



PRE-SALE BUILDING INSPECTION REPORT

for Gaylene Leadley

PROPERTY ADDRESS

10 Rowanwood Close
Halswell, Christchurch
8025 New Zealand

Inspected by: Jordyn Ellis | Inspection Date: 15 Jan 2026 | Ph: 0210534077

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03 Summary of Inspection

Results of Building Inspection - Summary

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The incidence of Safety Hazards in this Residential Building as compared with similar Buildings is considered:

None

The incidence of Action Required Items in this Residential Building as compared with similar Buildings is considered:

Typical

The incidence of Minor Maintenance in this Residential Building as compared with similar Buildings is considered:

Typical

The overall condition of this residential Dwelling in the context of its age, type and general expectations of similar properties is:

Average - The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Overall Condition Comments:

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This property was in good condition when viewed at the time of inspection, the dwelling appears to be weathertight and performing structurally, with the fixtures in general working order. The dwelling can be classed as appropriately designed and constructed as a traditional Type C foundation (concrete slab) and timber-framed home consisting of normal building products for the construction period. Some maintenance items were identified in the report, these are moderate in number and could be classed as typical when compared to another dwelling of a similar age and style, subject to these items being addressed, along with ongoing consideration of the recommendations made in the report the dwelling appears fit for purpose. The main items that need attention are summarised below.

- First-floor shower - When the shower was spray tested, leaking was detected in the bottom right-hand corner of the unit. A tradesman shower installer is required to assess and repair the leak.

- Eave linings - Moisture staining and elevated moisture readings were sighted to the underside of the eave linings on the western elevation. Gaps were sighted at the barge/fascia flashing junctions, which could potentially be allowing water to enter the eave cavity. A licensed roofer is required to investigate and determine if repairs/upgrades are required. The condition of the timber framing in these areas is unknown, further investigation is required.

Notes & Recommendations

- Further investigation is required into whether treated timber was used for the framing.
- As a precautionary measure, we recommend borer & pest control treatment by a specialist.
- Heat pumps should be serviced & checked by a specialist & always cleaned as per manual.
- The oven, hob, power points and exterior sensor lights were not tested during this inspection, however it is recommended these be checked on the final inspection before settlement.
- Given the age of the house it is unknown if products contain asbestos or lead without having lab testing. This is not an asbestos survey or assessment.
- It is unknown if wall insulation is in place as this cannot be visually seen, thermal imaging could determine this.
- The testing of fire places or heating is outside the scope of inspection, we recommend testing takes place by a specialist prior to use.
- The testing of sewer, septic or water supply systems was outside the scope of this inspection.
- This inspection was limited to main dwelling and the immediate grounds of the property.
- This was not an EQC report and should not be treated as such.
- CheckHome recommends geo-tech reports for all properties in New Zealand.

Please Note:

This is a general appraisal only and cannot be relied on its own - read the report in its entirety.

This report is for the use of Gaylene Leadley and cannot be used be against CheckHome in anyway. This is the opinion of the building inspector on the day of the inspection

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this Report and anything in this summary, the information in the report shall override that in this summary.

04 Inspector

Inspector: Jordyn Ellis, Qualified Builder
Mobile Phone: 0210534077
Email: jordyn@checkhome.co.nz

05 Glossary

For a list of common building terms and elements, visit

- <https://www.buildingguide.co.nz/glossary-of-building-terms/>
- <https://www.building.govt.nz/building-officials/bca-accreditation/terms-and-abbreviations>

They may be helpful, but they are not required on every report.

06 Description of Building

Type of Building:

Residential

Style of Building:

House

Number of Stories:

Two storey

Age of Building:

30-50 years old

Roof Covering:

Metal profile tile roofing

Roof Frame:

Timber hand pitched

External Walls:

Oamaru stone, timber weatherboard

Floor Construction:

Concrete slab

Foundation:

Concrete slab

Building Frontage Faces:

North

Building Furnished:

Yes

Occupied By:

Owner

07 General

Weather Conditions at the time of the inspection:

Moderate rain

Recent weather conditions:

Moderate rain

Date and time of inspection:

15 Jan 2026 8:30 AM

Wind Zone:

Not Applicable

Wind Driven Salt Exposure Zone:

Zone C - Medium risk (BRANZ Maps)

Onsite attendees:

Vendor

Have there been any disclosures from the homeowner, agent or representative about this property?

No

Inspection Requested:

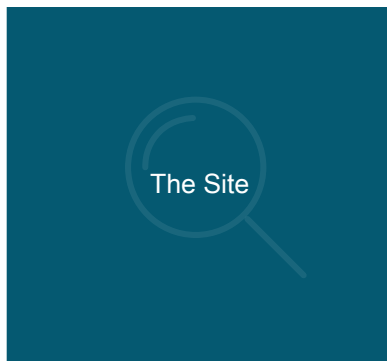
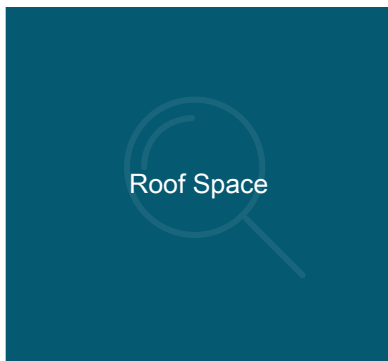
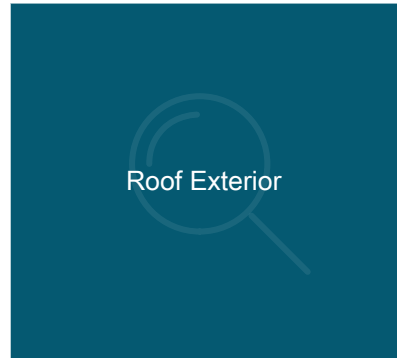
Pre-Sale Building

Terms & Conditions Accepted:

Yes

08 Areas Inspected

The Actual Areas Inspected Were:



10 Interior of Building

Access Limitations

Furniture, floor coverings, curtains, storage & closed wardrobes/cupboards restricted the full view of the interior walls and floors in areas.

Overview

Interior Overview Photos



#2



#3



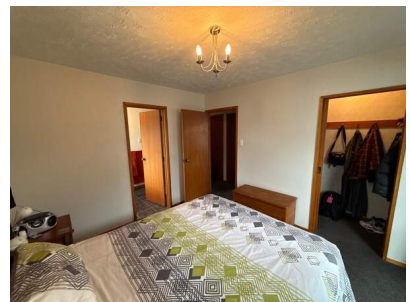
#4



#5



#6



#7



#8



#9



#10



#11



#12



#13

Ceilings/Ceiling linings

Plasterboard ceiling linings with textured coating

Textured Plaster Coating:

- Textured ceiling linings were in place in the (location). Due to the age of the dwelling, there is a chance the textured coating could contain asbestos; this is unknown without lab testing. It is recommended the ceilings are kept well-maintained and sealed. Testing should take place prior to any remedial works that may disturb the coating. Caution is advised if these are to be disturbed.

Rating:

Recommendation



#15

Walls/Wall linings

The wall linings appear to be in good condition for their age

Floor Levels

The floor levels were within acceptable tolerances for a dwelling of this age and style.

Floor levels:

- The floor levels are less than 50mm and inside MBIE slope tolerance of 1:200.

Note: The floor levels were spot-checked with a Dewalt laser line level. This is not a floor-level survey.

Rating:

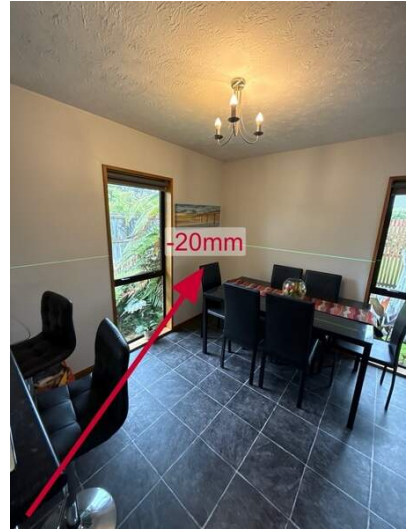
Observation



#18: 0mm - Datum point



#19: 0mm - Western elevation



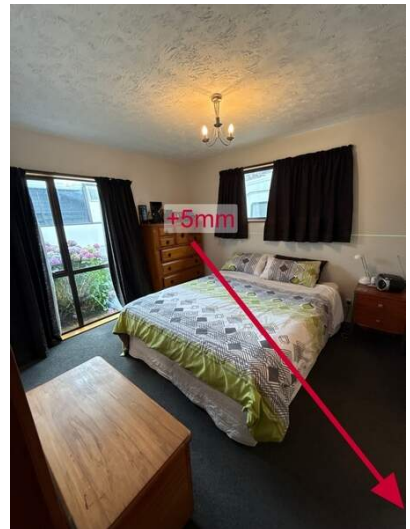
#20: -20mm - Southeastern corner



#21: 0mm - Southwestern corner



#22: +5mm - Northwestern corner



#23: +5mm - Northeastern corner

Floors/Floor coverings

Carpet floor coverings

Windows; Metal framed

Aluminium joinery units. They were operating as expected for their age and style.

Windows & doors joinery; Glazing type

A mixture of double-glazed and single-glazed units were in place.

Doors/Frames

The accessible doors were operating as expected for their age and style.

Kitchen; Bench-top

Laminate bench-top



#25

Kitchen; Cabinetry

The cabinetry was operating as expected for its age.



#27



#28

Kitchen; Ventilation

The kitchen has a range hood/extractor fan. It was externally vented and in working order.

Kitchen; Sinks/taps

The water supply was operating correctly with no leaks detected.

Kitchen; Floor coverings

Vinyl floor coverings



#30

Bathrooms/WC; Cisterns/pans/bidets

The toilets were operating correctly and were stable and rigid.



#31



#32

Bathrooms/WC; Taps

The taps were operating correctly with no leaks detected.

Bathrooms/WC; Floor coverings

Vinyl floor coverings



#33



#34

Bathrooms/WC; Bath

The bath was in working order.



#37

Bathrooms/WC; Shower

The shower unit was operating correctly and free of any visible leaks when spray tested.

Details :

- Ensuite shower



#38



#39



#40

Bathrooms/WC; Shower

Shower unit. Refer to the photographs and details below.

Shower Details:

- When the shower was spray tested, leaking was detected in the bottom right-hand corner of the unit. A tradesman shower installer is required to assess and repair the leak.

Details :

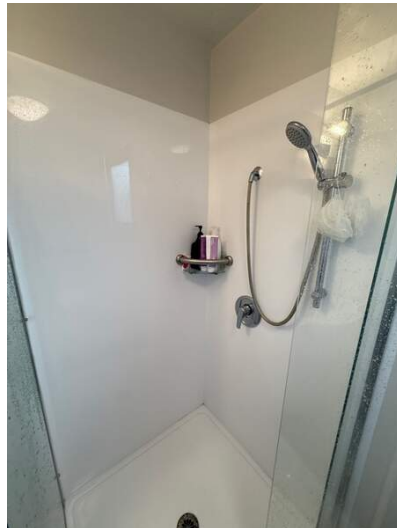
- First-floor bathroom shower

Rating:

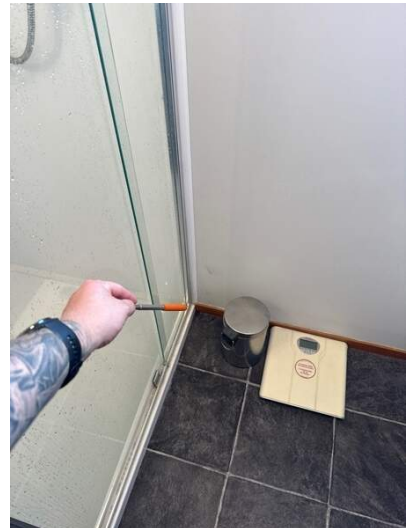
Action Required



#42



#43



#44: Screen leak

Bathrooms/WC; Vanity/basin

Bathroom vanities/basins. Refer to the photographs and details below.

Details:

- The vanity located below is not sealed at the wall junction, the installation of sealant would help prevent the potential deterioration of the cabinetry and wall lining behind.

Rating:

Minor Maintenance



#48: Not sealed at wall junction - #49
First-floor bathroom

Bathrooms/WC; Ventilation

The bathrooms have no extractor fans in place.

Although not a requirement for an existing owner-occupied dwelling, the installation of sufficient extractor fans would help reduce moisture in the bathrooms.

Rating:

Observation

Laundry; Taps

The water supply was operating correctly, with no visible leaks detected.

Laundry; Tub/cabinet

The tub/cabinet was in working order.



#53

Laundry; Floor coverings

Vinyl floor coverings



#54

Stairs

The stairs were sufficiently rigid.



#55

11 Exterior of Building

Access Limitations

The foundation walls are not exposed on the exterior of the building in areas and could not be fully inspected.

Vegetation restricted the full view of the exterior cladding and windows in some areas.

The lower cladding was accessible, although height-restricted access to the upper cladding and windows; therefore, some areas were not inspected. Safe access would be required to assess these areas.

Overview

Exterior Overview Photos



#60



#61



#62



#63



#64



#65



#66



#67



#68

Walls; Walls/Wall cladding; Timber

Timber weatherboard cladding. Refer to the photographs and details below.

Cladding Information :

- The rusticated timber weatherboards are directly fixed to the framing, this is a common construction method for the era of the property. As with any timber product, the weatherboards will require a level of upkeep as the elements will affect the visual quality of the timber and movement will likely occur over time. Monitoring fasteners for uplift and keeping a good quality coating on the surface is the best method of prolonging life.

Weatherboard Cladding Details :

- Some weatherboard joints have opened; this can be very common. Sealing and painting the joints would help reduce the chance of moisture deterioration. Alternatively, the installation of soaker flashings would be a good long-term solution. This is an easy repair for a licensed builder.

Paint/Stain Coating Details:

- Minor deterioration to the paint coating was sighted in localised areas of the cladding. To seal and help protect the timber from decay and movement, repairs to the affected areas are recommended now. A trade-qualified painter would complete the work.

Rating :

Minor Maintenance



#69: Weatherboard joints opening up - Northern elevation



#70: Minor paint deterioration - Eastern elevation



#71: Minor paint deterioration - Eastern elevation



#72: Minor timber split - Southern elevation

Walls/Wall cladding; Brick

Brick veneer cladding system. Refer to photographs and details below.

Cladding Information:

- The brick walls are constructed with a cavity between the brick and timber framing, this is a common construction method for the age of the dwelling.

Brick Details :

- Gaps were sighted to the mortar located below. This is a risk area for potential water ingress into the wall cavity. Repair to this can be undertaken by a bricklayer.

Rating:

Minor Maintenance



#73: Gaps to mortar - Western elevation



#74: Gaps to mortar - Western elevation

Wall/Cladding; Flashings/Penetrations

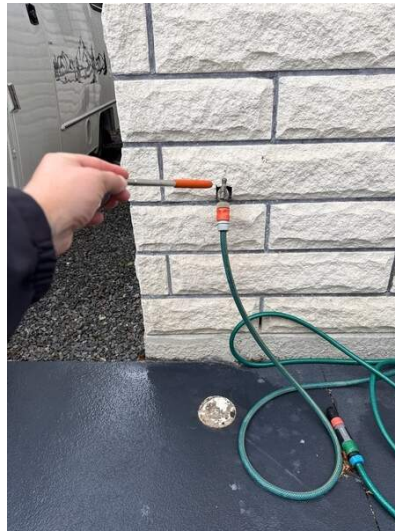
Unsealed cladding penetrations were detected. Refer to the photographs and details below.

Cladding Penetration Details: - The located penetrations require sealing around the perimeter to ensure they are watertight. A licensed builder should be engaged to complete the work.

Rating: Minor Maintenance



#75: Unsealed cladding penetrations - Eastern elevation



#76: Unsealed cladding penetration - Northern elevation

Doors & Windows

Aluminium door & window joinery. Refer to the photographs and details below.

Aluminium Joinery Details: - The window flanges are unflashed at the weatherboard junctions in some areas. These appeared to be performing however these should be monitored moving forward. These junctions are considered as risk areas and should be maintained and kept sealed at all times. Timber scribes can be installed at these junctions to provide a more weather-tight seal if required.

Rating: Recommendation



#77



#78



#79

Balconies/Patios/Decks & Verandahs

The patio was free of excessive movement. Some observations are photographed and detailed below.

Patio Details:

- Cracks were sighted to the concrete patio from general settlement and movement. These appear superficial and can be filled as a repair strategy if required.

Rating:

Observation



#80



#81: Cracking to concrete

12 Roof Exterior

Access Limitations

No access was gained to the upper roof due to height and safety. Therefore, the upper roof was not inspected. Safe access would be required to assess this area of the roof. The lower roof was inspected off an extension ladder from different vantage points around the roof.

Overview

Roof Overview Photos



#84



#85



#86



#87



#88



#89



#90



#91



#92

Roof Tiles; Metal Profile

Metal profile tiles and metal flashings. Refer to the photographs and details below.

Roof Information:

- Be aware that some components of this type of tile have been known to contain asbestos, this cannot be confirmed without lab testing, testing is recommended prior to any roof works being undertaken.

Tile Details:

- Dented tiles were sighted, which can allow water to sit in the tiles and lead to rust deterioration and potential holes in the tiles. Monitor these for performance going forward.

- Popped roofing nails were sighted in areas of the roof. I recommend the affected nails are replaced with a roofing screw and washers. This work can be carried out by a licensed roofing contractor.

- Minor deterioration was detected to the roof coating, this can be common due to age although the bare metal can be susceptible to corrosion. Re-coating the roof would help prevent this. A licensed roofer is required to assess and determine the best repair solution.

Rating:

Minor Maintenance



#93: Tile dents - Western elevation



#94: Popped nail - Western elevation



#95: Tile dents - Western elevation



#96: Popped nails - Western elevation



#97: Tile dents - Western elevation



#98: Tile dents - Southern elevation



#99: Popped nails - Southern elevation



#100: Popped nails - Eastern elevation



#101: Minor coating deterioration

Gutters & downpipes

A hidden gutter system was in place. Some observations are photographed and detailed below.

Guttering/Downpipe Information:

- This system uses the fascia and eave lining to hide the spouting and create a clean visual line. The system was popular on new builds for some time but comes with some inherent design faults and is detailed as a high-risk gutter system. If leaks occur at gutter joins or overflow due to insufficient outlets, this can be very hard to detect and, in some circumstances, could lead to water getting inside the eave lining or potentially the dwelling. It is imperative that the gutters are regularly cleaned and that there are sufficient downpipes in place to ensure rainwater from extreme weather events is directed to the stormwater system without overflowing.

Guttering Details:

- Minor surface rust was sighted to the gutter insert located below. Rust treatment can take place to help prevent further deterioration.

Rating:

Minor Maintenance



#103: Surface rust - Western elevation

Fascias/Barges/Eaves

Metal fascia/barge boards, fibre cement eave linings. Some observations are photographed and detailed below.

Fascias/Barges/Eaves Information:

- Due to the age of the dwelling the fibre cement sheeting used for the eave linings could contain asbestos, this is unknown without lab testing. CheckHome recommends keeping the product painted and sealed, we recommend testing prior to any remedial works taking place.

Fascias/Barges/Eaves Details:

- Cracks were detected to the eave linings located below. A licensed builder can be engaged to assess and determine the best repair solution.

Rating:

Minor Maintenance



#104: Cracked eave lining - Western elevation



#105: Cracked eave lining - Western elevation



#106: Cracked eave lining - Western elevation

Fascias/Barges/Eaves

Moisture staining was sighted to the eave linings located below. Some observations are photographed and detailed below.

Fascias/Barges/Eaves Details:

- Moisture staining and elevated moisture readings were sighted to the underside of the eave linings on the western elevation. Gaps were sighted at the barge/fascia flashing junctions, which could potentially be allowing water to enter the eave cavity. A licensed roofer is required to investigate and determine if repairs/upgrades are required. The condition of the timber framing in these areas is unknown, further investigation is required.

Rating:

Further investigation



#113: Elevated moisture location - Western elevation



#114: Gaps at barge flashing junction - Western elevation



#115: Gaps at barge flashing junction - Western elevation



#116: Elevated moisture location
- Western elevation



#117: Gaps at fascia - Western
elevation

13 Roof Space

Access Limitations

The roof space was only inspected from the manhole due to limited clearance. Therefore, only areas visible from the manhole were inspected.

Overview

Roof Space Overview Photos



#118



#119



#120

Roof framing

Timber truss roof framing. The framing appeared to be operating as expected.

Roofing paper

Roofing paper was in place. This was free of tears and operating as expected.

Roofing paper is installed to provide backup waterproofing for the roof cladding in case of leakage.

Insulation

The visible sections of the roof space were insulated.

Ceiling insulation will provide a thermal barrier to help prevent the transfer of heat energy coming in and out of the home.

15 Moisture

This was a non invasive moisture test to random areas of possible concern (like around the windows and doors on the exterior walls and wet areas; or areas with pipe work running through them). Accessible areas have been checked on the interior to check for moisture within the wall cavity. The moisture measurement is up to approximately 40mm deep. Levels will vary from house to house and any elevated reading will be recorded and further investigation will be required. The conditions and treatment type of internal framing is not known. An invasive instrument will never be used to prevent damage.

Recommendations: To keep readings down, keep exterior watertight and weather tight, ensure there is a sufficient amount of paint on the building, ensure the flashings meet the building code NZS 3604, and the roof is water tight.

Access Limitations

Furniture and storage restricted full access of the interior in some areas

Non-Invasive Moisture Photos

The moisture readings were acceptable at the time of inspection.



#122



#123



#124



#125



#126

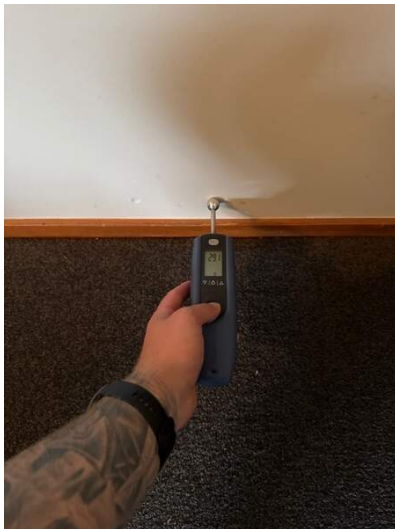


#127

Moisture Instrument Used

Gann BL Compact B2

The Gann BL Compact B2 is a multi material non invasive moisture meter which uses the dielectric constant measuring /high-frequency principle that measures capacitance. This has a scale of 0 – 199 & detects up to 40mm deep. In general any reading above 60 generally indicates there could be moisture entering the building envelope



#128



#129



#130

16 Electrical

Please note that our inspectors are not qualified electricians. Due to the nature of construction, many electrical systems may be concealed within the building envelope. The inspection report is limited to observable areas only. Functionality testing and assessment of defects or concerns related to appliances, such as alarms, smoke alarms, heating, ovens, hobs, waste disposals, and range hoods, are not included in the scope of the inspection.

Lights

The majority of the accessible lights were tested and working: the light located below was not operating or had a missing bulb. A licensed electrician is required to assess.

Rating:

Observation

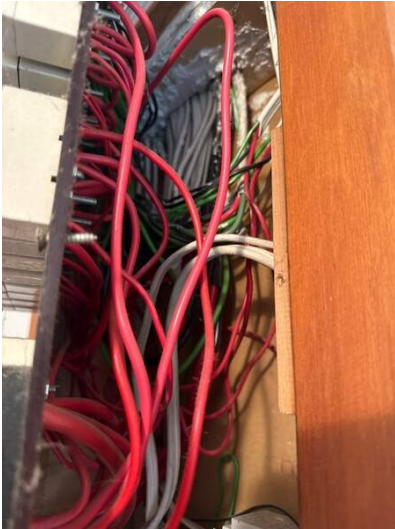


#131: Living room

Electrical Cable Type

TPS wiring was sighted, this style of wiring is currently compliant

As this is not an electrical inspection, for further information regarding the electrical cable type & condition, a licensed electrician is required to assess.



#132

Meter Board

Smart meter

Meter Location:

Side of house



#133



#134

Fuse Switchboard

Older fuses were sighted to the fuse switchboard. Refer to the photographs and details below.

Fuse Switchboard Details:

- A licensed electrician is required to inspect the fuse board to determine what fuses are in use and if upgrades are recommended.

Fuse board location:

Inside the house

Rating:

Recommendation



#135

Smoke Alarms

There was an inadequate number of smoke alarms. Refer to the details below.

I recommend installing more smoke alarms as this can be a safety risk without them. There must be at least one working smoke alarm within 3 metres of each bedroom door or every room where a person sleeps, in multi-storey or multi-level homes (including split levels) there must be at least one smoke alarm on each level or storey.

Please note: Smoke alarms will never be tested, I always recommend installing new batteries and testing every 6 months.



#136: Smoke alarm required -
Hallway



#137: Smoke alarm required -
First-floor hallway

17 Plumbing

This section addresses both the water supply and wastewater drainage. Please note that our inspectors are not qualified plumbers, drainlayers or gas fitters. Due to the nature of construction, many plumbing, drainage and gas systems may be concealed within the building envelope. The inspection report is limited to observable areas only at the time of inspection. (Note: For all underground pipe work, we recommend a CCTV inspection to determine the condition; The condition is unknown until this occurs.)

Hot Water System

Electric cylinder - Low Pressure System

Hot water cylinders generally have a lifespan of around 10 - 15 yrs depending on water quality and servicing intervals, servicing is recommended every 3 - 5 yrs. Servicing should include checking the tank and fittings for leaks, checking the electrical components, replacing critical valves and most importantly checking and replacing the sacrificial anode.

Age:	Unable to sight
Seismic straps:	It is recommended a seismic strap is installed.
Over flow drain:	No overflow tray was in place, it is recommended an overflow tray be installed.



#139

Plumbing Pipe Type

Copper pipe, Grey polybutylene pipe, PVC, White barrier pipe (Water)

Gully Traps

The gully traps were free of movement/cracking and no blockages were sighted.



#141

Foul Water (Sewer & Waste)

PVC

Downpipes/Stormwater

The visible down pipes appeared to be connected to the stormwater system.



#142

Position of Water Toby

Front of property



#143

18 The Site

Access Limitations

The garage had storage/shelving against walls that restricted the view of some walls and flooring areas.

Vegetation restricted access and views of some walls, gates and fencing.

Out Building; Garage

The garage appeared to be operating as to be expected for its age. Some observations are photographed and detailed below.

Garage Details:

- Dented tiles were sighted, which can allow water to sit in the tiles and lead to rust deterioration and potential holes in the tiles. Monitor these for performance going forward.

- Minor deterioration was detected to the roof coating, this can be common due to age although the bare metal can be susceptible to corrosion. Re-coating the roof would help prevent this. A licensed roofer is required to assess and determine the best repair solution.

Rating:

Minor Maintenance



#146



#147: Tile dents



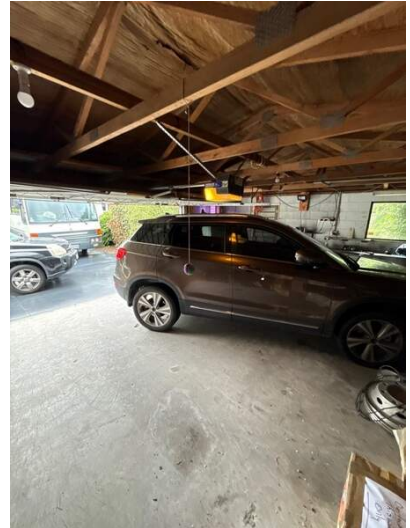
#148: Minor coating deterioration



#149



#150



#151

Paths and Driveways

The pathways and driveways appeared well-formed, free from any obvious signs of excessive subsidence and safe to walk upon.

Details:

- Cracks were sighted to the concrete from general settlement and movement. These appear superficial and can be filled as a repair strategy if required.

Rating:

Observation



#155: Cracking to concrete



#156: Cracking to concrete

Fencing

The fences and gates were operating as expected for their age and construction.



#157



#158



#159

Surface water

The property's surface water appeared to be adequately draining around the dwelling.



#160



#161



#162

19 Recommendations for Further Inspections

Recommendations for Further Inspections:

- CheckHome recommends the council records & the lim report are both checked by a property lawyer before purchase
- A tradesman shower installer should be engaged to inspect and advise where located in the report
- A licensed roofer should be engaged to inspect and advise where located in the report

20 Terms & Conditions

CheckHome building inspection terms and conditions

1. These terms and Conditions govern the property inspection services that CheckHome will provide to you. You must confirm in writing that you accept the terms and conditions before CheckHome Will provide the property inspection services.
2. The Terms and conditions cover:
 - the scope of CheckHome's inspection;
 - limitations on the resulting inspection report; and
 - CheckHome's terms of trade.

Applicable standard

3. This is a non-invasive inspection. We believe our report encompasses NZS 4306:2005 Residential Property Inspection. A copy of this standard is available at our office for inspection, or you may obtain a copy from Standards New Zealand.

Intellectual property

4. The inspection report is the intellectual property of, and upon creation the copyright vests in, CheckHome.

Inspection report personal to you

5. The inspection report will be prepared exclusively for you. You agree that the inspection report is personal to you and shall not be assigned or disclosed or distributed (other than disclosed or distributed to professional advisors) without the written permission of the CheckHome.
6. CheckHome accepts no liability to any person other than you. Any third party relying on the contents of the inspection report does so at their own risk and CheckHome disclaims any liability for any loss (direct or consequential), cost or damage resulting.

Limitation of liability

7. To the extent permitted by legislation, if CheckHome becomes liable to you, for any reason, for any loss, damage, harm or injury in any way connected with the completion of the inspection and/or the resulting report, its liability shall be limited to a sum not exceeding five times the fee paid, or payable, to CheckHome.
8. CheckHome will not be liable to you for any consequential loss of whatever nature suffered by you or any other person injured, and you agree to indemnify CheckHome in respect of any claims concerning any such loss.

Payment

9. You are responsible for paying CheckHome's fee. An invoice is sent with the inspection report. Total payment is required within 7 days of receipt of the invoice. An additional service charge of \$100 will be added to any debt collection fees.
10. You must pay CheckHome default interest compounding monthly on all monies due but unpaid, for the period from the expiry of the time provided for payment until actual payment. The right to default interest is additional to any other remedy that CheckHome may be entitled to. The rate of default interest is 7% per month.
11. CheckHome is entitled to recover from you, on an indemnity basis, all costs and expenses, including legal costs on a solicitor/client basis, incurred in connection with the recovery of any amount due and payable by you to CheckHome.

Cancellation Fee

12. A cancellation fee may be charged by CheckHome if an inspection is cancelled within 24 hours of the time arranged. The amount of the cancellation fee is recorded on CheckHome's website on the Pricing page:

<http://checkhome.co.nz>

Site Re-check Fee

13. Your engagement of CheckHome allows for one site visit per inspection. If, for any reason, you request an additional site visit, it will incur a site re-check fee. The amount of the site re-check fee is recorded on CheckHome's website on the Pricing page

<http://checkhome.co.nz>

Consumer Guarantees Act

14. Nothing in these terms and conditions limits your rights under the Consumer Guarantees Act 1993.

Scope of the inspection - visual inspection only

15. The scope of CheckHome's inspection is limited to a visual inspection of the components of the building that the inspector has reasonable access to and that are in the inspector's clear line of sight.
16. The inspection will not include:
 - examination of any areas or components which are concealed or closed behind finished surfaces (such as plumbing, drainage, heating, framing, ventilation, insulation or wiring) or which require the moving of anything which impedes access or limits visibility (such as floor coverings, furniture, appliances, personal property, vehicles, vegetation, debris or soil);
 - intrusive or destructive inspection of any part of the building or any building component, disassembly of equipment, or the removal or testing of electrical or other building components or materials.

Multi-unit property

17. In a multi-unit property, the inspection and resulting report will only cover the condition of the interior and accessible parts of the immediate exterior of the unit and any related accessory units.

Reasonable access to be provided

18. You agree to ensure that reasonable access can be gained to the property, including but not limited to the roof cavity and foundation spaces and any such spaces if they exist are cleared for an inspection to be carried out.
19. 'Reasonable access' means access that is safe, unobstructed and which has a minimum clearance of 600mm for a roof cavity and 500mm for a floor cavity.
20. For safety reasons, access to the exterior of any roof surface for inspection purposes will only occur if:
 - the Weather is fine;
 - the Roof is dry;
 - the roof slope does not exceed 35°; and
 - the roof height does not exceed 2m.
21. Any area of the property that cannot be reasonably accessed will not be inspected and will be excluded from any inspection report. The report will state the areas that could not be inspected.

Scope of the inspection report

22. The inspection report should be seen as a reasonable attempt to identify any significant fault or defect visible at the time of the inspection, rather than an all encompassing report dealing with the building from every aspect. The reporting of any significant fault or defect is on an exceptional basis, rather than reporting on items, which are in an acceptable condition for their age.
23. We define significant fault or defect as 'a matter that requires substantial repairs or urgent attention and rectification'.
24. We will address the significant fault and/or defect in the summary section of the inspection report as maintenance or remedial work.

Limitations of the inspection report

25. The inspection report is intended only as a general guide to help you make your own evaluation of the overall condition of the building and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase.
26. The inspection report expresses the opinions of the inspector, based on his or her visual examination of the conditions that existed at the time of the inspection only.
27. The inspection and resulting report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered.
28. All building components and conditions which, by the nature of their location are concealed, deliberately hidden, camouflaged or difficult to inspect are excluded from the report.
29. Any suggestions or recommendations contained in the inspection report are suggestions only and it is the responsibility of the person or persons carrying out any design or building work to ensure that the most appropriate remedy is carried out in conjunction with any further discoveries, warranties or manufacturer's recommendation and warranties, and any necessary local authority concerns conveyed prior to proceeding with remedial work.
30. Inspection of the systems at the building are outside the scope of our inspection report. The inspector will, however, conduct a cursory check of the hot water system, the plumbing system, and the electrical system. You should note this will only be the opinion of the inspector, who is not a qualified plumber, electrician or gas fitter.
31. The inspection and resulting report should not be construed as a compliance inspection of any building, legal or territorial authority standards, codes or regulations. The inspection report is not intended to be a warranty or guarantee of the present or future weather tightness, adequacy or performance of the structure, its systems, or their component parts. The inspection report does not constitute any express or implied warranty of merchantability, fitness for use or habitation, or building code compliance and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or extended life of components are general statements based on information about similar components and occasional variations are to be expected between such estimates and actual experience.
32. You accept that the inspector will not detect some faults because:
 - The fault only occurs intermittently.
 - Part of the building has not been used for a while and the fault usually occurs after regular use (or detection of the fault would only occur after regular use).
 - The type of weather that would normally reveal the fault is not prevailing at, or around, the time of the inspection.
 - The fault has been deliberately concealed.
 - Furnishings are obscuring the fault.
 - We have been given incorrect information by you, the vendor, the real estate consultant, or any other person.
 - The fault is/was not apparent on a visual inspection.

Disputes

33. Should any dispute arise as a result of the inspection or resulting report, it must be submitted to CheckHome in writing immediately.
34. You agree that upon raising a dispute, the contents of the inspection report may not be used to satisfy any terms of a sale and purchase agreement until the disagreement/dispute has been resolved.
35. You agree that if, after raising a dispute, you used the inspection or resulting report to make an unconditional offer or confirm the sale and purchase agreement, that you waive all of your rights to continue with the dispute, and/or raise any future dispute or claim about the inspection or resulting report with CheckHome.
36. In the event of a claim/dispute regarding damage to a building, you will allow CheckHome to investigate the claim prior to any repairs to the building being undertaken or completed. You agree that if you do not allow CheckHome to investigate the claims of damage before any repairs are carried out, that you waive your rights to continue with and/or make any claims against CheckHome.
37. In the event of any dispute, you agree not to disturb, alter, repair, or attempt to repair anything that may constitute evidence relating to the dispute without first providing CheckHome with a reasonable opportunity to reinspect the building, except in the case of an emergency. You agree that if you do not provide CheckHome with a reasonable opportunity to reinspect the building before anything that may constitute evidence relating to the dispute is disturbed, altered, or repaired, that you waive your rights to continue with and/or make any claims against CheckHome.

21 Certificate of Inspection

Certificate of Inspection in encompassing NZS 4306:2005

Client:	Gaylene Leadley
Site Address:	10 Rowanwood Close Halswell
Inspector:	Jordyn Ellis
Company:	CheckHome Canterbury Ltd
Qualifications:	Qualified Builder
Report Type:	Pre-Sale Building Inspection Report
Date of Inspection:	15 Jan 2026
Areas Inspected:	Interior of Building, Exterior of Building, Roof Exterior, Roof Space, The Site

Certification

I hereby certify that I have carried out the inspection of the property at the above address encompassing the only recognised standard in New Zealand, NZS 4306 2005 Residential Property Inspection and I am competent to undertake this inspection and comprise a certified report on this asset.

An inspection carried out encompassing NZS 4306 2005 is not a statement that a property complies with the requirement of any regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property inspection. Refer to NZS 4306 2005 for further detail.

Signature



On behalf of CheckHome Canterbury Ltd

16 January 2026

22 Appendix

Appendix - Definitions

High: The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Typical: The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Low: The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Above Average: The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

Average: The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Below Average: The Building and its parts show some significant defects and/or poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Safety Hazard: Is a Defect requiring building works to avoid unsafe conditions.

Action Required: Is a Defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

Minor Maintenance: Any Defect other than what is described as a major defect.

Further Investigation: Is an issue considered important to bring to your attention, which may or may not be a Safety Hazard, Action Required item or a Minor Maintenance item.

Accessible area: is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.



CheckHome.

Building Inspections

**Inspecting Throughout
New Zealand**



PRE PURCHASE/ SALE INSPECTION

\$645 (Pending Size)



HANDOVER REPORT

\$745 (Pending Size)



HEALTHY HOMES REPORT

\$350 (Pending Size)



MAINTENANCE REPORT

\$750 (Pending Size)



COMMERCIAL INSPECTION

\$895 (Pending Size)



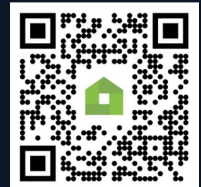
BUILDING CONSULTANCY

(Quoted on a
case by case basis)



VIEW MORE / BOOK YOUR NEXT INSPECTION

To view more that we
have to offer or make a
booking, use our QR
code or head to our
website
www.checkhome.co.nz



100% NZ OWNED & OPERATED

