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16 December 2025

Arizto Limited  
c/o Evolution Lawyers  
Suite 8 Floor 1  
72 Dominion Road  
AUCKLAND

Email: [info@arizto.co.nz](mailto:info@arizto.co.nz)

Dear Sir/Madam

**Land Information Memorandum: 52 Motuhua Road Tairua**

Attached is the land information memorandum as requested. This provides information held by Council relating to this site and is provided in relation to section 44A of the Local Government Official Information & Meetings Act 1987.

The memorandum comes from a search of the Council's records only. Your attention is drawn to the terms of the disclaimer attached to the memorandum.

If you have any further queries regarding this property, please contact Council's Customer Service Representatives.

Yours faithfully

*Catherine McShane*

Catherine McShane  
Land Information Officer  
**LAND INFORMATION TEAM**

**THAMES-COROMANDEL DISTRICT COUNCIL**  
**LAND INFORMATION MEMORANDUM**

**DISCLAIMER**

*This Land Information Memorandum has been prepared for the purposes of section 44A of the Local Government Official Information & Meetings Act 1987 and contains information found by the Council to be relevant to the land as described in section 44A (2). It is based on a search of Council records only and there may be other information relating to the land, which is unknown to the Council. Council records may not show illegal or unauthorised building or works on the property.*

*The existence of a natural hazard or potential natural hazard does not equal likelihood of that hazard occurring. The Land Information Memorandum is not a risk assessment and does not quantify risk.*

*The applicant is responsible for ensuring that the land is suitable for a particular purpose. The memorandum does not include information found or recorded on records of title and does not replace a search of the title or titles for the property or a physical inspection of the property. Council does not accept any responsibility for the accuracy or otherwise of information supplied by third parties whether that be way of reports, letters, or other forms of communication.*

*This Land Information Memorandum is valid as at the date of issue only.*

**PROPERTY IDENTIFICATION**

<b>Application Date:</b>	4 December 2025
<b>Property Number:</b>	111532
<b>Property Address:</b>	52 Motuhoa Road Tairua
<b>Legal Description:</b>	LOT 1 DP 370865
<b>Area (ha):</b>	0.0930

**SECTION A: RATES AND CHARGES**

<b>Current Annual Rates Assessed for July 2025 to 2026</b>	5308.29
<b>Arrears Outstanding: (Any amount accrued prior to current rating year)</b>	0.00

The current annual rates figure is the amount assessed and does not consider any payments made or penalties imposed during the current rating year.

**REGIONAL COUNCIL RATES**

This property **will also be liable for rates from Waikato Regional Council.**  
Refer to the web site for details. <http://www.waikatoregion.govt.nz/Council/Rates/>

## SECTION B: PERMIT/CONSENT HISTORY

### BUILDING INFORMATION

**Permits** listed below were issued prior to the Building Act 1991.  
Prior to 1992 there was no legal requirement for a final inspection on permits issued.

YEAR	DESCRIPTION OF PERMIT
1990	Garage/Utility and Retaining Wall
	<i>No Further Information Located</i>

**Consents** listed below were issued under either the Building Act 1991 or the Building Act 2004 shown in Council records and their status. Where the work is signed off as complete it is noted as YES, if not completed or no final inspection has been made then it is noted as NO.

Council issues a code compliance certificate “CCC” on any Building consents issued after 1 July 1992 when satisfied that all work complies with the Building Act (1991 or 2004) and any fees applicable have been paid.

A certificate of acceptance “COA” can be issued for certain work done after 1 July 1992. A COA has some similarities to a Code Compliance Certificate in that it may provide some verification for a building owner or future owners that part or all certain building work complies with the Building Code.

Copies of any CCC’s or COA’s issued are attached.

YEAR	CONSENT No	DESCRIPTION OF CONSENT	CCC or COA ISSUED YES / NO
1996	ABA199214032 96/7599	Dwelling ( <i>Special Conditions Attached</i> )	YES
		<i>No Further Information Located</i>	

Any relevant (approved) permit/consent plans are attached at the rear of this report.  
To view further information relating to building permits/consents for this property, please go to our website <https://trackconsents.tcdc.govt.nz/> consent tracker - track your application using the property address.

EXEMPT WORK NOTIFICATION, REQUISITIONS, NOTICES OR REQUIREMENTS	
Exempt work notification	NO
Copy attached	N/A
Requisition/notice or requirement	NO
Copy attached	N/A

**CODE COMPLIANCE CERTIFICATE  
SECTION 43(3) BUILDING ACT 1991**

<b>BUILDING CONSENT NUMBER:</b> ABA 14032
---

<b>SITE LOCATION</b>	
Address:	52 MOTUHOA ROAD, PAKU, TAIRUA 2853
Legal Description:	LOT 29 DPS 13916
Valuation No:	04961 65301

INTENDED USE(S):	INTENDED LIFE
96/7599 dwelling	Indefinite, but not less than 50 years

**THIS IS:**

- A final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.
- An interim Code Compliance Certificate in respect of part only, as specified in the attached particulars, of the building work under the above Building Consent.
- This certificate is issued subject to the conditions specified in the attached \_\_\_\_\_ pages headed "Conditions of Code Compliance Certificate" (being this certificate).

**SIGNED FOR, AND ON BEHALF OF, THE COUNCIL**

  
 .....  
 Chris Newmarch  
 Senior Building Control Officer  
 12/07/2001



File Number... 96/7599

Applicant.. J R YOUNG  
6 PACIFIC DRIVE  
TAIRUA

Contact.... J YOUNG

Phone... 8648533

Fax.....

PROJECT: (Description of proposed work and main purpose of use.)

=====  
DWELLING

**SPECIAL CONDITIONS**

=====

ALL ERRORS AND OMISSIONS FROM THESE PLANS ARE THE RESPONSIBILITY OF THE OWNER, DESIGNER AND THE ENGINEER - DUE TO THE POOR STANDARD OF PLANS COUNCIL REFUSES TO ACCEPT ANY LIABILITY WHATSOEVER, FOR CONSTRUCTION DEFECTS THAT MAY OCCUR.


\*\*

THE DESIGN ENGINEER OR HIS AGENT IS TO INSPECT ALL FOUNDATIONS AND REINFORCEMENT ALONG WITH SUSPENDED POURED CONCRETE FLOOR AND STRUCTURAL STEEL ELEMENTS WITHIN THIS STRUCTURE. ON COMPLETION OF ALL THESE INSPECTIONS HE IS TO PROVIDE A PRODUCER STATEMENT DESIGN REVIEW TO COUNCIL. THESE INSPECTIONS ARE IN CONJUNCTION WITH COUNCIL'S NORMAL INSPECTION SCHEDULES.

\*\*

BOTTOM FLOOR FLAT - THERE IS TO BE 60/60/60 FIRE RATING TO ALL EXTERIOR, INTERIOR LOAD BEARING WALLS, AND ALL CEILINGS, ALSO UNDER SIDE OF DECKS DIRECTLY ADJACENT TO THIS FLAT.

SIGNED FOR AND ON BEHALF OF THE COUNCIL:

Signature:  \_\_\_\_\_

Date: 05 NOV 96

## SWIMMING POOLS:

If the property has a swimming or spa pool, it must be fenced as required by the Building (Pools) Amendment Act 2016.

The Building (Pools) Amendment Act 2016 (the Act) includes an exemption for Small Heated Pools to be compliant without the need for a pool fence, or to be listed on a Council Register.

To qualify for this exemption, the Small Heated Pool must meet the requirements contained in the Act and/or in F9/AS2 "Covers for small, heated pools". Refer to the web site below for further information.

<https://www.building.govt.nz/assets/Uploads/building-code-compliance/f-safety-of-users/f9-restricting-access-residential-pools/asvm/f9-restricting-access-to-residential-pools.pdf>

POOL REGISTER NUMBER	
<i>No Pool Recorded</i>	

**LICENCES & ENVIRONMENTAL HEALTH**      No Information Located

## BUILDING COMPLIANCE SCHEDULE & WARRANT OF FITNESS

If you own a building that contains specified systems, the Building Act requires you to have a Compliance Schedule and you must ensure the effective operation of all the specified systems for the life of the building.

If this property has either Building Warrant of Fitness or Compliance schedule it will be noted as such and copies will be attached.

**NOTE:** Transfer of ownership MUST be notified to the Council within 14 days.

Refer to web site below for further information.

<https://www.building.govt.nz/assets/Uploads/managing-buildings/bwof-guidance/bwof-guidance.pdf>

### **Please Note:**

There is **no** Compliance Schedule Registered on this property.

## EARTHQUAKE-PRONE BUILDINGS

Under the Building (Earthquake-prone Buildings) Amendment Act 2016 Council will be contacting owners of properties that require an initial seismic assessment.

*This property may be one of the properties affected.*

*The Act applies to commercial buildings and **some** residential buildings.*

Residential buildings are **only** covered under the act if they comprise **three or more household units being two or more storeys and or are used as hostels, boarding houses, or other types of specialised accommodation.**

POTENTIALLY EARTHQUAKE PRONE BUILDING (PEPB)	No Information Located
Details Attached	NO

Please contact Customer Services Thames Coromandel District Council for further details.

## PLANNING CONSENTS

YEAR	FILE REF	DESCRIPTION OF CONSENT
1996	RMA199210663 K07.0306.00	Application for consent to construct two new dwellings within a lot less than 1600 square metres. <i>(Decision Attached)</i>
2006	SUB20060026	Boundary Adjustment <i>(Decision &amp; Plan Attached)</i>

It is the responsibility of the property owner to ensure that all conditions of any land use consents listed above have been met.

Where a consent notice is registered on the Record of Title, any conditions imposed under that consent notice may be a minimum standard and may be superseded by more onerous standards such as The Thames - Coromandel District Plan or other legislative requirements that have come into force since the imposition of the consent notice.

*Contact Thames Coromandel District Council Customer Service Representative if further detail is required.*

Planning Consent Decisions, Approved Plans & associated documents can be viewed through our website. <http://www.tcdc.govt.nz> – select consent tracker - track your application using the file reference number.

***The Waikato Regional Council may hold resource consent authorising certain activities on this land. Waikato Regional Council may also hold information pertaining to flooding and other environmental matters which fall within their responsibilities, under current legislation.***

**1.2 OTHER APPLICATIONS  
UNDER THE RESOURCE  
MANAGEMENT ACT  
1991**

**1.2.1 J.R. Young  
52 Motuhua Road  
Tairua**

[K07.0306.00]  
{P.111532}

Application for consent to construct two new dwellings within a lot of less than 1,600m<sup>2</sup>.

Decisions:

- (I) That this application for a non-complying activity, not be notified, as allowed by Section 94(2) Resource Management Act 1991, as it is considered that the effects on the environment are minor, and Council has the written consent of all affected adjoining owners.
- (II) That Council grant a consent to the proposal, being a single bedroom house and a three bedroom house contained within one building, with a separate single garage, and also being a non-complying activity, pursuant to Sections 105(1)(c), and 108 Resource Management Act 1991, together with the following dispensations, subject to the following conditions, and for the following reasons:

Dispensations

- (i) That dispensation be granted from Rule 412.12 allowing two new dwellings to be constructed on a lot with an area less than 1600 m<sup>2</sup>.

This dispensation is recommended as the proposed building has the same bulk as a single dwelling and the increased occupancy is the same as extending from a three to a four bedroom house.

- (ii) That dispensation be granted to allow two vehicle entrances from one allotment.

This dispensation is recommended as the two entrances are a significant distance apart, being at opposite ends of the property, and enjoy sight distances that are appropriate to traffic speeds in the area.

Conditions of Consent

- (1) That all necessary building and plumbing and drainage consents shall be obtained, prior to any building works commencing.
- (2) That the development proceed in accordance with the plans submitted with the application.
- (3) That both vehicle entrances be constructed in accordance with Council's requirements. Care is to be taken in relation to the fire hydrant located adjacent to the top entrance.
- (4) The certificate of a registered surveyor is required in respect of compliance of the height of the proposed building, before building works commence.

- (5) As far as practicable, the existing native vegetation is to be retained, and after completion of the building works, the site is to be rehabilitated with native plantings. Evidence is to be provided to the Manager, Environmental Planning to this effect no later than six months of issuing the building consent.

Reasons For The Decision

1. The written approval of all affected parties has been received by Council.
2. Council is satisfied that any actual or potential adverse effects on the environment will be minor.

Lilburn/Olliff



## SUBDIVISION RESOURCE CONSENT DECISION

### Application Details

<b>Applicant:</b>	J R Young and E M Young and A M Beare and G T Beare and P M Guy	
<b>Application Number:</b>	SUB/2006/26	
<b>Property File:</b>	P. 6010.526010.54253298/2004	
<b>Application:</b>	Boundary adjustment between Lots 29 and 30 DPS 13916 within the Coastal Zone	
<b>Site:</b>	Legal Description:	Lots 29 and 30 DPS 13916
	Total Land Area:	1725.00
	Site Address:	52 Motuhua Road TAIRUA, 54 Motuhua Road TAIRUA
<b>Zoning:</b>	Proposed District Plan:	Coastal zone ( Village Policy Area) – Controlled activity
<b>Planning Framework:</b>	All references (appeals) to the Proposed District Plan rules applicable to this application have been resolved. Section 19 of the Resource Management Act 1991 therefore applies and these rules can be treated as operative. No assessment of this application is therefore required under the Transitional District Plan.	

### Section 94 Analysis

That Council resolves, pursuant to section 94(2) of the Resource Management Act 1991, to waive public notification of the application for the following reasons:

#### Reasons for the Decision:

1. Council is satisfied that any potential or actual adverse effects on the environment of allowing the application will be minor.

1. No parties were considered to be affected by this controlled activity proposal.
2. No special circumstances exist. (Section 94 (2) (c).)

#### **Decision**

On 28 March 2006 the Thames-Coromandel District Council **RESOLVED** pursuant to sections 104 and 108 of the Resource Management Act 1991, **TO GRANT A SUBDIVISION RESOURCE CONSENT** to Boundary adjustment between Lots 29 and 30 DPS 13916 within the Coastal Zone at 52 Motuhoa Road TAIRUA, 54 Motuhoa Road TAIRUA, subject to the following conditions:

#### **Conditions pursuant to the Resource Management Act 1991**

- A. Prior to the survey plan being signed pursuant to Section 223 of the Resource Management Act 1991, the following conditions are to be complied with:**
  1. Pursuant to Section 243 of the Resource Management Act 1991, any necessary easements as required shall be included in a memorandum of easements endorsed on the survey plan. The applicant shall meet all costs relating to the creation of easements.
  2. Any private service leads or drainage lines, where they cross property boundaries shall be protected by an easement and shall be shown on the submitted survey plan within a Memorandum of Easements.
  3. All public services, where they cross private property boundaries, shall be shown as an "Easement in Gross" in favour of the Thames-Coromandel District Council.
- B. Prior to the completion certificate being signed pursuant to Section 224(c) of the Resource Management Act 1991, the following conditions of consent are to be complied with:**

#### GENERAL

1. The consent holder shall appoint an official representative in respect of engineering works, with whom all correspondence relating to engineering matters, will be undertaken by Council
2. The construction of all physical works shall be supervised and certified by a Chartered Professional Engineer, or other suitably qualified person for whom Council's consent has been obtained.
3. The consent holder shall submit plans and specifications for the approval of the Group Manager, Service Delivery. No work is to be undertaken on the site prior to the plans and specifications being approved.

4. All completed works shall be certified by the official representative, or their delegated agent, as in accordance with the approved plans and specifications and Thames-Coromandel District Council's current 'Code of Practice for Subdivision and Development'. All materials used therein are to be certified to be in accordance with the relevant New Zealand standards.

<b>Conditions pursuant to the Local Government Act</b>
--

Nil

**Reasons for the Decision:**

1. The proposal is able to comply with the controlled assessment activity criteria of Section 7 of the Proposed District Plan.
1. The proposed realignment of the existing boundary will have no more than a minor effect on the existing Coastal zone (Village policy Area).
2. No parties were considered to be adversely affected by this controlled activity proposal.

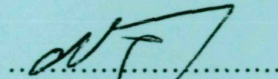
<b>Notes</b>
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**Note:**

1. A water supply line is located within the vicinity of the property boundaries. The exact location of the water supply line should be verified and if required, easements granted prior to Council endorsing the Section 223 certificate.
2. Should the applicant wish to formally object to this decision please advise the Planning Department in writing within 15 working days of the receipt of this letter, stating reasons for the objection and the preferred outcomes.

If no response is received within 15 working days it will be assumed that the applicant accepts this decision and it will be regarded as final.

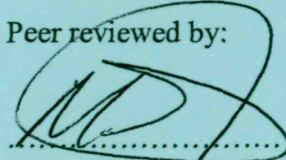
Signed for and On Behalf of the Thames-Coromandel District Council:



.....  
Nick Carey

**SENIOR RESOURCE CONSENT PLANNER  
ENVIRONMENTAL SERVICES**

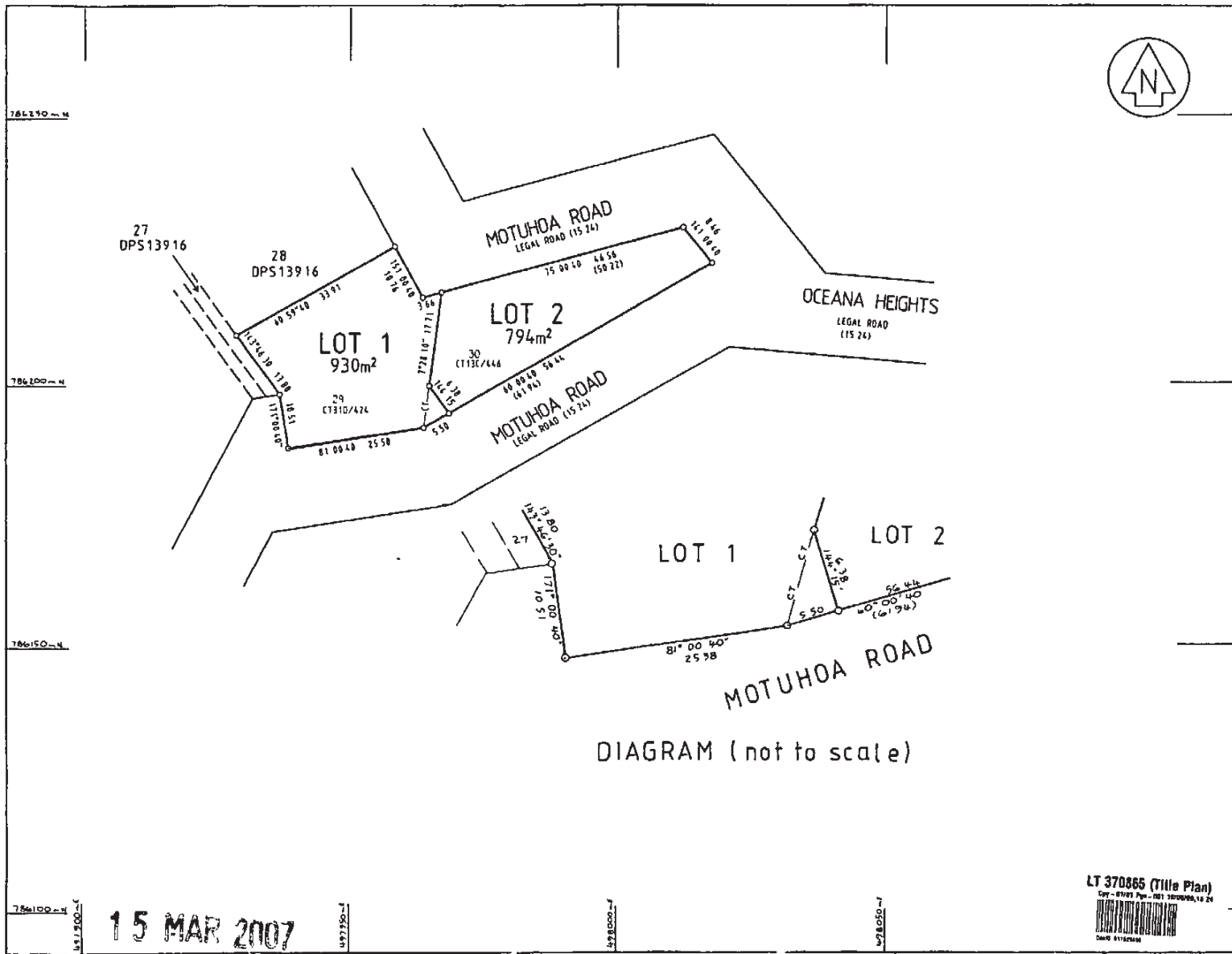
Peer reviewed by:



.....  
Mark White

**DEVELOPMENT PLANNING MANAGER  
ENVIRONMENTAL SERVICES**

Dated at Thames, this 10<sup>th</sup> day of April 2006.



**Approvals**

I HEREBY CERTIFY THAT THIS PLAN WAS APPROVED BY THE THAMES CORMANDEL DISTRICT COUNCIL PURSUANT TO SECTION 223 OF THE RESOURCE MANAGEMENT ACT 1991 ON THE 26<sup>th</sup> DAY OF 22/06 2006

*J. Jones*  
 (Principal) Administrative Officer/Authorised Officer  
 20/06/2006

**COMPLETION CERTIFICATE**  
 I hereby certify pursuant to Section 224(c) of the Resource Management Act 1991 that all of the conditions of the Subdivision Consent have been complied with to the satisfaction of the Thames Coromandel District Council

Dated this 12<sup>th</sup> day of JUNE 2006  
*J. Jones*  
 Principal Administrative Officer/Authorised Officer  
 20/06/2006

CTS ALLOCATED	
LOT 1	287122
LOT 2	287123

CLASS OF SURVEY CLASS ONE  
 Total Area 1724m²

Comprised in  
 CT 310/424(ALL) AND 310/440(ALL)

(FRANK WILLIAM MILLINGTON, being a person entitled to practice as a licensed cadastral surveyor, certify that the Surveys to which this dataset relates are accurate and were undertaken by me or under my direction in accordance with the Cadastral Survey Act 2002 and the Surveyor-General's Rules for Cadastral Survey 2002/2. (a) This dataset is accurate and has been created in accordance with that Act and those Rules.

Signed *Frank Millington* Date 9.3.06  
 Field Book a. Traverse Book b.

Reference Plans  
 Errored Correct

Approved as to Survey by  
 Land Information NZ 1/2/06

Deposited by Land Information NZ  
16/01/2006

File Instructions  
 Received 16.6.2006 **OP 370865**

15 MAR 2007

LT 370865 (Title Plan)  
 Copy - 01/01/05 - 001 2006/06/10 24  
  
 Date 01/02/06

LAND DISTRICT SOUTH AUCKLAND

PLAN OF LOTS 1 & 2, BEING SUBDIVISION OF LOTS 29 & 30, DPS 13916

TERRITORIAL AUTHORITY THAMES CORMANDEL DISTRICT COUNCIL  
 Prepared by F W MILLINGTON LTD 2532  
 Scale 1 500 Date MARCH 06

1496-65301  
 11-651100

**SECTION C: LAND USE INFORMATION**

**THAMES-COROMANDEL DISTRICT PLAN - OPERATIVE IN PART**

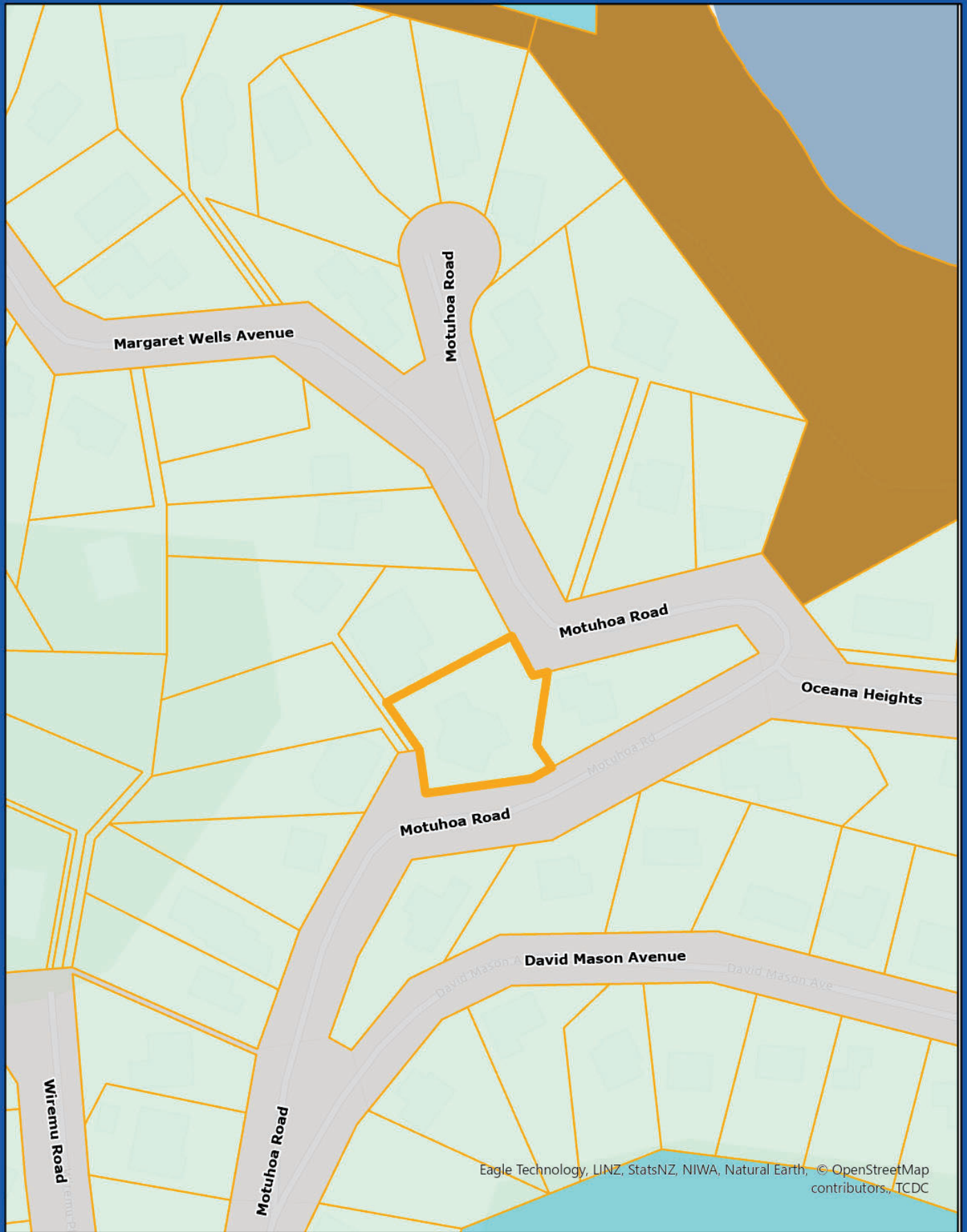
Thames-Coromandel District Council resolved to declare the Thames-Coromandel District Plan 'Operative in part' pursuant to clause 17(2) in Schedule 1 of the Resource Management Act 1991 at its meeting on 13 February 2024.

In accordance with clause 20(1) in Schedule 1 of the Resource Management Act 1991 the Thames-Coromandel District Plan became 'Operative in part' on 15 March 2024.

The Thames-Coromandel District Plan 'Operative in part' is available online at: [eplan.tcdc.govt.nz/pages/plan/Book.aspx?exhibit=TCDC\\_Appeals2016\\_External](http://eplan.tcdc.govt.nz/pages/plan/Book.aspx?exhibit=TCDC_Appeals2016_External)

The provisions in the Thames-Coromandel District Plan 'Operative in part' that remain under appeal are identified in red font in the link above. Where provisions are still under appeal, these provisions in both the Operative District Plan (2010) and the Operative in part District Plan (2024) will continue to have legal effect until the appeal has been settled.

<b>THAMES-COROMANDEL DISTRICT PLAN 'OPERATIVE IN PART'</b>	
<b>ZONING: Coastal Living</b>	
** The relevant rules can be viewed refer Part VIII Section: 41	
<b>OVERLAY(S), SPECIAL PURPOSE PROVISIONS: DP Overlay - Coastal Environment Line</b>	
The relevant rules for any overlays and/or special purpose provisions that apply to part or all of the property can be viewed (refer Part V - Special Purpose Provisions & Part II & VI - Overlay Rules). Where these rules conflict with zone rules, the overlay rules or special purpose provision rules take precedence, to the extent of any conflict. (Refer attached Plan Structure Key)	
** The rules, objectives and policies that support them can all be viewed online.	
<hr/>	
Notified Change Affecting Zone, Standards, Criteria or Activities:	NO**
** Unless under Appeal, refer explanation above	

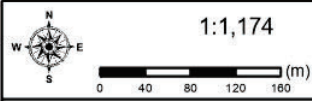


Eagle Technology, LINZ, StatsNZ, NIWA, Natural Earth, © OpenStreetMap contributors, TCDC

<b>52 Motuhoa Road Tairua</b>	
Date:	12/12/2025
Authored:	catherinef
Projection:	NZTM

**ZONING: Coastal Living  
Legend Attached**

**Legend**



1:1,174



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










# PLANNING MAP LEGEND

## Overlay Maps

### Special Purpose Provisions

















-  Site Development Plan
-  Site Specific Activity
-  Structure Plan

### Overlays



-  Airfield Height
-  Airfield Noise
-  Archaeological Site
-  Coastal Environment
-  Current Coastal Erosion Line
-  Designation
-  Future Coastal Process Line
-  National Grid
-  High Natural Character
-  Historic Heritage Area
-  Historic Heritage Curtilage
-  Historic Heritage Item
-  Outstanding Natural Character
-  Outstanding Natural Features and Landscapes
-  Residual Risk Area
-  Significant Tree
-  Site of Significance to Maori

## Zone Maps

### Zones

-  Airfield
-  Coastal Living
-  Commercial
-  Conservation
-  Extra Density Residential
-  Gateway
-  Industrial
-  Light Industrial
-  Low Density Residential
-  Marine Service
-  Open Space
-  Pedestrian Core
-  Recreation Active
-  Recreation Passive
-  Residential
-  Road
-  Rural Lifestyle
-  Rural
-  Unformed Road
-  Village
-  Waterfront

### All Maps

-  Property Boundary
-  Sea or Harbour or Estuary

### Other Provisions

-  Beach Amenity
-  Beachfront Yard
-  Coastal Environment
-  Cooks Beach Wall Amenity Line
-  Quarry

## POLICY

### OVERLAY

- Biodiversity
- Coastal Environment
- Historic Heritage
- Landscape and Natural Character
- Natural Hazards
- Significant Trees

### DISTRICT-WIDE

- Contaminated Land and Hazardous Substances
- Financial Contributions
- Mineral Extraction
- Settlement Development & Growth
- Subdivision
- Tangata Whenua
- Transport
- Utilities

### ZONE POLICY

- Commercial Area
- Industrial Area
- Recreation Area
- Residential Area
- Rural Area



## PLAN STRUCTURE KEY



## RULE HIERARCHY

The key above illustrates the rule hierarchy. The RULES above take precedence over the RULES below to the extent of any conflict.

For any conflict between rules at the same level, the more stringent rule or standard applies to the extent of the conflict.

## SECTION D: LAND FEATURES

### NATURAL HAZARDS AND SPECIAL FEATURES

This includes information on any special feature or characteristic of the land that *is known to Thames Coromandel District Council* including, but not limited to potential erosion, avulsion, falling debris, subsidence, alluvion, or inundation, or likely presence of hazardous contaminants, is recorded below. This information relates only to details held on Council files and may not reflect the onsite situation.

#### COASTAL HAZARDS

**TSUNAMI** - New Zealand's entire coast is at risk of tsunami including the Coromandel Peninsula. A large tsunami can violently flood coastlines, causing property damage and injuries. Most of our larger east coast settlements have evacuation plans and a copy is attached if available. More detailed modeling reports have been completed for some areas and are available from the Waikato Regional Council website, namely "Numerical Modelling of Tsunami Effects at Two Sites on the Coromandel Peninsula, Whitianga and Tairua Pauanui"

Natural warning signals may be the only warnings for local and regional source tsunami. Examples of natural warnings may include, a strong earthquake, weak or rolling earthquake of long duration, out of ordinary sea behaviour or the sea making loud or unusual noises.

When experiencing any of the above go immediately to high ground or if the surrounding area is flat go as far inland as possible, evacuating all coastal areas or, where present all evacuation zones.

**FLOODING** – *None Known*

#### LANDSLIDES/SUBSIDENCE/INSTABILITY

Rock outcrops on the Council reserve on the top of Paku have been identified as hazardous. There are two geotechnical assessments of the area available.

**Type links below into google drive to view reports.**

Report dated 23 October 2013 <http://docs.tcdc.govt.nz/store/default/5832879.pdf>

Report dated 11 January 2019 <http://docs.tcdc.govt.nz/store/default/5762862.pdf>

Council has a programme whereby an Engineer regularly inspects the northern and north western slopes of Paku. Mitigation work has and will be carried out to reduce the risk of high priority hazards. There can be no guarantee that the mitigation work will remove the hazard.

Council surveyed all Paku property owners in March 1995. Most property owners believed that when Council carries out mitigating works and reduces the risk to properties, the properties for which the risk is reduced should pay the costs of the works.

**WIND** – *None Known* - Refer <https://www.branz.co.nz/branz-maps-zones/>

**EARTHQUAKES** – *None Known* - Refer <https://www.branz.co.nz/branz-maps-zones/>

**VOLCANIC AND GEOTHERMAL HAZARDS:** *None Known*

## **ANY OTHER HAZARDS OR SPECIAL FEATURES**

The Initial Site and Land Classification report undertaken by Council in relation to the permit issued for 1990 garage/utility and retaining wall indicates that the property is sloping greater than 13 degrees.

The Initial Site and Land Classification report undertaken by Council in relation to the consent issued for 1996 dwelling indicates that the property is sloping greater than 13 degrees, exhibiting signs of distress or instability and is dominated by natural or man made scarps or faces and is subject to concentrated effects of surface water runoff.

**CONTAMINATION** - *None Known*

## **ENTRIES UNDER SECTIONS OF THE BUILDING ACT.**

**If it is known** to Council that this property is subject to Sections 71-74 of the Building Act 2004 or in accordance with section 434 of the Building Act 2004, under section 36(2) of the Building Act 1991 or section 641A of the Local Government Act 1974; **it will be noted at Section B** of this report.

If applicable it will also be registered on the Record of Title for the property.

The existence of an entry under either Section 74 of the Building Act 2004, Section 36(2)/72 of the Building Act 1991 or Section 641(A) of the Local Government Act 1974 may limit statutory natural disaster insurance.

*Refer to Links below:*

<https://www.eqc.govt.nz/what-we-do/house/conditional-building-consents>

<http://www.legislation.govt.nz/act/public/1993/0084/latest/DLM307146.html>

**Waikato Regional Council** may also hold further information on natural hazards that may affect this property.

Follow the link provided to view a list of Waikato Regional Council technical reports related to natural hazards for the Thames Coromandel District. <http://docs.tcdc.govt.nz/store/default/8707109.pdf>

Please also visit the Waikato Regional Hazards Portal at [Waikato Regional Hazards Portal](#). If you have any questions on the content of the portal or require further information, please contact the Regional Resilience Team at Waikato Regional Council using the WRC via an online service request. [Request for service | Puka tono ratonga: Request - Waikato Regional Council](#) or via phone on 0800 800 401.

### **SPECIAL REPORTS**

In some circumstances special technical reports have been prepared to support applications relating to land.

Reports Exist:	NO
----------------	----

### **INVESTIGATIONS**

Any issues investigated under either the Resource Management Act 1991 or the Building Acts 1991 & 2004.

	NO
--	----

### **HISTORIC PLACES**

The Council holds Heritage New Zealand's (Pouhere Taonga) - Register (Rarangi Korero) where the property may be affected by the presence of a registered historical site, building, or Wahi Tapu Area. Information can be found on the following web site. <http://www.heritage.org.nz/the-list>

Register Item:	NO
----------------	----

### **ARCHAEOLOGICAL SITES**

Attached is information compiled and supplied by the NZ Archaeological Association as a historical record of identified archaeological sites for the general area of this property. The location of sites is usually only recorded to within about the nearest 100 metres. While the Thames-Coromandel District Council believes reasonable care has been taken in compiling this information it makes no warranty or representation express or implied regarding accuracy, completeness, or utility of the data.

For affected properties refer to attached interpretation sheet and if further detail is required refer to the following website, [ArchSite](#) for contact details or contact The File Keeper, for Coromandel Area, Neville Ritchie Ph. 07 8581027 or email [nevritchie@outlook.co.nz](mailto:nevritchie@outlook.co.nz) .



<b>52 Motuhoa Road Tairua</b>	
Date:	12/12/2025
Authored:	catherinef
Projection:	NZTM

**Heritage and Historical Legend**

- + Historic Heritage Item
- Archaeological Sites
- TCDC Heritage Sites

**1:1,835**

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## **SECTION E: AS-LAID DRAINAGE PLANS**

Where applicable, plans of public and private storm water and wastewater drains as shown on Council's records are attached.

Please note that the location of all services shown on the plans are indicative only. Location of services should always be confirmed on site.

If you require further information, please contact the Thames Office.

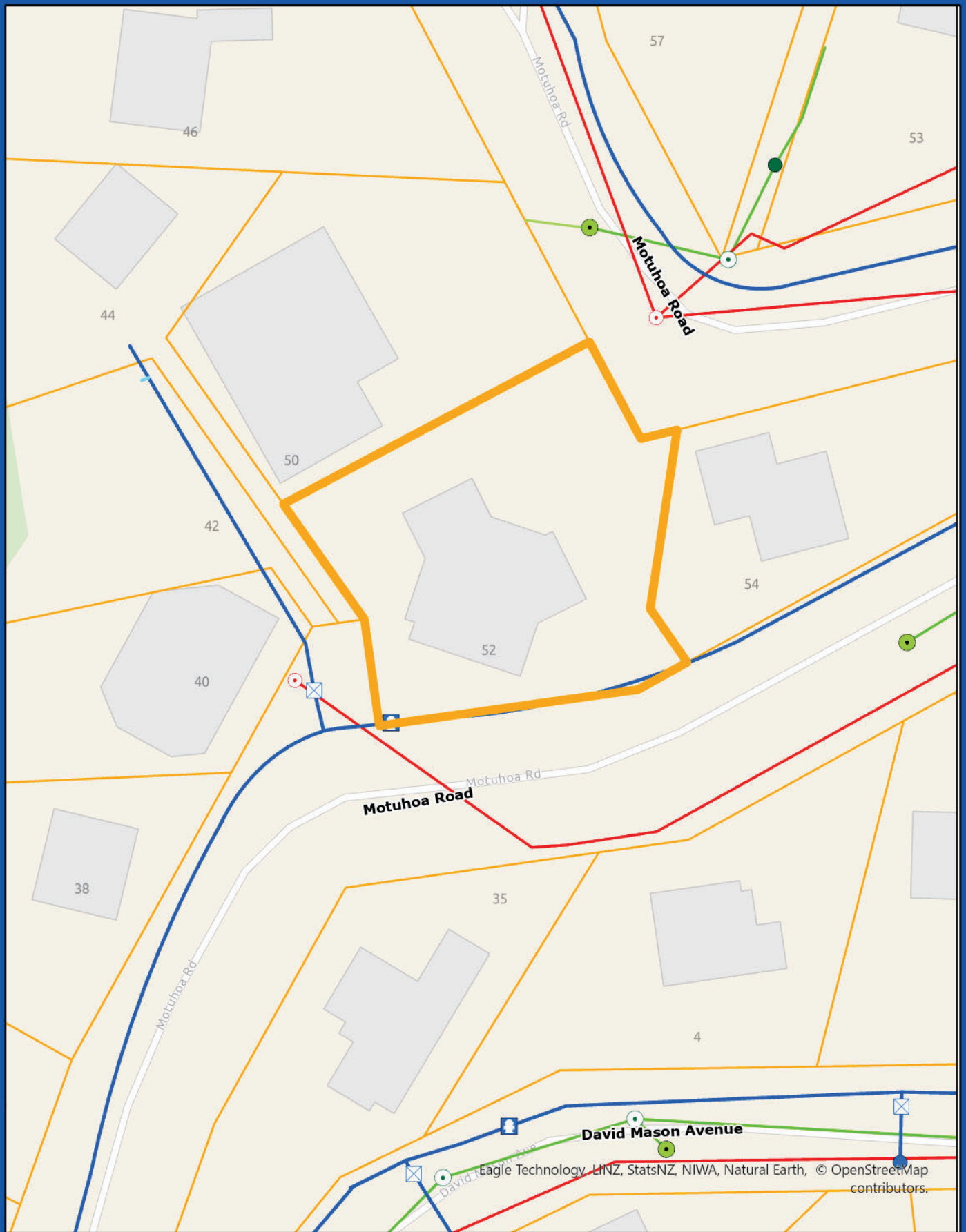
*WARNING: Private drainage plans have been provided to Council by contractors undertaking the work for the owner. Exact locations of pipes have not been verified by Council and the plans may contain errors or omissions.*

### **Building Over or Near A Public Pipe**

If building near or over a public pipe or drain this may reduce TCDC's ability to maintain it. There are some rules around being able to build close to or over public pipes.

Please refer to the site below for further details.

<https://www.tcdc.govt.nz/our-services/resource-consents/building-over-or-near-a-public-pipe/>



<b>52 Motuhoa Road</b>	
<b>Tairua</b>	
Date:	12/12/2025
Author:	catherinef
Projection:	NZTM

**UTILITIES**  
**LEGEND ATTACHED**

**Legend**

1:481


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# Thames Coromandel District Council - Three Waters Utilities Map Legend











**TCDC Assets:**

 Asset Plants













**TCDC Water Supply Points:**

-  Fire Hydrant
-  Water Meter
-  Node
-  Valve
-  Other






**TCDC Waste Water Points:**

-  Blankcap
-  Inspection Chamber
-  Junction
-  Magflow Meter
-  Manhole
-  Node
-  Pump Station
-  Rodding Eye
-  Valve
-  Other






**TCDC Storm Water Points:**

-  Blankcap
-  Inlet
-  Outlet
-  Manhole
-  Node
-  Catch Pit
-  Pump Station
-  Rodding Eye
-  Soak Pit
-  Valve
-  Wingwall
-  Other



**TCDC Water Supply Lines:**

-  Water Main
-  Water Connection
-  South Eastern WARD
-  Thames WARD
-  None

**TCDC Waste Water Lines:**

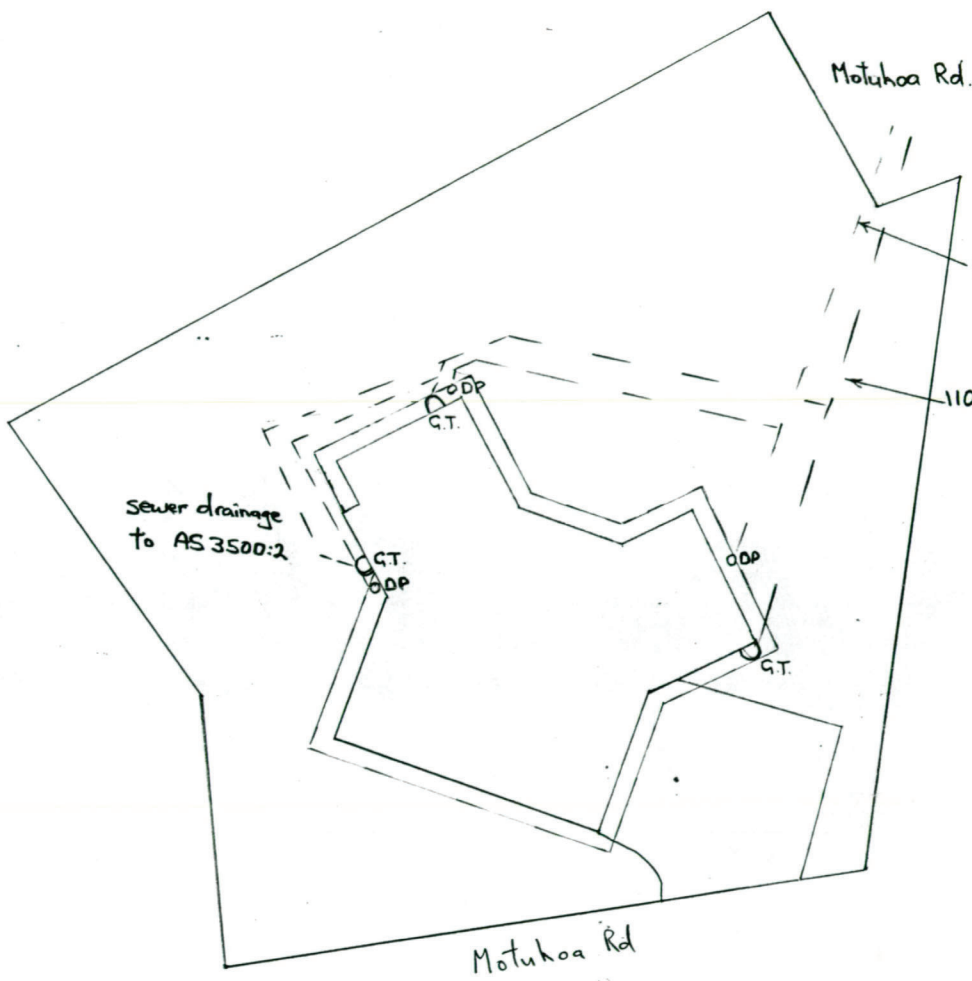
-  Wastewater Connection
-  Wastewater Main
-  None
-  South Eastern WARD
-  Thames WARD

**TCDC Storm Water Lines:**

-  Stormwater Connection
-  Stormwater Main



*Legend Updated: July 2023*



Motuhooa Rd.

THAMES-COROMANDEL DISTRICT COUNCIL  
**STORMWATER DISPOSAL**  
 Spouting and downpipes to be fitted and all roof and stormwater must be taken to approved disposal system.

100mm stormwater to discharge to lower road.

110 sewer to council connection

sewer drainage to AS3500:2

**PLUMBING & DRAINAGE SYSTEM TO BE DESIGNED TO G13NZBC. AMENDED PLAN REQUIRED IF AS 3500 OR BS 5572 USED.**

THAMES-COROMANDEL DISTRICT COUNCIL  
 IMPORTANT  
 COMPLETION INSPECTION  
 The owner shall as soon as Practicable advise Council, using the required form that the building work has been completed to the extent required by the Building Consent issued in respect of that Building Work.  
 THIS REQUIREMENT IS CONTAINED IN SEC. 43 OF THE BUILDING ACT 1991

THAMES-COROMANDEL DISTRICT COUNCIL  
 APPROVED  
 Subject to any condition endorsed on any building Consent issued for this work and any requirement endorsed hereon  
 SIGNED: [Signature] DATE: 4/11/96.  
 BUILDING OFFICER DATE: 4/11/96.

Plumbing & Drainage Plan Scale 1:200

PROPOSED HOUSE AT TAIRUA  
 FOR JOHN and LIZ YOUNG

## **ADDITIONAL INFORMATION**

In addition to the previous information provided pursuant to section 44A (3) of the Local Government Official Information and Meetings Act 1987, the following information is provided at the discretion of Council.

### **THAMES-COROMANDEL DISTRICT COUNCIL SERVICES**

This property is being *rated* for the following services. This information is for rating purposes only and does not establish actual service availability. If you would like verification of these connections, a site visit can be arranged at additional cost. Please contact Council for further information.

<b>SERVICE</b>	<b>CONNECTED</b>	<b>AVAILABLE</b>	<b>NOT AVAILABLE</b>
Water	√		
Wastewater	√		

### **WATER SERVICES**

For water service information please follow the web site below.

<https://www.tcdc.govt.nz/Our-Services/Water-Services/>

Council is currently upgrading Water Treatment Plants throughout the district.

Read more about our Drinking Water Standards Upgrade project on the website below.

<https://www.tcdc.govt.nz/dws>

### **TARGETED RATES AND LUMP SUM SCHEMES INCLUDED IN RATES 2025/26**

<b>DESCRIPTION</b>	<b>YEAR</b>	<b>AMOUNT FOR 2025/26</b>	<b>PAYMENT DETAILS</b>
NO SCHEMES PAYABLE			

### **CURRENT RATING VALUATION EFFECTIVE JULY 2023**

<b>Rating Valuation No:</b>	04961-65302
<b>Land Value:</b>	760,000
<b>Improvement Value:</b>	600,000
<b>Capital Value:</b>	1,360,000

### **COPIES OF THE LATEST SITE AND FLOOR PLAN (WHEN AVAILABLE) ARE ATTACHED.**

The Council recommends that where any doubt exists, applicants should compare the buildings on the property with plans held in Council's files.

If this property is a cross lease it may be subject to a flats plan. Refer to the record of title for the latest flats plan registered.



Eagle Technology, LINZ, StatsNZ, NIWA, Natural Earth, © OpenStreetMap contributors, TCDC, ©PUS, UAV Mapping

<b>52 Motuhoa Road Tairua</b>	
Date:	12/12/2025
Authoried:	catherinef
Projection:	NZTM

**Legend**

**No Legend**

**1:308**

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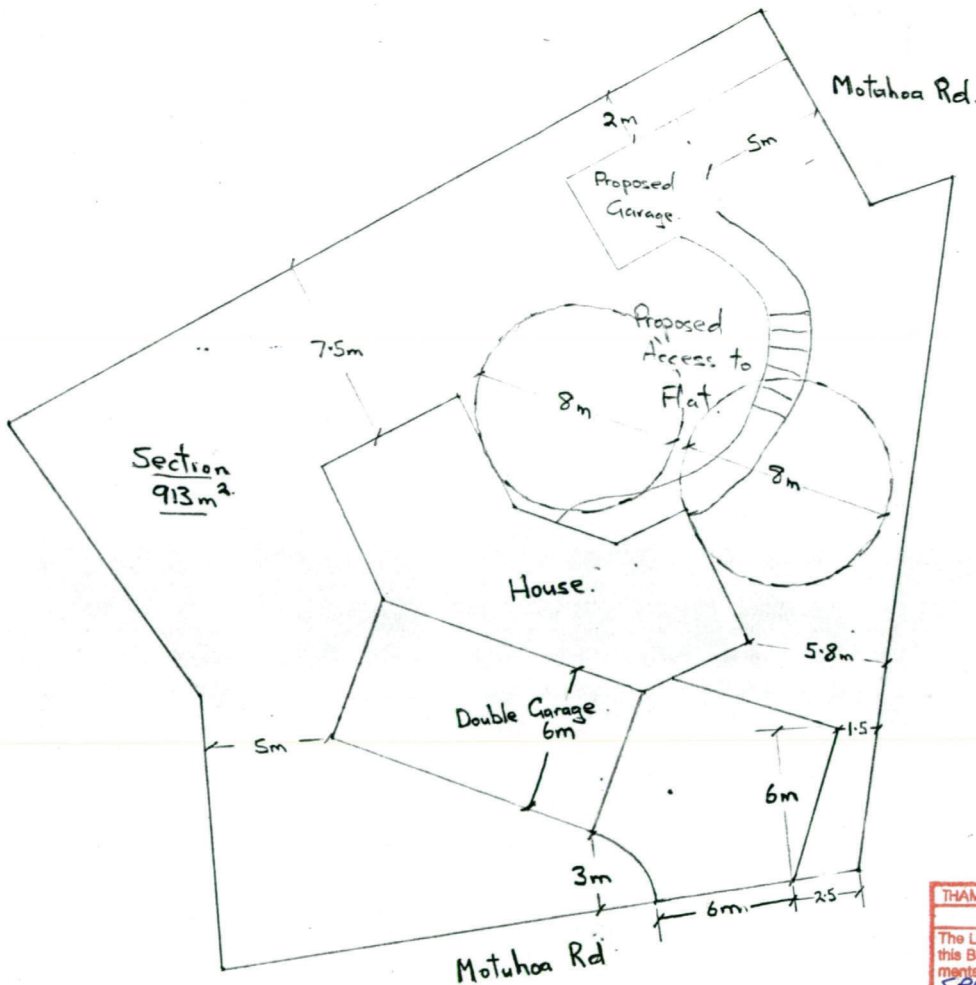
CROWN COPYRIGHT RESERVED





All aspects of this project, once completed, must fully comply with all the relevant provisions of the New Zealand Building Code irrespective of whether or not detailed in these plans and specifications.  
 No Code Compliance Certificate will be issued until this is achieved.

**NOTE**



THAMES COROMANDEL DISTRICT COUNCIL PLUMBING & DRAINAGE INSPECTIONS	No.
FLOOR SLAB PIPEWORK	✓
PLUMBING PRELINE. 1500 KPA WATER TEST	ONE
DRAINAGE	ONE
COMPLETION	ONE
OTHER	✓
ALSO REFER TO STAMPS ON PLANS	

NOTE: ALL PLUMBING AND DRAINAGE WORK IS TO BE DONE BY SUITABLY REGISTERED TRADES PEOPLE THAT HOLD CURRENT LICENCES UNDER THE PLUMBERS, GASFITTER AND DRAINLAYERS ACT 1976 AND ANY AMENDMENTS TO THAT ACT.

**TAIRUA WATER SUPPLY**

A warning is given that at present the water supply at Tairua can be corrosive to metal pipes and fittings and in particular hot water cylinders made of uncoated copper.

Council therefore advise that glass lined hot water cylinders be used while this problem exists.

*NOTE - PROPOSED FIT IN GROUND FLOOR NOT TO PROCEED WITHOUT PLANNING CONSENT!!*

THAMES-COROMANDEL DISTRICT COUNCIL  
**IMPORTANT**  
 The Light Timber Frame Construction of this Building must comply with the requirements of NZS 3604:1990  
**SPECIFIC DESIGN**

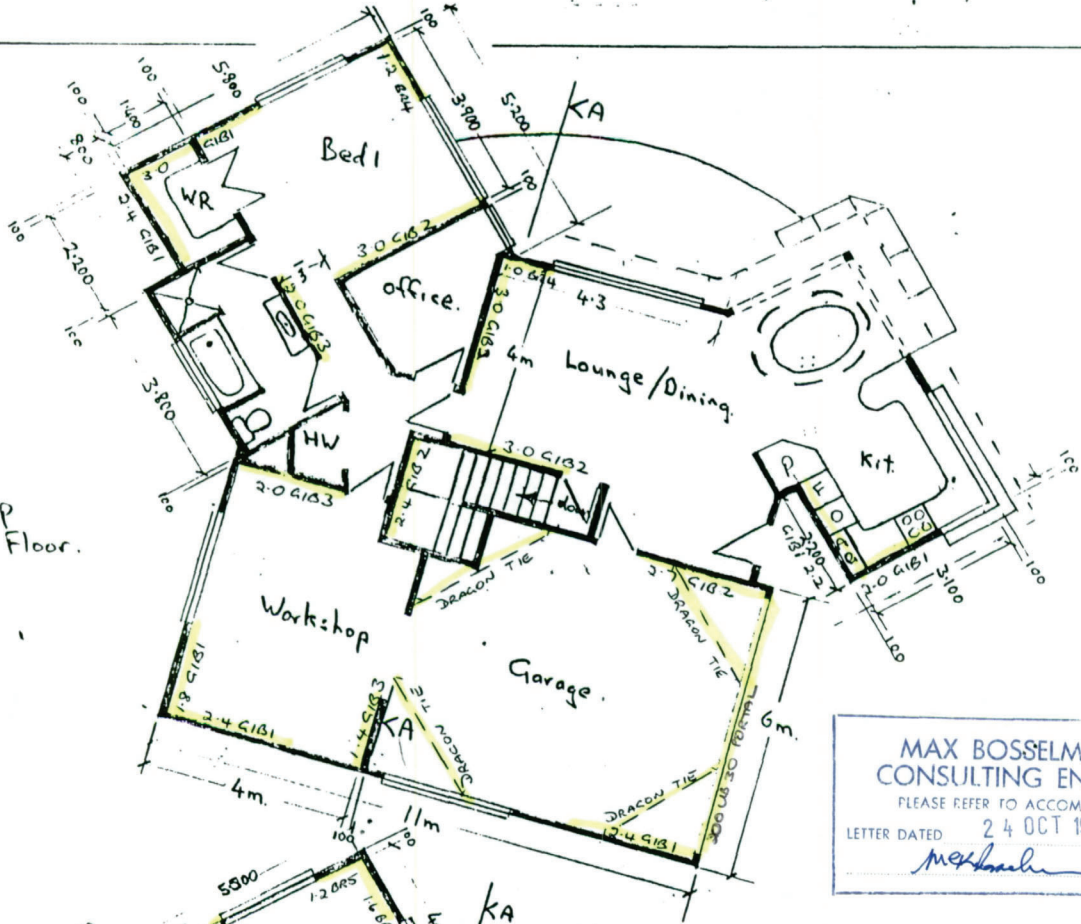
Site Plan Scale 1:200

THAMES-COROMANDEL DISTRICT COUNCIL  
**APPROVED**  
 Subject to any condition endorsed on any building Consent issued for this work and any requirement endorsed hereon  
 SIGNED: *[Signature]*  
 BUILDING OFFICER DATE: 8/11/96

It is the responsibility of the owner and or builder to ensure that proposed building levels are compatible with existing sewer connection levels.

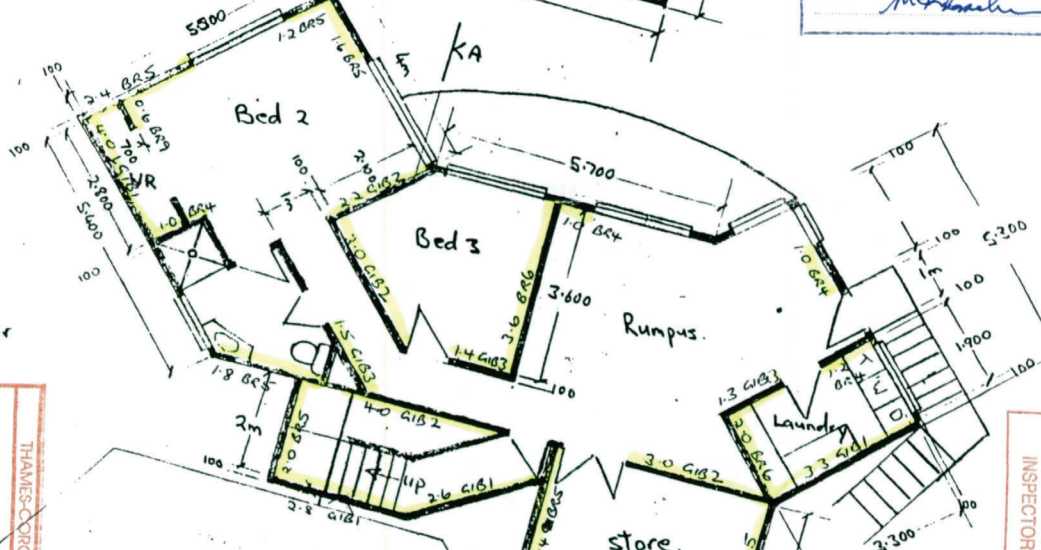
**PROPOSED HOUSE AT TAIRUA  
 FOR JOHN and LIZ YOUNG**

Top Floor.



**MAX BOSSELMANN.**  
**CONSULTING ENGINEERS**  
 PLEASE REFER TO ACCOMPANYING  
 LETTER DATED 24 OCT 1996  
*maxbosse*

Mid Floor



THAMES-COROMANDEL DISTRICT COUNCIL  
 IMPORTANT  
 PRE-LINING INSPECTION  
 Prior to fixing of internal wall and ceiling linings the owner must give the Area Building Officer 24 hours notice (1 working day) requesting an inspection. LININGS NOT TO BE FIXED UNTIL INSPECTOR HAS GIVEN HIS APPROVAL.

THAMES-COROMANDEL DISTRICT COUNCIL  
 APPROVED  
 Subject to any conditions endorsed on any building consent issued for this work and any requirements signed hereon.  
 BUILDING OFFICER DATE: 4/11/96

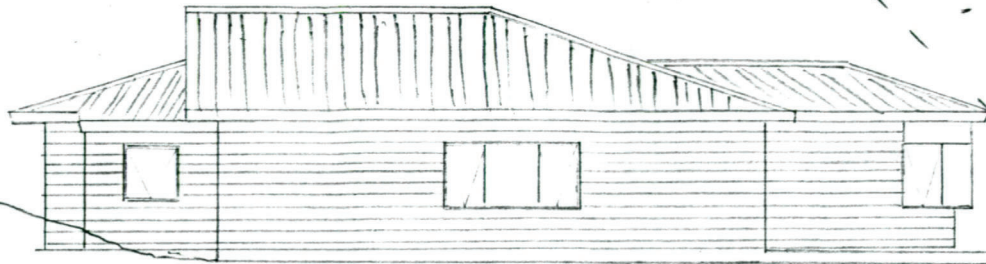
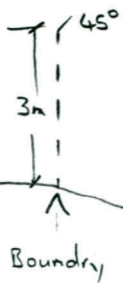
Ground Floor



THAMES-COROMANDEL DISTRICT COUNCIL  
 IMPORTANT  
 SHEET NAILING INSPECTION  
 Prior to stopping plaster board or fixing mouldings the owner must give the Area Building Officer 24 hours notice (1 working day) requesting an inspection. MOUNDINGS NOT TO BE FIXED UNTIL INSPECTOR HAS GIVEN APPROVAL.

**NOTE:**  
 Adjacent timber lined store room walls not shown these walls to be lined internally with 9.5mm Bracelise Gypsumboard.

**PROPOSED HOUSE AT TAIRUA  
 FOR JOHN and LIZ YOUNG**



South Elevation

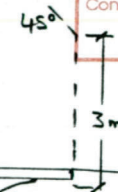
THAMES COROMANDEL DISTRICT COUNCIL		
Private Bag Thames	<b>IMPORTANT</b>	Phone Thames
All Aluminium Joinery and Glazing in this building must comply with NZS 3504 : 1979, NZS 4211 : 1985 and NZS 4223 : 1985 respectively. This site is considered to be		
<i>SPECIAL DESIGN</i>		Wind Zone
• 1880-		Pa Applying

Daylighting Note. House recedes away from this corner at 45° each way (see plan)



West Elevation

THAMES COROMANDEL DISTRICT COUNCIL	
Boundary	<b>IMPORTANT</b>
<b>COMPLETION INSPECTION</b>	
The owner shall as soon as Practicable advise Council, using the required form that the building work has been completed to the extent required by the Building Consent issued in respect of that Building Work.	
THIS REQUIREMENT IS CONTAINED IN SEC. 43 OF THE BUILDING ACT 1991	



← North Boundary 16m away

Blockwork

THAMES-COROMANDEL DISTRICT COUNCIL	
<b>APPROVED</b>	
Subject to any condition endorsed on any building Consent issued for this work and any requirement endorsed hereon.	
SIGNED: <i>[Signature]</i>	DATE: 4/11/96
BUILDING OFFICER DATE: 4/11/96	

PROPOSED HOUSE AT TAIRUA  
FOR JOHN and LIZ YOUNG

THAMES COROMANDEL DISTRICT COUNCIL

Private Bag Thames	<b>IMPORTANT</b>	Phone Thames
-----------------------	------------------	-----------------

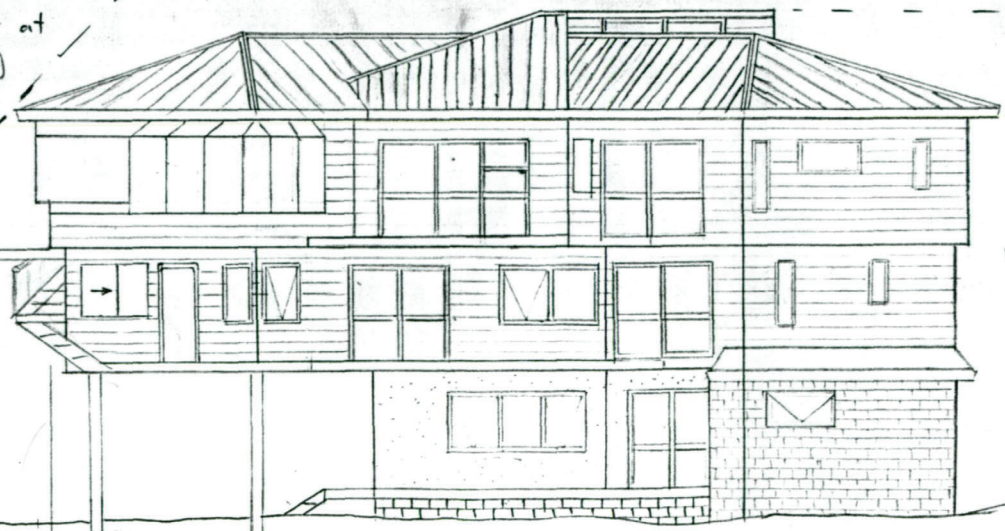
All Aluminium Joinery and Glazing in this building must comply with NZS 3504 : 1979, NZS 4211 : 1985 and NZS 4223 : 1985 respectively. This site is considered to be

*SPECIFIC DESIGN:* Wind Zone  
1880 DWP.  
Pa Applying

Where the transition in levels of 1.0 metre or more between Floor/Deck levels and the adjacent finished ground level, then handrails must be provided as required by NZ Building Code Documents - F.4/F.4/AS1 and B.1/AS2.



East Elevation



North Elevation

Daylighting Note. House recedes away from this corner at 45° each way (see plan)

THAMES-COROMANDEL DISTRICT COUNCIL

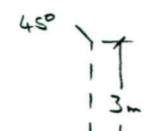
APPROVED

Subject to any condition endorsed on any building consent issued for this work and any requirement endorsed hereon.

SIGNED: [Signature]

BUILDING OFFICER DATE: 4/11/96

Max. Ht 10m.



PROPOSED HOUSE AT TAIRUA FOR JOHN and LIZ YOUNG

## GENERAL PLANNING AND PROPERTY INFORMATION

The information below is offered to inform potential property owners of the general provisions of the Council's District Plan and of the existence of other information and rules which affects property within the Thames-Coromandel District.

### DISTRICT PLAN

Full copies of the Council's District Plan are available at any Council Office or on our website. The following have been chosen to bring to your attention because they have in the past, been overlooked by property purchasers.

**Bush Cover:** Bush cover covenants affect some properties. Please consult the District Plan and your Record of Title. Please note that not all bush cover protection measures are noted on the Title.

### **Indigenous Vegetation, Dune Indigenous Vegetation and Wetland Indigenous**

**Vegetation:** The District Plan provides some protection for Indigenous Vegetation. Please check the plan.

### OTHER AGENCIES

The following agencies also take actions, which may impact on the property.

**Powerco Ltd:** Provides and maintains reticulated electricity services throughout the district. Up-to-date and accurate service plans are held by Powerco Ltd. Powerco Ltd has special rules where high tension (11,000 kv and 22,000 kv) lines close on, or cross, privately owned land. Please enquire direct or contact your provider.

**Chorus:** Provides and maintains reticulated telecommunications services throughout the District. Up-to-date and accurate service plans are held by them. Please enquire direct or contact your provider.

**Biosecurity (Noxious weeds or pests):** Waikato Regional Council is responsible for this activity. Please enquire direct.

**Land Information NZ:** Further information may be recorded on the record of title for the property.

**NZ Transport Agency:** Manages and maintains the state highway network.

**Coastal Inundation: The Waikato Regional Council** holds and administers a 'Coastal Inundation Tool' for the Waikato region. The stated purpose of the Coastal Inundation Tool is to attempt to identify those areas in the Waikato region that may be subject to coastal inundation, and to identify those areas where a better understanding of the extent of the effects of inundation is desirable.

The tool is developed, held and administered by the Waikato Regional Council. The Thames-Coromandel District Council does not hold any information on the design, processes, methodology or functionality of the Coastal Inundation Tool. The Thames-Coromandel District Council makes no representation as to the completeness, accuracy or otherwise of any information or data provided by the Coastal Inundation Tool, or its use.

The tool should be read alongside its Disclaimer. Both are available for viewing at the following website: [www.waikatoregion.govt.nz/coastal-inundation-tool/](http://www.waikatoregion.govt.nz/coastal-inundation-tool/)

# TAIRUA

## community guide to emergencies

### STORMS AND FLOODS/SLIPS

Storms and severe weather can happen at any time of the year, even in the middle of summer. This includes strong winds, heavy rain, and thunderstorms. Storms often bring localised flooding and they can block access to or from your home or bach.

#### WHAT TO DO

- Charge all devices while you still have power.
- Secure anything that could cause damage in strong winds (such as outdoor furniture).
- Stay inside and bring your pets inside. If you have to leave, take them with you.
- Take measures to reduce potential flood damage and make sure your insurance policy covers you for flood damage.
- Don't drive through flood waters – your car is not a submarine.
- Don't walk through floodwaters they could be contaminated with raw sewerage or contain dangerous debris.
- Check the tide times. Flooding often happens at high tide and recedes at low tide.
- Listen to the radio and follow the instructions of emergency services.
- Check [metservice.com](http://metservice.com) for real-time updates.
- Check TCDC's Facebook page to see what other people around the Coromandel are reporting.
- Have a household emergency plan.

### EARTHQUAKE AND TSUNAMI

An earthquake could cause a tsunami. Know the natural warning signs:

- » Experience an earthquake that makes it hard to stand up or lasts longer than a minute
- » Notice sudden tidal changes at the beach or harbour
- » Hear loud or unusual sounds from the ocean

#### WHAT TO DO

- Drop. Cover. Hold - during the earthquake
- If you live in a coastal area, evacuate immediately as far up or inland as you can. Do not wait for an official warning.
- Wait for the official 'all clear'
- Have an emergency plan and go bag ready
- Listen to the local radio and follow instructions of Emergency Services
- Download the Red Cross Hazards App
- A distant source tsunami allows ample time to notify and prepare

### FIRE

Fire can start from natural causes like floods and earthquakes (causing electrical shorts), volcanic activity, lightning strikes and high wind. Low rainfall and drought can also cause an increase in the number of fires started.

#### WHAT TO DO

- Have an escape plan.
- Decide WHEN you need to escape.
- Make sure your home has smoke alarms.
- Apply for a permit if you want to light open fires in a restricted season.
- Minimise wildfire risk by maintaining "3m" of cleared space, no trees, around your home.
- Drop to the floor and get out of the building or away from the fire.
- Call 111.

## GET READY

Communities on the Coromandel Peninsula have a history of being cut off for **3 DAYS** or more.

You may need to take care of yourself before help arrives visit [www.getready.govt.nz](http://www.getready.govt.nz) to help you get ready.

### AM I PREPARED?

Do I have an emergency plan for the hazards in my area? [getready.govt.nz](http://getready.govt.nz)

Do I have 3 days of emergency supplies? (including medicine)



Do I have an evacuation plan?

- Is my Go Bag packed?
- Do I require assistance – Identify a friend or neighbour that can help you.

Visit [www.getready.govt.nz](http://www.getready.govt.nz) to help you get ready

### BE INFORMED.

**RECEIVE MOBILE ALERTS**  
National Emergency Management Agency: [getready.govt.nz/prepared/stay-informed/emergency-mobile-alert/](http://getready.govt.nz/prepared/stay-informed/emergency-mobile-alert/)

**RECEIVE E-MAIL ALERTS**  
Visit [tcdc.govt.nz/subscribe](http://tcdc.govt.nz/subscribe) to sign up

**UPDATES VIA FACEBOOK**  
[/thamescoromandeldistrictcouncil](https://www.facebook.com/thamescoromandeldistrictcouncil)

**DOWNLOAD HAZARD APP**  
Red Cross Hazard App  
GeoNet Geological Hazard App

**RADIO STATIONS**

More FM	93.9FM
CFM	95.1FM
The Breeze	96.7FM
Radio NZ	819AM
Newstalk ZB	1008AM

**CHECK YOUR LOCAL COMMUNITY NOTICEBOARD**

To report issues that are non life or property threatening contact Thames-Coromandel District Council at 07 868 0200.

If at any stage you consider life or property in danger phone 111 immediately



# Tsunami Evacuation

– walk where possible –

IF IT'S LONG OR STRONG **BE GONE**  
IF IT'S FAR AWAY **YOU'VE GOT ALL DAY**

**WHERE WILL YOU WALK?**

The white shaded areas are the safe zones (20m or more above sea level). If you are unable to get to the Safe Zone, aim for the areas not shaded blue, these have a lesser risk of inundation.

Follow the tsunami evacuation signs when you notice the natural warnings or are officially instructed to evacuate.

Visit [www.getready.govt.nz](http://www.getready.govt.nz)

For more detailed information see [www.waikatoregion.govt.nz/tsunamistrategy](http://www.waikatoregion.govt.nz/tsunamistrategy)