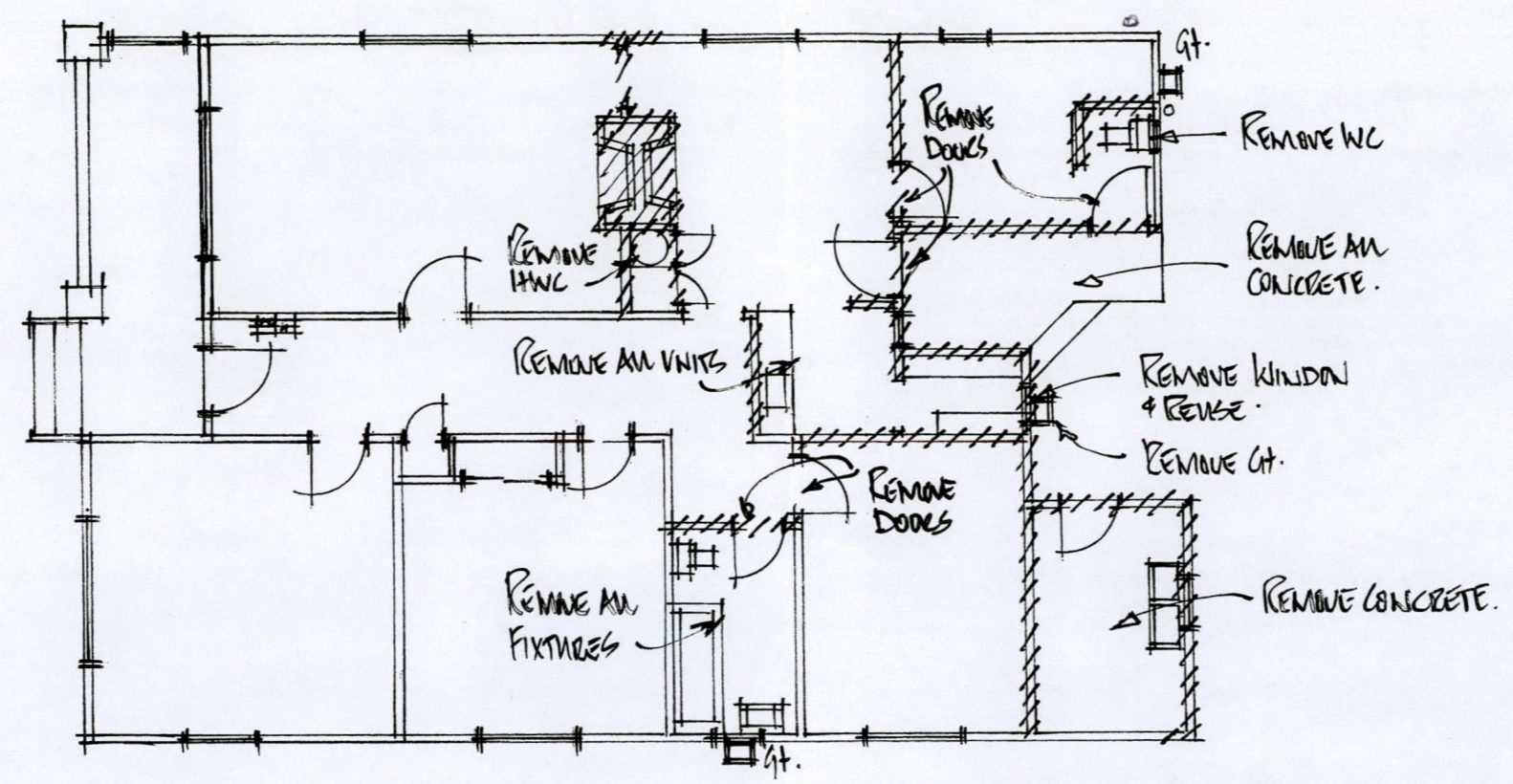
FLOOR PLAN: EXISTING:
SCALE: 1:100

SHEET NUMBER 2.
BRIAN STEWART DESIGN ©
36 RIDGWAY ST WANGANUI
PHONE FAX 06 3458187
JOB NO 14:2606 12.11.14

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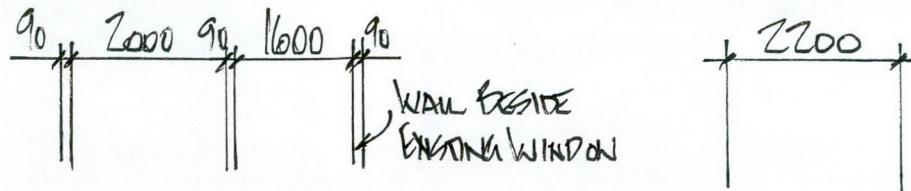
APPROVED
14/0638
Consent No.



FLOOR PLAN: DEMOLITION:
SCALE: 1:100
/// WALLS TO BE REMOVED

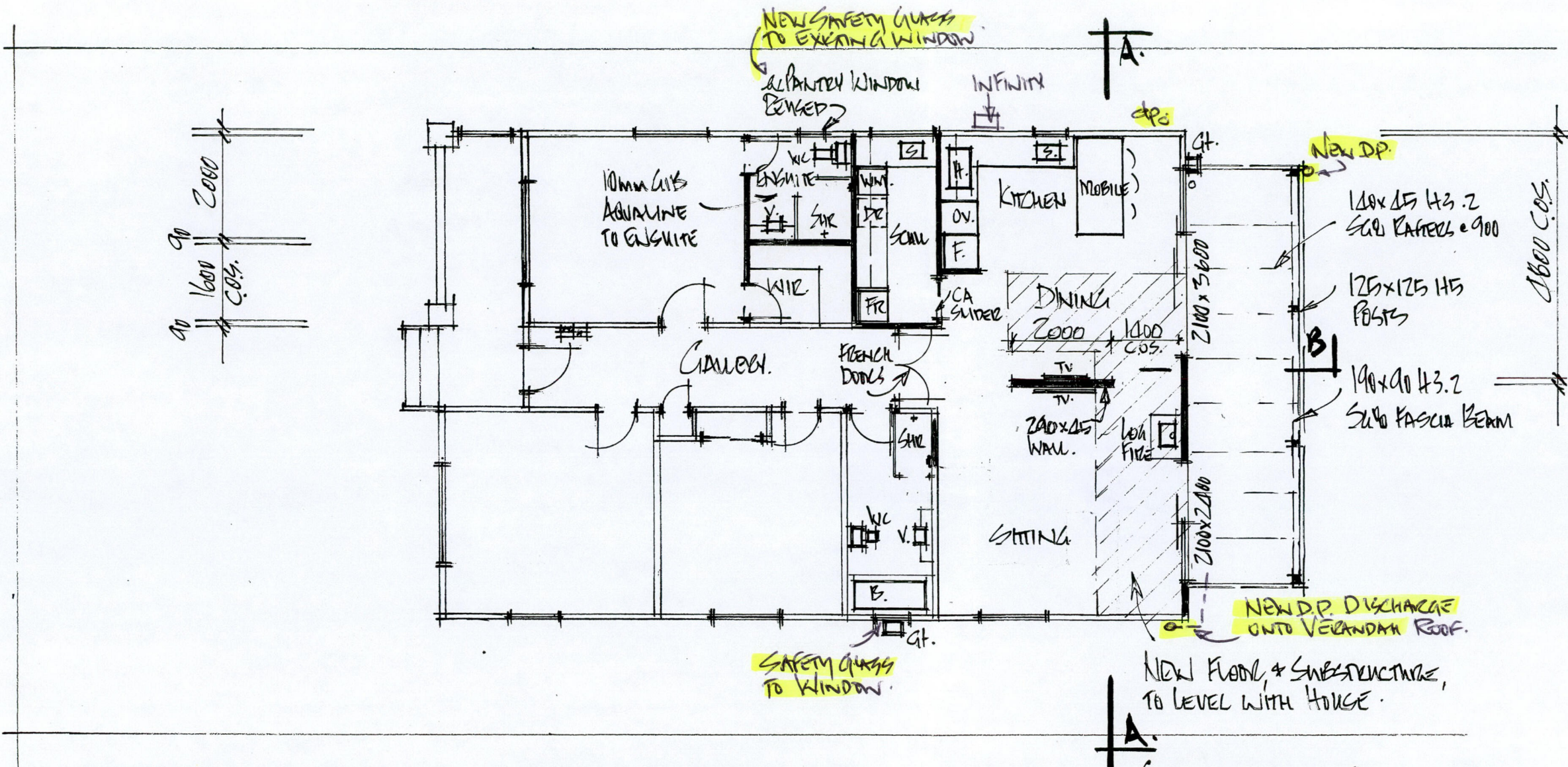
SHEET NUMBER 3
BRADAN STEWART DESIGN ©
36 RIDGWAY ST WANGANUI
PHONE FAX 06 3458147
JOB NO 14:2606 12.11.14

APPROVED
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NOTE:
ALL WORK IS TO COMPLY WITH THE NZBC, AND LOCAL BODY BY-LAWS. ALL CONSTRUCTION IS TO COMPLY WITH NZS 3602:2011, WITH ALL MATERIALS BEING OF THE BEST QUALITY AVAILABLE AND WORKMANSHIP OF THE HIGHEST TRADE PRACTICE. ALL DETAIL + FINISHING IS TO MATCH THE EXISTING OR AS DIRECTED BY THE OWNERS. CONTRACTOR IS TO CONFIRM ALL ELECTRICAL AND DECORATION REQUIREMENTS WITH THE OWNERS.



NOTE:
SMOKE ALARMS ARE TO COMPLY WITH SECTION F7 OF NZBC. (MAX 3M FROM BEDROOM DOORS).
WALLS + CEILINGS TO AUTODECOR WET AREAS ARE TO BE PAINT FINISH.

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FLOOR PLAN: PROPOSED:

SCALE: 1:100

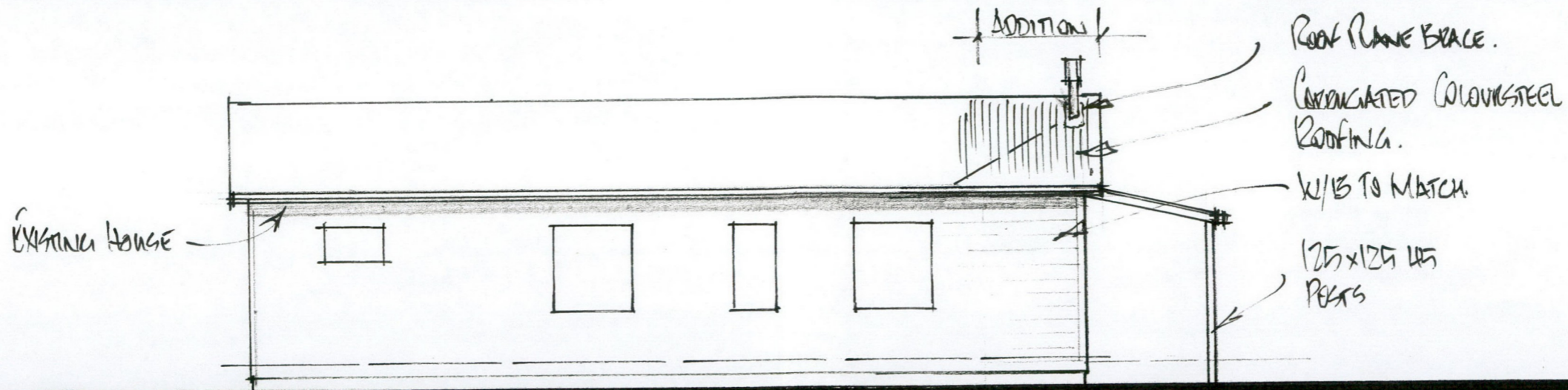
INDICATES NEW WALLS
(90x45 H1.2 S&B STUDS @ 600 C/S)
10mm GIB LINED TO ALL AREAS

CONTRACTOR TO ALLOW FOR NEW GIB CEILINGS TO: KITCHEN, DINING, SITTING, BATHROOM, SCULLERY, + ENSUITE/WIR.
ALLOW FOR 12 3.2 INSULATION TO CEILINGS, + 2.2 TO NEW EXTERIOR WALLS.

REVISED 17.12.14
STORM WATER
WET AREAS - FINISHES
SAFETY GLASS TO WET AREAS

NOTE:
CONTRACTOR MUST CONFIRM & VERIFY ALL DIMENSIONS ON SITE.

SHEET NUMBER 4
BRYAN STEWART DESIGN ©
36 RIDGWAY ST WAIKANA
PHONE FAX 06 3458187
JOB NO 14: 2006 12.11.14.

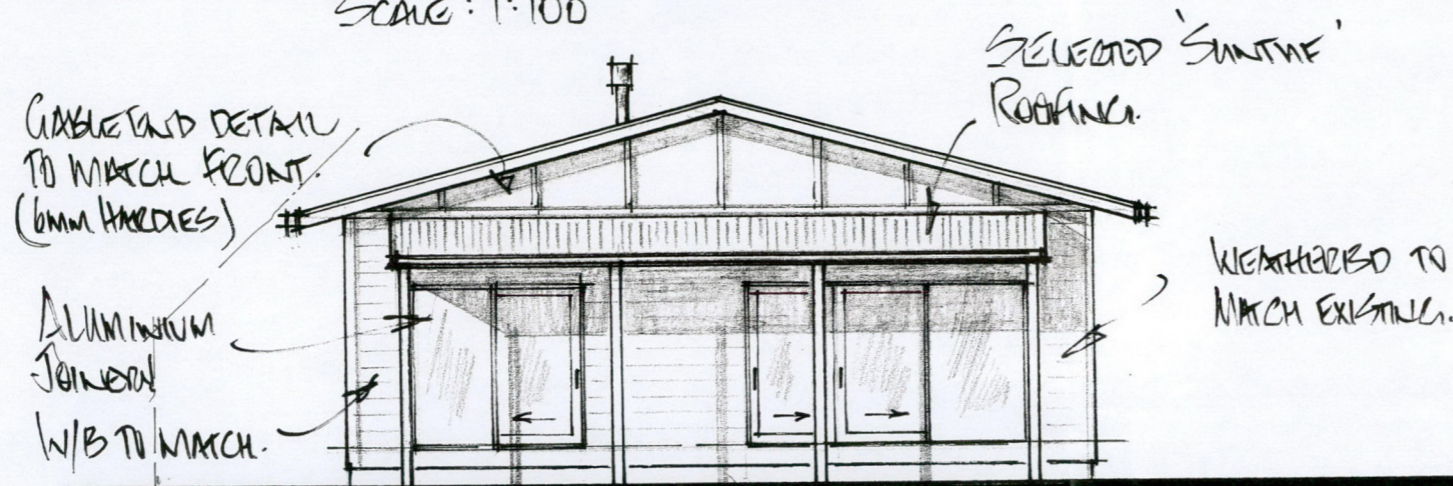


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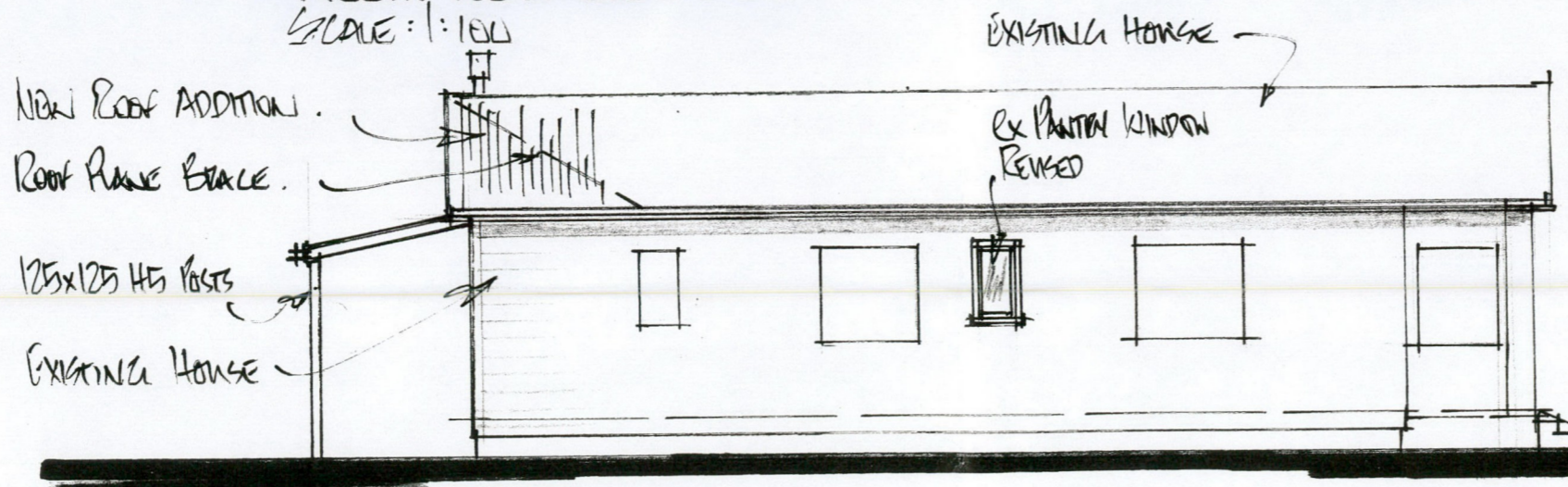
NORTH EAST ELEVATION:
 SCALE: 1:100



NOTE:
 CONFIRM ALL NEW ALUMINIUM JOINERY BEFORE MANUFACTURE. ALL GLAZING IS TO COMPLY WITH NZS 4223 P3.

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NORTH WEST ELEVATION:
 SCALE: 1:100

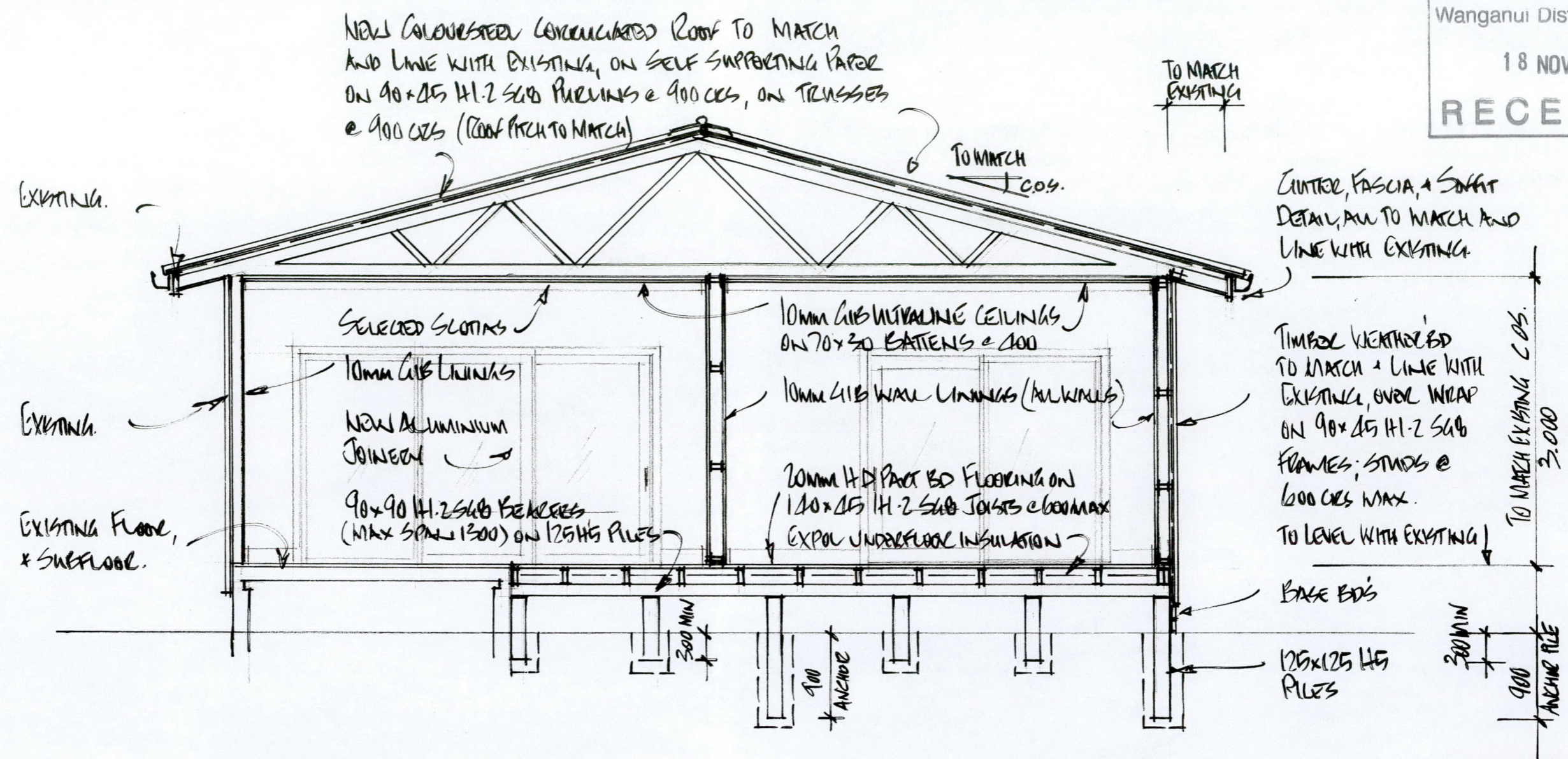


SOUTH WEST ELEVATION:
 SCALE 1:100

NOTE:
 CONTRACTOR MUST CONFIRM & VERIFY ALL DIMENSIONS ON SITE.

SHEET NUMBER 5.

BELTON STEWART DESIGN ©
 36 RIDGWAY ST WANGANUI
 PHONE FAX 06 3458197
 JOB NO 10:2606 12.11.10



SECTION A:A
 SCALE: 1:50

NOTE: ALL FIXINGS IN AREAS EXPOSED TO WEATHER, AND WITH-IN 600MM OF GROUND, ARE TO BE STAINLESS STEEL.

RESTRICTED Building Work
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NOTE: INSULATION REQUIREMENTS

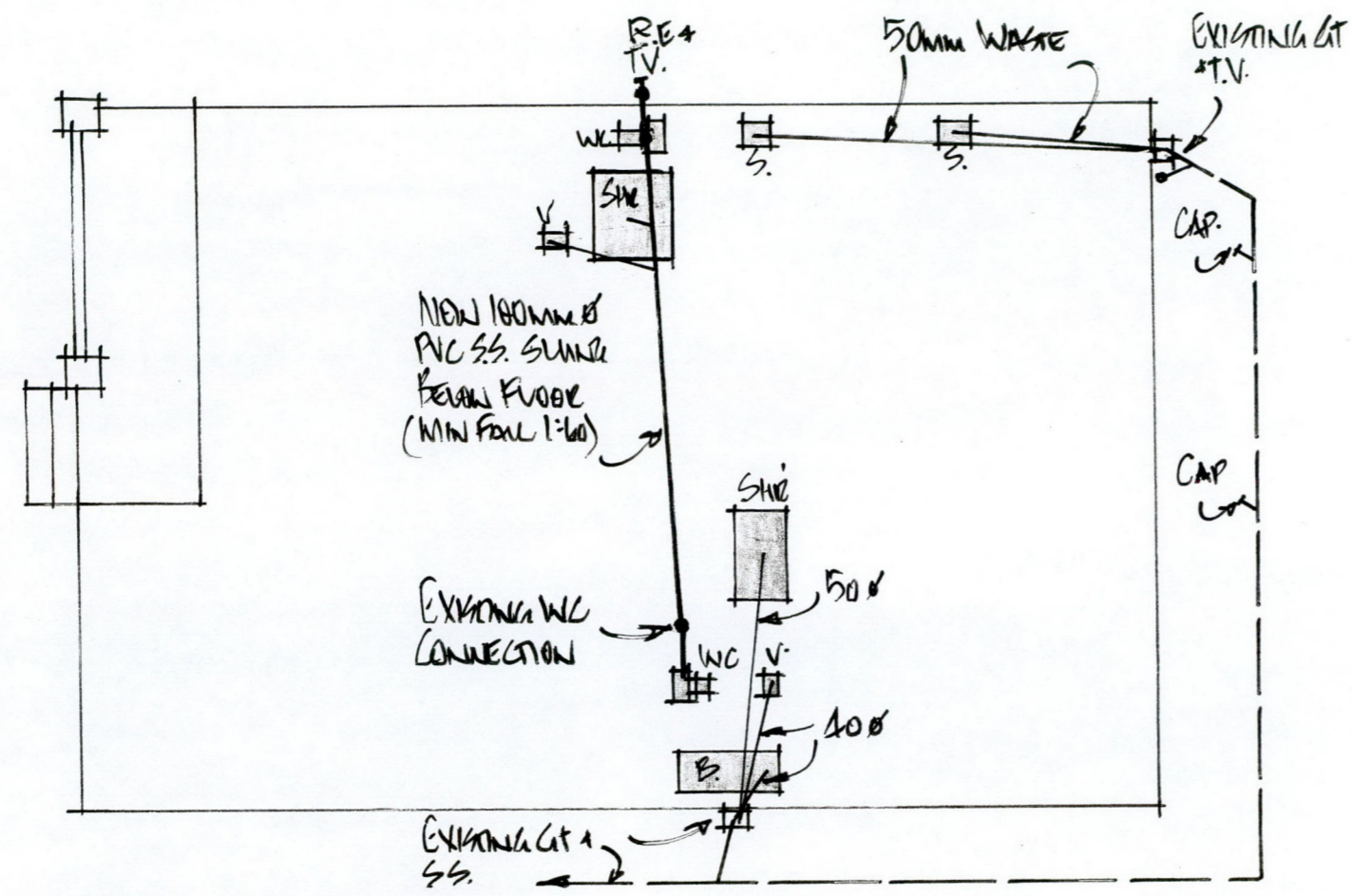
- CEILINGS : R 3.2
- WALLS : R 2.2
- UNDERFLOOR: EXPOL

NOTE:
 CONTRACTOR MUST CONFIRM + VERIFY ALL DIMENSIONS ON SITE.

APPROVED
 14 / 0 6 3 8
 Consent No.

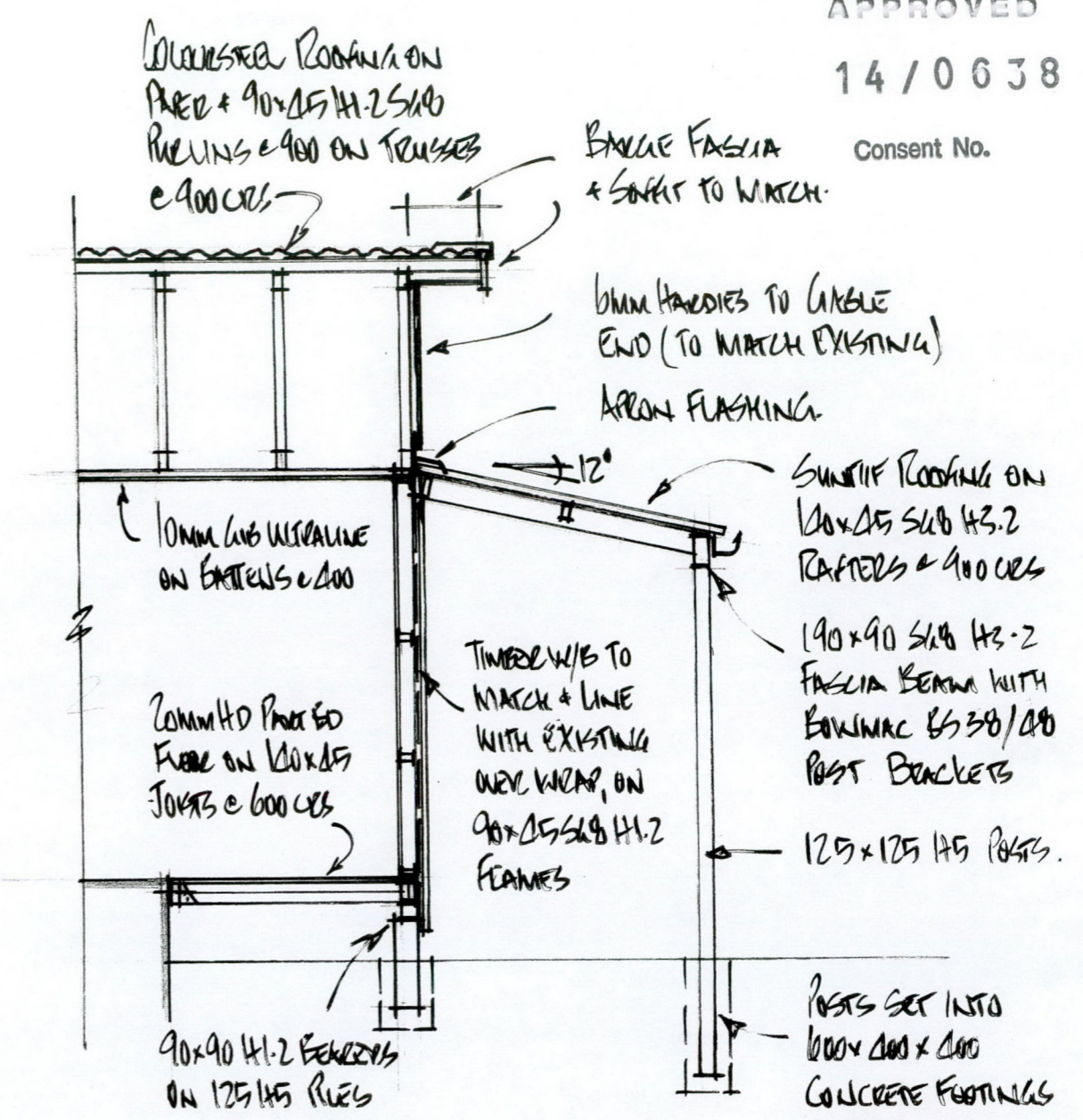
Revised 17.12.14
 STAINLESS STEEL FIXINGS

SHEET NUMBER 6.
 BRIAN STEWART DESIGN ©
 36 RIVERVIEW ST WANGANUI
 PHONE FAX 06 3458197
 JOB NO 14:2606 12-11-14



DRAINAGE PLAN:
SCALE: 1:100

NOTE: ALL PIPING & DRAINAGE IS TO COMPLY WITH SECTIONS G12 + G13 OF NZBC, WITH METHOD OF INSTALLATION TO CONFORM TO ACCEPTABLE SOLUTIONS 1 & 2 (AS1/AS2), AND AS/NZS 3500. CONFIRM ALL FIXTURES & FITTINGS WITH THE OWNERS.



SECTION B: B
SCALE: 1:50

NOTE: ALL FIXINGS IN AREAS EXPOSED TO WEATHER, AND WITHIN 600MM OF GROUND, ARE TO BE STAINLESS STEEL
Wanganui District Council

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NOTE: CONTRACTOR MUST CONFIRM & VERIFY ALL DIMENSIONS ON SITE.

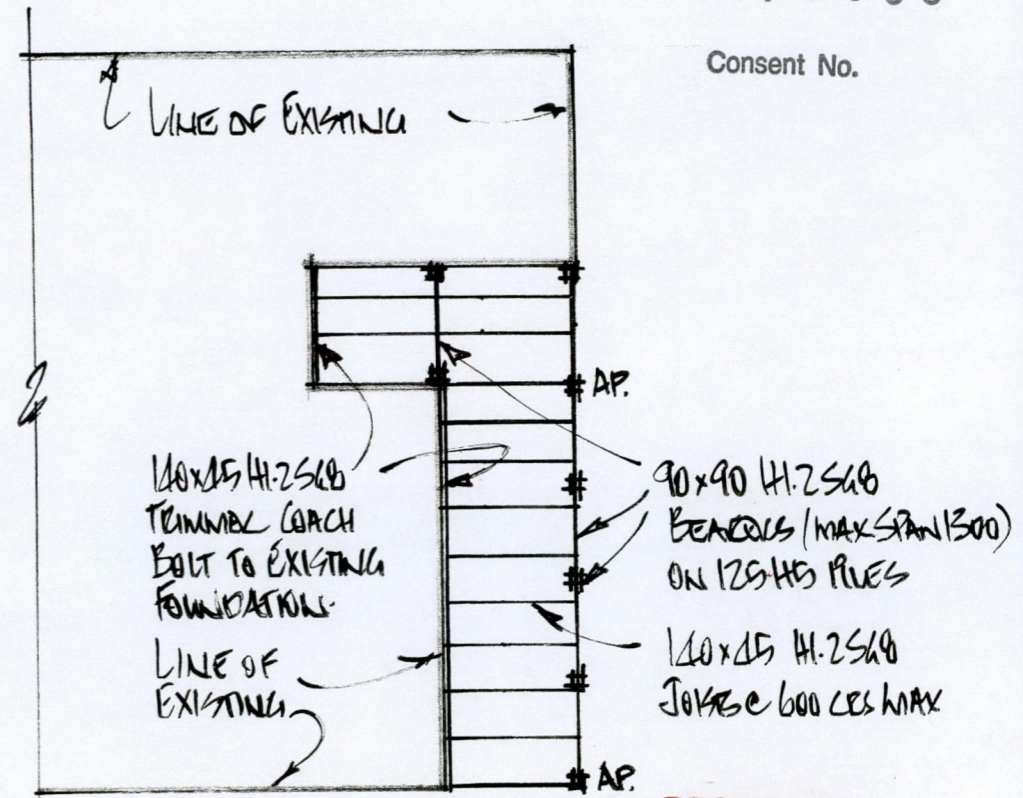
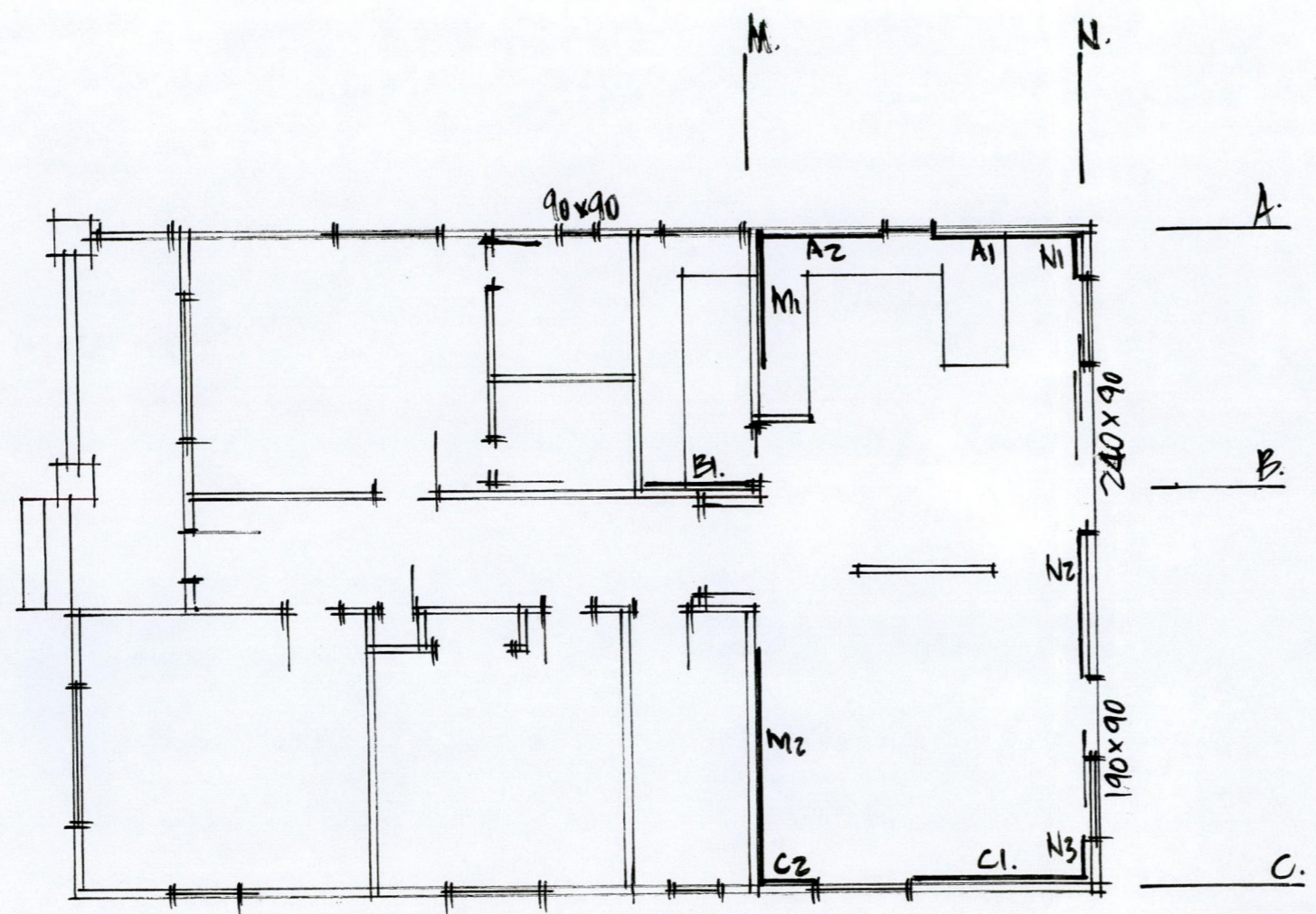
SHEET NUMBER?
BRAD STEWART DESIGN ©
36 RIVERWAY ST WANGANUI
PHONE FAX 06 3458187
JOB No 14: 2606 12.11.14

RA
REVISED 17.12.14
STAINLESS STEEL FIXINGS

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BRACING & LINTELS:

SCALE: 1:100

NOTE: ALL LINTELS TO BE H-2, S48.

FOUNDATION PLAN:

SCALE: 1:100

AP = ANCHOR PLUG (900 DEEP)

NOTE:
 CONTRACTOR MUST CONFIRM
 & VERIFY ALL DIMENSIONS
 ON SITE.

SHEET NUMBER 5,
 BRIAN STEWART DESIGN ©
 36 RIDGWAY ST KAWAIA
 PHONE FAX 06 3258187
 JOB NO 14: 2606 12-11-14

GIB EzyBrace® 2011 Software



Demand Calculation Sheet

single storey

V06/11

Job Details

Name Tracey t
 Street and Number 217 Somme Parade
 Lot and DP Number Pt Lot 9 DP 2844
 City/Town/District Wanganui
 Designer Bryan Stewart
 Company Name Bryan Stewart Design
 Date 12 11 2014



Select Lining Option 10 or 13 mm GIB® Plasterboard

Building Specification

Number of storeys single
 Floor Loading 2kPa
 Foundation Type subfloor
 Cladding Weight (subfloor) light

Single Floor
 Cladding Weight light
 Roof Weight light
 Room in Roof Space no
 Roof Pitch (degrees) 15
 Roof height above eaves (m) 1.6
 Building height to apex (m) 5.5
 Ground to lower floor level (m) 0.6

Complete Single Floor Column only

Cladding Weight
 Roof Weight
 Room in Roof Space

Stud Height (m) 3.0
 Building Length (m) 5.0
 Building Width (m) 10.0
 Building Plan Area (m2) 50

Building Location

Wind Zone **Low**
 Select by Building Consent Authority Map or Preference Not Available
 Wind Region A
 Lee Zone no
 Ground Roughness Urban
 Site Exposure Sheltered
 Topographic Class T1

Earthquake Zone 2
 Soil Type D&E (deep to very soft)
 Annual exceedance probability 1/500 (NZS3604:2011 default)

Bracing Units required for Wind

Demand W (BU)		
	subfloor	Walls single
along	528	294
across	247	130

Bracing Units required for Earthquake

Demand along / across E (BU)	
	Walls
subfloor	single
528	428

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SINGLE OR UPPER STOREY WALLS ALONG

V06/11

Lines		Bracing Elements								
1	2	3	4	5	6	7	8	9		10
Line Total Check	Line Label	Bracing Element No.	Available Wall Length L (m)	Angle to Bracing line (degrees)	Element Height H (m)	Bracing Type	Supplier	Bracing Units Achieved		
								W	E	
192	A	1	2.2		3	GS1-N	GIB®	121	106	
		2	1.8		3	GS1-N	GIB®	99	86	
110	B	1	1.6		3	GS2-N	GIB®	125	110	
153	C	1	2.4		3	GS1-N	GIB®	132	115	
		2	0.8		3	GS1-N	GIB®	39	38	

								Wind	Earthq.
Totals Achieved	W	176%	EQ	106%	518	455			
Timber Floor, design limit of 120 BU/m								<i>accepted</i>	OK OK
Totals Required (from Demand)								294	428

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14/0638

Consent No.

GIB EzyBrace® 2011 Software



SINGLE OR UPPER STOREY WALLS ACROSS

V06/11

Lines		Bracing Elements								
1	2	3	4	5	6	7	8	9		10
Line Total Check	Line Label	Bracing Element No.	Available Wall Length L (m)	Angle to Bracing line (degrees)	Element Height H (m)	Bracing Type	Supplier	Bracing Units Achieved		
								W	E	
310	M	1	2		3	GS2-N	GIB®	157	138	
		2	3.6		3	GS1-N	GIB®	199	173	
152	N	1	0.6		3	GS1-N	GIB®	27	28	
		2	2		3	GS1-N	GIB®	110	96	
		3	0.6		3	GS1-N	GIB®	27	28	

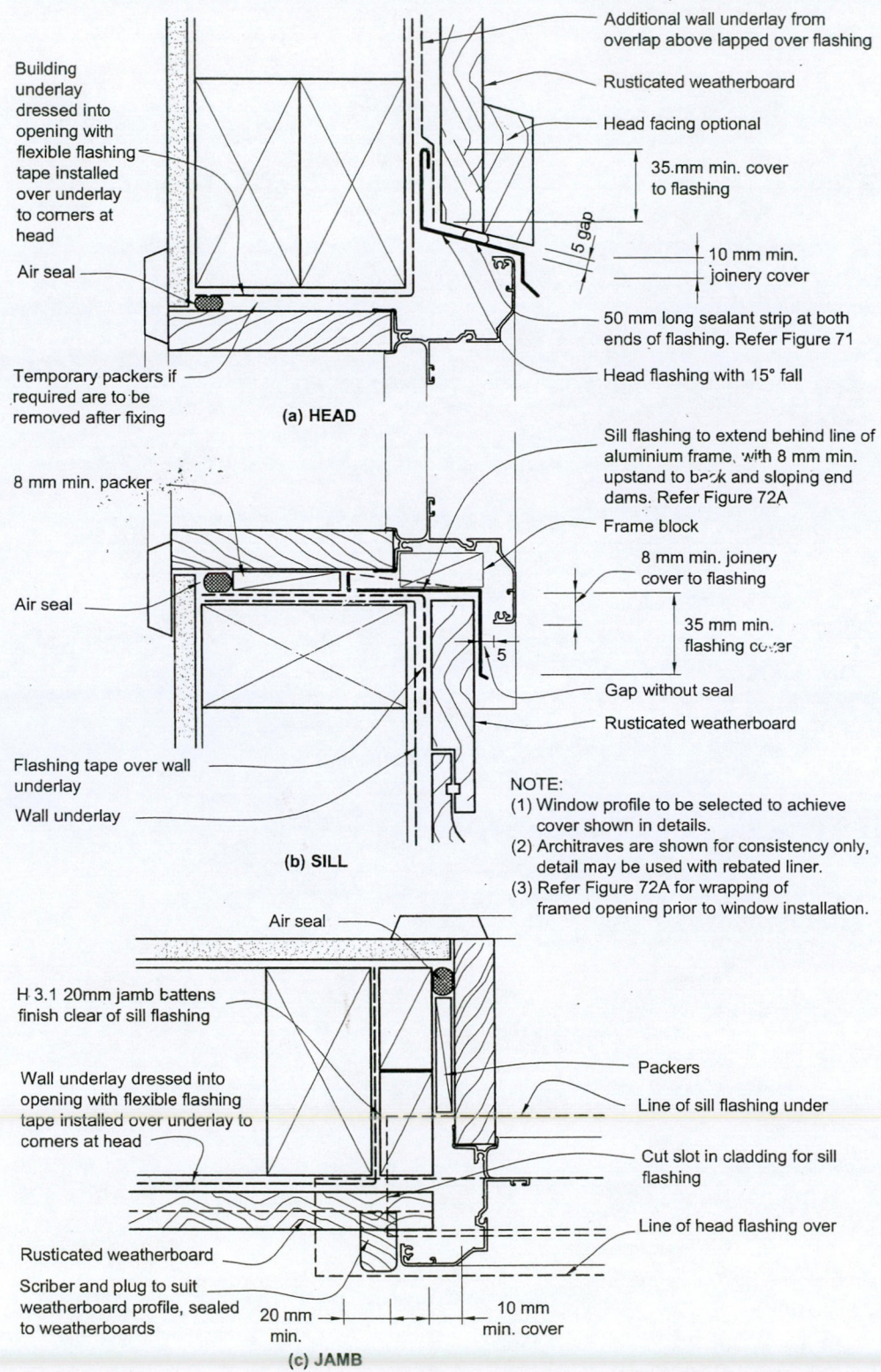
RESTRICTED Building Work

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								Wind	Earthq.
Totals Achieved	W	401%	EQ	108%	521	463			
Timber Floor, design limit of 120 BU/m								<i>accepted</i>	OK OK
Totals Required (from Demand)								130	428

Figure 82: Windows and doors for direct fixed rusticated weatherboards
Paragraph 9.4.6



Amend 5
Aug 2011

Amend 2
Jul 2005

Figure 78: External corners for horizontal weatherboards
Paragraph 9.4.4.4

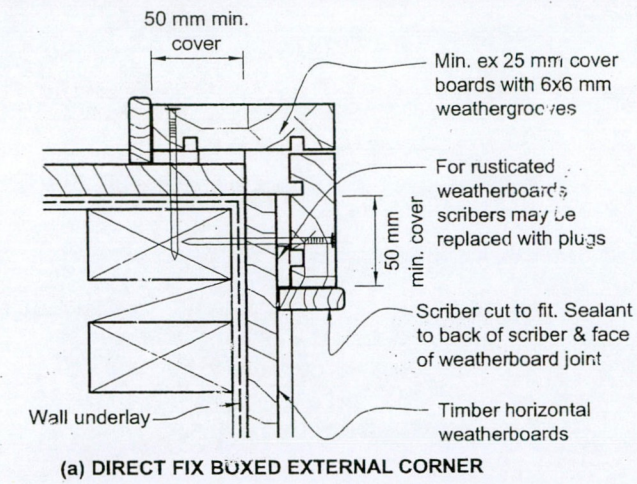
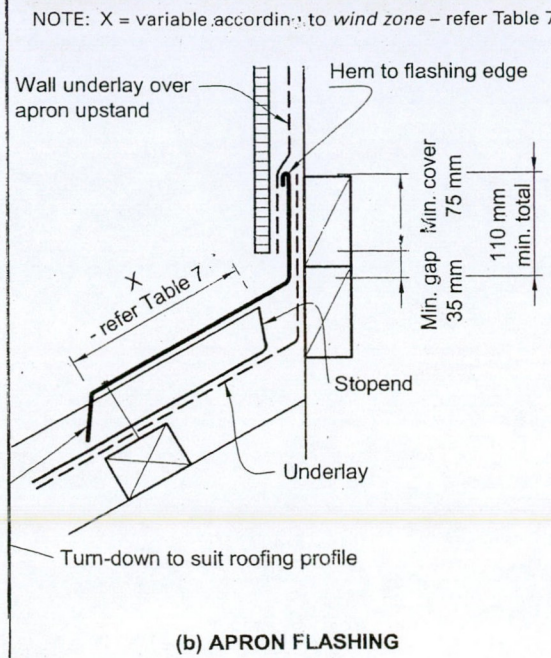


Figure 44: Apron flashing
Paragraphs 4.5.1



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INSPECTION RECORD

This record, together with the Building Consent and approved plans, is to remain on the construction site at all times.

Project Location	TO BOOK AN INSPECTION PLEASE PHONE WDG BUILDING CONTROL	BCon14/0638
217 Somme Pde WHANGANUI	ON 349 0001 AND QUOTE THE FOLLOWING APPLICATION NUMBER:	
Description of Work	Interior alterations and new veranda.	

Applicant	Mrs T Fisher, Mrs TJ Thackeray 217 Somme Parade, Aramoho, Whanganui 4500
Designer	Mr BJ Stewart PO Box 314, Whanganui Mail Centre, Whanganui 4540

SUMMARY OF CONDITIONS

Building Consent Number BCon14/0638

PIM Conditions

Code	Condition
	All work on the project must comply with the requirements of the NZ Building Code.
	A PIM only document is not an approval to build. A Building Consent is required before building work commences.
	W.D.C will follow up on building work not completed within two years of building consent issue.
	A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
	If the building is public premises it may not be occupied until either a code compliance certificate or certificate for public use has been issued.
	Please note [Electrical, and Gasfitting subtrades do not form part of the building consent inspection process. However, Council is required to receive 'Energy Certificates' from both of these trades before issue of a Code Compliance Certificate].

Building Consent Conditions

Code	Condition

Your project's inspections are listed on the next page...



Please Note: A minimum of 48 hours notice is required for the booking of an inspection. The inspection record sheet and accompanying building consent documentation must be on site for use by the inspector at the time of the inspection.

All inspections are to be carried out by BCA Building Inspectors unless prior arrangements have been made by the BCA to have an approved qualified person inspect specific items (eg. Engineer). Inspections shall be carried out in accordance with the attached schedule of inspection types. It is the owner's responsibility to ensure all necessary inspections are carried out as required. Please contact WDC if you are unsure what requires inspection – do not cover or enclose any building work without inspection.

Note: Further inspections may incur additional cost at time of Code Compliance Certificate issue.

Inspections Record For Building Consent Number BCon14/0638						
<i>Inspection</i>	<i>When to Request</i>	<i>Date</i>	<i>Inspector</i>	<i>Complies with Code</i>	<i>Reinspect</i>	<i>Notes</i>
PILE AND/OR POST INSPECTION	Prior to placing Concrete					Includes veranda posts.
CONCRETE SLAB INSPECTION		14/01/2015	Barry Thomas	Yes		Approved Building Consent Documentation on Site Addition to rear of dwelling - no siting issues Nick Mills LBP # BP114634 BC Conditions checked - no action required re conditions at this time Pile layout as plan Pile footings sized as 3604 requirements in pumice substrate 125 x 125 H5 A piles on site Pile cuts to be retreated as discussed with builder



SUB FLOOR INSPECTION		22/01/2015	Bill Leslie	No	<p>Building docs on site. Nik Mills builder on site, need to check his LBP status. Only previous inspection was piles and passed. Small section of flooring at rear. All H3.2 above piles. Bracing in places drawn and complete with all stainless fixings. Span for bearers and joists as detailed and correct. DPM onto ground will be required for the chipboard floor, as closer in most places than .550 to ground. There is polythene on site and was being done as I left. See above comments for this small floor area. As above comments joist layouts appear to cover all load bearing and bracing requirements, noted with Nik bracing requirements on joists.</p>		
FRAMING INSPECTION	When all framing is complete.	20/02/2015	Bill Leslie	Yes	<p>Approved Building Consent documentation on site. Nick Mills LBP 114634 working on site No special conditions apply. Framing 90x45s SG8 H1.2 at .600 and .400 centre as required. Top plate fixings by Mitek stud strap even on gable ends. Bottom plates secured by 3 gun 90mm nails at max .600 centres. Bracing is all GS units with gun nail hold downs. Have checked sub floor requirements while here, quite tight clearances but from outside appears good, along with poly insulation. Lintel and sills as per plans with adequate uplift fixings. Floor framing had already been seen but as above comments, all compliant. Have seen the 1mx.400x.400 post footings for veranda posts, good for uplift along with good pumice bearing. This is a full gable trussed roof as per plans. Fixings combination of CPC80s and 40s. One extra cross brace in metal strap has been included on each roof plane. Purlins fixed down by blue screw, size and spacing as per Consented plans.</p>		



BUILDING PRELINE INSPECTION	Before Internal linings are fixed.	27/02/2015	Bill Leslie	Yes	<p>The Building Consent docs were missing from site, but this inspection was really only insulation to fit after cladding was on.. The roof is on and all but one wall is weather board clad, that wall between big doors has not yet been insulated. Exterior doors and windows in and flashed. Air seals to be completed, builder aware. See framing inspection for actual details. Moisture content all under 18% to studs and plates. Bracing was checked at framing inspection, all was good to proceed. Insulation to walls and ceiling in place and tidy.</p>		
POST LINE INSPECTION	To inspect fixings. Prior to covering up.	11/03/2015	Chris Keenan	Yes	<p>Approved Building Consent Documentation on Site . BC Conditions checked - no action required re conditions at this time The previous inspections except the subfloor one has passed (This was due to the consent documentation was not on site) Inspection record - previous inspections have been reviewed . The wall bracing elements as per the bracing schedule.</p>		



<p>FINAL BUILDING AND PLUMBING COMBINED INSPECTION</p>	<p>On Completion</p>	<p>24/03/2016</p>	<p>Bill Leslie</p>	<p>No</p>	<p>Approved Building Consent documentation on site. Have received CCC application form along with electrical cert and gas cert. Have LBP memo for roof and ok. Builders LBP is one page short. Photos taken of rear addition elevation. Timber floor so landscaping not an issue although done. Sub-floor access from old area ok. ventilation by base boards. Weatherboards complete and painted. Visible flashings are all in place and ok. Roof and flashings all appear complete. Ventilation all by windows and air extract from wet areas. The veranda and deck were a big part of this addition. All complete with most items and fixings seen before. Glazing to bathrooms noted as being safety glass. Not required in ensuite as above 1.500 from floor. But required in bathroom as lower than 1.500 and directly over a bath. This can be done with a safety film kitchen is complete for some time, all surfaces either impervious or painted. Hot and cold water supplied. Sinks are all trapped correctly with short run to existing GT. Laundry and scullery next door with the same requirements and comments, no issues. Toilets are all working, fixed down, sealed to floor and surfaces surrounding are either painted or impervious. The bathroom is existing and only refurbished The ensuite is new. All surfaces impervious or painted and easily cleaned. Shower cubicle appears complete and watertight on the day, as always cannot check behind linings and can only assume sealants have been used in correct places. Shower is safety glass, window is above 1.500 Insulation has been covered in previous inspections. Hot water is by new Infinity and covered by the gas cert. Gully traps as existing with short lengths of waste pipes to. Drain vents original. Gutter both sides into existing system There is one new long life smoke alarm in the hallway that covers all bedrooms.</p>	
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FINAL BUILDING AND PLUMBING COMBINED INSPECTION		05/04/2016	Bill Leslie	Yes		Called in today and have received the LBP memo from builder (both pages) Safety film has now been applied to the inside of the bathroom glass above bath.		
PLUMBING PRELINE INSPECTION	Before covering up	20/02/2015	Bill Leslie	Yes		This plumbing preline was done with the framing inspection. Water supply is from existing supply to house. Polybute and fittings under 1500 kpa text and held Plumbers BT Plumbers Certifying plumber Steve Buston 18654. With stormwater and soil pipe under floor complete.		
SANITARY DRAINS INSPECTION	Before backfilling drains							
FREESTANDING HEATER INSPECTION	On Completion	28/04/2015	Garry Edlin	Yes	NO	Approved Building Consent documents on site. Installation by Ben Toyne Plumbing. Conditions of BC & PIM checked, no action required. Previous inspections passed, no instructions. Manufacturers specs with approved consent on site. Jayline SS400 - s/n PJ40015-0005 200mm rear clearance to combustible wall, 400mm clearance in front to combustible materials. Ash floor protector made of tile underlay base with ceramic tiles on top. Unit seismically restrained with 8mm dynabolts. Dimensions of hearth as per/greater than manufacturers specification requirements. Flue terminates 600 mm above ridge, and is over 4.6m off top of hearth. 25m air gap to timber under roof. Roof framing not cut. Dektite onto a soaker flashing. Flue system is riveted throughout. Factory double flue shield fitted. Venting ceiling plate system installed. An operative smoke alarms in hallway within 3.0m of all bedroom doors.		
CONSTRUCTION REVIEWS (NO INSPECTION)						The following are to be supplied to Council before final inspection: CCC application, Gas and Electrical Certificates. Memorandums of work for Builders and Roofer...		



INSPECTION TIME REPORT

Building Consent Number BCon14/0638

<i>Consent or Alteration Number</i>	<i>Estimated Inspection Time</i>	<i>Actual Inspection Time</i>	<i>Inspection Time Difference</i>
BCon14/0638	460	360	100
<i>Inspection Time Difference</i>			
At BC Issue	<i>Time to be charged.</i>		100
At Completion	Positive amount = time to be credited Negative amount = time to be charged		

Signed for and on behalf of the Whanganui District Council



101 Guyton Street
Wanganui
Phone 06 349 0001

SITE NOTICE

Consent No: **140638**
Applicant: **Mrs Tracy Fisher**
Site Address: **217 Somme Pde, WHANGANUI**
Work Type: **Interior alterations and new veranda.**
Legal Description:

Date Printed: **5 April 2016**

Inspection Type: **Final-Residential**
Inspection Outcome: **PASS**
Inspected By: **Bill Leslie**
Inspection Date: **5 April 2016**

Passed Items

Building Consent Documentation

LBP memos for RBW

Called in today and have received the LBP memo from builder (both pages)

Glazing

Does glazing comply with NZS 4223 Part 3?

Safety film has now been applied to the inside of the bathroom glass above bath.

GoGet Inspection Outcome Report

Consent No: **140638**
 Applicant: **Mrs Tracy Fisher**
 Site Address: **217 Somme Pde,WHANGANUI**
 Work Type: **Interior alterations and new veranda.**
 Workgroup:

Inspection Type: **Final-Residential**
 Inspection Outcome: **Fail**
 Inspected By: **Bill Leslie**
 Inspection Date: **24 March 2016 12:01 p.m.**
 Duration: **60 minutes**

Inspection Element	Status
Building Consent Documentation	Fail
Approved Building Consent documents on site? Approved Building Consent documentation on site.	PASS
Check conditions of BC & PIM?	PASS
Previous inspection/s passed?	PASS
Check instructions from previous inspections?	N/A
Check Producer Statement/Certificate list have they all been supplied and/or signed off? Have received CCC application form along with electrical cert and gas cert.	PASS
LBP memos for RBW Have LBP memo for roof and ok. Builders LBP is one page short.	Fail
Photos taken of ground levels? Photos taken of rear addition elevation.	PASS
Exterior	PASS
Landscaping completed? Timber floor so landscaping not an issue although done.	PASS
Floor heights correct in relation to finished ground level?	PASS
Brickwork weep holes / ventilation comply?	N/A
Sub floor access / insulation / ventilation correct? Sub-floor access from old area ok. ventilation by base boards.	PASS
Wall cladding fixings / soakers / scribes completed? Weatherboards complete and painted.	PASS
Flashings to openings complete and weather tight? Visible flashings are all in place and ok.	PASS
Exterior envelope painted and weather tight?	PASS
Roof cladding / flashing fixings / roof penetration flashings completed? Roof and flashings all appear complete.	PASS
Ventilation	PASS
All vents exiting to the outside air? Ventilation all by windows and air extract from wet areas.	PASS
Natural ventilation to occupied space in accordance with the approved plans & specification?	PASS
Verandahs/Pergolas/Upper Level Decks	PASS
Post/beam fixings as per plans? The veranda and deck were a big part of this addition. All complete with most items and fixings seen before.	PASS
Rafter/floor joists fixings as per plan?	PASS
Rafter/joist/ribbon board connections to building envelope as per plans?	PASS
Landings/Handrails/Decks/Barriers/Retaining Walls	N/A

Stairs	N/A
Glazing	Fail
Does glazing comply with NZS 4223 Part 3?	Fail
Glazing to bathrooms noted as being safety glass. Not required in ensuite as above 1500 from floor. But required in bathroom as lower than 1.500 and directly over a bath. This can be done with a safety film	
Window opening restrictors fitted?	N/A
Kitchen	PASS
Bench top sealed at junction with wall linings?	PASS
kitchen is complete for some time, all surfaces either impervious or painted.	
Is hot and cold supply provided to sink?	PASS
Hot and cold water supplied.	
Trap and waste fitted to sink?	PASS
Sinks are all trapped correctly with short run to existing GT.	
Impervious, easily cleaned wall/floor finishes been provided as per approved plans & specifications?	PASS
Flexible sealant used wall/floor junction?	N/A
Laundry	PASS
Are laundering facilities provided as per approved plans & specification?	PASS
Laundry and scullery next door with the same requirements and comments, no issues.	
Is the laundry tub securely fixed?	PASS
Is the laundry tub correctly trapped?	PASS
Has splash protection been provided to floor and wall linings?	PASS
Flexible sealant used wall/floor junction?	N/A
Toilet	PASS
Impervious, easily cleaned wall/floor finishes been provided as per approved plans & specifications?	PASS
Toilets are all working, fixed down, sealed to floor and surfaces surrounding are either painted or impervious.	
W/C securely fixed to the floor?	PASS
W/C and/or sink have been sealed around?	PASS
Flexible sealant used wall/floor junction?	PASS
Bathroom	PASS
Impervious, easily cleaned wall/floor finishes been provided as per approved plans & specifications?	PASS
The bathroom is existing and only refurbished	
Are joints in impervious surfaces as detailed?	N/A
Shower cubicle sealed and watertight?	N/A
Has flexible sealant been provided at the floor/wall junction of the tiled floor?	N/A
Has the specified waterproofing membrane been applied in accordance with the manufacturer's specifications?	N/A
Safety glazing as specified for shower screens, doors and windows been installed and clearly labeled?	N/A
Safety glass to window failed elsewhere	
Ensuite	PASS
Impervious, easily cleaned wall/floor finishes been provided as per approved plans & specifications?	PASS
The ensuite is new. All surfaces impervious or painted and easily cleaned.	
Are joints in impervious surfaces as detailed?	PASS
Shower cubicle sealed and watertight?	PASS
Shower cubicle appears complete and watertight on the day, as always cannot check behind linings and can only assume sealants have been used in correct places.	
Has flexible sealant been provided at the floor/wall junction of the tiled floor?	N/A
Has the specified waterproofing membrane been applied in accordance with the manufacturer's specifications?	N/A

Safety glazing as specified for shower screens, doors and windows been installed and clearly labeled?	PASS
Shower is safety glass, window is above 1.500	
Insulation	PASS
Is the ceiling insulation installed correctly and as per the approved plans and specification?	PASS
Insulation has been covered in previous inspections.	
Is the ceiling insulation clearance around light fittings/flues appropriate?	PASS
Is subfloor insulation protection provided?	N/A
Hot Water General	PASS
Hot water tempered to 55 degrees Celsius maximum at all personal hygiene fixture?	PASS
Hot water is by new Infinity and covered by the gas cert.	
Seismic restraints fitted to the water storage cylinder?	N/A
HWC as stated in the plans and specifications?	PASS
Has the tundish been set up correctly?	N/A
Has the HWC been set to an appropriate water temperature to eliminate legionella bacteria?	PASS
Has an isolating valve been installed?	N/A
Has a 3 in 1 valve been installed and in the correct position?	N/A
Solar Hot Water System	N/A
Low Pressure Open Vented Hot water Cylinder	N/A
Valve Vented Hot Water Cylinder	N/A
Sanitary Plumbing/Drainage	PASS
Gully trap heights correct with finished ground heights?	PASS
Gully traps as existing with short lengths of waste pipes to.	
Discharge wastes correctly vented?	PASS
Waste pipe penetrations sealed at the back of gully?	PASS
Drains vents completed?	PASS
Drain vents original.	
All AAV's accessible?	N/A
Support to pipework	PASS
UV protection to Polybutyrene pipework.	N/A
Storm water	PASS
Guttering fitted and correctly sized?	PASS
Gutter both sides into existing system	
Down pipes fitted and correctly sized?	N/A
Storm water to an approved outfall?	PASS
Diffusers/spreaders fitted to downpipes on roofs?	N/A
Overflow relief provided for internal gutters as per plan?	N/A
Have surface drains/sumps been installed as per plan?	N/A
Water tank overflows piped away to an appropriate outfall?	N/A
Smoke Alarms	PASS
Smoke alarms installed <3m to any bedroom?	PASS
There is one new long life smoke alarm in the hallway that covers all bedrooms.	
Effluent Disposal Systems	N/A
Vehicle Crossing	N/A



Taken at 10:31 AM on Thursday 24/03/2016

GoGet Inspection Outcome Report

Consent No: **140638**

Applicant: **Mrs Tracy Fisher**

Site Address: **217 Somme Pde,WHANGANUI**

Work Type: **Interior alterations and new veranda.**

Workgroup:

Inspection Type: **Final-Residential**

Inspection Outcome: **PASS**

Inspected By: **Bill Leslie**

Inspection Date: **5 April 2016 3:59 p.m.**

Duration: **15 minutes**

Inspection Element	Status
Building Consent Documentation	PASS
LBP memos for RBW	PASS
Called in today and have received the LBP memo from builder (both pages)	
Glazing	PASS
Does glazing comply with NZS 4223 Part 3?	PASS
Safety film has now been applied to the inside of the bathroom glass above bath.	

ELECTRICAL CERTIFICATE OF COMPLIANCE
AND ELECTRICAL SAFETY CERTIFICATE

Reference/Certificate ID No: 21032016828

This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under Part 1 or Part 2 of AS/NZS 3000 are safe to be connected to the specified system of electrical supply.

Location Details:

217 Somme Pde Wanganui

Contact Details:
(Name and address)

Tracy Thackeray, 217 Somme Pde, Wanganui

Name of
Electrical worker:

Leon Kyle

Registration/Practising
licence number:

E18958

Organisation/company:

Kyle Enterprises LTD

Phone and email:

0272334861 Sparky4u@clear.net.nz

Name of person(s)
supervised:

CoC

Type of work:

 Additions Alterations New work

The prescribed electrical work is:

 Low risk General High risk (Specify):

Reference Standards:

 Part 1 of AS/NZS 3000 Part 2 of AS/NZS 3000 Additional Standards:

Description of Work: (including date/s of work and type of supply system)

Rewired the all the lighting and power circuits in the house. Installed all plugs and lights in house extension. Tidied up wiring and replaced sub board in hallway. Livened and tested

I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct in that the installation, or part of the installation:

Select those that apply:

- Has been installed in accordance with the specified certified design¹
- Has an earthing system that is correctly rated (where applicable)
- Contains fittings that are safe to connect to a power supply
- Relies on a supplier Declaration of Conformity¹
- Relies on a manufacturer's instructions¹
- Has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010
- Is safe to connect

Electronic/Other reference:

Certifier's signature:

Leon Kyle

Digitally signed by Leon Kyle
Date: 2016.03.22 08:03:27 +13'00'

Test Results	
Polarity (Independent earth):	pass
Insulation resistance:	pass
Earth Continuity:	.1
Bonding:	
Fault Loop impedance	.3ka
Other (specify):	

Date:

21/3/2016

¹ Attach or reference. If it is impractical to attach a copy of a particular manufacturer's instructions, or of any certified design or supplier declaration of conformity, provide a reference to where the documents can be found, in a readily accessible format, by electronic means.

ESC

I certify that the installation, or part of the installation, to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's
name:

L Kyle

Registration/Practising
licence number:

E18958

Certifier's
signature:Certificate
Issue Date:Connection
Date:

CUSTOMER COPY – THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS

This certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.

GASFITTING CERTIFICATE OF COMPLIANCE – GAS SAFETY CERTIFICATE



Client Name:

Reference / Job #: ICP (if known):

Address of work:

Suburb: Town / City:

Description of gasfitting work: (If different gasfitting work was done by different people, state who did what gasfitting.)

Ben - Installed a natural gas Baumatic gas hob in the new kitchen and a Rinnai VT26 Infinity on the LHS outside wall with new gas pipe work from the gas meter to the appliances only.
 Hob - Baumatic Model: BK18.5SS Serial #: 44 03 00005
 Water Heater - Rinnai VT26 Model: REU-VR2626WG-ZK Serial #: 13.03 - 000857
 Drop Test : 3.6KPa 5mins No Change Pass
 Gas Certificate Record #: 1135207

Gas supply pressure kPa Risk classification (tick one) Low-Risk General High-risk

Gas type (tick one) Natural gas LPG Biogas Other (specify)

The work has been done in accordance with a certified design: Yes No

Copy of certified design attached (or provide reference)

The work relies on manufacturer's instructions: Yes No

Copy of manufacturer's instructions attached (or provide reference)

The work has been done in accordance with means of compliance (specify):

Yes – AS/NZS 5601.1 sections 3 to 6 Yes – AS/NZS 5601.2 sections 3 to 9 No

Were any other standards required for compliance?

Yes (specify) No

Parts of the gas installation that are safe to connect to a gas supply?

All Parts (specify)

Date or dates on which the work was done:

Name and registration number of anyone who carried out work under supervision:

I confirm that I am satisfied that the work described in this certificate of compliance has been done lawfully and safely, and that the information on this certificate is correct.

Certifier name:

Registration number: Certificate Issue Date:

Certifier Signature:

Outline any additional information attached:

I confirm that the work described in this Gas Safety Certificate, and the installation or part installation is connected to a gas supply and is safe to use.

Name of person who connected the work:

Registration number: Date of completion:

Signature:

This certificate confirms that the gasfitting work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.

Record of building work
Section 88, Building Act 2004



Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: 217 Somme Pde
 Suburb: Aramoho Town/City: Wanganui Postcode: 4500

THE PROJECT

Building consent number: B/Con 14 - 0638

THE OWNER(S)

Name(s): Tracey Fisher - Tracy Thackeray
 Mailing address: 217 Somme Pde
 Suburb: Aramoho PO Box/Private Bag: -
 Town/City: Wanganui Postcode: -
 Phone number: 06-3452930 Email address: tracythackeray@hotmail.com

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

Work that is restricted building work	Description	Carried out or supervised
Tick <input checked="" type="checkbox"/>	<i>If necessary, describe the restricted building work</i>	Specify whether you carried out the restricted building work or supervised someone else carrying out the restricted building work

PRIMARY STRUCTURE

Foundations and floor framing	<input checked="" type="checkbox"/> 5 sqm mb New floor + poles	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Walls	<input checked="" type="checkbox"/> 3604 timber frame	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Roof	<input checked="" type="checkbox"/> Trusses + Purlins	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised

Initial: MP



RECORD OF WORK THAT IS RESTRICTED BUILDING WORK CONTINUED

Work that is restricted building work	Description	Carried out or supervised
Tick <input checked="" type="checkbox"/>	<i>If necessary, describe the restricted building work</i>	Specify whether you carried out the restricted building work or supervised someone else carrying out the restricted building work
Columns and Beams <input checked="" type="checkbox"/>	Deck Laminated Posts	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Bracing <input checked="" type="checkbox"/>	GS2 in wall	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Other <input checked="" type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description	Carried out or supervised
Tick <input checked="" type="checkbox"/>	<i>If necessary, describe the restricted building work</i>	Specify whether you carried out the restricted building work or supervised someone else carrying out the restricted building work
Damp proofing <input checked="" type="checkbox"/>		<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Roof cladding or roof cladding system <input checked="" type="checkbox"/>	Piping Not installed roofing	<input type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised
Ventilation system (for example, subfloor or cavity) <input checked="" type="checkbox"/>		<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised

Initial *AM*



EXTERNAL MOISTURE MANAGEMENT SYSTEMS CONTINUED

Work that is restricted building work	Description	Carried out or supervised
Tick <input checked="" type="checkbox"/>	<i>If necessary, describe the restricted building work</i>	Specify whether you carried out the restricted building work or supervised someone else carrying out the restricted building work
Wall cladding or wall cladding system <input checked="" type="checkbox"/>	W. Boards by owners	<input type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Other <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised

NOTE: Continue on another page if necessary

ISSUED BY

Name: Nicholas Mills LBP number: BP114634

Class(es) licensed in: Carpentry

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office: 5 Hipanga Tce PO Box/Private Bag:

Suburb: Durrie Hill Town/City: Wanganui Postcode: 4500

Fax: Ph day time: Ph after hours: Mobile: 0272766422

Email address: vanwhitebuilder@gmail.com Website:

DECLARATION

I, Nicholas Mills (name of practitioner) carried out or supervised the restricted building work recorded on this form.

Signature: *Nicholas Mills* Date: 29 March 2016

PIPING HOT

PLUMBING & DRAINAGE LTD

Form 6A

Memorandum from licensed building practitioner: Record of building work
Section 88, Building Act 2004

The building

Street address of building:

217 Somme Pde Aramoho Wanganui

The project

Building consent number:

14/0638

The owner

Name: Tracey Thackeray

Address: 217 Somme Pde Aramoho Wanganui

Telephone number:

Email address: tracythackeray@hotmail.com

Record of work that is restricted building work

Work that is restricted building work	Description	Carried out/ supervised
Yes	New Roofing on house extension	Carried out work with Adam Dixon Mark Hopkins LBP Steve So'olefai LBP

Primary structure

Walls	()	() Carried out () Supervised
Roof	(✓)	(✓) Carried out (✓) Supervised
Bracing	()	() Carried out () Supervised
Other	()	() Carried out () Supervised

External moisture management systems

Damp proofing	()		() Carried out () Supervised
Roof cladding or roof cladding system	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised
Ventilation system (for example, subfloor or cavity)	()		() Carried out () Supervised
Wall cladding or wall cladding system	()		() Carried out () Supervised
Waterproofing	()		() Carried out () Supervised
Other	()		() Carried out () Supervised

Note: continue on another page if necessary.

Issued by

Name: Mark Hopkins

LBP number: BP126389

Class(es) licensed in: Roofing R2 R3 R4

Plumbers, Gasfitters and Drainlayers registration number (if applicable): N/A

Mailing address: PO Box 7007 Wanganui

Street address or registered office: 43 Hatrick Street Wanganui

Phone number: Landline:

Mobile:

0210235034
6

Daytime: 063458034

After hours:

Fax number: 063458033

Email address: admin@pipinghotplumbing.co.nz

Website: www.pipinghotplumbing.co.nz

Declaration

I Mark Hopkins

[name of practitioner]

carried out or supervised the restricted building work recorded on this form.

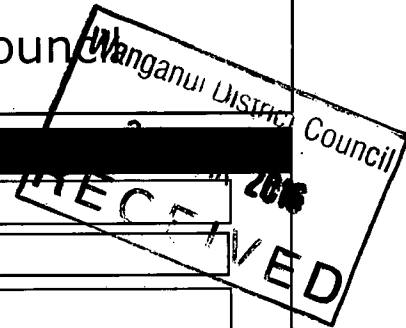
Signature 

Date: 04/04/15

Application for Code Compliance Certificate
Building Act 2004 Form 6



Wanganui District Council



The building consent

Building consent no. 14/0638

Issued by: Wanganui District Council

Description of work Extension & refurb

Address 217 Somme Parade, Aranui

Property owner details

Owner details Have not changed since the building consent was lodged Proceed to 3 "Applicant details" below Have changed since the building consent was lodged

Name

Contact person (if owner is a corporation, partnership or trust)

Postal address

Contact numbers
Phone Mobile Fax

Email

Evidence of ownership attached (only required if ownership has changed) Certificate of Title (copy) Sale and purchase agreement Lease agreement Other document showing full name of legal owner(s), such as a rate instalment notice

Applicant details

I am the Property owner Lessee Provide details below Agent Authorised by owner / lessee Provide details below

Name Tracy Thackeray - Tracy Fisher

Postal address 217 Somme Parade, Aranui

Contact numbers 06 3433130 027 2761211 027 2793272
Phone Mobile Fax

Email tracythackeray@hotmail.com

If Agent, relationship to owner? (details of authorisation)

Attachments

The following documents are attached to this application:

- Certificates from the personnel who carried out the work
- Certificates that relate to the energy work (e.g. gas or electrical certificates)
- Evidence that specified systems are capable of performing to the performance standards set out in the building consent

OFFICE USE ONLY

Infrastructure Bond Final Inspection Complete (please circle one)

Yes	No	<input checked="" type="radio"/> N/A
-----	----	--------------------------------------

Key building practitioners

Builders name / Licence no.

Extent of involvement

Contact details Address

Phone / Email

Nicholas Mills
 Builder BP 114634
 5 Hapanas Ice 4500
 Vanwhitebuilder@gmail.com

Certifying plumber name / Licence no.

Extent of involvement

Contact details Address

Phone / Email

Ben Toyne 24224
 Plumbing Works
 20 Field St Aranoho
 027 3610532

Certifying drainlayer name / Licence no.

Extent of involvement

Contact details Address

Phone / Email

Electrician name / Licence no.

Extent of involvement

Contact details Address

Phone / Email

Leon Kyle E18958
 Electrical work
 40 Durie Vale Road
 027 2334861 sparky4u@clear.net.nz

Other/ Licence no.

Extent of involvement

Contact details Address

Phone / Email

Piping Hot 126389
 New Roof
 43 Hatrick St
 06 3458034 admin@pipinghotplumbing.co.nz

Personnel who carried out building work other than restricted building work are to be listed separately.

Note:

Licensed building practitioners who carried out or supervised restricted building work must provide a "memorandum from licensed building practitioner; Record of building work" to be submitted with this code compliance certificate application form.

Compliance Schedule

The following specified systems are contained on the Compliance Schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the Building Consent (list specified systems):

Application

Date building work completed

24-03-16

I request that you issue a code compliance certificate for the work under section 95 of the Building Act 2004. I understand that the code compliance certificate will be sent to the property owner.

Signature

Tracy Thackeray

24/03/16

Name of person signing: (please print clearly)

Tracy Thackeray

Dated:

OFFICE USE ONLY

Date received

24.3.16

Application #

1410638

Document #

Project #

Property ID

38870

Legal ID

Receipt #

Amount Paid

\$

Code Compliance Assessment Checklist
Building Consent No # BC 14/06.3.8

	ITEM	YES	NO	N/A	COMMENTS
1.	Work complies with approved BC documentation - Sec 94 (1)	✓			
2.	All the required inspections have been completed	✓			
3.	BC conditions have been fulfilled	✓			
4.	PIM requirements have been complied with	✓			
5.	Development contributions have been paid (Sec 94 (4))			✓	
6.	All documents have BC number on them	✓			
7.	Sec 72-74 registered on title if applicable			✓	
8.	Energy work certificates have been provided (if required) sec 94 (3)	✓			
9.	All inspection fees have been paid?	✓			
10.	Specified systems are capable of performing in accordance with performance standards (sec 94 (1B)) Fire doors, Backflow, Lifts, Mechanical Ventilation etc.			✓	
11.	Is a compliance schedule required or requires amending (sec 100(2))		✓		
12.	Has there been a change of ownership (sec 364)		✓		
13.	Any warnings or bans applied (sec 94 (2))		✓		
14.	Has the TA received any certificates issued by licensed building practitioners that relate to restricted work (sec 88 (10 and (2))	✓			
15.	Check the TA has been advised by a LBP that building work carried out under a building consent does not comply with that consent			✓	
16.	Any amendments have been issued and whether documentation associated with these have been properly completed			✓	
17.	Any outstanding documentation still to be collected such as LBP Memoranda etc.		✓		
18.	Photographs of elevations	✓			
19.	List of consultants	✓			
20.	Was Building Consent Lapsed? (Ref.T-25.5)		✓		
21.	Has current lawfully established use been recorded?	✓			
22.	Has year first constructed been recorded?	✓			

Producer Statements:

A Producer Statement requires the following as a minimum requirement to be accepted by the Wanganui District Council:

- Header with 'Producer Statement'
- Who is issuing the Producer statement (suitably qualified and author of Producer statements)
- The Producer Statement must be addressed for the attention of the Wanganui District Council
- The applicable Building Consent number must be recorded
- Who has completed or designed the work identified (qualifications to undertake the work)
- The product name and specifications for application of product used
- What parts/clauses of the Building Code the work relates to
- Full legal description of the site where the work will be undertaken
- Clearly identifying what part of the Building Consent is covered by the Producer Statement
- Provide the sum of provisional indemnity insurance held

The author's name and signature:

- Qualifications
- Address
- Registration number
- Membership of professional organization
- Date the producer statement was produced

All information and documentation is present and correct, a Code Compliance Certificate can be issued.

Name: Tracy Brown

Signature: T. Brown

Date: 7/4/16



CODE COMPLIANCE CERTIFICATE NUMBER BCon14/0638

Section 95(3), Building Act 2004

Mrs T Fisher, Mrs TJ Thackeray
217 Somme Parade
Aramoho
Whanganui 4500

**Building Consent
No:** BCon14/0638

Issue Date: 07/04/2016

The building:

Street address of building:	Legal description of land where building is located:
217 Somme Pde WHANGANUI	PT LOT 9 DP 2844 0.0602 Ha PT LOT 30 DP 3167 0.0046 Ha
Building name:	Location of building within site/block number:
Level/unit number:	Current, lawfully established, use: [include number of occupants per level and per use if more than 1]
	Single Detached Residential
Year first constructed:	
1950	

The owner:

Name of Owner:	
Mrs T Fisher, Mrs TJ Thackeray	
Mailing address:	Street Address/registered Office:
217 Somme Parade Aramoho Whanganui 4500	217 Somme Parade Aramoho Whanganui 4500

Phone numbers:

Landline:		Mobile:	
Daytime:		After hours:	
Facsimile number:			
Email address:	altra@xtra.co.nz	Website:	

First point of contact for communications with the building consent authority:

Contact Person:	
Mrs T Fisher, Mrs TJ Thackeray	
Mailing address:	Street Address/registered Office:
217 Somme Parade, Aramoho, Whanganui 4500	217 Somme Parade, Aramoho, Whanganui 4500

Phone number:

Landline:		Mobile:	
Daytime:		After hours:	
Facsimile number:			
Email address:	altra@xtra.co.nz	Website:	

Building Work

Building consent number:	Issued by:
BCon14/0638	Whanganui District Council
Type of Work	
Single Detached Residential	
Description of Work	
Interior alterations and new veranda.	
Intended Life	Estimated Value
Indefinite but not less than 50 years.	\$20000.00

Code compliance:

The building consent authority named below is satisfied, on reasonable grounds that the building work complies with the building consent.

*Compliance schedule

There are no specified systems in this building.

This is a final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.

Signed for and on behalf of the Whanganui District Council:

PP.

GJ Hoobin
Building Control Team Leader



END OF BUILDING CONSENT FILE

BC No. 14/0638

CCC Issued