

## Land Information Memorandum

### Application

|                            |                  |            |
|----------------------------|------------------|------------|
| Kauri Kottage Limited      | No.              | L260002    |
| C/- Craig and Morag Rendle | Application date | 5/01/2026  |
| 6577 Pouto Road            | Issue date       | 12/01/2026 |
| RD 1                       | Phone            |            |
| Te Kopuru 0391             | Fax              |            |

**Please Note: This LIM report contains information for the entire legal description below.**

### Property

|                   |                                    |
|-------------------|------------------------------------|
| Valuation No.     | 0110015803                         |
| Location          | 3 Signal Station Road, Pouto Point |
| Legal Description | SEC 8 BLK II OKAKA SD              |
| Owner             | Kauri Kottage Limited              |
| Area (hectares)   | 0.1120                             |

### Rates

|   |            |
|---|------------|
| Government Valuation  |            |
| Land  | \$285,000  |
| Capital Value   | \$555,000  |
| Improvements  | \$270,000  |
| Current Rates Year 2025 to 2026   |            |
| Annual Rates  | \$2,397.01 |
| Current Instalment  | \$ 599.26  |
| Current Year - Outstanding Rates  | \$ 599.25- |
| Arrears for Previous Years  | \$ 0.00    |
| Next Instalment Due   | 20/02/2026 |
| Note: Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year.  |            |
| Please refer to the Kaipara District Council Long Term Plan 2024/2027 and to the Kaipara District Council Development Contribution Policy 2024 which can be found at the Council website <a href="http://www.kaipara.govt.nz">www.kaipara.govt.nz</a> . |            |

### Planning/Resource Management

|          |   |
|----------|---|
| Zoning:  | <b>Kaipara District Plan 2013: Residential</b> - West Coast Overlay. See attached information regarding the District Plan.  |
|          | Full details of the zone requirements are found in the current District Plan. Relevant zone ordinance can be found at the Council <a href="#">website</a> .   |
|          | Note: Kaipara District Proposed District Plan was publicly notified Monday 28 April 2025. Submissions on the Proposed District Plan closed Monday June 30, 2025. Please refer to the <a href="#">Kaipara District Plan Review</a> in relation to potential changes that may affect this property. |
| 11/12/17 | <b>RESOURCE CONSENT 170399:</b> Proposed new dwelling in breach of 13.10.7 Setbacks and 13.10.12 impermeable surfaces on Section 8 Block 11 Okaka Survey District. Decision Notified 20/11/17: Local Authority Officer 20/11/17. <b>Copy of Decision attached.</b>                                |

**Note:** Buildings appear to be outside the Indicative Boundary. The boundaries and aerial imagery provided may be approximate and should not be relied upon for precise positioning. For definitive accuracy, please consult original source documents or engage a licensed land surveyor or qualified spatial professional to assist with interpretation.

No other information located.

### Building

6/09/17 BUILDING CONSENT 170432: Construction of 3 new sheds: Code Compliance Certificate Issued 21/06/18.

25/05/90 BUILDING PERMIT H 028017 T POMARE APPLICANT STORE SHED.

7/02/90 BUILDING PERMIT G 006639 T POMARE APPLICANT SMOKEHOUSE/RESITE SHED.

No other information located.

### Sewer and Water

Sewer Not available

Stormwater No information located.

Water Not available

Any on-site wastewater system for the property may need to comply with Council inspection and maintenance regime under the Councils [Wastewater Drainage Bylaw 2016](#). This bylaw is located on [KDC website](#).

Record on file indicates inspection and clean was undertaken on 18<sup>th</sup> October 2023.

Copy of drainage plan attached.

### Land and Building Classifications

No information located.

Refer to copy of map from District Plan for other classifications in the immediate vicinity.

### Compliance with Swimming Pool Bylaw

No pool registered to this property.

### Land Transport Requirements

No information located.

### Natural Hazards

A Natural Hazard as defined under the Resource Management Act 1991 as meaning any atmospheric or earth or water related occurrence (including earthquake, tsunami, erosion, volcanic and geothermal activity, landslip, subsidence, sedimentation, wind, drought, fire, or flooding) the action of which adversely affects or may adversely affect human life, property, or other aspects of the environment.

Territorial authorities are required under sections 44A(2)(a) and section 44B of the Local Government Official Information and Meetings Act 1987 to include information that identifies the following, to the extent it is known by the territorial authority;

- natural hazards and potential natural hazards.
- impacts of climate change that exacerbate natural hazards or potential natural hazards; and
- the cumulative or combined effects of natural hazards or potential natural hazards as exacerbated by the impacts of climate change.

- information included in the District Plan identifying natural hazards is no longer excluded from the information to be included in a LIM.

Natural Hazard information for this property, to the extent it is known by the Kaipara District Council, is attached.

Additional site-specific Natural Hazard information may be provided via third parties as part of site development such as subdivision. This information when available will be provided with Planning or Building consent information.

### Special Land Features

#### National Policy Statement on Highly Productive Land (NPS-HPL) – Copy of map attached.

Information obtained by the Council from Manaaki Whenua (Landcare Research Data base) indicates that there may be LUC class 2 or 3 soils on this property. Accordingly, the National Policy Statement on Highly Productive Land (NPS-HPL) may potentially apply. A copy of the National Policy Statement Highly Productive Land is available [here](#). Soil classification maps are available from Manaaki Whenua (Landcare Research) [here](#). You are encouraged to seek professional advice in relation to this matter

No other information located.

### Licences/Environmental Health

No information located.

### Network Utility Operators

Information related to the availability of supply, authorisations etc (eg, electricity or gas) can be obtained from the relevant Network Utility Operator.

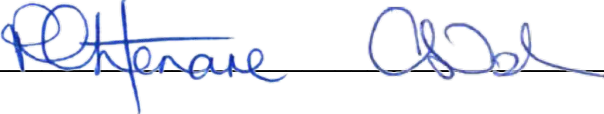
### Other Information

No title search has been done on this property.

### Notes

1. Final inspections on buildings were not mandatory prior to 1 January 1993. Should an evaluation of the building be required an independent qualified person should be consulted. In the interests of safety, an inspection of any fireplace within the dwelling may be requested of Council at any time, after paying the appropriate fee.
2. Every care has been taken to ensure that the information supplied by the Council on this form is accurate. The Council relies on information available to it and will not be held responsible for incomplete or inaccurate information provided, or for any errors or omissions made in good faith.
3. Please note that the property was neither inspected nor visited during the preparation of this Land Information Memorandum. Information is based on a search of Council records only and no inspection of the land or any building on it will be undertaken for the purpose of preparing the Report.
4. Other information may be held by other authorities, for example the [Northland Regional Council](#) or [Heritage New Zealand](#).
5. This Land Information Memorandum is a disclosure of information (which may be historical) held by the Council at the time of application and is subject to change.
6. Any enquiry not accompanied by a fee will be invoiced separately. (All prices are GST inclusive).
7. Any Resource or Building consents run with the land; if the project is incomplete, there may be existing/additional charges to pay for which the new owner will be liable.

8. A Development Contribution and or Financial Contribution may be payable if development is carried out, the effect of which is to require new or additional assets or assets of increased capacity and as a consequence Council incurs capital expenditure to provide appropriately for those assets and that capital expenditure is not otherwise funded or provided for. Future rating policies are outlined in Council's Long Term Plan 2024-2027.

Name:  Date: 12/01/2026.

**Performance Standards of the Kaipara District Plan 2013**

To view the performance standards (rules) for each zone please refer to the relevant chapter of the Kaipara District Plan 2013:

Rural - Chapter 12

Residential - Chapter 13

Business: Commercial and Industrial - Chapter 14

Māori Purposes: Māori Land – Chapter 15A

Māori Purposes: Treaty Settlement Land – Chapter 15B

Estuary Estates – Chapter 16

Estuary Estates - Chapter 16A – Trifecta Development Area

All Zones - Chapter 10 Network Utilities and Chapter 11 Transport Network

**How can I view the Kaipara District Plan 2013?**





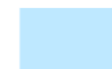

*If you have access to the internet and want access to the most up to date information, visit the website*

[www.kaipara.govt.nz](http://www.kaipara.govt.nz)


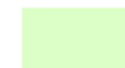



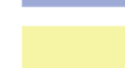
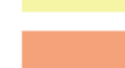






**If you do not have access to a computer, you can visit one of the following locations to view a hard copy of the Plan:**

| <b>Venue</b>  | <b>Opening Hours</b>  |   |
|---|---|---|
| <b>Kaipara District Council Office – Dargaville</b><br>32 Hokianga Road<br>Dargaville<br>Telephone 0800 727 059             | Monday – Tuesday<br>Wednesday<br>Thursday - Friday                              | 8.00am to 4.30pm<br>9.00am to 4.30pm<br>8.00am to 4.30pm  |
| <b>Kaipara District Council Office – Mangawhai</b><br>Unit 5, The Hub<br>6 Molesworth Drive<br>Telephone 0800 727 059       | Monday – Friday   | 9.30am to 3.00pm  |
| <b>Dargaville Library</b><br>Corner Poto and Normanby Streets<br>Dargaville<br>Telephone 0800 534 542                       | Monday – Wednesday<br>Thursday<br>Friday<br>Saturday                            | 9.30am to 5.00pm<br>9.30am to 6.00pm<br>9.30am to 5.00pm<br>9.30am to 12.30pm   |
| <b>Mangawhai Library</b><br>45 Moir Street<br>Mangawhai<br>Telephone 0800 532 542   | Tuesday - Wednesday<br>Thursday<br>Friday<br>Saturday                           | 10.00am to 5.00pm<br>10.00am to 6.00pm<br>10.00am to 5.00pm<br>10.00am to 1.00pm  |
| <b>Kaiwaka Library</b><br>Corner State Highway 1 and<br>Kaiwaka Mangawhai Road<br>Kaiwaka<br>Telephone (09) 431 2539        | Monday<br>Tuesday<br>Wednesday - Saturday                                       | 4.00pm to 6.00pm<br>Closed<br>10.00am to 2.00pm   |
| <b>Maungaturoto Library</b><br>Centennial Building<br>Hurdall Street<br>Maungaturoto<br>Telephone (09) 431 8811             | Monday – Tuesday<br>Wednesday<br>Thursday – Saturday<br>Friday Terms 1 & 4 also | 10.30am to 1.00pm<br>10.30am to 4.00pm<br>10.30am to 1.00pm<br>4.00pm to 6.00pm   |
| <b>Paparoa Library</b><br>Brook House<br>1980 Paparoa Valley Road<br>State Highway 12<br>Paparoa<br>Telephone (09) 431 7555 | Monday<br>Tuesday<br>Wednesday<br>Thursday<br>Friday<br>Saturday                | 2.00pm to 4.30pm<br>10.00am to 1.00pm<br>2.00pm to 4.30pm<br>10.00am to 4.00pm<br>11.00am to 1.30pm<br>10.00am to 12.00pm |






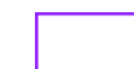




**All Maps**

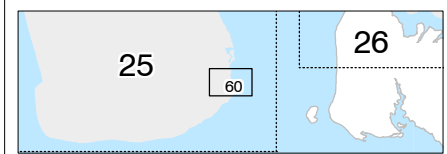
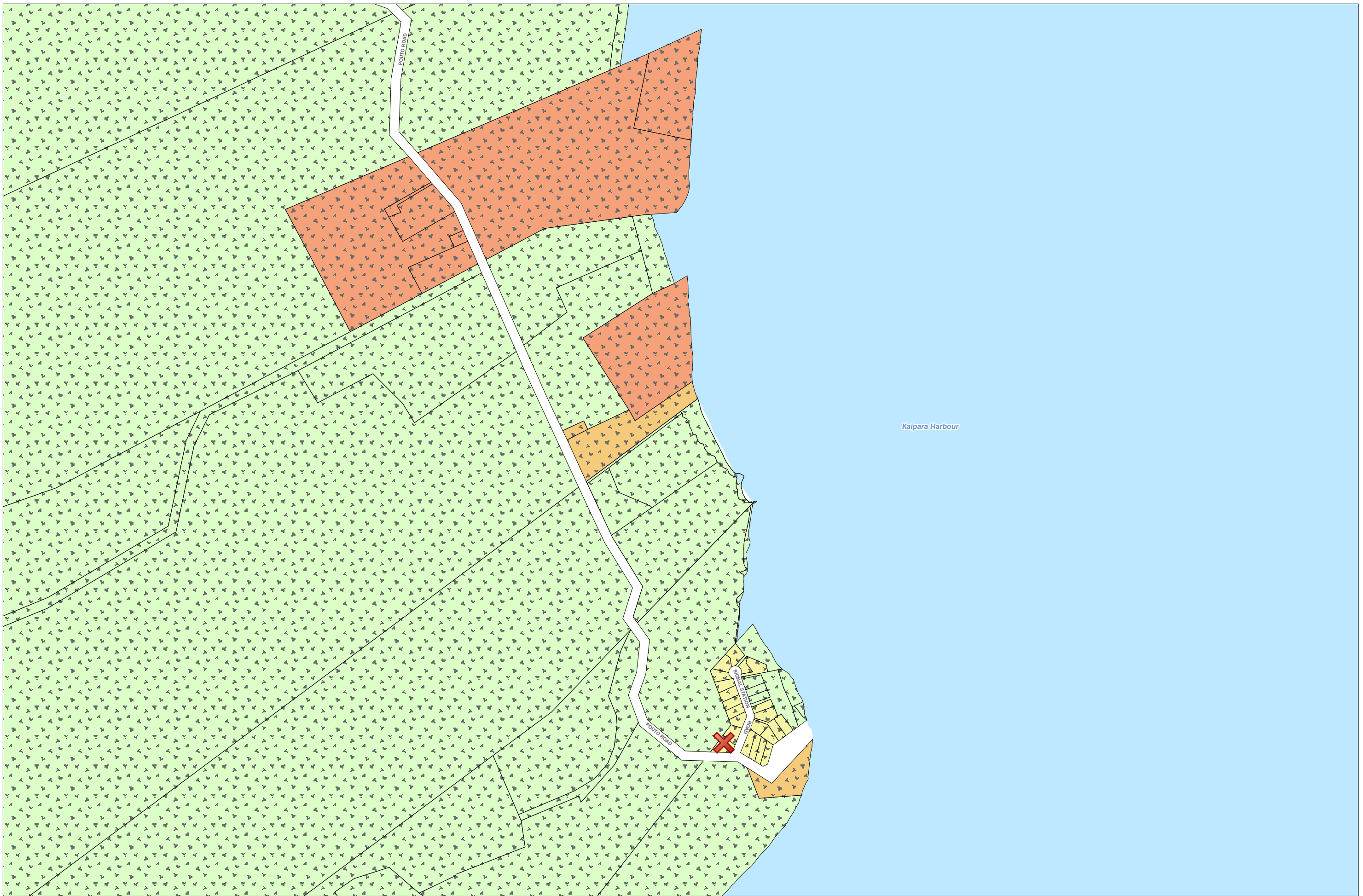
-  State Highway
-  Railway
-  Bridge or Causeway
-  Unformed Road
-  Sea, Lakes and Rivers
-  Parcel Boundary

**Map Series One - Land Use**

-  Estuary Estates
-  Rural
-  8m Height Restriction
-  Business: Commercial
-  Business: Industrial
-  Residential
-  Maori Land
-  Treaty Settlement
-  Estuary Estates
-  East Coast Overlay
-  Harbour Overlay
-  Kai Iwi Lakes Overlay
-  West Coast Overlay

**Map Series Two - Sites, Features and Units**

-  Heritage Resource
-  Notable Tree
-  Maungaturoto Dairy Factory Wastewater Pipeline
-  110-220 kV Electricity Transmission Line
-  50 kV Electricity Transmission Line
-  Designation Areas
-  Outstanding Natural Landscape
-  Reserve Management Units
-  Areas of Significance to Maori
-  Maungaturoto Dairy Factory Noise Contour Boundary (45dBA leq)



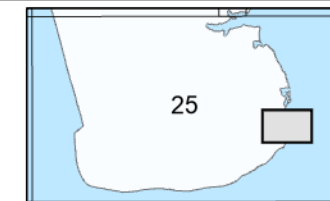
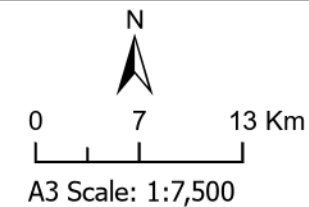


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Cadastre from 19 March 2021.

**KAIPARA DISTRICT PLAN - OPERATIVE NOVEMBER 2013**

**Map Series Two  
Sites, Features and Units Pouto**



Rates Information - 2025/26

Valuation ID 0110015803

Property Description

Location (GIS) 3 Signal Station Road, Pouto Point

[View in Google Maps](#)

Legal Description SEC 8 BLK II OKAKA SD

Certificate of Title 4B/387

|               |  |                |   |
|---------------|--|----------------|---|
| Use           | 91 Residential: Single Unit (other than bach)    | Category       | RD191                                       |
| TORAS         | 121000   | Category Group | Residential Dwelling fully or semi detached |
| Tenure        | Property is not leased. Owner is also occupier.  | Ward           | 3   |
| Ownership     | Private: Company - not Crown owned               | Region         | 1   |
| Rateability   | Rateable   | Zone           | 9A  |
| Apportionment | Std property - Not Applicable, Not apportionment |                |   |

Valuations

|                        |            |               |         |
|------------------------|------------|---------------|---------|
| Area (Hectares)        | 0.1120     | Land Value    | 285,000 |
| Improvements           | 270,000    | Capital Value | 555,000 |
| Nature of Improvements | DWG OBS OI |               |         |
| Valuation Date         | 1/09/23    |               |         |

Rates for Current Year - 2025/26

| Type | Description (Basis)                                     | Factor     | Amount \$       |
|------|---|------------|-----------------|
| 002  | Uniform Annual General Charge - Rating Unit             | 1.00       | 725.00          |
| 230  | General Rate Residential & Small Sized Lifestyle - (L)  | 285,000.00 | 640.22          |
| 235  | CCTV Dargaville - (U)                                   | 1.00       | 7.70            |
| 238  | Parks and Libraries Targeted Rate - (U)                 | 1.00       | 384.34          |
| 242  | Museums Targeted Rate - (U)                             | 1.00       | 14.00           |
|      | <b>** Kaipara District Council Sub-Total</b>            |            | <b>1,771.26</b> |
| 250  | NRC Targeted Council Services Rate - (U)                | 1.00       | 262.32          |
| 253  | NRC Pest Management Rate - (U)                          | 1.00       | 125.86          |
| 254  | NRC Targeted Flood Infrastructure Rate - (U)            | 1.00       | 41.66           |
| 255  | NRC Targeted Emergency and Hazard Management Rate - (U) | 1.00       | 77.38           |
| 256  | NRC Targeted Regional Rescue Services Rate - (U)        | 1.00       | 8.87            |
| 257  | NRC Targeted Regional Sporting Facilities Rate - (U)    | 1.00       | 16.09           |
| 259  | NRC Targeted Land and Freshwater Management Rate - (L)  | 285,000.00 | 85.02           |
| 260  | NRC Targeted Regional Economic Development Rate - (L)   | 285,000.00 | 8.55            |
|      | <b>** Regional Council Sub-Total</b>                    |            | <b>625.75</b>   |
|      | <b>Total Rates Levied 2025/26</b>                       |            | <b>2,397.01</b> |
|      | (GST on Rates Levied)                                   |            | 312.65          |
|      | <b>Rates Last Year 2024/25</b>                          |            | <b>2,231.31</b> |
|      | <b>Last Year's Final Instalment</b>                     |            | <b>557.82</b>   |

Rates Last Year 2,231.31 Instalments YTD 1,198.50 Current Instalment 599.25

History

| Year    | Land Value | Capital Value | Annual Rates |
|---------|------------|---------------|--------------|
| 2024/25 | 285,000    | 555,000       | 2,231.31     |
| 2023/24 | 185,000    | 415,000       | 1,806.80     |
| 2022/23 | 185,000    | 415,000       | 1,725.55     |
| 2021/22 | 185,000    | 415,000       | 1,653.00     |
| 2020/21 | 131,000    | 345,000       | 1,439.29     |
| 2019/20 | 131,000    | 345,000       | 1,373.64     |
| 2018/19 | 131,000    | 345,000       | 1,310.72     |
| 2017/18 | 117,000    | 220,000       | 1,264.97     |
| 2016/17 | 117,000    | 220,000       | 1,251.35     |
| 2015/16 | 117,000    | 220,000       | 1,227.03     |

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In the Matter of: *the Resource Management  
Act 1991*

And

In the Matter of: *An application under Section  
88 of the Resource  
Management Act 1991 made  
by C & M Rendle Family  
Trust*

File Reference: *RM 170399*

## **Decision on Resource Consent Application**

a) *Pursuant to Sections 95A – 95E of the Resource Management Act 1991, the Kaipara District Council resolves that this application be processed without notice because:*

- In accordance with Section 95A of the Act, the adverse effects of the activity on the environment would be no more than minor.*
- In accordance with Section 95B of the Act, written approval has been obtained from all persons considered to be adversely affected by the proposal.*
- In accordance with Section 95A(2)(b) the applicant did not request the public notification of the application.*
- In accordance with Section 95(4) there are no special circumstances that warrant the public notification of the application.*

b) *Pursuant to Section 104, 104C and 108 of the Resource Management Act 1991, the Kaipara District Council **grants** the application by C & M Rendle Family Trust for a new accessory building (Unit 'A') and a replacement accessory building (Unit 'B') at 3 Signal Station Road, Poutu Peninsula, legally described as Section 8 Block II Okaka Survey District (CFR NA4B/387), subject to compliance with conditions.*

### Kaipara District Plan

*Consent is required for the following reasons:*

- Rule 13.10.6 'Height in Relation to Boundary' requires the building does not exceed 3m in height plus the shortest horizontal distance between that part of the building and any site boundary adjacent to a residential zone or reserve. The proposed Unit 'A' breaches this*

requirement by 2m. Therefore the proposal does not comply with 13.10.6 and as such is assessed as a **restricted discretionary** activity.

- Rule 13.10.7 'Setbacks' requires the provision of 3m side yards on Overlay Areas, measured from the property boundary. The proposed accessory building Unit 'A' infringes the 3m side yard rule along the western boundary by 2m, and Unit 'B' breaches this requirement by 1.2m on the northern boundary. Therefore, the proposal does not meet comply with 13.10.7 and as such, is assessed as a **restricted discretionary** activity.
- Rule 13.10.12 'Permeable Surfaces' requires the area of any site covered by buildings and other impermeable surfaces to be less than 40% of the net site area. The proposed dwelling and access way gives a total impermeable area of 541.83m<sup>2</sup> which is 48% of the net site area. The proposal therefore does not comply rule 13.10.12 and as such, is assessed as a **restricted discretionary** activity.

Overall the application is to be assessed as a **restricted discretionary** activity.

## Reasons for Decision

The reasons for this decision are as follows:

- (i) The proposed activity is a restricted discretionary activity under the operative Kaipara District Plan 2013 and satisfies the requirements of sections 104 and 104C of the Act.
- (ii) In terms of section 104(1)(a) of the RMA, subject to compliance with conditions, the actual and subject to conditions the potential effects of the proposal would be no more than minor. The proposal occurs within an area zoned Residential and the scale and density of the development can be undertaken in a manner that does not detract from the character and amenity of the surrounding neighbourhood.
- (iii) In terms of section 104C(1)(b) of the RMA, it is considered that the proposal is consistent with the relevant objectives and policies and assessment criteria of the Kaipara District Plan 2013 for the following reasons:
  - The proposed accessory buildings would be a single-storey with a high stud, and would be consistent with existing built character of the surrounding neighbourhood.
  - Subject to compliance with conditions of consent and proposed mitigation measures the potential adverse effects from the proposed yard, height in relation to boundary and the impermeable surfaces breaches, on adjacent properties, would be no more than minor.
  - Whilst the development infringes the side yard setback and height in relation to the boundary to the west, with the proposed accessory building (Unit 'A') to be located within the required 3m setback, written approval has been received from the adjacent property owners.

- *Whilst the development infringes the yard requirements on the northern boundary accessory building 'Unit 'B' is to be located in the same general area as the previous garage which was located on the boundary. Unit 'B' has been assessed to have the same or similar effects as the previous garage that Unit 'B' is replacing.*
  - *The effects of the increase in impermeable areas will be mitigated by the stormwater attenuation system proposed. Council's Engineer has confirmed compliance of the proposed systems with Kaipara District Council Engineering Standards.*
  - *The proposed accessory buildings are considered to maintain and protect amenity values and the residential character of the surrounding environment.*
- (iv) In terms of section 104(1)(c) of the RMA, other relevant matters, including financial and development contributions and monitoring have been considered in the determination of the application.*
- (v) Te Uri o Hau, as discussed, have not been contacted due to the localised effects on an established site.*
- (vi) The proposal is consistent with Part 2 of the Act as it maintains social and economic wellbeing while adequately avoiding adverse effects on the environment.*
- (vi) Overall, the application is considered to achieve the sustainable management purpose of the Act in Section 5, whilst being consistent with the objectives and policies of the District Plan.*

### **Conditions of Consent**

1. *This consent (or any part thereof) shall not commence until such time as the following charges, which are owing at the time the Council's decision is notified, have been paid in full:*
  - a) *All fixed charges relating to the receiving, processing, granting and monitoring of this resource consent under section 36(1) of the Resource Management Act 1991 (RMA); and*
  - b) *All additional charges imposed under section 36(3) of the RMA to enable the Council to recover its actual and reasonable costs in respect of this application, which are beyond challenge.*
2. *The consent holder shall pay any subsequent further charges imposed under section 36 of the RMA relating to the receiving, processing, granting and monitoring of this resource consent within 20 days of receipt of notification of a requirement to pay the same, provided that, in the case of any additional charges under section 36(3) of the RMA that are subject to challenge, the consent holder shall pay such amount as is determined by that process to be due and owing, within 20 days of receipt of the relevant decision.*
3. *The proposed activity shall be carried out in general accordance with all the information submitted with the application formally received by Kaipara District Council (Council) on 5 October 2017 and the further*

information received on 28/10/2017, 30/10/2017, and 6/11/2017; and the undated plan prepared by Kiwi Sheds, titled Proposed Sheds 3 Signal Station Road, (Reference AOO1) submitted in support of the application.

4. The stormwater construction works shall be in general accordance with the information and plans prepared by Prudent Engineers, dated as "October 24 2017" (Reference PE0229):
5. The consent holder shall ensure adequate construction monitoring of all construction works in accordance the Kaipara District Council's current Engineering Standards. This shall include as a minimum:
  - Detailed supervision and certification upon completion as complying with the required standards by the consent holders engineer.

#### **Advice Notes**

1. All archaeological sites are protected under the provisions of the Heritage New Zealand Pouhere Taonga Act 2014. It is an offence under that Act to modify, damage or destroy any archaeological site, whether the site is recorded or not. Application must be made to the Heritage New Zealand for an authority to modify, damage or destroy an archaeological site(s) where avoidance of effects cannot be practised.
2. If subsurface archaeological evidence (shell, midden, hangi, storage pits, etc) should be unearthed during construction, work should cease in the immediate vicinity of the remains and the Heritage New Zealand should be contacted.
3. In the event of koiwi (human remains) being uncovered, work should cease immediately and the tangata whenua of Te Uri O Hau shall be contacted so that appropriate arrangements can be made.
4. Council is able to apply development contributions to new developments within an activity funded area that creates additional or increased capacity of that activity, as a consequence. Currently those activities include roading, stormwater, wastewater and water.



Signed: .....

20/11/2017

Manager, Resource Consents

**Kaipara District Council**

Signed under delegated authority pursuant to Section 34A of the Resource Management Act 1991.

**Resource Management Act 1991**
**Assessment Report on Resource Consent Application**
**Description of Application**

|                   |   |
|-------------------|---|
| Applicant         | <i>C &amp; M Rendle Family Trust</i>  |
| Proposal          | <i>Proposed new garaging and accessory buildings in breach of Rule 13.10.6 'Height in Relation to Boundary'; Rule 13.10.7 'Setbacks'; and Rule 13.10.12 'Permeable Surfaces'.</i> |
| Location          | <i>3 Signal Station Road, Pouto Peninsula</i>   |
| Legal Description | <i>Section 8 Block II Okaka Survey District (CFR NA4B/387)</i>  |
| KDC References    | <i>RM170399</i>   |

**Processing Details**

|                                   |  |                         |                   |
|-----------------------------------|--|-------------------------|-------------------|
| Date Formally Received            | <i>05/10/2017</i>  | Date of Report          | <i>17/11/2017</i> |
| Section 92 Request(s)             | <i>05/10/2017</i>  | Development Engineer    | <i>30/10/2017</i> |
| Date Further Information Received | <i>28/10/2017;<br/>30/10/2017;<br/>06/11/2017; and<br/>16/11/2017.</i> | Date of Site Inspection | <i>26/09/2017</i> |

**Planning Requirements**
**OPERATIVE KAIPARA DISTRICT PLAN (2013)**

| Map       | Zone               | Planning Notation(s) | Category of Application                  |
|-----------|--------------------|----------------------|--|
| <i>60</i> | <i>Residential</i> | <i>West Coast</i>    | <i>Restricted Discretionary Activity</i> |

## **1 Description of Activity**

### **1.1 The Proposal**

The applicant seeks resource consent to allow for the lawful establishment of two new accessory buildings, one for garaging and storage, and a second for storage on the subject site at 3 Signal Station Road, Pouto Peninsula. One of the structures is a replacement for a previous garage which has been removed from the site. The site is legally described as: Section 8 Block II Okaka Survey District as shown on CFR NA4B/387, and is comprised of 1120m<sup>2</sup> more or less. The proposal has been assessed to be in breach of Rule 13.10.6 'Height in Relation to Boundary'; 13.10.7 'Setbacks'; and Rule 13.10.12 'Permeable Surfaces' of the Operative Kaipara District Plan 2013. The proposal includes the affected neighbour's written approval and a stormwater site management plan, which was supplied following a section 92 information request.

### **1.2 The Site**

The subject site is located on the northern corner of the intersection of Pouto Road and Signal Station Road and contains an existing dwelling, along with two vehicle crossings: One off Pouto Road, and one off Signal Station Road. A number of accessory buildings shown on the old aerial photographs in the Council's GIS system had been removed prior to the site visit, and the proposed location of the two new buildings had been scraped flat. Both vehicle entrances and the driveway are metalled and access off 'Local' Roads with a speed limit of 50km/hr. Apart from the dwelling and water tanks there are no other structures on the site which has well established vegetation on both road frontages and along the northern boundary. The site is relatively flat in contour and a swale drain runs along both frontages in the road reserve to the intersection of the two roads which sits just beneath the site itself by approximately 300mm. The site is adjacent to 'Rural' zoned land to the west and the wider environment to the north and east is similar in character and scale to the subject site.

### **1.3 Consent History**

The site itself was created in 1964 and Council records are unclear as to whether the dwelling was relocated to the site or built prior to the site being created. Not with standing, I am satisfied that the dwelling is lawfully established. The CFR indicates a 'Building Line Restriction' along the road frontage of Signal Station Road. The BLR is of no material consequence to the current resource consent application. Two building consents for accessory buildings are dated 1990, and I am satisfied that both structures are now removed from the site. The applicant has confirmed that the previous garage located along the boundary with 5 Signal Station Road has been removed and the new proposed accessory building is to be located in the same general area with a similar scale.

### **1.4 Description of Proposal**

The applicant proposes to construct two large accessory buildings to the rear of the existing dwelling. They are labelled on the plans submitted with the application as: Unit 'A' and Unit 'B'.

Unit 'A' is to be located adjacent to the western boundary at a distance of 1m off the boundary with an apex height of 4.6m on 'Unit 1 of 'A' and a wall height of 2.9m on Unit 2 of 'A'. 'A' has three garage doors opening onto to the driveway and there is no openings to the side boundary.

Unit 'B' has a wall height adjacent to the side boundary of 3.6m and in email correspondence dated 6 November 2017, the applicant's agent confirms that the bulk and location of 'B' would be the same as the previous garage which has been removed from the site. 'B' is to be located at 1.8m off the side boundary with 5 Signal Station Road. 'B' has a single door and one garage door opening onto the driveway and there is no openings to the side boundary. Further discussion with the applicant regarding the previous garage in this location, and an assessment of the aerial image from the Council's GIS system would indicate that a structure could be built on the boundary. The current proposal is for a building with a similar footprint and scale to be located 1.8m off the boundary, resulting in effects that would be the same or similar to those of the previous garage. Building consent (BC170432) has been granted on 06/09/2017. The plans submitted with this resource consent are in general accordance with those approved in BC170432, and the applicant has confirmed that accessory building 'B' is to be located in the same general area as the previous garage, which has been removed from the site. The applicant also confirms that accessory building 'B' will have a similar scale and general location as the previous garage.

The proposed construction would require minimal earthworks, and these appear to have been completed prior to the date of the site visit on 26 September 2017. The total site coverage would be 238m<sup>2</sup> equivalent to 21% of the total site area, and impermeable surfaces cover would be equivalent to 48.377% of the site area including the house area, proposed accessory buildings and water tank area.

No connection to a reticulated water system is available in the area, therefore water supply is by way of roof collection into an existing water tank. The applicant submits the following in regards to the vehicle entrance and driveway: *As detailed, there are two vehicle access ways to the roads in place as per the site plan. The adequacy of the vehicle crossings will be fit for the environment with surrounding sites achieving similar results. With the crossings being existing, we believe there is enough detail on the site plan and can state that existing allowances should be considered for this site.*

## **2 Assessment of Plan Requirements**

### **2.1 Operative Kaipara District Plan (2013)**

Consent is required for the following reasons:

#### Rule 13.10.6 'Height in Relation to Boundary'

Any building is permitted if:

- a) *The building does not exceed 3m in height plus the shortest horizontal between that part of the building and any site boundary adjacent to a residential zone or reserve.*

In this case, accessory building Unit 'A' will have an apex on unit 1 at a height of 4.8m resulting in a breach of the height in relation to boundary of 3.6m over the requirement of this rule. Therefore, the proposal does not meet rule 13.10.6 and as such, is assessed as a **restricted discretionary** activity.

#### Rule 13.10.7 'Setbacks'

(1) *Any building is a Permitted Activity if it is located outside the following setback distances (yards):*

- a) *Front yard – 5m; and*
- b) *Side yards – 3m in Overlay Areas;*
- c) *Rear yards – 3m except on rear sites where one yard of 1.5m may be provided;*
- d) *Coast – 30m from the Coastal Marine Area*

The proposed accessory building Unit 'A' infringes the 3m side yard rule along the western boundary by a maximum of 2m. Proposed Unit 'B' is to be located 1.8m off the northern boundary and would replace a previous garage that was on that boundary line, representing a reduction in the existing yard infringement and resulting in the same or similar effects overall as the previous garage. The proposed location at 1.8m is in breach of the setback requirements, however the effects have been assessed as being the same or similar to those of the previous garage. Therefore, the proposal does not meet rule 13.10.7 on the western and northern boundary and as such, is assessed as a **restricted discretionary** activity.

#### Rule 13.10.12 'Permeable Surfaces'

*Any activity is a **Permitted Activity** if:*

- a) *The area of any site covered by buildings and other impermeable surfaces is less than 40% of the net site area.*

*Note 1: For the purposes of this Rule, any area regularly used vehicles whether metalled, sealed or concrete shall be considered an impermeable area.*

The proposed accessory buildings, driveway, dwelling and access give a total impermeable area of 541m<sup>2</sup> which is 48.37% of the site area. The site is within an Overlay, where the total coverage of impermeable surface should be less than 40%. The proposal therefore does not meet Rule 13.10.12 and as such, is assessed as a **restricted discretionary** activity.

No other development standards are breached by the proposal. Overall the application is to be assessed as a **restricted discretionary** activity.

### **3 Adverse Effects on the Environment**

#### **3.1 Permitted Baseline Assessment**

The permitted baseline refers to activities permitted on the subject site including activities that could be conducted on site as of right without resource consent and activities that could be conducted under a granted but unexercised resource consent. Application of the permitted baseline allows adverse

effects from permitted and consented activities to be disregarded and only adverse effects arising from the proposal over and above the permitted baseline to be assessed. A garage could be established on the northern boundary of the subject site in line with the photographic evidence submitted by the applicant. Development within the Residential Zone compliant with the performance standards of the Kaipara District Plan is a permitted activity. The proposed development is in breach of Rules: 13.10.6; 13.10.7; and 13.10.12 of the District Plan and has been assessed in relation to these breaches only as this extends beyond what is permitted by the District Plan.

### 3.2 Adverse Effects Assessment

Council has restricted its discretion over the following matters when considering and determining an application under Rules 13.10.6; 13.10.7; and 13.10.12.

#### Rule 13.10.6 'Height in Relation to Boundary'

- i) The scale and bulk of the building in relation to the site;*
- ii) The functional requirements of the building;*
- iii) The extent to which the effects of the height in relation to the boundary infringement can be mitigated by setbacks, planting, design or topography of the site;*
- iv) Effects on the locality, particularly the residential character and amenity values;*
- v) If located within an Overlay, the extent to which the values identified in the Objectives and Policies for Overlays (Chapter 4) are present on the site, and the extent to which the proposal is compatible with those values;*
- vi) Effects on the availability of sunlight to other properties; and*
- vii) The extent to which the proposal will affect the values of any Outstanding Natural Landscape identified in Map Series 2 and if applicable the extent to which the subdivision, land use, or development meets the additional assessment criteria contained in Appendix 18B.*

The height in relation to boundary breach on the western boundary is next to land zoned 'Rural' that rises moderately up from the subject site which allows the visual impact of any structure to sit below the skyline. The affected neighbour has provided their written approval and therefore any effects on that property must be disregarded.

The proposed accessory buildings while large would be recessive in terms of visual effects due to the current vegetated state of the site.

The site is located in the 'West Coast' Overlay area. However as the site is well vegetated, and the development would be consistent with the wider residential environment any effects would be no more than minor.

Rule 13.10.7 'Setbacks'

- i) The outlook and privacy of adjacent and adjoining neighbours;*
- ii) Extent of visual and dominance of any building from beyond the site, particularly from the road and public places including the Coastal Marine Area, and the effect of skylines and ridgelines;*
- iii) If in the Mangawhai Structure Plan Area, whether the proposed landscaping is in accordance with the design principles of the Mangawhai Structure Plan (pages 46-49) for Policy Area Three;*
- iv) Effects on the locality, particularly residential and natural character and amenity values;*
- v) If located within an Overlay, the extent to which the values identified in the Objectives and Policies for Overlays (Chapter 4) are present on the site, and the extent to which the proposal is compatible with those values;*
- vi) The extent to which the proposal will affect the values of any Outstanding Natural Landscape identified in Map Series 2 and if applicable the extent to which the subdivision, use or development meets the additional assessment criteria contained in Appendix 18B;*
- vii) Effects on ecological values and in particular any sites of ecological significance as defined by the criteria listed in Appendix 25G;*
- viii) Effects on public access;*
- ix) Effects on natural hazards, including the design and construction of hazard protection works on land adjacent to the Coastal Marine Area, rivers and lakes;*
- x) Protection of the conservation, ecological, recreation, access and hazard mitigation values of esplanade reserves or strips;*
- xi) Where buildings are located in close proximity to State Highways or Rail (level crossings) whether and the extent to which consultation has been undertaken with NZ Transport Agency and New Zealand Railways Corporation respectively and written approval obtained; and*
- xii) The functional requirements of the building and activity.*

The proposed accessory buildings while large in scale are being located on an established site that is well vegetated along both road frontages and on the side yard of the adjoining site to 5 Signal Station Road. The applicant has confirmed that accessory building Unit 'B' is being located in the same general area and has the same or similar scale to the previous accessory building which has been removed from the site. The location of accessory building Unit 'B' would have existing use rights to be located on the southern of the site at 5 Signal Station Road. The current proposal would be for an accessory building to be located 1.8m off that boundary, thereby the resulting effects are considered to be the same or similar to those of the previous garage with no additional effects on amenity to the

neighbour.

The proposed accessory buildings are large for a residential setting, however the existing use rights and vegetation on the site would ensure no loss of amenity on the neighbouring residential sites and the wider area.

The setback breach on the western boundary is next to land zoned 'Rural' that rises moderately up from the subject site which allows the visual impact of any structure to sit below the skyline. The affected neighbour has provided their written approval and therefore any effects on that property must be disregarded.

Overall the effects on the residential character and amenity values of the area are considered to be no more than minor.

Rule 13.10.12 'Permeable Surfaces'

- i) Control of stormwater run-off;*
- ii) The effects of increased stormwater flows downstream;*
- iii) Methods of attenuating stormwater flows to pre-development rates;*
- iv) Whether and the extent to which the activity meets the relevant Performance Standards or the Kaipara District Council Engineering Standards 2011;*
- v) Effects on 'water quality'; and,*
- vi) The extent to which low impact design principles are utilised.*

The subject site is a residential site with an established dwelling and associated services for water, wastewater and stormwater. There is an increase in effects arising from the proposal due to a breach of the permeable surfaces allowance in the District Plan for this location. Mitigation measures have been developed in accordance with the Council's Engineering Standards and the Council's Engineer has approved the proposal with conditions. He is satisfied that the conditions would result in effects on the environment that are no more than minor.

The proposed stormwater attenuation is outlined in a civil and structural consultant's report received as further information. The report now forms part of the application and is titled: Detention Tank Design for Res Rendle; Job Ref PE0229. The report assesses the pre-development flows and the post development flow rate. It recommends a 25,000L detention system in the main water tank. The report has been peer reviewed by the Council's Engineer who has accepted the calculations and recommendations.

The Council Engineer notes the following: *The proposed lot is a corner lot having access onto Pouto Road, and Signal Station Road, both local unsealed roads and having clear safe traffic sight distance*

on Pouto Road in both directions. The existing crossing shall be upgraded in accordance with KDC Engineering Standards. For the driveway the Engineer notes: *Based on observation, no driveway has been formed on site. The minimum width for a driveway should be 3m and should be in accordance with the KDC Engineering Standards.* The installation of the stormwater attenuation system, would ensure the adverse effects on the environment, from the increased impervious area associated with the proposed development, would be no more than minor.

Further to the above, Council's Engineer has subsequently reviewed the proposed stormwater control works on 16 November 2017 and confirmed that no upgrade to the vehicle crossing or driveway is necessary under this consent as there are no stormwater control works specifically provided for these areas.

## **4 Notification Assessment**

### **4.1 Public Notification**

The Council has the discretion whether to publicly notify an application unless a rule or NES precludes public notification (in which case the consent authority must not publicly notify) or section 95A(2) applies, which states that an application must be publicly notified if:

- (a) The activity will have, or is likely to have, adverse effects on the environment that are more than minor;*
- (b) The applicant requests public notification of the application; or*
- (c) A rule in a plan or a national environmental standard requires public notification.*

It is considered that this application can be processed without public notification for the following reasons:

- Subject to compliance with conditions, the adverse effects on the environment of the activity for which consent is sought would be no more than minor, for the reasons expressed in Section 3.2 of this report.
- There are no special circumstances relevant as a basis for Council to exercise its discretion under section 95A(4).

Accordingly, it is recommended that the application is not publicly notified.

### **4.2 Limited Notification**

The consent authority must decide if there are any affected persons or affected order holders in relation to the proposed activity.

A person is considered to be an affected person if the adverse effects of the activity on the person are minor or more than minor (but are not less than minor).

If the consent authority decides that there are affected persons or "affected order holders" in relation to the proposed activity, then the application requires limited notification to those affected persons unless a rule or NES precludes limited notification of the application.

Written approval has been received from the owners of the property located at 6543 Pouto Road (David and Megan Wills). Therefore, any effects on this property must be disregarded.

It is considered that no other parties are adversely affected by the proposed development to a minor or more than minor degree because:

- Due to the nature of the proposed stormwater design and the associated mitigation measures, the effects on the locality, particularly the character and amenity values of adjoining properties would be no more than minor.
- The effects of the proposal can be mitigated by consent conditions.
- The scale, bulk and design of the proposed sheds is in keeping with the character of the surrounding local environment.
- The proposed stormwater attenuation system will effectively mitigate against the effects of increased stormwater flows. As such it is considered that it would not impact on neighbouring properties.

For the above reasons, it is recommended that this application be processed without notification because there are no affected persons under s95E.

## **5 Statutory Acknowledgements**

Relevant to this application, any statutory acknowledgement within the meaning of an Act specified in Schedule 11 would be contained within the Te Uri o Hau Claims Settlement Act 2002.

Environs Holdings Limited is a subsidiary of Te Uri o Hau Settlement Trust (caretaker of Te Uri o Hau Claims Settlement Act 2002) authorised to participate in the Resource Management Act 1991 proceedings. A copy of the application was not forwarded to Environs Holding on the basis that the application related to a site already developed for residential activity.

## **6 Statutory Considerations - Section 104(1)**

### **6.1 Requirements of a Rule or National Environmental Standard**

The site is not identified as a potentially contaminated site in the Northland Regional Council's Register of Contaminated Sites, nor has it been used for any of the activities listed in the HAIL Register prepared by the Ministry for the Environment. Therefore, the proposal does not require consent under the National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health. No other National Environmental Standards are considered relevant to the proposal.

## 6.2 Regional Plans

There are no National or Regional Policy Statements relevant to this proposal. The proposal does not require any consent under the Regional Water and Soil Plan for Northland.

## 6.3 Actual & Potential Effects on the Environment

Reference is made to the discussion in Section 3.2 above. Having assessed the effects of the activity, it is considered that the activity would have no more than minor adverse effects on the environment, subject to compliance with conditions.

## 6.4 Plan Provisions

### 6.4.1 Kaipara District Plan

#### **Objectives and Policies**

The following objectives and policies of the Operative Kaipara District Plan 2013 are considered relevant:

#### Chapter 4: Overlay Area

*Objective 4.4.2: To enable subdivision, land use and development in the Overlays, where it recognises and provides for:*

- *The protection of natural character; and*
- *Maintenance or enhancement of the water quality of receiving environments; and*
- *Maintenance or enhancement of amenity values; and*
- *Any other specific values identified in an Overlay.*

*Objective 4.4.4: To recognise the functional need for activities in the coastal environment and encourage greater integration of landward and maritime land use planning.*

#### West Coast Overlay

*Objective 4.4.5: To recognise and provide for the wilderness aspect of the coastal environment (as an amenity value).*

*Policy 4.5.3: By avoiding, remedying or mitigating the adverse effects of locating those activities which have the potential to discharge contaminants and adversely impact on sensitive receiving environments within the West Coast Overlay.*

*Policy 4.5.4: By requiring activities to be developed, sited, designed and operated so as to avoid, remedy, or mitigate adverse effects arising from these activities on the natural environment, particularly sensitive receiving environments in the West Coast Overlay.*

*Policy 4.4.5: By managing the scale, location and design of activities, particularly with respect to built form to maintain amenity values (including wilderness aspect) and to protect natural character from inappropriate development within the West Coast Overlay.*

The proposed accessory buildings would be single-storey buildings with a high stud and would be consistent with existing built character of the surrounding neighbourhood. The effects of the proposed accessory buildings would be mitigated by the site development and consent conditions. The effects of the increase in impermeable areas on stormwater runoff would be mitigated by the stormwater attenuation system proposed. Accordingly, the proposed accessory buildings are considered to maintain and protect amenity values and the residential character of the residential and west coast environment.

### Chapter 13: Residential Zone

*Objective 13.5.1: To maintain and where appropriate enhance the amenity values of the residential environment.*

*Objective 13.5.2: To ensure that the servicing of new subdivision and development does not adversely affect the environment, particularly sensitive receiving environments.*

*Objective 13.5.4: By managing the effects of those activities which have the potential to adversely affect residential amenity.*

*Policy 13.6.1: By requiring subdivision and development to avoid adverse effects on the outlook and privacy of adjoining properties, while being compatible with the character and amenity of the surrounding environment.*

*Policy 13.6.6: By directing residential development to appropriate locations adjacent to existing settlements, rather than allowing sporadic development throughout the rural environment.*

*Policy 13.6.9: By requiring site and building development to demonstrate how adverse visual amenity affects will be addressed over the duration of the development.*

*Policy 13.6.13: By requiring the provision of safe and practicable vehicular access from a public road to each site.*

The proposed accessory buildings would be located within an established residential area at the base of the Pouto Peninsula. The area is characterised by a mixture of low density seaside residential development and it has been assessed that the proposal is compatible with the character and amenity values of the surrounding area. The site has well established planting and vegetation on the road frontages and the northern boundary which would ensure effects that are no more than minor.

Subject to compliance with conditions of consent and proposed mitigation measures the temporary adverse effects from the proposed stormwater provisions on adjacent properties, would be no more than minor. The accessory buildings would be connected to the enhanced services on the site and the swale drains in the road reserve.

Whilst the development infringes the height plane angle and the side yard setback to the western boundary for Unit 'A', proposed Unit 'B' adjacent to the northern boundary is to be located 1.8m from the boundary in the same general area as the previously removed garage which was located on the

boundary. The site is well vegetated and site has two access points and an unformed driveway area. The site features and proposed measures would result in the accessory buildings not dominating the street scene and are considered adequate to protect the outlook and privacy of adjacent and adjoining neighbours.

Therefore, it is considered that the proposal is not contrary to the relevant objectives and policies of the Operative Kaipara District 2013.

## 7 Part 2 Matters

Part 2 of the Resource Management Act 1991 sets out the purpose and principles of the Act that Council should have regard to when considering proposals.

### Section 5 - Sustainable Management

*(1) The purpose of this Act is to promote the sustainable management of natural and physical resources.*

*(2) In this Act, **sustainable management** means managing the use, development, and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for their social, economic, and cultural well-being and for their health and safety while:*

*(a) sustaining the potential of natural and physical resources (excluding minerals) to meet the reasonably foreseeable needs of future generations; and*

*(b) safeguarding the life-supporting capacity of air, water, soil, and ecosystems; and*

*(c) avoiding, remedying, or mitigating any adverse effects of activities on the environment.*

In considering the provisions of Section 5, the proposal for additional and replacement accessory buildings would use and develop the physical resources of the residential site in a manner that would enable the applicant to provide for their future social and economic wellbeing. The applicant has confirmed that the buildings are for personal storage and would not be used for any commercial activity. At the same time the proposal sufficiently avoids, remedies or mitigates adverse effects on residential character, the safe and efficient use of the roading network, and the safety of the occupants, subject to compliance with conditions.

### Section 6 - Matters of National Importance

There are no Matters of National Importance relevant to consideration of this application.

### Section 7 - Other Matters

*In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development, and protection of natural and physical resources, shall have particular regard to:*

*(b) the efficient use and development of natural and physical resources*

*(c) the maintenance and enhancement of amenity values*

*(f) maintenance and enhancement of the quality of the environment*

*(g) any finite characteristics of natural and physical resources*

The establishment of the accessory buildings on the site would allow for the efficient use of the physical resources of the site while avoiding adverse effects on the environment. In this case, the proposal is consistent with the site's residential character and would maintain amenity values and the quality of the environment, subject to compliance with conditions.

#### Section 8 - Treaty of Waitangi

Regard must be had to the principles of the Treaty of Waitangi as per Section 8. In this case, the site is not known to be of Significance to Maori and relevant Iwi were not consulted as detailed in Section 5 above.

Overall the proposal is not considered inconsistent with Part 2 of the RMA.

## **8 Conclusion**

This proposed development within the Residential Zone requires resource consent consideration as a restricted discretionary activity under the development provisions of Rule 13.10.6 'Height in Relation to Boundary', 13.10.7 'Setbacks', and 13.10.12 'Permeable Surfaces' of the Operative Kaipara District Plan 2013.

Subject to compliance with conditions, the proposal to establish the accessory buildings would not conflict with the relevant assessment criteria and would not detract from the character or amenity values of the surrounding residential environment.

Based on the application received, further information, recommended conditions, and reasons outlined within the report, it is considered that any potentially adverse environmental effects would be no more than minor. Further, it is considered that the proposal would not be contrary to the objectives and policies of the District Plan for development within the Residential Zone. For the reasons outlined above, it is recommended that approval be **granted**.

#### **Sections 95A – 95E Assessment Conclusion**

It is recommended that the application be processed **without notice**, pursuant to Sections 95A – 95E of the Act, for the reasons set out in this report.

#### **Section 104 Assessment Conclusion**

For the reasons outlined above, it is concluded that the effect on the environment of approving this land use consent application would be no more than minor subject to the recommended conditions of consent.



Reporting Planner

17/11/2017

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Howard Alchin

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Date



Planning Review

17/11/2017

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Katrina Roos

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Date

**Recommendation Confirmed as Decision**

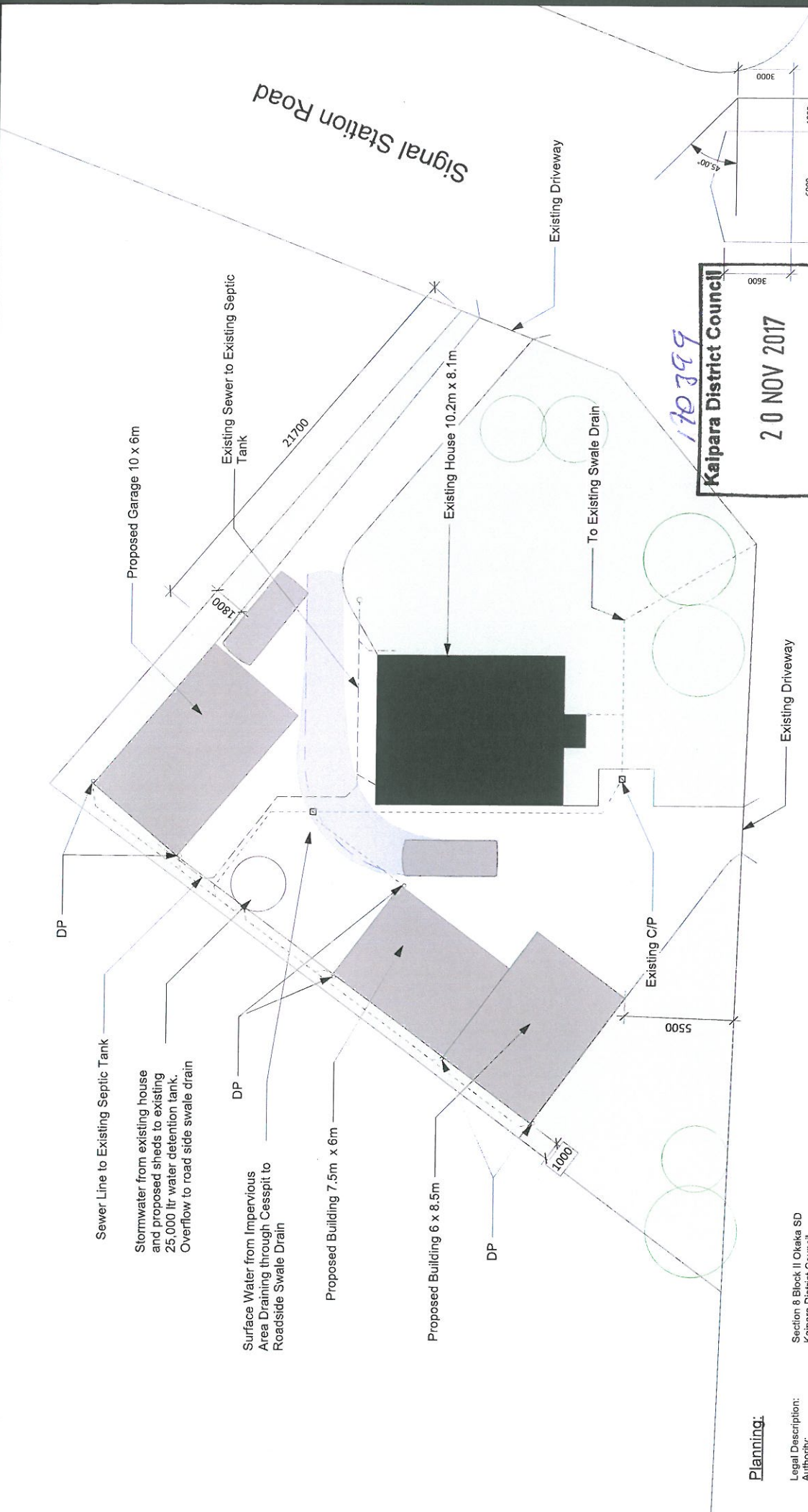
Manager, Resource  
Consents



20/11/2017

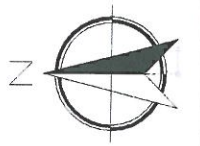
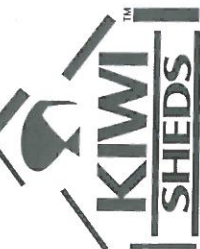
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Jessica Hollis

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Date



170799  
 Kaipara District Council  
 20 NOV 2017  
 APPROVED  
 [Signature]

|         |                       |            |
|---------|-----------------------|------------|
| ISSUE   | DATE                  | REVISION   |
| PROJECT | Proposed Sheds        |            |
| ADDRESS | 3 Signal Station Road |            |
| CLIENT  | Rendle                | DATE #     |
| DWG     | Site Plan             | SCALE @ A3 |
|         |                       | DRAWN      |
|         |                       | CHKD       |
|         |                       | REVISION   |
|         |                       | PROJECT #  |
|         |                       | DWG #      |
|         |                       | 1200       |
|         |                       | A001       |



Pouto Road

**Planning:**

Legal Description: Section 8 Block II Okaka SD  
 Authority: Kaipara District Council  
 District Plan: Residential  
 Site Coverage: 1140m<sup>2</sup>  
 Site Area: 85m<sup>2</sup>  
 Existing Buildings: 156m<sup>2</sup>  
 Proposed Sheds (GDA): 195m<sup>2</sup>  
 Impermeable Yard (exist): 115.5m<sup>2</sup>  
 New Impermeable Yard: 115.5m<sup>2</sup>

DP : 80 mm into 100mm SW  
 CP : Cesspit draining to road side swale drain

Kiwi Sheds Ltd  
 PO Box 155 Drury Auckland  
 T: 0800 454 947  
 W: www.kiwisheds.co.nz  
 E: info@kiwisheds.co.nz

**Form 7**  
**Code compliance certificate**

*Section 95, Building Act 2004*

**The building**

Street address of building: 3 Signal Station Road, RD 1, Te Kopuru  
Legal description of land where building is located: SEC 8 BLK II OKAKA SD  
Building name: N/A  
Location of building within site/block number: 3 Signal Station Road  
RD 1  
Te Kopuru  
Level/unit number: N/A  
Current, lawfully established, use: Unknown  
Year first constructed: 2017

**The owner**

Name of owner: C and M Rendle Family Trust  
Contact person: See agents details  
Mailing address: C/- 122 Cape Hill Road , Pukekohe  
Street address/registered office: C/- 122 Cape Hill Road , Pukekohe , Auckland  
Phone number: Landline: N/A Mobile: 021815665  
Daytime: Landline: N/A Mobile: 021815665  
After hours: Landline: N/A Mobile: 021815665  
Facsimile number: N/A  
Email address: stephen@plan-itrci.co.nz  
First point of contact for communications with the council/building consent authority:  
Stephen Briggs (Plan-It Resource Con Ltd); Mailing Address: C/- 122 Cape Hill Road  
Pukekohe 2120; Mobile: 021815665; Email: stephen@plan-itrci.co.nz

**Building work**

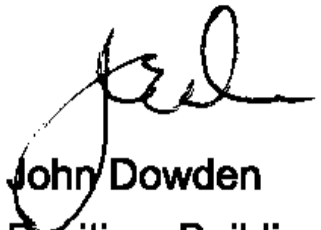
Building consent number: BC170432  
Description: Construction of 3 new sheds  
Issued by: Kaipara District Council

**Code compliance**

The building consent authority named below is satisfied, on reasonable grounds, that -

- the building work complies with the building consent.

Signature:

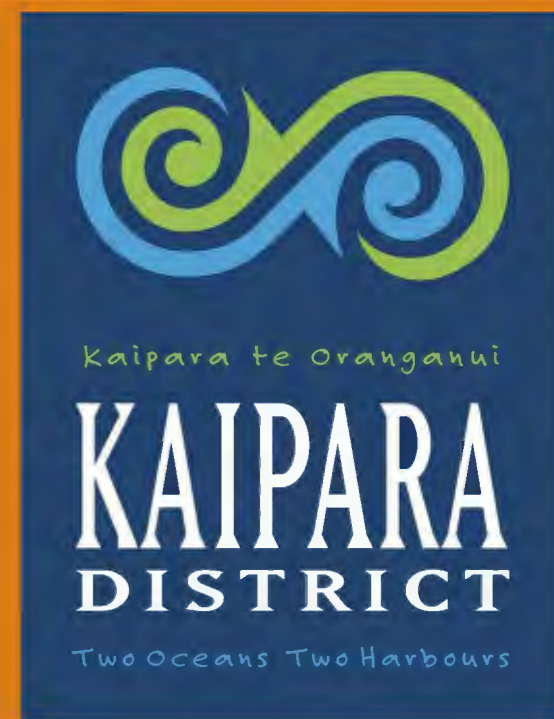


**John Dowden**

**Position: Building Control Officer**

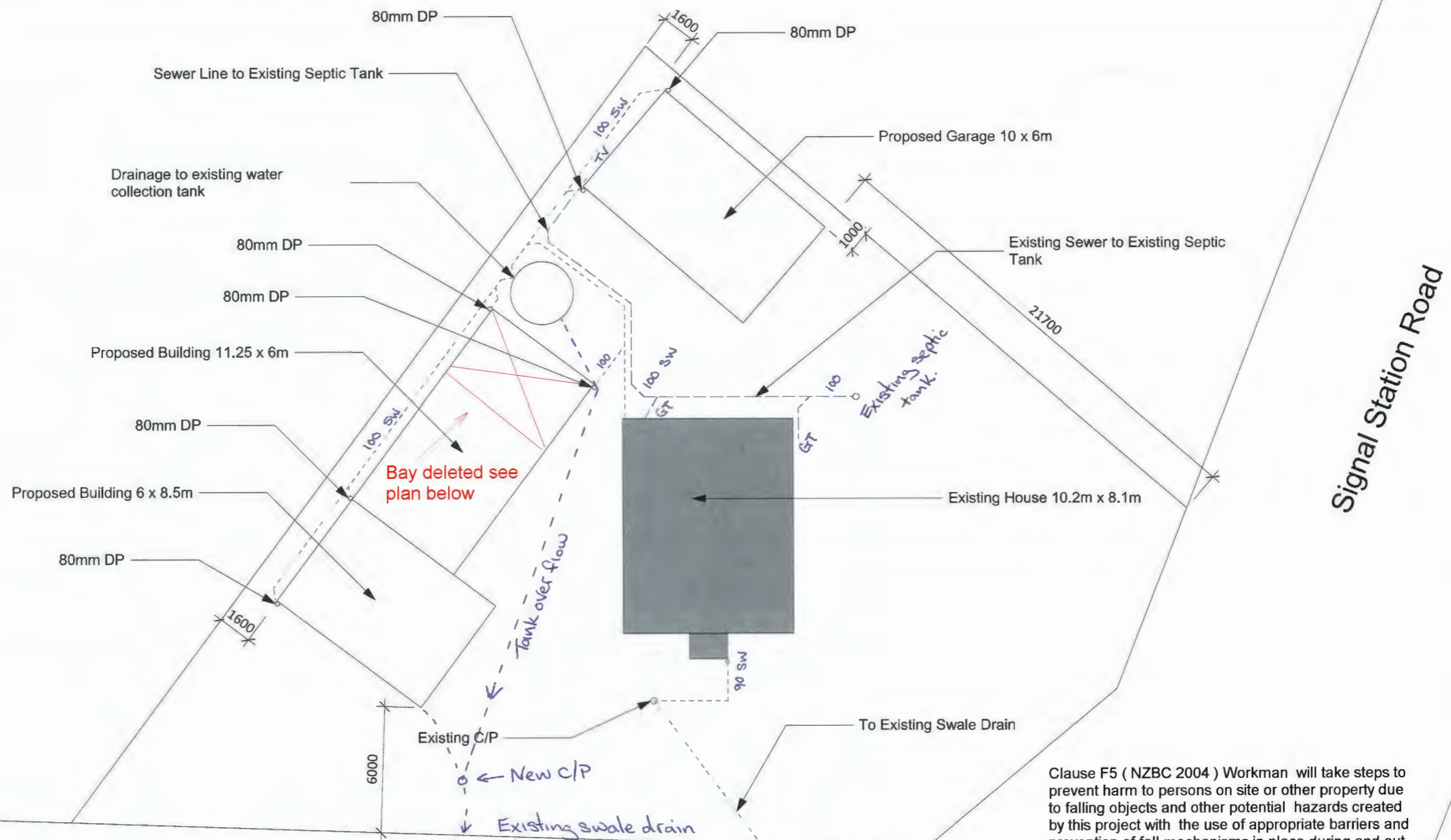
**On behalf of: Kaipara District Council**

**Date: 21 June 2018**



# **Approved Building Consent Documents**

**Please note:** A copy of the stamped, approved documents must be available onsite for **all** inspections.



Clause F5 ( NZBC 2004 ) Workman will take steps to prevent harm to persons on site or other property due to falling objects and other potential hazards created by this project with the use of appropriate barriers and prevention of fall mechanisms in place during and out of works hours.

**Planning:**

Legal Description: Section 8 Block II Okaka SD  
 Authority: Kaipara District Council  
 District Plan: Residential

Site Coverage  
 Site Area: 1140m<sup>2</sup>  
 Existing Buildings: 85m<sup>2</sup>  
 Proposed Shed (GDA): 178.5m<sup>2</sup>  
 Impermeable Area (exist): 85m<sup>2</sup>

Earthworks  
 Area: N/A  
 Cut: N/A  
 Fill: N/A

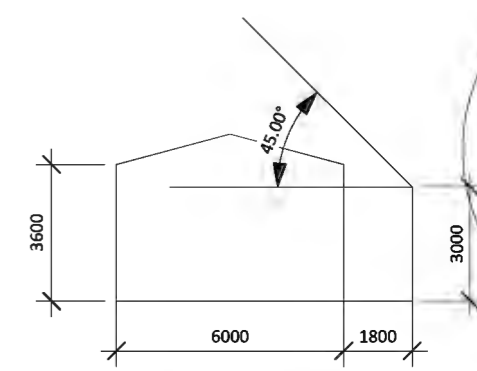
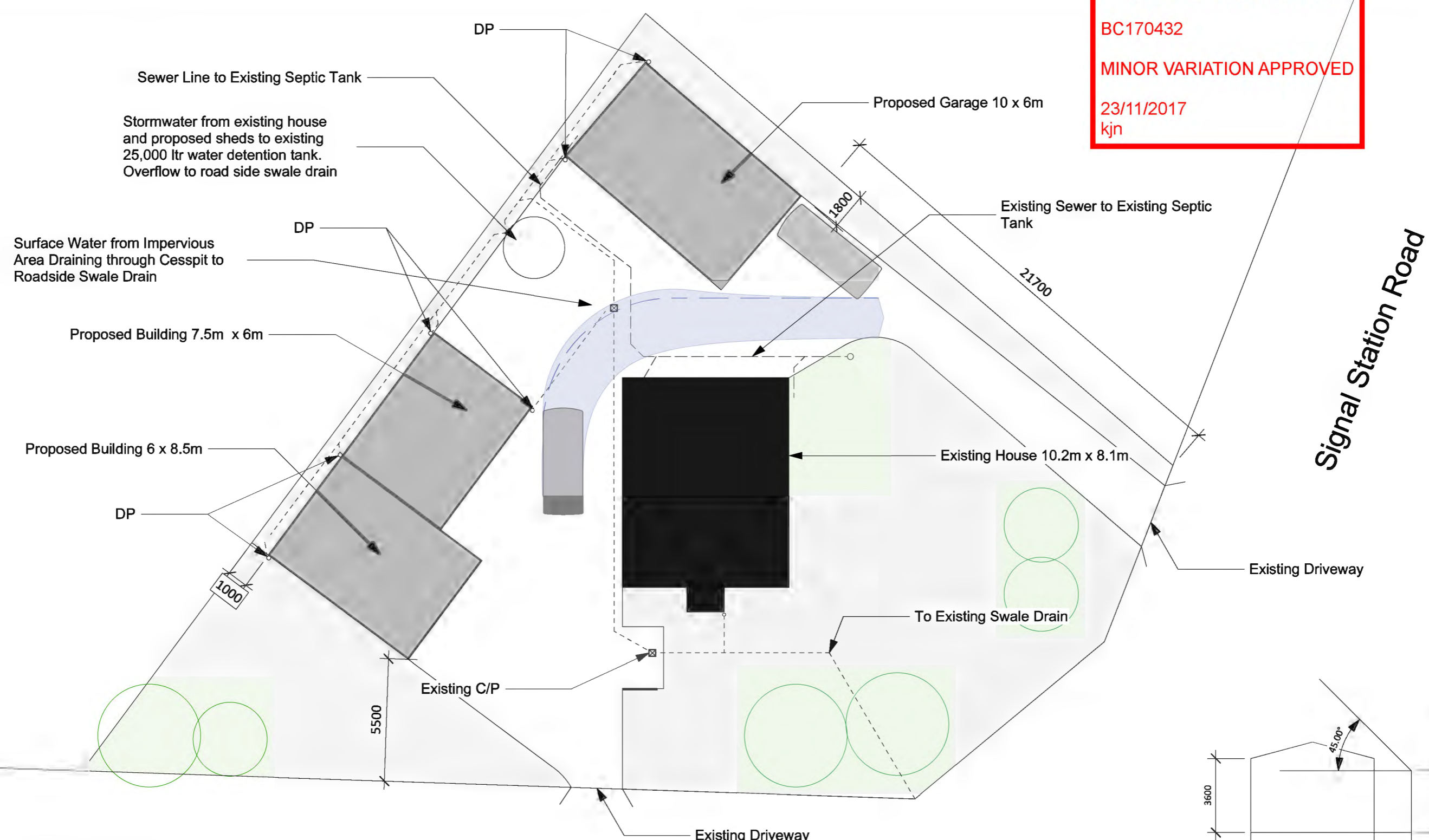
Pouto Road



| ISSUE                            | DATE                | REVISION  |
|----------------------------------|---------------------|-----------|
| PROJECT<br>Proposed Sheds        |                     |           |
| ADDRESS<br>3 Signal Station Road |                     | PROJECT # |
| CLIENT<br>Rendle                 | DATE #              | DWG #     |
| DWG<br>Site Plan                 | SCALE @ A3<br>1:200 | A001      |
|                                  | DRAWN               | REVISION  |
|                                  | CHKD                |           |

**Kiwi Sheds Ltd** 1121 Great South Road Runciman  
 PO Box 155 Drury Auckland T: 0800 454 947  
 W: www.kiwisheds.co.nz  
 E: info@kiwisheds.co.nz

**KAIPARA DISTRICT COUNCIL**  
 BC170432  
**MINOR VARIATION APPROVED**  
 23/11/2017  
 kjn



**Planning:**

Legal Description: Section 8 Block II Okaka SD  
 Authority: Kaipara District Council  
 District Plan: Residential

Site Coverage  
 Site Area: 1140m<sup>2</sup>  
 Existing Buildings: 85m<sup>2</sup>  
 Proposed Sheds (GDA): 156m<sup>2</sup>  
 Impermeable Yard (exist): 195m<sup>2</sup>  
 New Impermeable Yard: 115.5m<sup>2</sup>

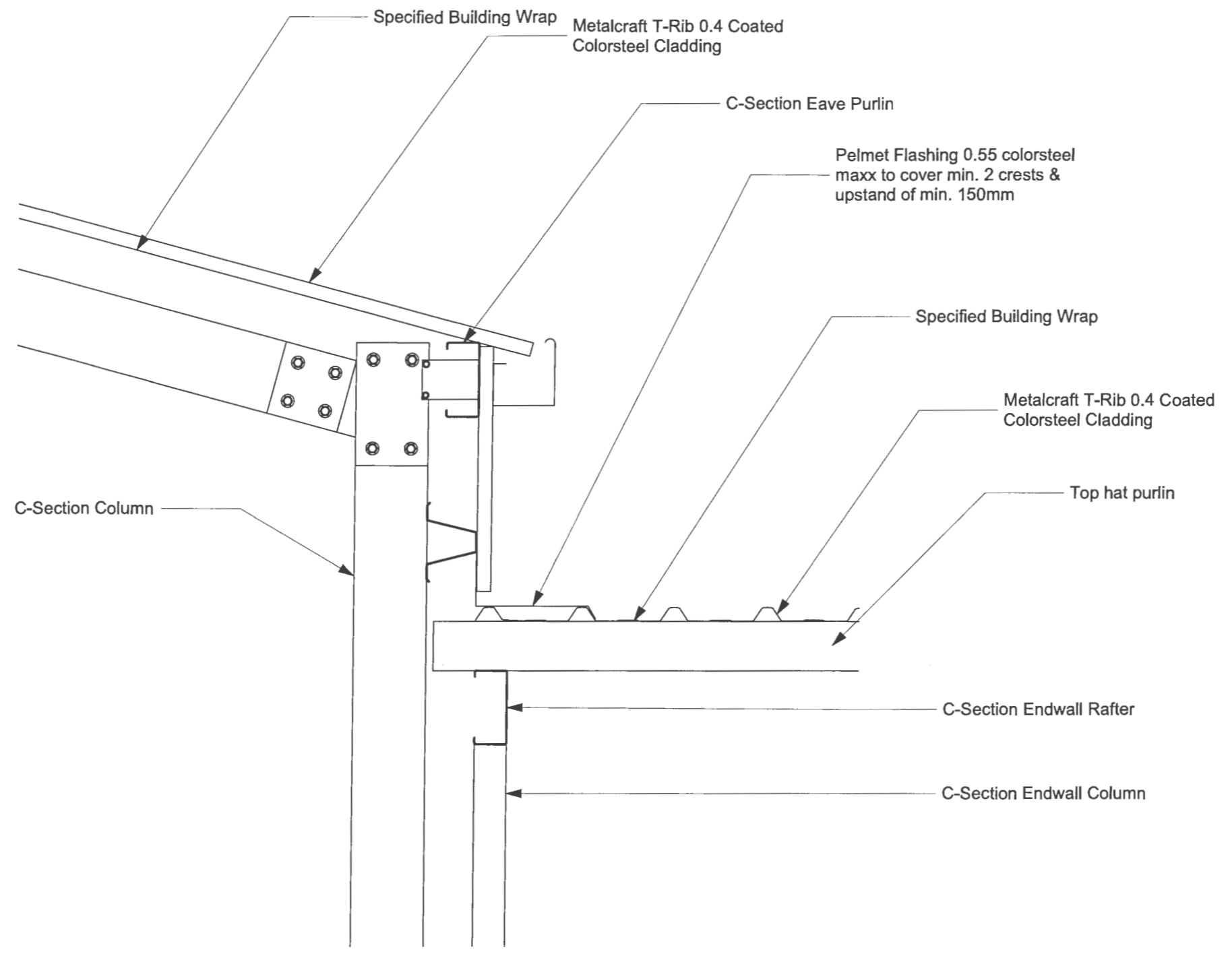
DP : 80 mm into 100mm SW  
 CP : Cesspit draining to road side swale drain

**Pouto Road**



| ISSUE   | DATE       | REVISION | PROJECT #                |
|---------|------------|----------|--------------------------|
| PROJECT |            |          | Proposed Sheds           |
| ADDRESS |            |          | 3 Signal Station Road    |
| CLIENT  |            |          | Rendle                   |
| DWG     |            |          | Site Plan                |
| DATE #  | SCALE @ A3 | 1:200    | PROJECT #<br><b>A001</b> |
| DRAWN   | CHKD       | REVISION |                          |

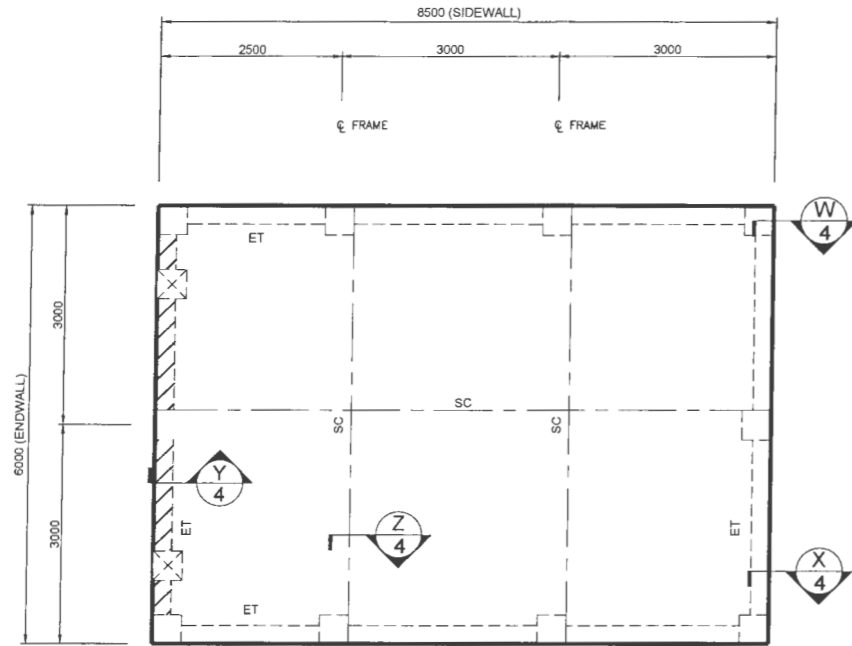
**Kiwi Sheds Ltd** 1121 Great South Road Runciman  
 PO Box 155 Drury Auckland T: 0800 454 947  
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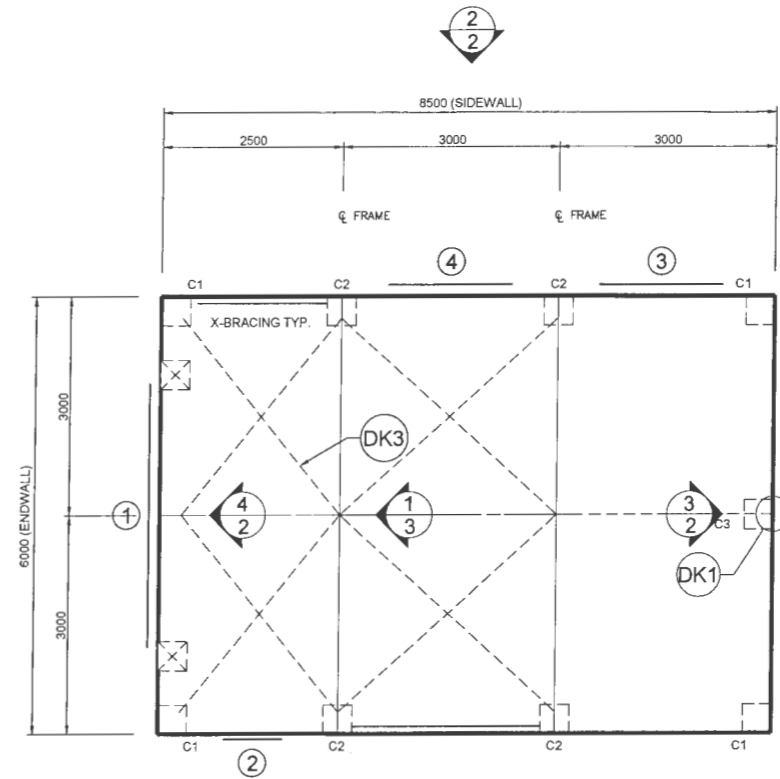
|  |                     |   |
|--|---------------------|---|
| ISSUE  | DATE                | REVISION  |
| PROJECT Proposed Sheds   |                     |   |
| ADDRESS 3 Signal Station Road  |                     | PROJECT #   |
| CLIENT Rendle  | DATE # July 2017    | DWG #   |
| DWG Connection Details   | SCALE @ A3 As Shown | A401  |
| CHKD   | RTG                 | REVISION  |
| <b>Kiwi Sheds Ltd</b><br>PO Box 155 Drury Auckland   |                     | 1121 Great South Road Runciman<br>T: 0800 454 947 |
| W: <a href="http://www.kiwisheds.co.nz">www.kiwisheds.co.nz</a><br>E: <a href="mailto:info@kiwisheds.co.nz">info@kiwisheds.co.nz</a> |                     |   |

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IF IN DOUBT, ASK.



1 SLAB PLAN  
SCALE: 1 = 100



2 MEMBER LAYOUT  
SCALE: 1 = 100

ROOF STRAP BRACING TO BE CONNECTED TO THE PURLIN CLOSEST TO THE LINE OF THE END WALL MULLION  
 SC - DENOTES SAW CUT OFFSET FROM COLUMN 200mm MIN  
 ET - DENOTES EDGE THICKENING  
 //// - DENOTES DOOR REBATE

⊠ - INDICATES ROLLER DOOR COLUMNS

MEMBER LEGEND

|    |        |
|----|--------|
| C1 | C20015 |
| C2 | C20019 |
| C3 | C15019 |

6 OF 1 SHEET  
 DATE 23/6/2017  
 JOB NO. ZNTH20148  
 CHECKED TM  
 DRAWN FDS

STEEL BUILDING BY (CONTACT)  
**KIWISHEDS NORTHLAND LTD**  
 09 432 7330  
**CRAIG & MORAG RENDLE UNIT 1**  
 3 SIGNAL STATION ROAD  
 POUTO POINT



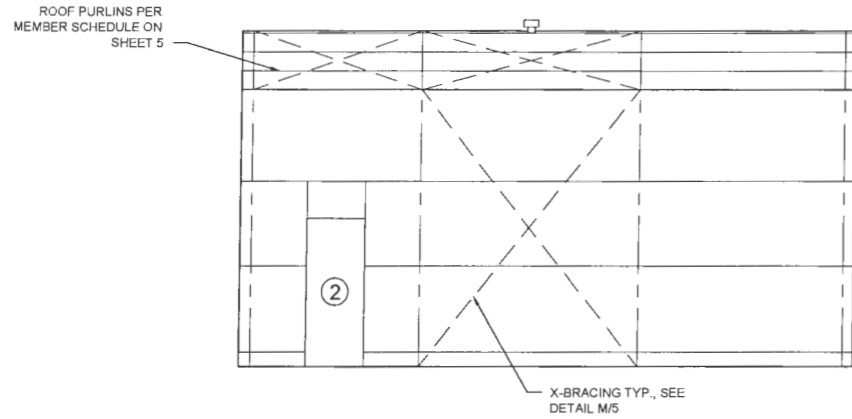
**NORTHERN CONSULTING** engineers  
 Civil & Structural Engineers  
 50 Punari Street  
 Currajong, Qld 4812  
 Email: DesignNZ@nceng.com.au  
 Registered Chartered Professional Engineer  
 Registered Professional Engineer (Civil & Structural) QLD  
 Regn. No. 1029039  
 Regn. No. 9985

Mr Timothy Roy Messer BE MIEAust RPEQ  
 IPENZ 1029039  
 Signature *T. Messer*  
 Date 23/6/2017

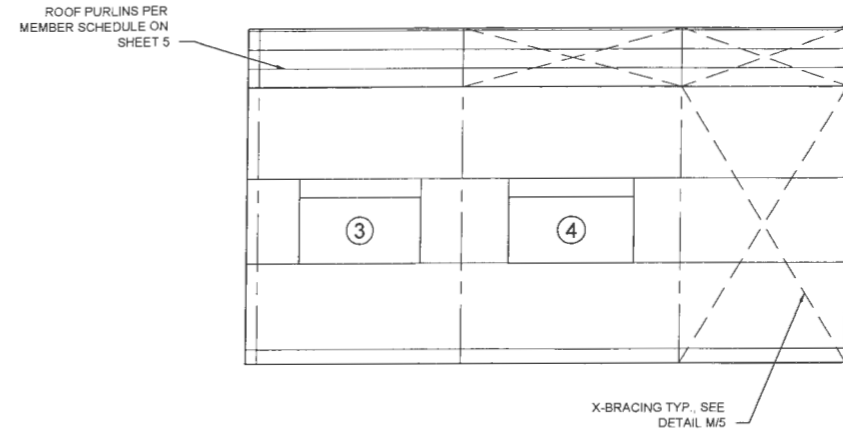
DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE VERIFIED ON SITE.

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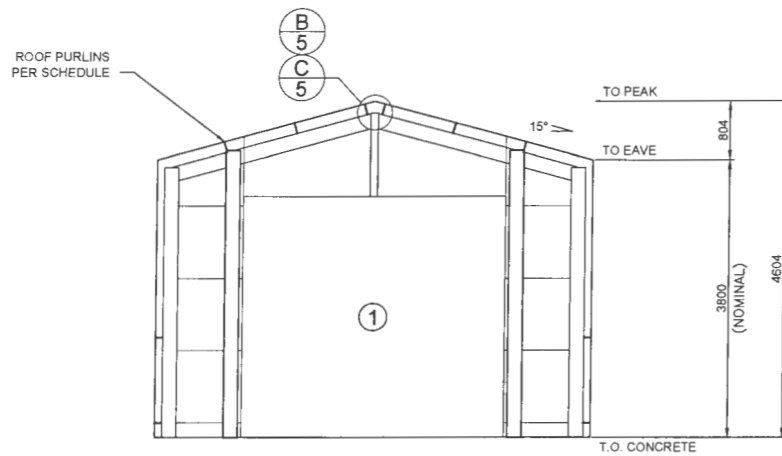
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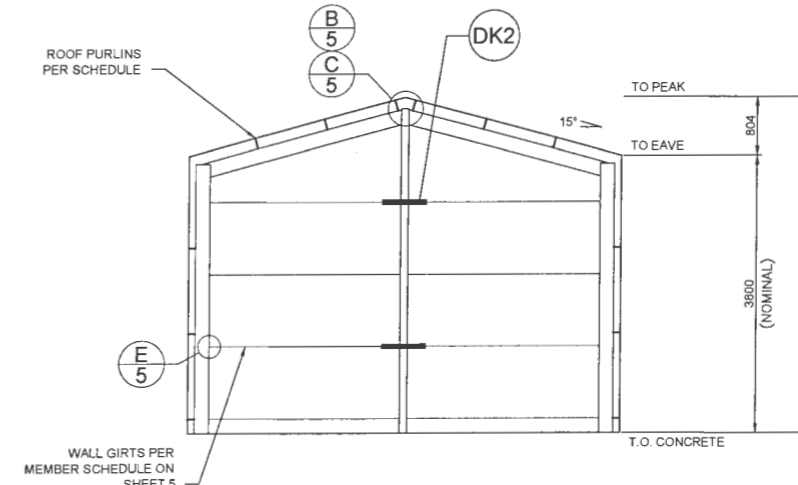
1 SIDEWALL EXTERIOR ELEVATION  
2 SCALE: 1 = 100  
RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8



2 SIDEWALL EXTERIOR ELEVATION  
2 SCALE: 1 = 100  
RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8



4 ENDWALL INTERIOR ELEVATION  
2 SCALE: 1 = 100  
RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8



3 ENDWALL INTERIOR ELEVATION  
2 SCALE: 1 = 100  
RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8

X BRACING IS REQUIRED IN 2 SIDE BAY(S). THIS INCLUDES BOTH CORRESPONDING ROOF BAYS.  
FLY BRACING IS INCLUDED TO BE PLACED ON EVERY SECOND PURLIN AND GIRT ON ENDWALL MULLIONS, INTERNAL COLUMNS AND INTERNAL RAFTERS.

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2 OF 6 SHEET

DATE 23/6/2017  
JOB NO. ZNTH20148  
CHECKED TM  
DRAWN FDS

STEEL BUILDING BY (CONTACT)  
**KIWISHEDS NORTHLAND LTD**  
FOR 09 432 7330  
AT **CRAIG & MORAG RENDLE UNIT 1**  
3 SIGNAL STATION ROAD  
POUTO POINT



**NORTHERN CONSULTING** engineers  
Civil & Structural Engineers  
50 Punari Street  
Currajong, Qld 4812  
Email: DesignNZ@nceng.com.au  
Registered Chartered Professional Engineer  
Registered Professional Engineer (Civil & Structural) QLD  
Regn. No. 1029039  
Regn. No. 9985

Mr Timothy Roy Messer BE MIEAust RPEQ  
IPENZ 1029039  
Signature *T. Messer*  
Date 23/6/2017

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**RISK FACTOR**

| CATEGORY 1. (WIND ZONE) |                             |       |
|-------------------------|-----------------------------|-------|
| RISK CATEGORY           | FEATURE DESCRIPTION         | SCORE |
| LOW RISK                | NZS3604 LOW WIND ZONE       | 0     |
| MEDIUM RISK             | NZS3604 MEDIUM WIND ZONE    | 0     |
| HIGH RISK               | NZS3604 HIGH WIND ZONE      | 1     |
| VERY HIGH RISK          | NZS3604 VERY HIGH WIND ZONE | 2     |

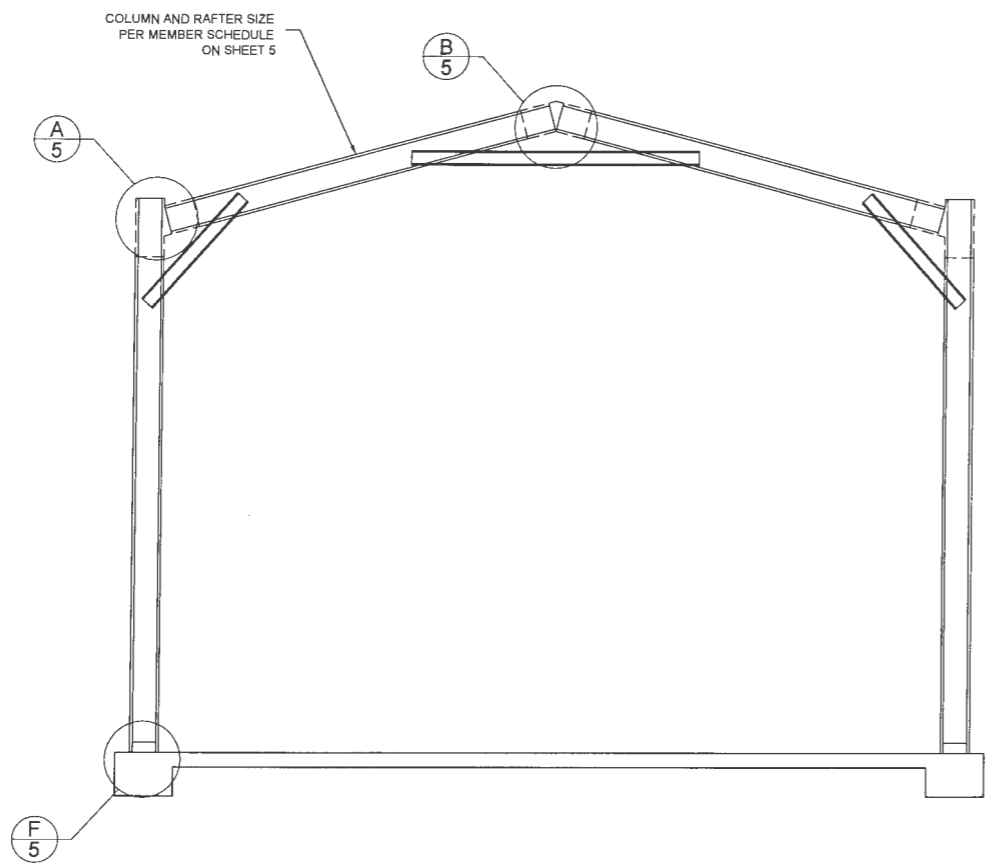
| CATEGORY 2. (BUILDING HEIGHT) |                       |       |
|-------------------------------|-----------------------|-------|
| RISK CATEGORY                 | FEATURE DESCRIPTION   | SCORE |
| LOW RISK                      | ONE STOREY            | 0     |
| MEDIUM RISK                   | TWO STOREYS IN PART   | 1     |
| HIGH RISK                     | TWO STOREYS           | 2     |
| VERY HIGH RISK                | MORE THAN TWO STOREYS | 4     |

| CATEGORY 3. (ROOF/WALL INTERSECTIONS) |  |       |
|---------------------------------------|--|-------|
| RISK CATEGORY                         | FEATURE DESCRIPTION  | SCORE |
| LOW RISK                              | ROOF/WALL INTERSECTION FULLY PROTECTED, EG. HIP AND GABLE ROOF WITH EAVES                | 0     |
| MEDIUM RISK                           | ROOF/WALL INTERSECTION PARTLY EXPOSED, EG. HIP AND GABLE ROOF WITH NO EAVES(FASICA ONLY) | 1     |
| HIGH RISK                             | ROOF/WALL INTERSECTION FULLY EXPOSED, EG. PARAPET WALL OR REVERSE SLOPES EAVES           | 3     |
| VERY HIGH RISK                        | ROOF ELEMENTS FINISHING WITHIN ALL CLADDINGS (LOWER ENDS OF APRONS, CHIMNEYS ETC.)       | 5     |

| CATEGORY 4. (EAVES WIDTH) |  |       |
|---------------------------|--|-------|
| RISK CATEGORY             | FEATURE DESCRIPTION  | SCORE |
| LOW RISK                  | GREATER THAN 600mm AT 1ST FLOOR LEVEL  | 0     |
| MEDIUM RISK               | 450mm - 600mm AT 1ST FLOOR LEVEL, OR GREATER THAN 600mm AT 2ND FLOOR LEVEL           | 1     |
| HIGH RISK                 | 100-450mm AT 1ST FLOOR LEVEL, OR 450-600mm AT 2ND FLOOR LEVEL                        | 2     |
| VERY HIGH RISK            | 0-100mm AT 1ST FLOOR LEVEL OR 100-450mm AT 2ND FLOOR LEVEL OR 450-600mm AT 3RD LEVEL | 5     |

| CATEGORY 5. (ENVELOPE COMPLEXITY) |  |       |
|-----------------------------------|--|-------|
| RISK CATEGORY                     | FEATURE DESCRIPTION  | SCORE |
| LOW RISK                          | SIMPLE RECTANGULAR, L.T OR BOOMERANG SHAPE, SINGLE CLADDING TYPE   | 0     |
| MEDIUM RISK                       | COMPLEX, ANGULAR, OR CURVED BUILDING SHAPES (Y OR ARROW HEAD) SINGLE WALL CLADDING TYPE                                      | 1     |
| HIGH RISK                         | COMPLEX, ANGULAR, OR CURVED BUILDING SHAPES (Y OR ARROW HEAD) MULTIPLE WALL CLADDING TYPE                                    | 3     |
| VERY HIGH RISK                    | AS FOR RISK BUT WITH JUNCTIONS NOT COVERED IN TABLE 1C OR 1F (EG. BOX WINDOWS PERGOLAS, MULTI STOREY RE-ENTRANT SHAPES ETC.) | 6     |

| CATEGORY 6. (DECKS & BALCONIES) |  |       |
|---------------------------------|--|-------|
| RISK CATEGORY                   | FEATURE DESCRIPTION  | SCORE |
| LOW RISK                        | NONE OR TIMBER SLATTED DECK OR PORCH AT GROUND LEVEL                           | 0     |
| MEDIUM RISK                     | FULLY ROOFED WATERPROOF DECK, OR TIMBER SLATTED DECK AT 1ST OR 2ND FLOOR LEVEL | 2     |
| HIGH RISK                       | 1ST LEVEL WATERPROOF DECK OR 1ST LEVEL CANTILEVERED SLATTED DECK               | 4     |
| VERY HIGH RISK                  | 2ND LEVEL WATERPROOF DECK, OR 2ND LEVEL CANTILEVERED SLATTED DECK              | 6     |



1 INTERNAL FRAME SECTION  
3 SCALE: 1=50

Refer to Sheet #4 for concrete specification.

|                                     |                       |                   |               |              |   |  |  |  |
|-------------------------------------|-----------------------|-------------------|---------------|--------------|---|--|--|--|
| SHEET<br><b>3</b><br>OF<br><b>6</b> | JOB NO.<br>ZNTHT20148 | DATE<br>23/6/2017 | CHECKED<br>TM | DRAWN<br>FDS | STEEL BUILDING BY (CONTACT)<br><b>KIWISHEDS NORTHLAND LTD</b><br>FOR 09 432 7330<br>AT <b>CRAIG &amp; MORAG RENDLE UNIT 1</b><br>3 SIGNAL STATION ROAD<br>POUTO POINT |  | <br>Civil & Structural Engineers<br>50 Punari Street<br>Currajong, Qld 4812<br>Email: DesignNZ@nceng.com.au<br><small>Registered Chartered Professional Engineer<br/>Registered Professional Engineer (Civil &amp; Structural) QLD</small> | Mr Timothy Roy Messer BE MIEAust RPEQ<br>IPENZ 1029039<br>Signature <i>T. Messer</i><br>Date ..... 23/6/2017 |
|-------------------------------------|-----------------------|-------------------|---------------|--------------|---|--|--|--|

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**STRUCTURAL GENERAL NOTES**

- GOVERNING CODE** : NEW ZEALAND BUILDING CODE 2004, APPROVED DOCUMENT B1 STRUCTURE, LOADING TO AS/NZS1170 - ALL SECTIONS.
- DRAWING OWNERSHIP** : THESE DRAWINGS REMAIN THE PROPERTY OF DELCON HOLDINGS (NO11) LIMITED. ENGINEERING SIGNATURE AND CERTIFICATION IS ONLY VALID WHEN BUILDING IS SUPPLIED BY A DISTRIBUTOR OF DELCON HOLDINGS. DRAWINGS ARE PROVIDED FOR THE DUAL PURPOSE OF OBTAINING BUILDING PERMITS AND AIDING CONSTRUCTION. ANY OTHER USE OR REPRODUCTION IS PROHIBITED WITHOUT WRITTEN APPROVAL FROM DELCON HOLDINGS.
- DRAWING SIGNATURE REQUIREMENTS** : THESE DRAWINGS ARE NOT VALID UNLESS SIGNED BY THE ENGINEER. THE ENGINEER ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR DRAWINGS WITHOUT A SIGNATURE. EACH TITLE BLOCK CONTAINS A WATER MARK UNDER THE CUSTOMER'S NAME CONTAINING THE DATE OF PRODUCTION OF THE DRAWINGS; THE DRAWINGS ARE TO BE SUBMITTED TO COUNCIL WITHIN 21 DAYS OF THIS DATE. THIS IS TO ENSURE THAT ONLY CURRENT DRAWINGS ARE IN CIRCULATION.
- CONTRACTOR RESPONSIBILITIES** : CONTRACTOR IS RESPONSIBLE FOR ENSURING NO PART OF THE STRUCTURE BECOMES OVERSTRESSED DURING CONSTRUCTION. BUILDING IS NOT STRUCTURALLY ADEQUATE UNTIL THE INSTALLATION OF ALL COMPONENTS AND DETAILS SHOWN IS COMPLETED IN ACCORDANCE WITH THESE DRAWINGS. CONTRACTOR SHALL VERIFY AND CONFIRM ALL EXISTING CONDITIONS AND DIMENSIONS. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS PRIOR TO START OF WORK. CONTRACTOR MUST NOT MAKE ANY DEVIATION FROM THE PROVIDED PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM ONE OF THE UNDERSIGNING ENGINEERS. THE ENGINEER / DELCON HOLDINGS TAKE NO RESPONSIBILITY FOR CHANGES MADE WITHOUT WRITTEN APPROVAL. CONTRACTOR IS RESPONSIBLE FOR ENSURING NO PART OF THE STRUCTURE BECOMES OVERSTRESSED DURING CONSTRUCTION.
- ENGINEERING** : THE ENGINEER / DELCON HOLDINGS ARE NOT ACTING AS PROJECT MANAGERS FOR THIS DEVELOPMENT, AND WILL NOT BE PRESENT DURING CONSTRUCTION. THE UNDERSIGNING ENGINEERS HAVE REVIEWED THIS BUILDING FOR CONFORMITY ONLY TO THE STRUCTURAL DESIGN PORTIONS OF THE GOVERNING CODE. THE PROJECT MANAGER IS RESPONSIBLE FOR ADDRESSING ANY OTHER CODE REQUIREMENTS APPLICABLE TO THIS DEVELOPMENT. THESE DOCUMENTS ARE STAMPED ONLY AS TO THE COMPONENTS SUPPLIED BY DELCON HOLDINGS. IT IS THE RESPONSIBILITY OF THE PURCHASER TO COORDINATE DRAWINGS PROVIDED BY DELCON HOLDINGS WITH OTHER PLANS AND/OR OTHER COMPONENTS THAT ARE PART OF THE OVERALL PROJECT. IN CASES OF DISCREPANCIES, THE LATEST DRAWINGS PROVIDED BY DELCON HOLDINGS SHALL GOVERN.
- INSPECTIONS** : NO SPECIAL INSPECTIONS ARE REQUIRED BY THE GOVERNING CODE ON THIS JOB. ANY OTHER INSPECTIONS REQUESTED BY THE LOCAL BUILDING DEPARTMENT SHALL BE CONDUCTED AT THE OWNER'S EXPENSE.
- SOIL REQUIREMENTS** : SOIL SAFE BEARING CAPACITY VALUE INDICATED ON DRAWING SHEET 4 OCCURS AT 100mm BELOW FINISH GRADE, EXISTING NATURAL GRADE, OR AT FROST DEPTH SPECIFIED BY LOCAL BUILDING DEPARTMENT, WHICHEVER IS THE LOWEST ELEVATION, REGARDLESS OF DETAIL Y ON SHEET 4 THE MINIMUM FOUNDATION DEPTH SHOULD BE 100MM INTO NATURAL GROUND OR BELOW FROST DEPTH SPECIFIED BY LOCAL COUNCIL. ROLLED OR COMPACTED FILL MAY BE USED UNDER SLAB, COMPACTED IN 150mm LAYERS TO A MAXIMUM DEPTH OF 900mm. CONCRETE FOUNDATION EMBEDMENT DEPTHS DO NOT APPLY TO LOCATIONS WHERE ANY UNCOMPACTED FILL OR DISTURBED GROUND EXISTS OR WHERE WALLS OF THE EXCAVATION WILL NOT STAND WITHOUT SUPPLEMENTAL SUPPORT, IN THIS CASE SEEK FURTHER ENGINEERING ADVICE. OTHER SITE CONDITIONS INCLUDING THOSE SUBJECT TO HIGH GROUND MOVEMENT DUE TO MOISTURE CHANGES, TO BE REFERRED TO A REGISTERED STRUCTURAL ENGINEER.
- CONCRETE REQUIREMENTS** : ALL CONCRETE DETAILS AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH NZS3101.142. CONCRETE SHALL HAVE A MIN. 28-DAY STRENGTH OF 20MPa FOR EXPOSURE A1, A2 & B1, 25MPa FOR EXPOSURE B2 AND 32MPa FOR EXPOSURE C. CEMENT TO BE TYPE A. MAX AGGREGATE SIZE OF 20mm. SLUMP TO BE 80mm +/- 15mm. SLABS TO BE CURED FOR 7 DAYS BY WATERING OR COVERING WITH A PLASTIC MEMBRANE, AFTER WHICH CONSTRUCTION CAN BEGIN, DUE CARE GIVEN NOT TO OVER-TIGHTEN HOLD DOWN BOLTS. GIVEN ALLOWABLE SOIL TYPES, 1 LAYER OF 665 REINFORCING MESH OR FOR RESIDENTIAL HABITABLE BUILDINGS FLETCHER SUPER DUCTILE MESH GRADE 500E (OR EQUIVALENT).
- STRUCTURAL STEEL REQUIREMENTS** : ALL STRUCTURAL STEEL, INCLUDING SHEETING THOUGH EXCLUDING CONCRETE REINFORCING, SHALL CONFORM TO AS 1397 (GAUGE <= 1mm Fy = 550MPa, GAUGE > 1mm < 1.5mm Fy = 500MPa, GAUGE >= 1.5mm Fy = 450MPa). NO WELDING IS TO BE PERFORMED ON THIS BUILDING. ALL STRUCTURAL MEMBERS AND CONNECTIONS DESIGNED TO NZ4600. ALL BOLT HOLE DIAMETERS TO METALCRAFT GENERAL PUNCHINGS.

NOTE: THESE PLANS ARE NOT VALID WITHOUT CERTIFIED, JOB SPECIFIC PRODUCER STATEMENT BY AN (IPENZ) CIVIL ENGINEER.

**PROJECT DESIGN CRITERIA**

ROOF LIVE LOAD: 0.25 kPa  
 BASIC WIND SPEED: VR 0 m/s  
 SITE WIND SPEED: V<sub>sit</sub>, B 47 m/s  
 WIND REGION: Reg A  
 TOPOGRAPH FACTOR, k<sub>t</sub>: 1  
 SHIELDING FACTOR, k<sub>s</sub>: 1  
 MAX GROUND SNOW LOAD: NA  
 MAX ROOF SNOW LOAD: NA  
 SITE ALTITUDE: NA  
 TERRAIN CATEGORY: TCat 3  
 SOIL SAFE BEARING CAPACITY: 100 kPa  
 RETURN PERIOD: NA  
 LIMITING CPI 1: -0.3  
 LIMITING CPI 2: 0  
 IMPORTANCE LEVEL: 2

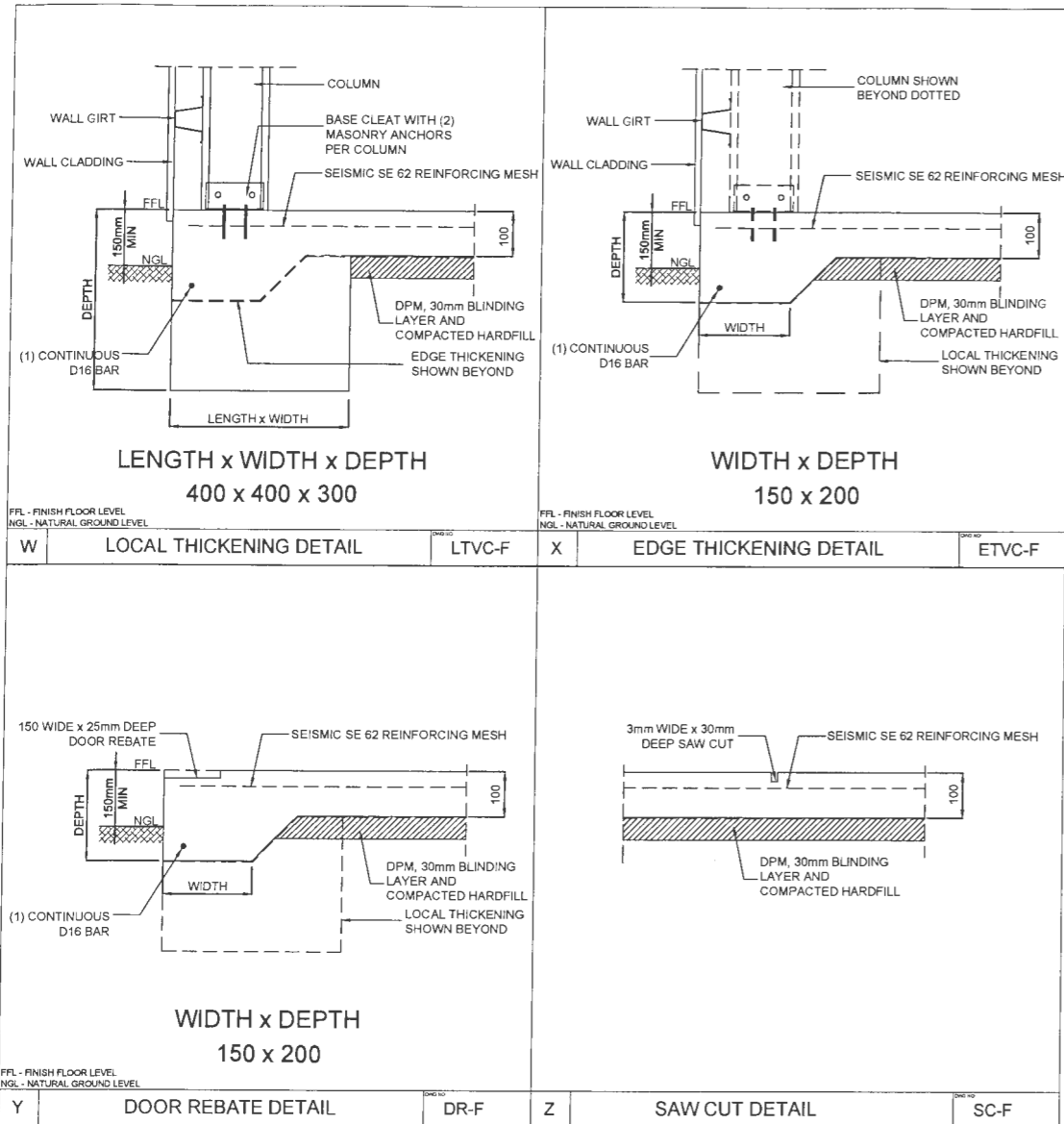
**DETAIL KEYS**

- (DK1) ENDWALL VERTICAL MULLION (SEE DETAIL C/5 FOR TOP CONN. AND F/5 FOR BASE CONN.)
- (DK2) FLYBRACING PER DETAIL L/5
- (DK3) X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)

**DOOR SCHEDULE**

| DOOR | WIDTH | HEIGHT | OPENING TYPE  | HEADER GIRT | OPENING JAMBS |
|------|-------|--------|---|-------------|---------------|
| ①    | 3600  | 3300   | 3.30H X 3.70TCW C/B S3 INDUSTRIAL DOOR DD CHAIN DRIVE | SINGLE      |               |
| ②    | 810   | 2029   | PA DOOR GLASS DOOR C/B 2.03 X 0.81                    | SINGLE      |               |
| ③    | 1700  | 910    | WINDOW  | SINGLE      |               |
| ④    | 1700  | 910    | WINDOW  | SINGLE      |               |

NOTES: 1) SEE SHEET 5 FOR DOOR OPENING FRAMING INFORMATION  
 2) ALL DOOR SCHEDULE MEASUREMENTS ARE ACTUAL DOOR/WINDOW SIZE NOT OPENING SIZE.



EDGE BEAM IS PROVIDED FOR STRENGTHENING OF THE SLAB UNDER WHEEL LOADS AND IS NOT SITE SPECIFICALLY DESIGNED FOR LIQUEFACTION TYPE, EXPANSIVE OR PROBLEM SOILS, SPECIFICALLY TC3 AND PEAT SOILS

\* Site Wind Speed Override In Use: Please Ensure Correct Wind Region Still Selected

|                                     |                      |                   |               |              |   |  |   |  |
|-------------------------------------|----------------------|-------------------|---------------|--------------|---|--|---|--|
| SHEET<br><b>4</b><br>OF<br><b>6</b> | JOB NO.<br>ZNTH20148 | DATE<br>23/6/2017 | CHECKED<br>TM | DRAWN<br>FDS | STEEL BUILDING BY (CONTACT)<br><b>KIWISHEDS NORTHLAND LTD</b><br>FOR 09 432 7330<br><b>CRAIG &amp; MORAG RENDLE UNIT 1</b><br>AT 3 SIGNAL STATION ROAD<br>POUTO POINT |  | Civil & Structural Engineers<br>50 Punari Street<br>Currajong, Qld 4812<br>Email: DesignNZ@nceng.com.au<br>Registered Chartered Professional Engineer<br>Registered Professional Engineer (Civil & Structural) QLD<br>Regn. No. 1029039<br>Regn. No. 9985 | Mr Timothy Roy Messer BE MIEAust RPEQ<br>IPENZ 1029039<br>Signature <i>T. Messer</i><br>Date ..... 23/6/2017 ..... |
|-------------------------------------|----------------------|-------------------|---------------|--------------|---|--|---|--|

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MEMBER AND MATERIAL SCHEDULE

|    |                                  |  |
|----|----------------------------------|--|
| 1  | END WALL RAFTER                  | Single C20015  |
| 2  | C.S. FRAME RAFTER                | Single C20019  |
| 3  | END FRAME COLUMN (C1)            | Single C20015  |
| 4  | C.S. FRAME COLUMN (C2)           | Single C20019  |
| 5  | MULLION (C3)                     | Single C15019  |
| 6  | C.S. FRAME KNEE BRACE            | Single C10010 @ 1.20 LONG 3 bolts each end               |
| 7  | KNEE BRACE HEIGHT UP COLUMN      | 3.04m  |
| 8  | KNEE BRACE LENGTH UP RAFTER      | 0.62m  |
| 9  | C.S. FRAME APEX BRACE            | Single C10010 @ 1.98 LONG 2 bolts each end               |
| 10 | APEX POSITION FROM RAFTER END    | 1.02m  |
| 11 | ANCHOR BOLTS (# PER DETS.)       | C200 High Tensile Sleeve Anchor M12 x 80                 |
| 12 | EAVE PURLIN                      | C10015 (Eave Purlin Bracket 0mm from top of column)      |
| 13 | TYP. ROOF PURLIN SIZE            | Roof Batten 100 x 0.8                                    |
| 14 | MAIN BLDG. PURLIN SPACING        | 1.00 m. (3 rows) (Max Allow. 1.20m)                      |
| 15 | TYP. SIDEWALL GIRT SIZE          | Roof Batten 100 x 0.8                                    |
| 16 | MAIN BLDG. SIDEWALL GIRT SPACING | 1.17 m. (3 rows) (Max Allow. 1.20m)                      |
| 17 | TYP. ENDWALL GIRT SIZE           | Roof Batten 100 x 0.8                                    |
| 18 | MAIN BLDG. ENDWALL GIRT SPACING  | 0.99 m. (4 rows) (Max Allow. 1.20m)                      |
| 19 | FRAME SCREW FASTENERS            | Heavy Duty Structural Screw 5/16 drive                   |
| 20 | FRAME BOLT FASTENERS             | 12 x 30mm Bolt Ass High Tensile                          |
| 21 | X-BRACING STRAP AND FASTENERS    | 50 x 0.95 Bracing Strap with 4 x 14g Tek Screws Each End |
| 22 | WALL COLOUR                      | SANDSTONE GREY   |
| 23 | ROOF COLOUR                      | SANDSTONE GREY   |
| 24 | ROLLER DOOR COLOUR               | GREY FRIARS  |
| 25 | P.A. DOOR COLOUR                 | GREY FRIARS  |
| 26 | WINDOW COLOUR                    | GREY FRIARS  |
| 27 | ROOF VENT COLOUR                 | SANDSTONE GREY   |
| 28 | DOWNPIPE COLOUR                  | GREY FRIARS  |
| 29 | GUTTER COLOUR                    | GREY FRIARS  |
| 30 | CORNER FLASHING COLOUR           | SANDSTONE GREY   |
| 31 | BARGE FLASHING COLOUR            | GREY FRIARS  |
| 32 | OPENING FLASHING COLOUR          | GREY FRIARS  |
| 33 | OPEN BAY HEADER HEIGHT           | 2  |

"C.S." = CLEARSPAN "L" = LEFT "R." = RIGHT

PURLIN AND GIRT LENGTHS

| BAY | WIDTH | PURLIN LENGTH       | GIRT LENGTH         |
|-----|-------|---------------------|---------------------|
| 1   | 2.5m  | 2.73 m. (0.23m Lap) | 2.73 m. (0.23m Lap) |
| 2   | 3m    | 3.41 m. (0.41m Lap) | 3.41 m. (0.41m Lap) |
| 3   | 3m    | 3.23 m. (0.23m Lap) | 3.23 m. (0.23m Lap) |

8 x M12 THROUGH BOLTS  
HAUNCH BRACKET  
COLUMN  
KNEE BRACE\*

APEX BRACKET  
RAFTER  
8 x M12 THROUGH BOLTS  
APEX BRACE\*

MULLION FIXING BRACKET  
RAFTER  
END WALL MULLIONS

ROOF PURLIN  
RAFTER  
4x14 GAUGE Ø OVERLAP, 2 EACH SIDE PER END, 1 LIP, 1 WEB  
4x14 GAUGE TEK SCREWS PER CONNECTION 2 EACH SIDE

WALL GIRT  
COLUMN  
2x14 GAUGE Ø OVERLAP, 1 EACH SIDE PER END OF OVERLAP  
4x14 GAUGE TEKS SCREWS PER CONNECTION 2 EACH SIDE

NOTES:  
1. 12x14 GAUGE TEK SCREWS FOR TOTAL LAP AND CONNECTION  
2. SCREWS IN LAP LOCATED 25mm FROM END OF LAP

NOTES:  
1. 8x14 GAUGE TEK SCREWS FOR TOTAL LAP AND CONNECTION  
2. SCREWS IN LAP LOCATED 25mm FROM END OF LAP

WALL GIRT  
COLUMN  
2x14 GAUGE Ø OVERLAP, 1 EACH SIDE PER END OF OVERLAP  
2x14 GAUGE TEKS SCREWS PER CONNECTION 1 EACH SIDE

NOTES:  
1. 6x14 GAUGE TEK SCREWS FOR TOTAL LAP AND CONNECTION  
2. SCREWS IN LAP LOCATED 25mm FROM END OF LAP

CEE COLUMN  
TOPHAT GIRT  
100 50 165  
2- 14 Gauge "Tek's" per side of bracket  
End Wall Girt Bracket

COLUMN  
BASE CLEAT  
Note: \* Refer to Member Schedule for Masonry Anchors and Frame Bolts.

SCREW ARRANGEMENTS FOR ROOF SHEETS  
OVERLAP  
RIDGE PURLIN 45mm Long Roof Screws  
INTERMEDIATE PURLINS 45mm Long Roof Screws  
EAVE PURLINS 45mm Long Roof Screws  
0.40mm BMT T-RIB40 ROOFING

SCREW ARRANGEMENTS FOR WALL SHEETS  
OVERLAP  
16mm Long Wall Screws  
0.40mm BMT T-RIB40 WALL SHEETING

ENDWALL GIRT CONNECTION DETAIL  
"C" SECTION DOOR HEADER  
RAFTER  
END WALL DOOR JAMB  
4-12 GAUGE 'TEKS' PER ANGLE BRACKET

END WALL GIRT CONNECTION  
2 x 'Tek's' Screws  
PA DOOR JAMB  
WALL GIRT  
OUTSIDE BUILDING

BASE CONNECTION  
FLY BRACING  
MULLION & INTERNAL COLUMN & INTERNAL RAFTER  
FLY BRACING

ROOF SHEETING PROFILE  
STRAP BRACE  
COLUMN OR RAFTER  
ROOF PURLIN OR WALL GIRT  
"TEK" (x2)  
STRAP BRACE IS BENT OVER PURLIN OR GIRT AND "TEK'S" SCREWED TO COLUMN OR RAFTER

WALL SHEET PROFILE  
TOP OF COLUMNS  
DOUBLE EAVE PURLIN BRACKET  
SINGLE EAVE PURLIN BRACKET

SIDE DOOR SUPPORT CONNECTION  
WALL GIRT  
3 x 'Tek's' Screws  
WALL GIRT  
3 x 'Tek's' Screws  
WINDOW VERTICAL FRAME (WALL GIRT)  
OUTSIDE BUILDING

PERSONAL ACCESS DOOR  
ROLLER DOOR CURTAIN  
ROLLER DOOR TRACK  
SLAB EDGE  
BASE CLEAT  
STAND ALONE C-SECTION AS DOOR JAMB

FLYBRACING  
STRAP BRACING

EAVE PURLIN BRACKET

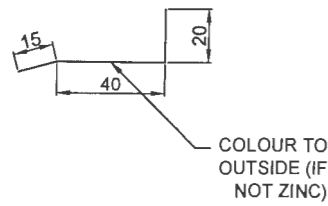
WINDOW FRAME ATTACHMENT DETAIL  
WALL GIRT  
WADT

SINGLE DOORS TO SINGLE ROLLER DOOR JAMB  
SDSRM

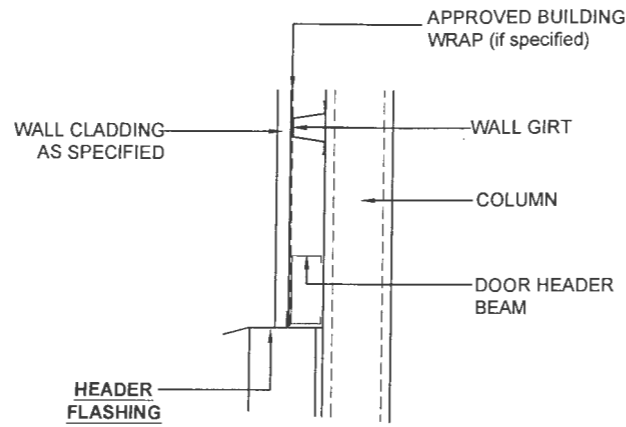
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|                       |                      |               |              |  |   |  |  |
|-----------------------|----------------------|---------------|--------------|--|---|--|--|
| SHEET<br>5<br>OF<br>6 | DATE<br>23/6/2017    | CHECKED<br>TM | DRAWN<br>FDS | STEEL BUILDING BY<br><b>KIWISHEDS NORTHLAND LTD</b><br>FOR<br><b>CRAIG &amp; MORAG RENDLE UNIT 1</b><br>AT<br><b>3 SIGNAL STATION ROAD<br/>POUTO POINT</b> | <br>Registered Chartered Professional Engineer<br>Registered Professional Engineer (Civil & Structural) QLD | <br>Civil & Structural Engineers<br>50 Punari Street<br>Currajong, Qld 4812<br>Email: DesignNZ@nceng.com.au<br>Regn. No. 1029039<br>Regn. No. 9985 | Mr Timothy Roy Messer BE MIEAust RPEQ<br>IPENZ 1029039<br>Signature: <i>T. Messer</i><br>Date: 23/6/2017 |
|                       | JOB NO.<br>ZNTH20148 |               |              |  |   |  |  |

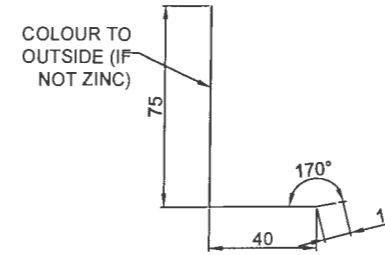
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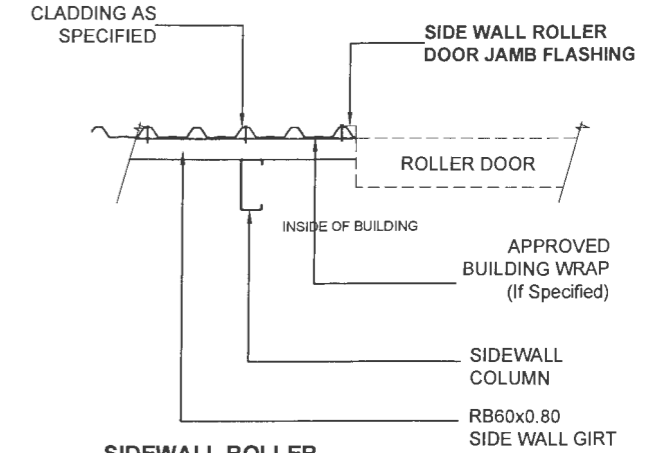
**OPENING HEADER FLASHING**  
1:5



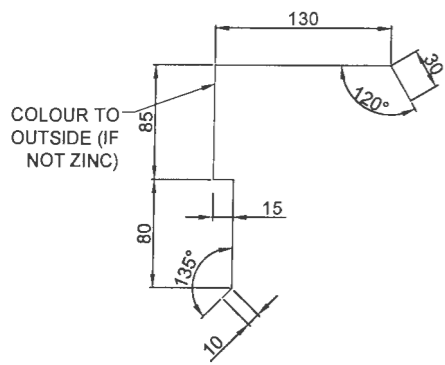
**DOOR HEADER FLASHING DETAIL**  
1:20



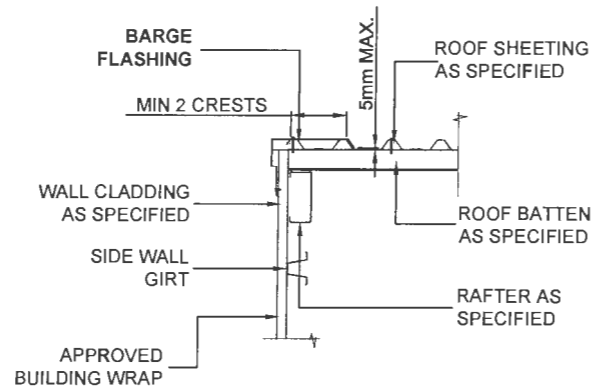
**OPENING FLASHING**  
1:5



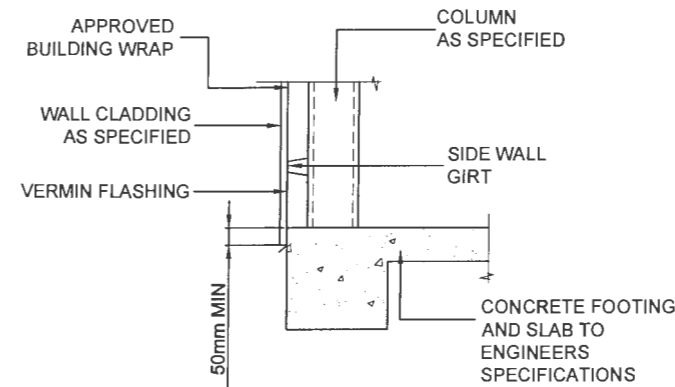
**SIDEWALL ROLLER DOOR JAMB FLASHING CONNECTION DETAIL**  
1:20



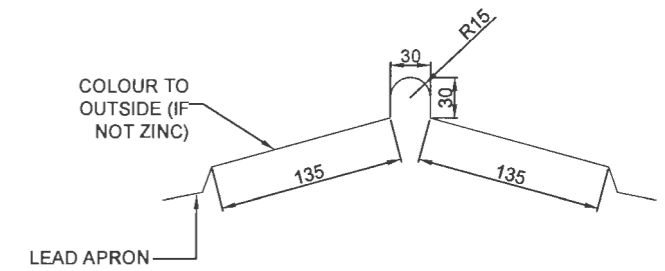
**BARGE FLASHING**  
1:5



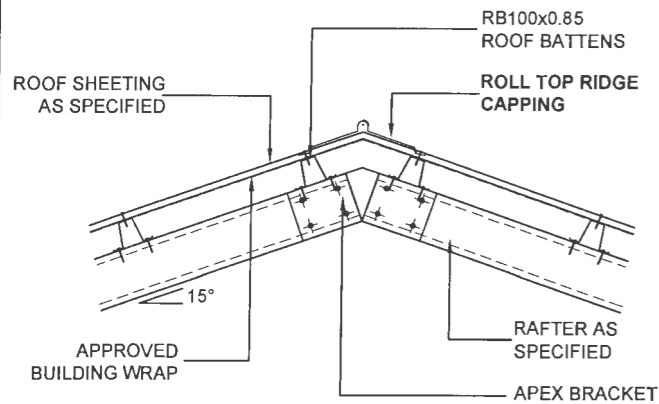
**BARGE FLASHING CONNECTION DETAIL**  
1:20



**VERMIN FLASHING CONNECTION DETAIL**  
1:20



**RIDGE FLASHING**  
1:5



**RIDGE CAPPING CONNECTION DETAIL**  
1:20

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|              |       |           |           |         |       |
|--------------|-------|-----------|-----------|---------|-------|
| 6<br>OF<br>6 | SHEET | JOB NO.   | DATE      | CHECKED | DRAWN |
|              |       | ZNTH20148 | 23/6/2017 | TM      | FDS   |

STEEL BUILDING BY (CONTACT)  
**KIWISHEDS NORTHLAND LTD**  
 09 432 7330  
 FOR **CRAIG & MORAG RENDLE UNIT 1**  
 AT **3 SIGNAL STATION ROAD POUTO POINT**



**NORTHERN CONSULTING engineers**  
 Civil & Structural Engineers  
 50 Punari Street  
 Currajong, Qld 4812  
 Email: DesignNZ@nceng.com.au  
 Registered Chartered Professional Engineer  
 Registered Professional Engineer (Civil & Structural) QLD  
 Regn. No. 1029039  
 Regn. No. 9985

Mr Timothy Roy Messer BE MIEAust RPEQ  
 IPENZ 1029039  
 Signature *T. Messer*  
 Date 23/6/2017

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Building Code Clause(s) B1 / VM1

PRODUCER STATEMENT - PS1 - DESIGN

(Guidance notes on the use of this form are attached to this Statement)

ISSUED BY : NORTHERN CONSULTING ENGINEERS (Design Firm)

TO : CRAIG & MORAG RENDLE UNIT 1 (Owner/Developer)

TO BE SUPPLIED TO : KAIPARA DISTRICT COUNCIL (Building Consent Authority)

IN RESPECT OF : 6m Wide, 8.5m Long and 3.8m High. With 15Deg Roof Pitch and 3 side boys. (Description of Building Work)

AT : 3 SIGNAL STATION ROAD POUTO POINT 0391 LOT DP 8 SO 11 (Address)

We have been engaged by the owner / developer referred to above to provide - Structural Engineering Design services in respect of the requirements of Clause(s) B1 of the Building Code. (Extent of Engagement)

All [X] or Part only [ ] (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

[X] Compliance Documents issued by the Ministry of Business, Innovation & Employment in accordance with the following standards AS/NZS1170, NZS3101, and AS/NZS4600 and verification method B1/VM1 or

[ ] Alternative solution as per the attached schedule.....

The proposed building work covered by this producer statement is described on the attached drawings list and numbered as set out on the Drawings List together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

(i) Site Verification of the following design assumptions - Good Ground Conditions as per NZS 3604

Wind Region ..A.. Terrain Cat ...3... Topgraphy Factor ...1... Shielding Factor ...1...

Max Ground Snow Load ..NA.. kPa, Max Roof Snow Load ..NA.. kPa

(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) building, if constructed in accordance with the drawings, specifications and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code. and that b) the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

[ ] CM1 [ ] CM2 [ ] CM3 [ ] CM4 [ ] CM5 (Engineering Categories) or [ ] as per agreement with owner/developer (Architectural)

I Tim Messer am: [X] CPEng IPENZ 1029039 #

(Name of Design Professional)

[ ] Reg Arch #

I am a Member of : [X] IPENZ [ ] NZIA and hold the following qualifications : CPEng (Civil Structural) , BE (Civil)

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less the \$200,000\*

The Design Firm is a member of ACENZ: [ ]

SIGNED BY : Tim Messer ON BEHALF OF Northern Consulting Engineers (Design Firm)

Date : 23/6/2017 (signature) [Handwritten Signature]

Note : This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000\*

This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.

THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACENZ, IPENZ AND NZIA

### DRAWING LIST

| Job Number | Sheet | Revision | Date      | Description                     |
|------------|-------|----------|-----------|---------------------------------|
| ZNTH20148  | 1     | 0        | 23/6/2017 | FOUNDATION PLAN / MEMBER LAYOUT |
| ZNTH20148  | 2     | 0        | 23/6/2017 | ELEVATIONS                      |
| ZNTH20148  | 3     | 0        | 23/6/2017 | SECTION                         |
| ZNTH20148  | 4     | 0        | 23/6/2017 | FOOTING DETAILS                 |
| ZNTH20148  | 5     | 0        | 23/6/2017 | MEMBER SCHEDULE / DETAILS       |
| ZNTH20148  | 6     | 0        | 23/6/2017 | FLASHING / APPLICATION DETAILS  |

## GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1992. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suite of producer statements has been revised at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

|                                |   |
|--------------------------------|---|
| <b>PS1 Design</b>              | Intended for use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;                             |
| <b>PS2 Design Review</b>       | Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;          |
| <b>PS3 Construction</b>        | Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2003 <sup>1</sup> or Schedules E1/E2 of NZIA's SCC 2007 <sup>2</sup>   |
| <b>PS4 Construction Review</b> | Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate. |

This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, IPENZ and NZIA to interpret the Producer Statement.

### Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence-based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as the Institution of Professional Engineers New Zealand (IPENZ) or the New Zealand Institute of Architects (NZIA), provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

### \* Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

### Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-CM5)<sup>3</sup> (OL1-OL4)<sup>2</sup>. The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

### Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

### Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

### Refer Also:

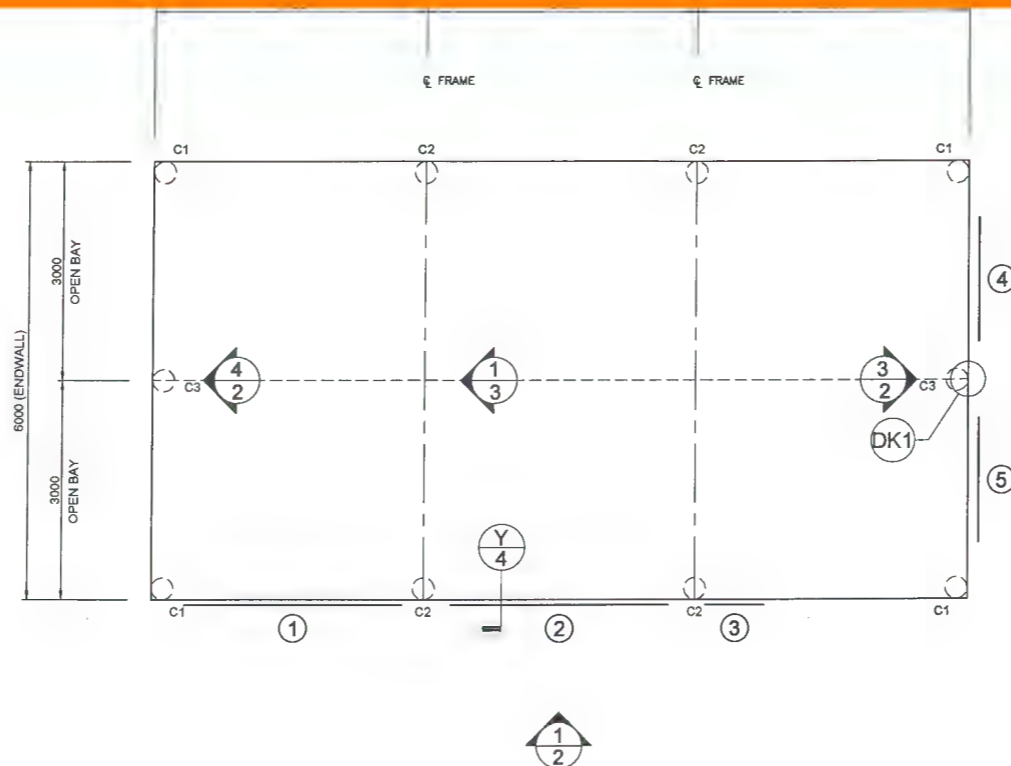
- <sup>1</sup> *Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2003*
- <sup>2</sup> *NZIA Standard Conditions of Contract SCC 2007 (1st edition)*
- <sup>3</sup> *Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)*

[www.acenz.org.nz](http://www.acenz.org.nz)  
[www.ipenz.org.nz](http://www.ipenz.org.nz)  
[www.nzia.co.nz](http://www.nzia.co.nz)

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IF IN DOUBT, ASK.

**SUPERSEDED**



1 FOUNDATION PLAN AND MEMBER LAYOUT  
SCALE: 1 = 100

MEMBER LEGEND

|    |        |
|----|--------|
| C1 | C20015 |
| C2 | C20019 |
| C3 | C15012 |

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DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE VERIFIED ON SITE.

|       |           |         |       |                   |           |
|-------|-----------|---------|-------|-------------------|-----------|
| SHEET | DATE      | CHECKED | DRAWN | STEEL BUILDING BY | (CONTACT) |
|       |           |         |       | FOR               |           |
| 1     | 23/6/2017 | TM      | FDS   | AT                |           |
| OF    |           |         |       |                   |           |
| 6     |           |         |       |                   |           |
|       | JOB NO.   |         |       |                   |           |
|       | ZNTH20147 |         |       |                   |           |

FOR AT  
**KIWISHEDS NORTHLAND LTD**  
 09 432 7330  
**CRAIG & MORAG RENDLE UNIT 2**  
 3 SIGNAL STATION ROAD  
 POUTO POINT



**NORTHERN CONSULTING**  
 engineers  
 Civil & Structural Engineers  
 50 Punari Street  
 Currajong, Qld 4812  
 Email: DesignNZ@nceng.com.au  
 Registered Chartered Professional Engineer  
 Registered Professional Engineer (Civil & Structural) QLD  
 Regn. No. 1029039  
 Regn. No. 9985

Mr Timothy Roy Messer BE MIEAust RPEQ  
 IPENZ 1029039  
 Signature *T. Messer*  
 Date 23/6/2017

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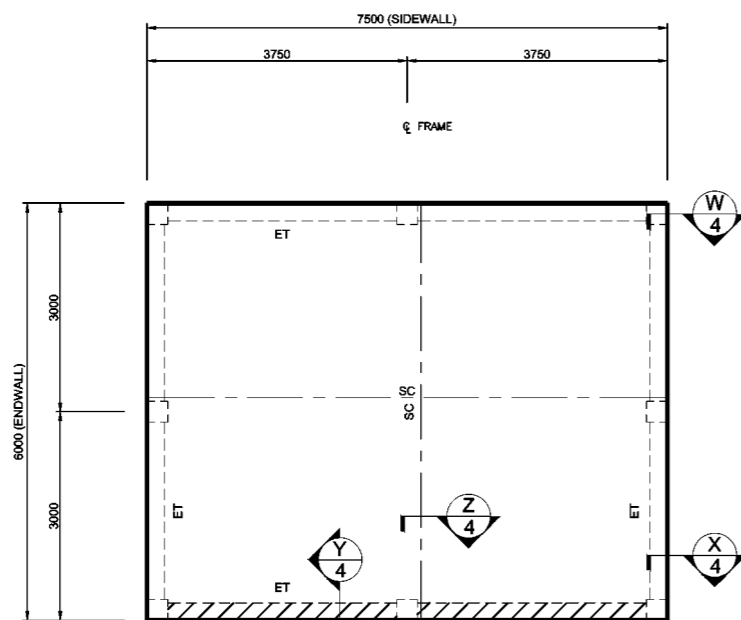
KAIPARA DISTRICT COUNCIL

BC170432

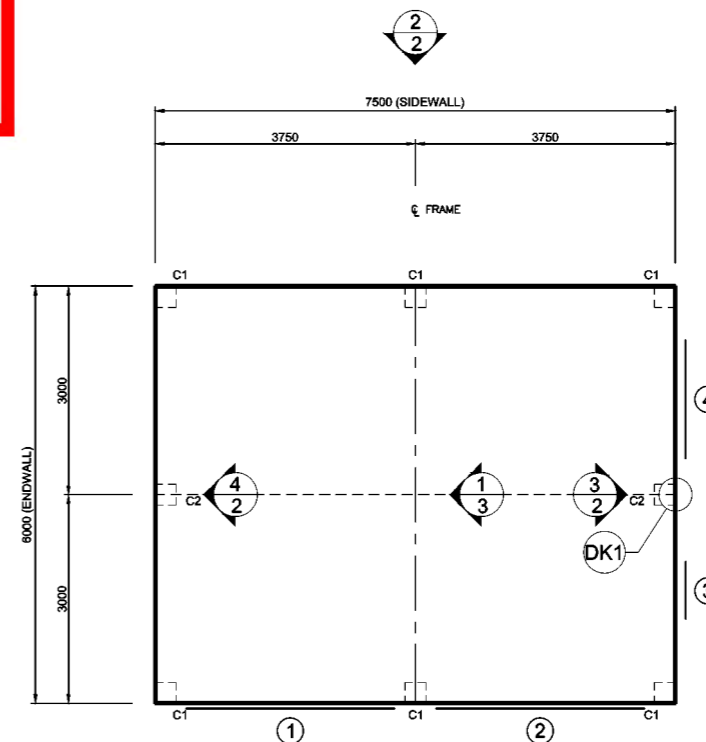
MINOR VARIATION APPROVED

23/11/2017

kjn



1 SLAB PLAN  
1 SCALE: 1 = 100



2 MEMBER LAYOUT  
1 SCALE: 1 = 100

SC - DENOTES SAW CUT OFFSET FROM COLUMN 200mm MIN  
ET - DENOTES EDGE THICKENING  
//// - DENOTES DOOR REBATE

MEMBER LEGEND

|    |        |
|----|--------|
| C1 | C20015 |
| C2 | C15012 |

DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE VERIFIED ON SITE.

|       |            |                   |           |
|-------|------------|-------------------|-----------|
| SHEET | 1          | OF                | 6         |
|       |            |                   |           |
| DATE  | 17/11/2017 | CHECKED           | TM        |
| DRAWN | FDS        | STEEL BUILDING BY | (CONTACT) |

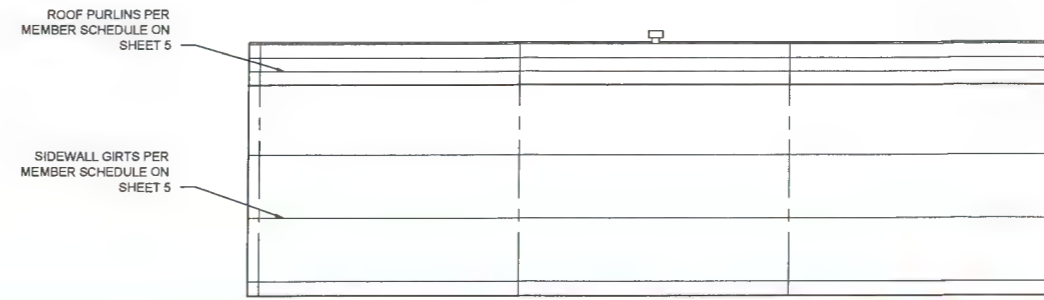
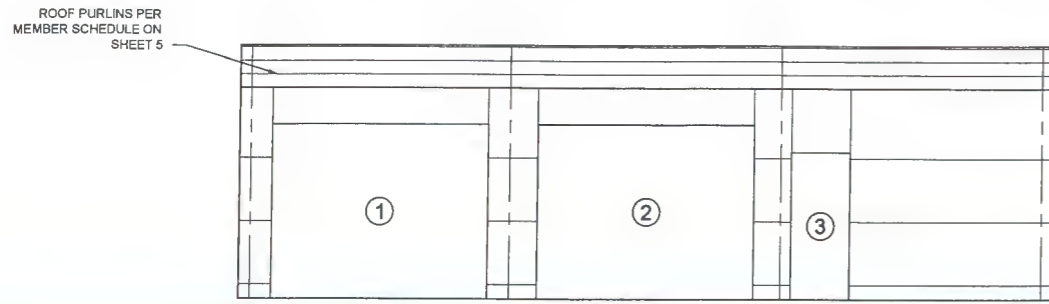
**KIWISHEDS NORTHLAND LTD**  
FOR  
**CRAIG & MORAG 2 KOWHAI**  
AT  
3 SIGNAL STATION ROAD  
POUTO POINT



**NORTHERN CONSULTING engineers**  
Civil & Structural Engineers  
50 Punari Street  
Currajong, Qld 4812  
Email: DesignNZ@nceng.com.au  
Registered Chartered Professional Engineer  
Registered Professional Engineer (Civil & Structural) QLD

Mr Timothy Roy Messer BE MIEAust RPEQ  
IPENZ 1029039  
Signature *T. Messer*  
Date 17/11/2017

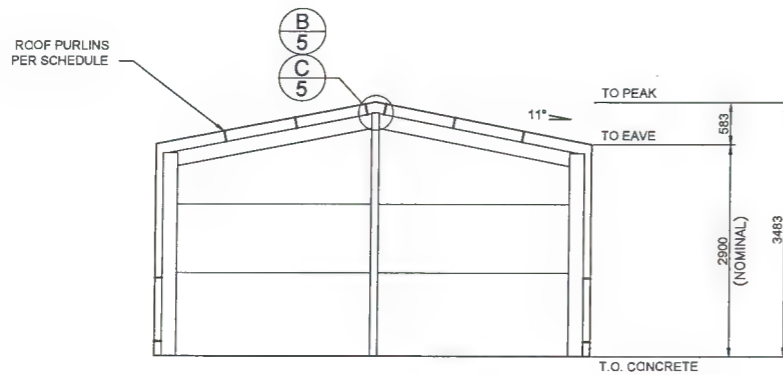
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1 SIDEWALL EXTERIOR ELEVATION  
2 SCALE: 1 = 100  
RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8

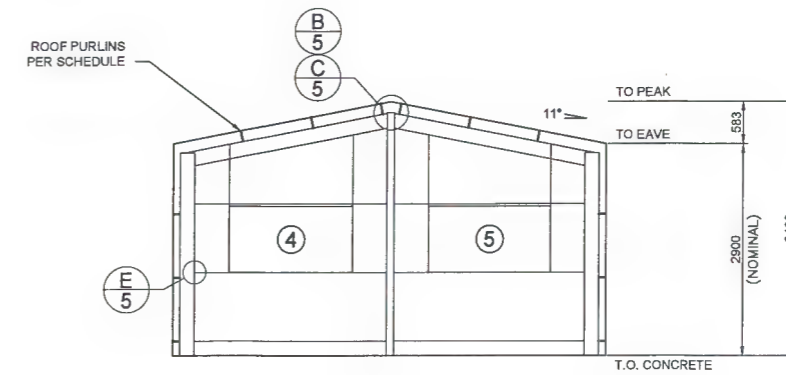
**SUPERSEDED**

2 SIDEWALL EXTERIOR ELEVATION  
2 SCALE: 1 = 100  
RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8



4 ENDWALL INTERIOR ELEVATION  
2 SCALE: 1 = 100  
RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8

DIAGONAL X BRACING NOT REQUIRED IN THIS BUILDING.  
CLADDING DIAPHRAGM SUFFICIENT.



3 ENDWALL INTERIOR ELEVATION  
2 SCALE: 1 = 100  
RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8

|   |    |   |       |           |           |         |       |
|---|----|---|-------|-----------|-----------|---------|-------|
| 6 | of | 2 | SHEET | JOB NO.   | DATE      | CHECKED | DRAWN |
|   |    |   |       | ZNTH20147 | 23/6/2017 | TJM     | FDS   |

STEEL BUILDING BY (CONTACT)  
**KIWISHEDS NORTHLAND LTD**  
FOR 09 432 7330  
AT **CRAIG & MORAG RENDLE UNIT 2**  
3 SIGNAL STATION ROAD  
POUTO POINT

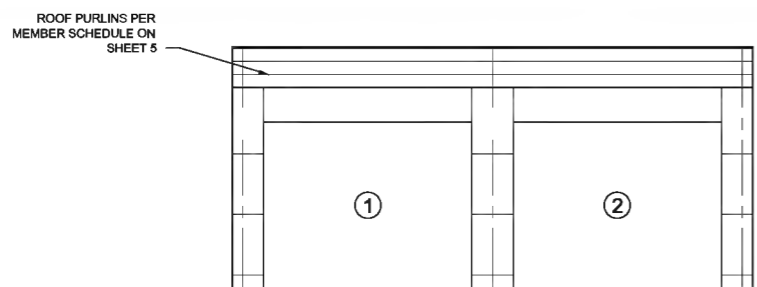


**NORTHERN CONSULTING** engineers  
Civil & Structural Engineers  
50 Punari Street  
Currajong, Qld 4812  
Email: DesignNZ@nceng.com.au  
Registered Chartered Professional Engineer  
Registered Professional Engineer (Civil & Structural) QLD  
Regn. No. 1029039  
Regn. No. 9985

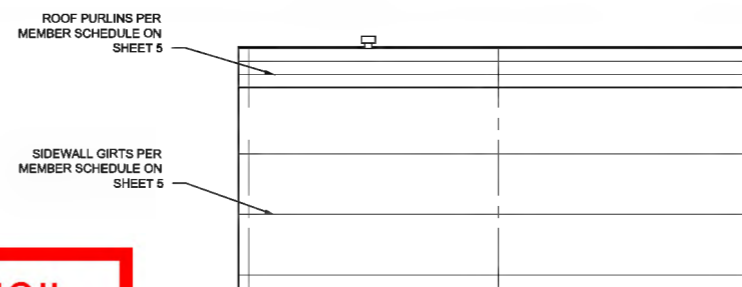
Mr Timothy Roy Messer BE MIEAust RPEQ  
IPENZ 1029039  
Signature *T. Messer*  
Date 23/6/2017

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on are may or any or any purpose  
 The local distributor you are dealing with is an authorised independent distributor of Delcon Holdings (No1 ) Limited's products and enters into agreements with its customers on its own behalf and not as an agent of Delcon Holdings (No1 ) Limited.



1 SIDEWALL EXTERIOR ELEVATION  
 2 SCALE: 1 = 100  
 RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8



2 SIDEWALL EXTERIOR ELEVATION  
 2 SCALE: 1 = 100  
 RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8

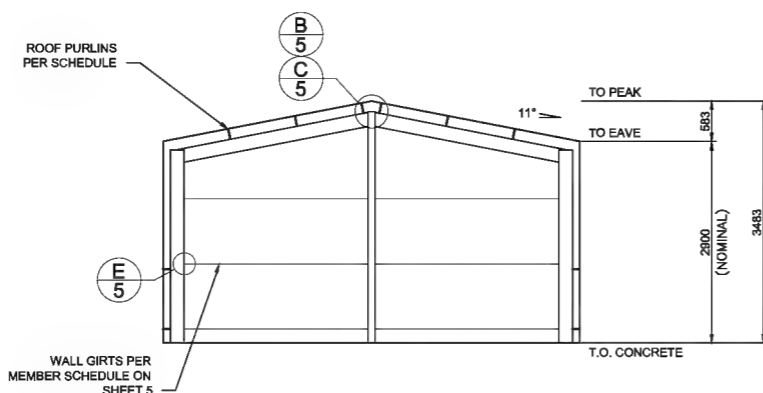
KAIPARA DISTRICT COUNCIL

BC170432

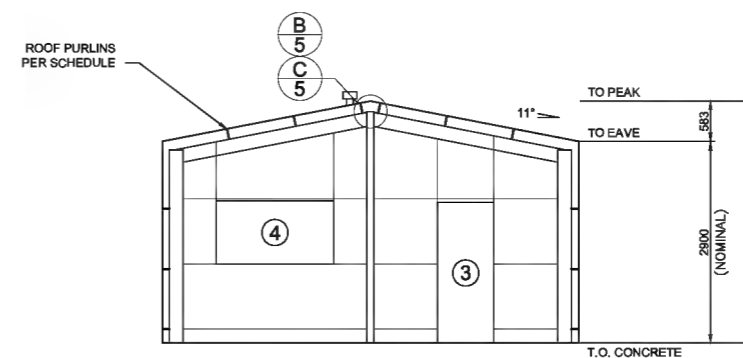
MINOR VARIATION APPROVED

23/11/2017

kjn



4 ENDWALL INTERIOR ELEVATION  
 2 SCALE: 1 = 100  
 RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8



3 ENDWALL INTERIOR ELEVATION  
 2 SCALE: 1 = 100  
 RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8

DIAGONAL X BRACING NOT REQUIRED IN THIS BUILDING.  
 CLADDING DIAPHRAGM SUFFICIENT.

|              |       |                      |                    |              |               |
|--------------|-------|----------------------|--------------------|--------------|---------------|
| 2<br>OF<br>6 | SHEET | JOB NO.<br>ZNTH20147 | DATE<br>17/11/2017 | DRAWN<br>FDS | CHECKED<br>TM |
|--------------|-------|----------------------|--------------------|--------------|---------------|

STEEL BUILDING BY (CONTACT)  
**KIWISHEDS NORTHLAND LTD**  
 09 432 7330  
**CRAIG & MORAG 2 KOWHAI**  
 3 SIGNAL STATION ROAD  
 POUTO POINT



**NORTHERN CONSULTING engineers**  
 Civil & Structural Engineers  
 50 Punari Street  
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 Registered Professional Engineer (Civil & Structural) QLD  
 Regn. No. 1029039  
 Regn. No. 9985

Mr Timothy Roy Messer BE MIEAust RPEQ  
 IPENZ 1029039  
 Signature *T. Messer*  
 Date 17/11/2017

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**RISK FACTOR**

| CATEGORY 1 (WIND ZONE) |                             |       |
|------------------------|-----------------------------|-------|
| RISK CATEGORY          | FEATURE DESCRIPTION         | SCORE |
| LOW RISK               | NZS3604 LOW WIND ZONE       | 0     |
| MEDIUM RISK            | NZS3604 MEDIUM WIND ZONE    | 0     |
| HIGH RISK              | NZS3604 HIGH WIND ZONE      | 1     |
| VERY HIGH RISK         | NZS3604 VERY HIGH WIND ZONE | 2     |

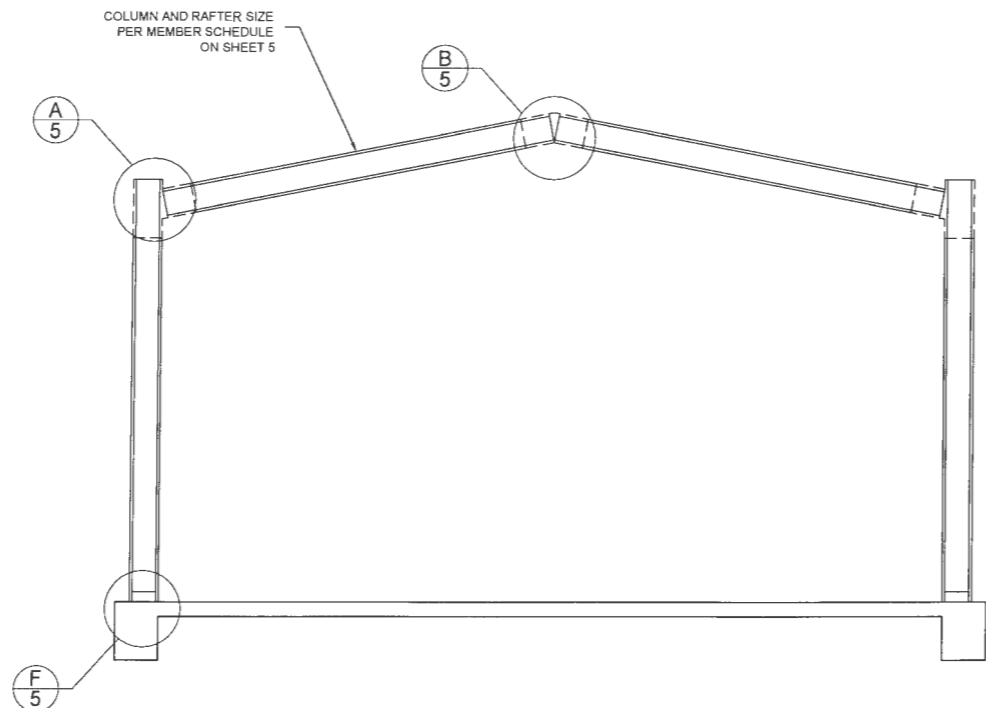
| CATEGORY 2 (BUILDING HEIGHT) |                       |       |
|------------------------------|-----------------------|-------|
| RISK CATEGORY                | FEATURE DESCRIPTION   | SCORE |
| LOW RISK                     | ONE STOREY            | 0     |
| MEDIUM RISK                  | TWO STOREYS IN PART   | 1     |
| HIGH RISK                    | TWO STOREYS           | 2     |
| VERY HIGH RISK               | MORE THAN TWO STOREYS | 4     |

| CATEGORY 3 (ROOF/WALL INTERSECTIONS) |  |       |
|--------------------------------------|--|-------|
| RISK CATEGORY                        | FEATURE DESCRIPTION  | SCORE |
| LOW RISK                             | ROOF/WALL INTERSECTION FULLY PROTECTED, EG. HIP AND GABLE ROOF WITH EAVES                | 0     |
| MEDIUM RISK                          | ROOF/WALL INTERSECTION PARTLY EXPOSED, EG. HIP AND GABLE ROOF WITH NO EAVES(FASICA ONLY) | 1     |
| HIGH RISK                            | ROOF/WALL INTERSECTION FULLY EXPOSED, EG. PARAPET WALL OR REVERSE SLOPES EAVES           | 3     |
| VERY HIGH RISK                       | ROOF ELEMENTS FINISHING WITHIN ALL CLADDINGS (LOWER ENDS OF APRONS, CHIMNEYS ETC.)       | 5     |

| CATEGORY 4 (EAVES WIDTH) |  |       |
|--------------------------|--|-------|
| RISK CATEGORY            | FEATURE DESCRIPTION  | SCORE |
| LOW RISK                 | GREATER THAN 600mm AT 1ST FLOOR LEVEL  | 0     |
| MEDIUM RISK              | 450mm - 600mm AT 1ST FLOOR LEVEL, OR GREATER THAN 600mm AT 2ND FLOOR LEVEL           | 1     |
| HIGH RISK                | 100-450mm AT 1ST FLOOR LEVEL, OR 450-600mm AT 2ND FLOOR LEVEL                        | 2     |
| VERY HIGH RISK           | 0-100mm AT 1ST FLOOR LEVEL OR 100-450mm AT 2ND FLOOR LEVEL OR 450-600mm AT 3RD LEVEL | 5     |

| CATEGORY 5 (ENVELOPE COMPLEXITY) |  |       |
|----------------------------------|--|-------|
| RISK CATEGORY                    | FEATURE DESCRIPTION  | SCORE |
| LOW RISK                         | SIMPLE RECTANGULAR, L,T OR BOOMERANG SHAPE, SINGLE CLADDING TYPE   | 0     |
| MEDIUM RISK                      | COMPLEX, ANGULAR, OR CURVED BUILDING SHAPES (Y OR ARROW HEAD) SINGLE WALL CLADDING TYPE                                      | 1     |
| HIGH RISK                        | COMPLEX, ANGULAR, OR CURVED BUILDING SHAPES (Y OR ARROW HEAD) MULTIPLE WALL CLADDING TYPE                                    | 3     |
| VERY HIGH RISK                   | AS FOR RISK BUT WITH JUNCTIONS NOT COVERED IN TABLE 1C OR 1F (EG. BOX WINDOWS PERGOLAS, MULTI STOREY RE-ENTRANT SHAPES ETC.) | 6     |

| CATEGORY 6 (DECK & BALCONIES) |  |       |
|-------------------------------|--|-------|
| RISK CATEGORY                 | FEATURE DESCRIPTION  | SCORE |
| LOW RISK                      | NONE OR TIMBER SLATTED DECK OR PORCH AT GROUND LEVEL                           | 0     |
| MEDIUM RISK                   | FULLY ROOFED WATERPROOF DECK, OR TIMBER SLATTED DECK AT 1ST OR 2ND FLOOR LEVEL | 2     |
| HIGH RISK                     | 1ST LEVEL WATERPROOF DECK OR 1ST LEVEL CANTILEVERED SLATTED DECK               | 4     |
| VERY HIGH RISK                | 2ND LEVEL WATERPROOF DECK, OR 2ND LEVEL CANTILEVERED SLATTED DECK              | 6     |



1 INTERNAL FRAME SECTION  
3 SCALE: 1=50

Refer to Sheet #4 for concrete specification.

|                                     |                      |                   |               |              |   |  |  |  |
|-------------------------------------|----------------------|-------------------|---------------|--------------|---|--|--|--|
| SHEET<br><b>3</b><br>OF<br><b>6</b> | JOB NO.<br>ZNT120147 | DATE<br>23/6/2017 | CHECKED<br>TM | DRAWN<br>FDS | STEEL BUILDING BY (CONTACT)<br><b>KIWISHEDS NORTHLAND LTD</b><br>FOR 09 432 7330<br>AT <b>CRAIG &amp; MORAG RENDLE UNIT 2</b><br>3 SIGNAL STATION ROAD<br>POUTO POINT |  | <br>Civil & Structural Engineers<br>50 Punari Street<br>Currajong, Qld 4812<br>Email: DesignNZ@nceng.com.au<br><small>Registered Chartered Professional Engineer<br/>Registered Professional Engineer (Civil &amp; Structural) QLD</small> | Mr Timothy Roy Messer BE MIEAust RPEQ<br>IPENZ 1029039<br>Signature <i>T. Messer</i><br>Date 23/6/2017 |
|-------------------------------------|----------------------|-------------------|---------------|--------------|---|--|--|--|

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**STRUCTURAL GENERAL NOTES**

- GOVERNING CODE** : NEW ZEALAND BUILDING CODE 2004, APPROVED DOCUMENT B1 STRUCTURE, LOADING TO AS/NZS1170 - ALL SECTIONS.
- DRAWING OWNERSHIP** : THESE DRAWINGS REMAIN THE PROPERTY OF DELCON HOLDINGS (NO11) LIMITED. ENGINEERING SIGNATURE AND CERTIFICATION IS ONLY VALID WHEN BUILDING IS SUPPLIED BY A DISTRIBUTOR OF DELCON HOLDINGS. DRAWINGS ARE PROVIDED FOR THE DUAL PURPOSE OF OBTAINING BUILDING PERMITS AND AIDING CONSTRUCTION. ANY OTHER USE OR REPRODUCTION IS PROHIBITED WITHOUT WRITTEN APPROVAL FROM DELCON HOLDINGS.
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- CONTRACTOR RESPONSIBILITIES** : CONTRACTOR AND / OR CONTRACTOR TO CONFIRM (ON SITE) THAT THE WIND LOADINGS APPLIED TO THIS DESIGN ARE TRUE AND CORRECT FOR THE ADDRESS. CONTRACTOR SHALL VERIFY AND CONFIRM ALL EXISTING CONDITIONS AND DIMENSIONS. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS PRIOR TO START OF WORK. CONTRACTOR MUST NOT MAKE ANY DEVIATION FROM THE PROVIDED PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM ONE OF THE UNDERSIGNING ENGINEERS. THE ENGINEER / DELCON HOLDINGS TAKE NO RESPONSIBILITY FOR CHANGES MADE WITHOUT WRITTEN APPROVAL. CONTRACTOR IS RESPONSIBLE FOR ENSURING NO PART OF THE STRUCTURE BECOMES OVERSTRESSED DURING CONSTRUCTION. BUILDING IS NOT STRUCTURALLY ADEQUATE UNTIL THE INSTALLATION OF ALL COMPONENTS AND DETAILS SHOWN IS COMPLETED IN ACCORDANCE WITH THESE DRAWINGS. THE INDICATED DRAWING SCALES ARE APPROXIMATE. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. FOR FURTHER DIRECTIONS ON CONSTRUCTION THE CONTRACTOR SHOULD CONSULT THE APPROPRIATE INSTRUCTION MANUAL.
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- INSPECTIONS** : NO SPECIAL INSPECTIONS ARE REQUIRED BY THE GOVERNING CODE ON THIS JOB. ANY OTHER INSPECTIONS REQUESTED BY THE LOCAL BUILDING DEPARTMENT SHALL BE CONDUCTED AT THE OWNER'S EXPENSE.
- SOIL REQUIREMENTS** : SOIL SAFE BEARING CAPACITY VALUE INDICATED ON DRAWING SHEET 4 OCCURS AT 100mm BELOW FINISH GRADE, EXISTING NATURAL GRADE, OR AT FROST DEPTH SPECIFIED BY LOCAL BUILDING DEPARTMENT, WHICHEVER IS THE LOWEST ELEVATION. REGARDLESS OF DETAIL Y ON SHEET 4 THE MINIMUM FOUNDATION DEPTH SHOULD BE 100MM INTO NATURAL GROUND OR BELOW FROST DEPTH SPECIFIED BY LOCAL COUNCIL. ROLLED OR COMPACTED FILL MAY BE USED UNDER SLAB, COMPACTED IN 150mm LAYERS TO A MAXIMUM DEPTH OF 90mm. CONCRETE FOUNDATION EMBEDMENT DEPTHS DO NOT APPLY TO LOCATIONS WHERE ANY UNCOMPACTED FILL OR DISTURBED GROUND EXISTS OR WHERE WALLS OF THE EXCAVATION WILL NOT STAND WITHOUT SUPPLEMENTAL SUPPORT, IN THIS CASE SEEK FURTHER ENGINEERING ADVICE. OTHER SITE CONDITIONS INCLUDING THOSE SUBJECT TO HIGH GROUND MOVEMENT DUE TO MOISTURE CHANGES, TO BE REFERRED TO A REGISTERED STRUCTURAL ENGINEER.
- CONCRETE REQUIREMENTS** : ALL CONCRETE DETAILS AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH NZS3101.1:2. CONCRETE SHALL HAVE A MIN. 28-DAY STRENGTH OF 20MPa FOR EXPOSURE A1, A2 & B1, 25MPa FOR EXPOSURE B2 AND 32MPa FOR EXPOSURE C. CEMENT TO BE TYPE A. MAX AGGREGATE SIZE OF 20mm. SLUMP TO BE 80mm +/- 15mm. SLABS TO BE CURED FOR 7DAYS BY WATERING OR COVERING WITH A PLASTIC MEMBRANE, AFTER WHICH CONSTRUCTION CAN BEGIN, DUE CARE GIVEN NOT TO OVER-TIGHTEN HOLD DOWN BOLTS. GIVEN ALLOWABLE SOIL TYPES, 1 LAYER OF 665 REINFORCING MESH OR FOR RESIDENTIAL HABITABLE BUILDINGS FLETCHER SUPER DUCTILE MESH GRADE 500E (OR EQUIVALENT).
- STRUCTURAL STEEL REQUIREMENTS** : ALL STRUCTURAL STEEL, INCLUDING SHEETING THOUGH EXCLUDING CONCRETE REINFORCING, SHALL CONFORM TO AS 1397 (GAUGE < 1mm fy = 550MPa, GAUGE > 1mm < 1.5mm fy = 500MPa, GAUGE > 1.5mm fy = 450MPa). NO WELDING IS TO BE PERFORMED ON THIS BUILDING. ALL STRUCTURAL MEMBERS AND CONNECTIONS DESIGNED TO NZ4600. ALL BOLT HOLE DIAMETERS TO METALCRAFT GENERAL PUNCHINGS.

NOTE: THESE PLANS ARE NOT VALID WITHOUT CERTIFIED, JOB SPECIFIC PRODUCER STATEMENT BY AN (IPENZ) CIVIL ENGINEER.

**PROJECT DESIGN CRITERIA**

ROOF LIVE LOAD: 0.25 kPa  
 BASIC WIND SPEED: VR 0 m/s  
 SITE WIND SPEED: V<sub>site</sub> B 47 m/s  
 WIND REGION: Reg A  
 TOPOGRAPH FACTOR, k<sub>t</sub>: 1  
 SHIELDING FACTOR, k<sub>s</sub>: 1  
 MAX GROUND SNOW LOAD: NA  
 MAX ROOF SNOW LOAD: NA  
 SITE ALTITUDE: NA  
 TERRAIN CATEGORY: TCat 3  
 SOIL SAFE BEARING CAPACITY: 100 kPa  
 RETURN PERIOD: NA  
 LIMITING CPI 1: -0.65  
 LIMITING CPI 2: 0.7  
 IMPORTANCE LEVEL: 2

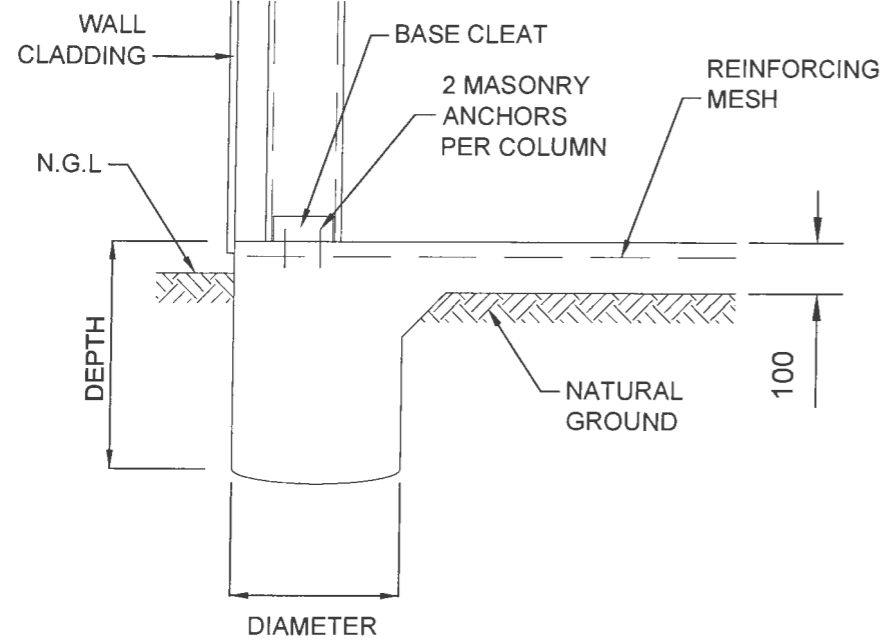
**DETAIL KEYS**

- DK1 ENDWALL VERTICAL MULLION (SEE DETAIL C/5 FOR TOP CONN. AND F/5 FOR BASE CONN.)
- DK2 FLYBRACING PER DETAIL L/5
- DK3 X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)

**DOOR SCHEDULE**

| DOOR | WIDTH | HEIGHT | OPENING TYPE  | HEADER GIRT | OPENING JAMBS |
|------|-------|--------|---|-------------|---------------|
| 1    | 3000  | 2400   | 2.40H X 3.10 TCW C/S S3 SEMI-INDUSTRIAL HAND OP ROLLER DOOR | SINGLE      |               |
| 2    | 3000  | 2400   | 2.40H X 3.10 TCW C/S S3 SEMI-INDUSTRIAL HAND OP ROLLER DOOR | SINGLE      |               |
| 3    | 810   | 2029   | PA DOOR GLASS DOOR C/B 2.03 X 0.81                          | SINGLE      |               |
| 4    | 1700  | 910    | WINDOW  | SINGLE      |               |
| 5    | 1700  | 910    | WINDOW  | SINGLE      |               |

NOTES: 1) SEE SHEET 5 FOR DOOR OPENING FRAMING INFORMATION.  
 2) ALL DOOR SCHEDULE MEASUREMENTS ARE ACTUAL DOOR/WINDOW SIZE NOT OPENING SIZE.



300 x 400  
 Diameter x Depth (mm)

N.G.L - NATURAL GROUND LINE

|   |                               |               |
|---|-------------------------------|---------------|
| Y | BORED LOCAL THICKENING DETAIL | DWG NO: SBOMA |
|---|-------------------------------|---------------|

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\* Site Wind Speed Override In Use: Please Ensure Correct Wind Region Still Selected

|                                     |                      |                   |               |              |  |  |   |  |
|-------------------------------------|----------------------|-------------------|---------------|--------------|--|--|---|--|
| SHEET<br><b>4</b><br>OF<br><b>6</b> | JOB NO.<br>ZNTH20147 | DATE<br>23/6/2017 | CHECKED<br>TM | DRAWN<br>FDS | STEEL BUILDING BY (CONTACT)<br><b>KIWISHEDS NORTHLAND LTD</b><br>09 432 7330<br><b>CRAIG &amp; MORAG RENDLE UNIT 2</b><br>3 SIGNAL STATION ROAD<br>POUTO POINT |  | <br>Civil & Structural Engineers<br>50 Punari Street<br>Currajong, Qld 4812<br>Email: DesignNZ@nceng.com.au<br>Registered Chartered Professional Engineer<br>Registered Professional Engineer (Civil & Structural) QLD<br>Regn. No. 1029039<br>Regn. No. 9985 | Mr Timothy Roy Messer BE MIEAust RPEQ<br>IPENZ 1029039<br>Signature: <i>T. Messer</i><br>Date: 23/6/2017 |
|-------------------------------------|----------------------|-------------------|---------------|--------------|--|--|---|--|

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- SOIL REQUIREMENTS** : SOIL SAFE BEARING CAPACITY VALUE INDICATED ON DRAWING SHEET 4 OCCURS AT 100mm BELOW FINISH GRADE, EXISTING NATURAL GRADE, OR AT FROST DEPTH SPECIFIED BY LOCAL BUILDING DEPARTMENT, WHICHEVER IS THE LOWEST ELEVATION, REGARDLESS OF DETAIL Y ON SHEET 4 THE MINIMUM FOUNDATION DEPTH SHOULD BE 100mm INTO NATURAL GROUND OR BELOW FROST DEPTH SPECIFIED BY LOCAL COUNCIL. ROLLED OR COMPACTED FILL MAY BE USED UNDER SLAB, COMPACTED IN 150mm LAYERS TO A MAXIMUM DEPTH OF 900mm. CONCRETE FOUNDATION EMBEDMENT DEPTHS DO NOT APPLY TO LOCATIONS WHERE ANY UNCOMPACTED FILL OR DISTURBED GROUND EXISTS OR WHERE WALLS OF THE EXCAVATION WILL NOT STAND WITHOUT SUPPLEMENTAL SUPPORT, IN THIS CASE SEEK FURTHER ENGINEERING ADVICE. OTHER SITE CONDITIONS INCLUDING THOSE SUBJECT TO HIGH GROUND MOVEMENT DUE TO MOISTURE CHANGES, TO BE REFERRED TO A REGISTERED STRUCTURAL ENGINEER.
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NOTE: THESE PLANS ARE NOT VALID WITHOUT CERTIFIED, JOB SPECIFIC PRODUCER STATEMENT BY AN (IPENZ) CIVIL ENGINEER.

**PROJECT DESIGN CRITERIA**

ROOF LIVE LOAD: 0.25 kPa  
 BASIC WIND SPEED: VR 0 m/s  
 SITE WIND SPEED: V<sub>sit</sub>, B 47 m/s  
 WIND REGION: Reg A  
 TOPOGRAPH FACTOR, k<sub>t</sub>: 1  
 SHIELDING FACTOR, k<sub>s</sub>: 1  
 MAX GROUND SNOW LOAD: NA  
 MAX ROOF SNOW LOAD: NA  
 SITE ALTITUDE: NA  
 TERRAIN CATEGORY: TCat 3  
 SOIL SAFE BEARING CAPACITY: 100 kPa  
 RETURN PERIOD: NA  
 LIMITING CPI 1: -0.3  
 LIMITING CPI 2: 0  
 IMPORTANCE LEVEL: 2

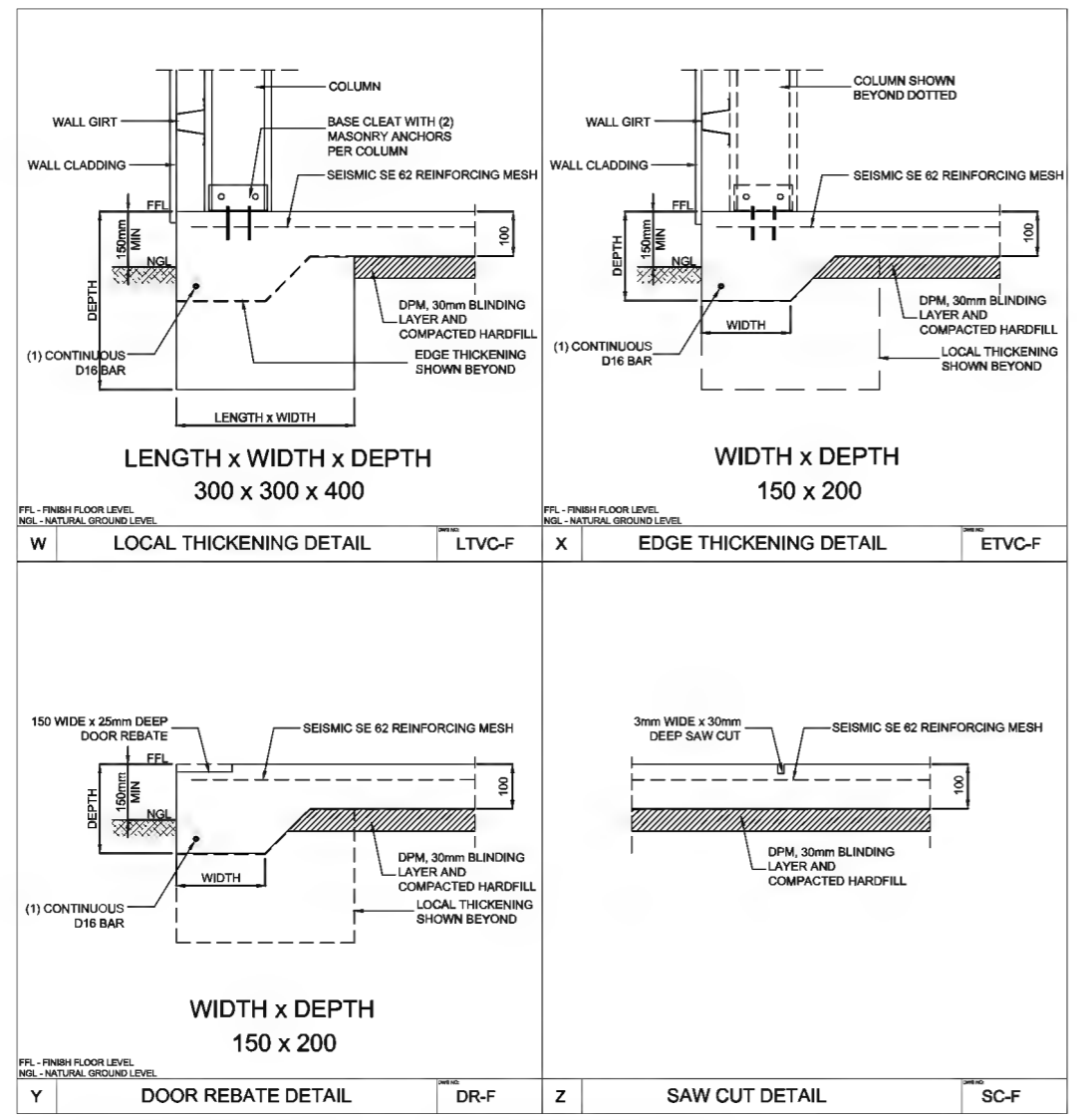
**DETAIL KEYS**

- DK1 ENDWALL VERTICAL MULLION (SEE DETAIL C/5 FOR TOP CONN. AND F/5 FOR BASE CONN.)
- DK2 FLYBRACING PER DETAIL L/5
- DK3 X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)

**DOOR SCHEDULE**

| DOOR | WIDTH | HEIGHT | OPENING TYPE   | HEADER GIRT | OPENING JAMBS |
|------|-------|--------|--|-------------|---------------|
| ①    | 3000  | 2400   | 2.40H x 3.10 TW C/S S3 SEMI-INDUSTRIAL HAND OP ROLLER DOOR | SINGLE      |               |
| ②    | 3000  | 2400   | 2.40H x 3.10 TW C/S S3 SEMI-INDUSTRIAL HAND OP ROLLER DOOR | SINGLE      |               |
| ③    | 810   | 2029   | PA DOOR GLASS DOOR CB 2.03 x 0.81                          | SINGLE      |               |
| ④    | 1700  | 810    | WINDOW   | SINGLE      |               |

NOTES: 1) SEE SHEET 5 FOR DOOR OPENING FRAMING INFORMATION.  
 2) ALL DOOR SCHEDULE MEASUREMENTS ARE ACTUAL DOOR/WINDOW SIZE NOT OPENING SIZE.



EDGE BEAM IS PROVIDED FOR STRENGTHENING OF THE SLAB UNDER WHEEL LOADS AND IS NOT SITE SPECIFICALLY DESIGNED FOR LIQUEFACTION TYPE, EXPANSIVE OR PROBLEM SOILS, SPECIFICALLY TC3 AND PEAT SOILS

\* Site Wind Speed Override In Use: Please Ensure Correct Wind Region Still Selected

|                                     |                      |                    |               |              |  |  |  |   |
|-------------------------------------|----------------------|--------------------|---------------|--------------|--|--|--|---|
| SHEET<br><b>4</b><br>OF<br><b>6</b> | JOB NO.<br>ZNTH20147 | DATE<br>17/11/2017 | CHECKED<br>TM | DRAWN<br>FDS | STEEL BUILDING BY (CONTACT)<br><b>KIWISHEDS NORTHLAND LTD</b><br>FOR 09 432 7330<br>AT <b>CRAIG &amp; MORAG 2 KOWHAI</b><br>3 SIGNAL STATION ROAD<br>POUTO POINT |  | <br>Civil & Structural Engineers<br>50 Punari Street<br>Currajong, Qld 4812<br>Email: DesignNZ@nceng.com.au<br>Registered Chartered Professional Engineer<br>Registered Professional Engineer (Civil & Structural) QLD | Mr Timothy Roy Messer BE MIEAust RPEQ<br>IPENZ 1029039<br>Signature <i>T. Messer</i><br>Date 17/11/2017 |
|-------------------------------------|----------------------|--------------------|---------------|--------------|--|--|--|---|

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MEMBER AND MATERIAL SCHEDULE

|    |                                  |   |
|----|----------------------------------|---|
| 1  | END WALL RAFTER                  | Single C20015   |
| 2  | C.S. FRAME RAFTER                | Single C20019   |
| 3  | END FRAME COLUMN (C1)            | Single C20015   |
| 4  | C.S. FRAME COLUMN (C2)           | Single C20019   |
| 5  | MULLION (C3)                     | Single C15012   |
| 6  | OPEN BAY MULLION (C3)            | Single C15012   |
| 7  | ANCHOR BOLTS (# PER DETS.)       | C200 High Tensile Sleeve Anchor M12 x 80                        |
| 8  | EAVE PURLIN                      | C10019 (Eave Purlin Bracket 0mm from top of column)             |
| 9  | TYP. ROOF PURLIN SIZE            | Roof Batten 100 x 1.0   |
| 10 | MAIN BLDG. PURLIN SPACING        | 0.98 m. (3 rows) (Max Allow. 1.12m)                             |
| 11 | TYP. SIDEWALL GIRT SIZE          | Roof Batten 100 x 1.0   |
| 12 | MAIN BLDG. SIDEWALL GIRT SPACING | 0.87 m. (3 rows) (Max Allow. 1.20m)                             |
| 13 | TYP. ENDWALL GIRT SIZE           | Roof Batten 100 x 1.0   |
| 14 | MAIN BLDG. ENDWALL GIRT SPACING  | 0.94 m. (3 rows) (Max Allow. 1.08m)                             |
| 15 | FRAME SCREW FASTENERS            | Heavy Duty Structural Screw 5/16 drive                          |
| 16 | FRAME BOLT FASTENERS             | 12 x 30mm Bolt Ass High Tensile                                 |
| 17 | X-BRACING STRAP AND FASTENERS    | None required for this building. Cladding Diaphragm Sufficient. |
| 18 | WALL COLOUR                      | SANDSTONE GREY  |
| 19 | ROOF COLOUR                      | SANDSTONE GREY  |
| 20 | ROLLER DOOR COLOUR               | GREY FRIARS   |
| 21 | P.A. DOOR COLOUR                 | GREY FRIARS   |
| 22 | WINDOW COLOUR                    | GREY FRIARS   |
| 23 | ROOF VENT COLOUR                 | SANDSTONE GREY  |
| 24 | DOWNPIPE COLOUR                  | GREY FRIARS   |
| 25 | GUTTER COLOUR                    | GREY FRIARS   |
| 26 | CORNER FLASHING COLOUR           | SANDSTONE GREY  |
| 27 | BARGE FLASHING COLOUR            | GREY FRIARS   |
| 28 | OPENING FLASHING COLOUR          | GREY FRIARS   |
| 29 | OPEN BAY HEADER HEIGHT           | 2   |

\*C.S.\* = CLEARSPAN \*L.\* = LEFT \*R.\* = RIGHT

|  |                                 |                       |          |   |                              |   |       |  |                          |        |         |    |                                |        |         |   |                           |        |        |
|--|---------------------------------|-----------------------|----------|---|------------------------------|---|-------|--|--------------------------|--------|---------|----|--------------------------------|--------|---------|---|---------------------------|--------|--------|
| MISSING NH91NB   |                                 |                       |          |   |                              |   |       |  |                          |        |         |    |                                |        |         |   |                           |        |        |
| BOLTED FRAME   |                                 | 11'                   |          | (* Refer to member schedule for Bolt size).                           |                              | NOTES:<br>1. 12x14 GAUGE TEK SCREWS FOR TOTAL LAP AND CONNECTION<br>2. SCREWS IN LAP LOCATED 25mm FROM END OF LAP |       | NOTES:<br>1. 8x14 GAUGE TEK SCREWS FOR TOTAL LAP AND CONNECTION<br>2. SCREWS IN LAP LOCATED 25mm FROM END OF LAP |                          |        |         |    |                                |        |         |   |                           |        |        |
| B  | APEX CONNECTION                 | DWG NO                | A91NB    | C   | MULLION FIXING ANGLE BRACKET | DWG NO  | MFA4  | Dp   | PURLIN CONNECTION DETAIL | DWG NO | NPCON6L | Dg | GIRTS CONNECTION DETAIL        | DWG NO | NGCON6L |   |                           |        |        |
|  |                                 |                       |          |   |                              |   |       |  |                          |        |         |    |                                |        |         |   |                           |        |        |
| NOTES:<br>1. 6x14 GAUGE TEK SCREWS FOR TOTAL LAP AND CONNECTION<br>2. SCREWS IN LAP LOCATED 25mm FROM END OF LAP |                                 | End Wall Girt Bracket |          | Note: * Refer to Member Schedule for Masonry Anchors and Frame Bolts. |                              | 0.40mm BMT T-RIB40 ROOFING  |       | 0.40mm BMT T-RIB40 WALL SHEETING   |                          |        |         |    |                                |        |         |   |                           |        |        |
| Eg   | ENDWALL GIRTS CONNECTION DETAIL | DWG NO                | NEGCON6L | E   | END WALL GIRTS CONNECTION    | DWG NO  | NEG6  | F  | BASE CONNECTION          | DWG NO | BC9     | G  | ROOF SHEETING PROFILE          | DWG NO | NR1NC50 | H | WALL SHEET PROFILE        | DWG NO | NW1NC5 |
|  |                                 |                       |          |   |                              |   |       |  |                          |        |         |    |                                |        |         |   |                           |        |        |
| I  | SIDE DOOR SUPPORT CONNECTION    | DWG NO                | DFRS     | K   | PERSONAL ACCESS DOOR         | DWG NO  | PADD1 | O  | EAVE PURLIN BRACKET      | DWG NO | EPB3    | W  | WINDOW FRAME ATTACHMENT DETAIL | DWG NO | WADT    | U | SIDEWALL ROLLER DOOR JAMB | DWG NO | SRDJ   |

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5 OF 6 SHEET

DATE: 23/6/2017  
 CHECKED: TM  
 DRAWN: FDS  
 JOB NO.: ZNTH20147

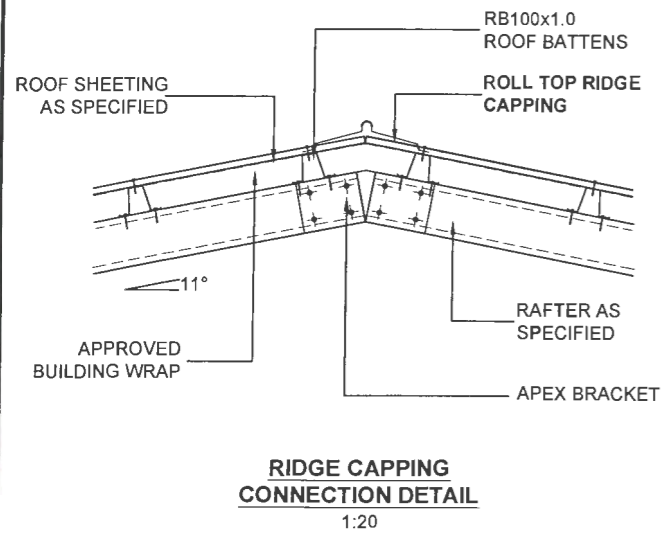
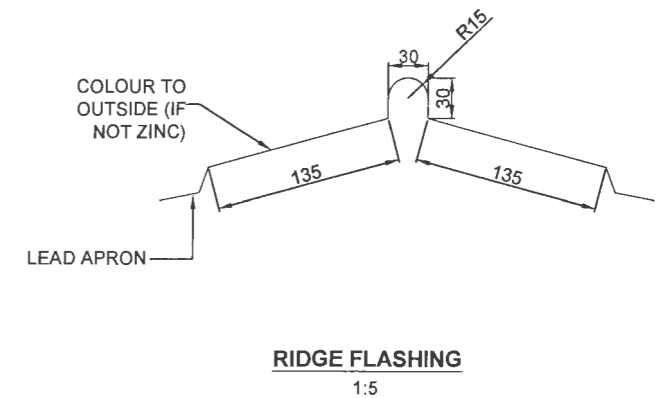
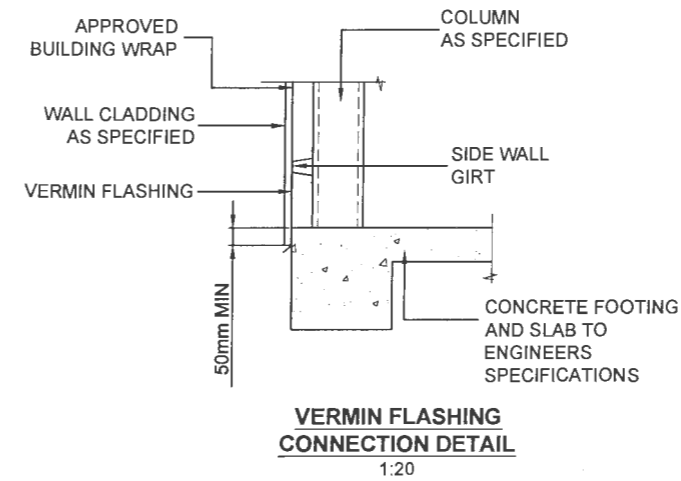
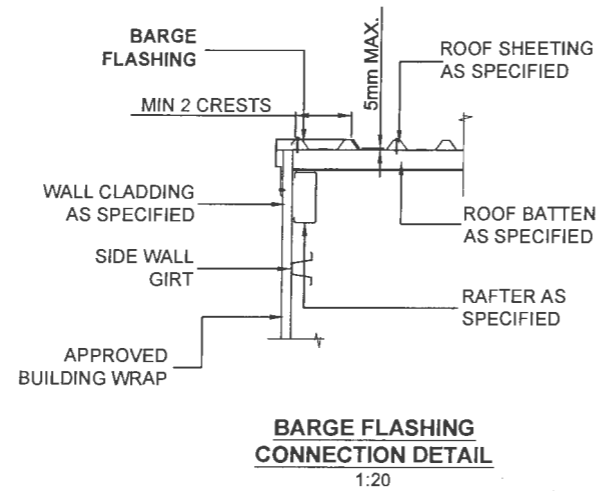
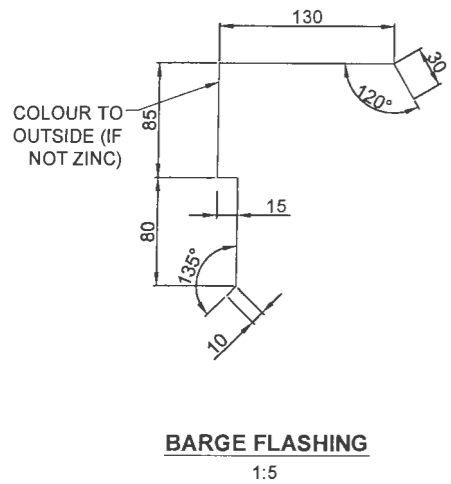
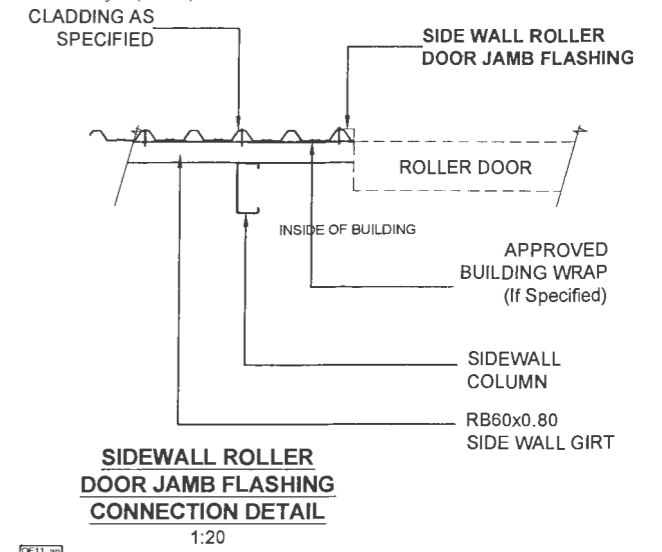
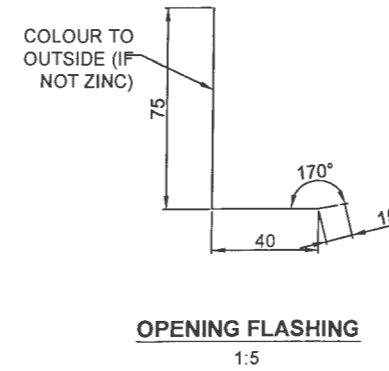
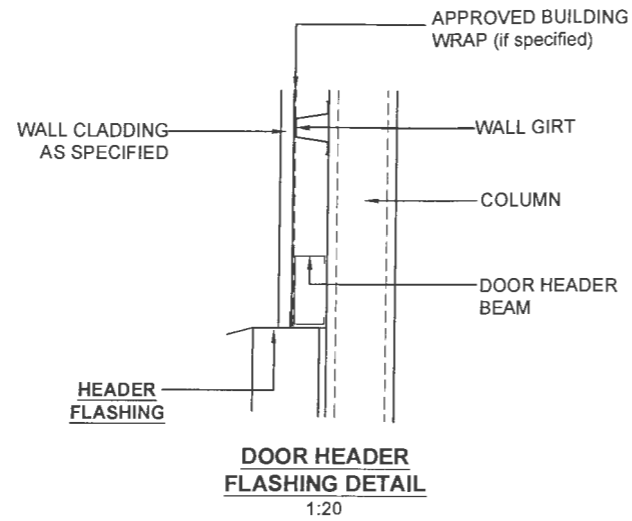
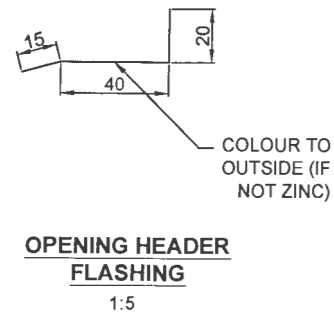
STEEL BUILDING BY (CONTACT)  
**KIWISHEDS NORTHLAND LTD**  
 09 432 7330  
**CRAIG & MORAG RENDLE UNIT 2**  
 3 SIGNAL STATION ROAD  
 POUTO POINT



**NORTHERN CONSULTING** engineers  
 Civil & Structural Engineers  
 50 Punari Street  
 Currajong, Qld 4812  
 Email: DesignNZ@nceng.com.au  
 Registered Chartered Professional Engineer  
 Registered Professional Engineer (Civil & Structural) QLD  
 Regn. No. 1029039  
 Regn. No. 9985

Mr Timothy Roy Messer BE MIEAust RPEQ  
 IPENZ 1029039  
 Signature: *T. Messer*  
 Date: 23/6/2017

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|              |       |           |           |         |       |
|--------------|-------|-----------|-----------|---------|-------|
| 6<br>OF<br>6 | SHEET | JOB NO.   | DATE      | CHECKED | DRAWN |
|              |       | ZNTH20147 | 23/6/2017 | TM      | FDS   |

STEEL BUILDING BY (CONTACT)  
**KIWISHEDS NORTHLAND LTD**  
 09 432 7330  
 FOR **CRAIG & MORAG RENDLE UNIT 2**  
 AT **3 SIGNAL STATION ROAD POUTO POINT**



**NORTHERN CONSULTING engineers**  
 Civil & Structural Engineers  
 50 Punari Street  
 Currajong, Qld 4812  
 Email: DesignNZ@nceng.com.au  
 Registered Chartered Professional Engineer  
 Registered Professional Engineer (Civil & Structural) QLD  
 Regn. No. 1029039  
 Regn. No. 9985

Mr Timothy Roy Messer BE MIEAust RPEQ  
 IPENZ 1029039  
 Signature *T. Messer*  
 Date 23/6/2017

KDC - Approved Building Consent Document - BC170432 - Pg 19 of 30 - 15/08/2017 - kjin



Building Code Clause(s) B1 / VM1

PRODUCER STATEMENT - PS1 - DESIGN

(Guidance notes on the use of this form are attached to this Statement)

ISSUED BY : NORTHERN CONSULTING ENGINEERS (Design Firm)

TO : CRAIG & MORAG RENDLE UNIT 2 (Owner/Developer)

TO BE SUPPLIED TO : KAIPARA DISTRICT COUNCIL (Building Consent Authority)

IN RESPECT OF : 6m Wide, 11.25m Long and 2.9m High. With 11Deg Roof Pitch and 3 side bays. (Description of Building Work)

AT : 3 SIGNAL STATION ROAD POUTO POINT 0391 (Address) LOT DP 8 SO 11

We have been engaged by the owner / developer referred to above to provide - Structural Engineering Design services in respect of the requirements of Clause(s) B1 of the Building Code. (Extent of Engagement)

All [X] or Part only [ ] (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

- [X] Compliance Documents issued by the Ministry of Business, Innovation & Employment in accordance with the following standards AS/NZS1170, NZS3101, and AS/NZS4600 and verification method B1/VM1 or
[ ] Alternative solution as per the attached schedule

The proposed building work covered by this producer statement is described on the attached drawings list and numbered as set out on the Drawings List together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site Verification of the following design assumptions - Good Ground Conditions as per NZS 3604 Wind Region ...A... Terrain Cat ...3... Topgraphy Factor ...1... Shielding Factor ...1... Max Ground Snow Load .NA. kPa, Max Roof Snow Load .NA. kPa
(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) building, if constructed in accordance with the drawings, specifications and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code. and that b) the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

[ ] CM1 [ ] CM2 [ ] CM3 [ ] CM4 [ ] CM5 (Engineering Categories) or [ ] as per agreement with owner/developer (Architectural)

I am: Tim Messer (Name of Design Professional) [X] CPEng IPENZ 1029039 #

[ ] Reg Arch #

I am a Member of: [X] IPENZ [ ] NZIA and hold the following qualifications : CPEng (Civil Structural) , BE (Civil)

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less the \$200,000\*

The Design Firm is a member of ACENZ: [ ]

SIGNED BY : Tim Messer ON BEHALF OF Northern Consulting Engineers (Design Firm)

Date : 23/6/2017 (signature) [Handwritten Signature]

Note : This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000\*

This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.

THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACENZ, IPENZ AND NZIA

### DRAWING LIST

| Job Number | Sheet | Revision | Date      | Description                     |
|------------|-------|----------|-----------|---------------------------------|
| ZNTH20147  | 1     | 0        | 23/6/2017 | FOUNDATION PLAN / MEMBER LAYOUT |
| ZNTH20147  | 2     | 0        | 23/6/2017 | ELEVATIONS                      |
| ZNTH20147  | 3     | 0        | 23/6/2017 | SECTION                         |
| ZNTH20147  | 4     | 0        | 23/6/2017 | FOOTING DETAILS                 |
| ZNTH20147  | 5     | 0        | 23/6/2017 | MEMBER SCHEDULE / DETAILS       |
| ZNTH20147  | 6     | 0        | 23/6/2017 | FLASHING / APPLICATION DETAILS  |

## GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1992. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suite of producer statements has been revised at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

|                                |   |
|--------------------------------|---|
| <b>PS1 Design</b>              | Intended for use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;                             |
| <b>PS2 Design Review</b>       | Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;          |
| <b>PS3 Construction</b>        | Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2003 <sup>1</sup> or Schedules E1/E2 of NZIA's SCC 2007 <sup>2</sup>   |
| <b>PS4 Construction Review</b> | Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate. |

This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, IPENZ and NZIA to interpret the Producer Statement.

### Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence-based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as the Institution of Professional Engineers New Zealand (IPENZ) or the New Zealand Institute of Architects (NZIA), provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

### \* Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

### Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-CM5)<sup>3</sup> (OL1-OL4)<sup>2</sup>. The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

### Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

### Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

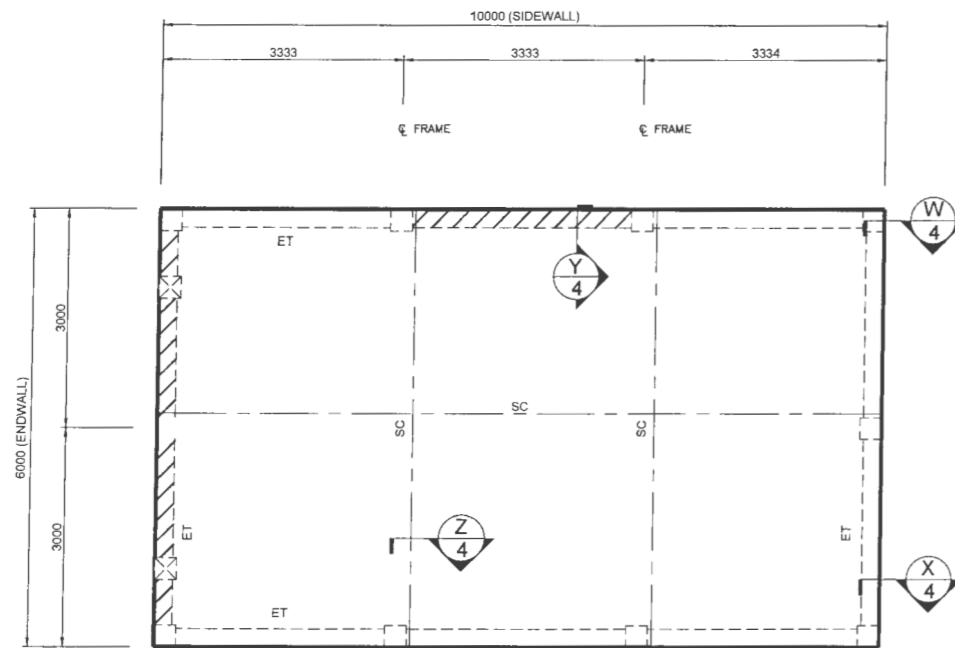
### Refer Also:

- <sup>1</sup> *Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2003*
- <sup>2</sup> *NZIA Standard Conditions of Contract SCC 2007 (1st edition)*
- <sup>3</sup> *Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)*

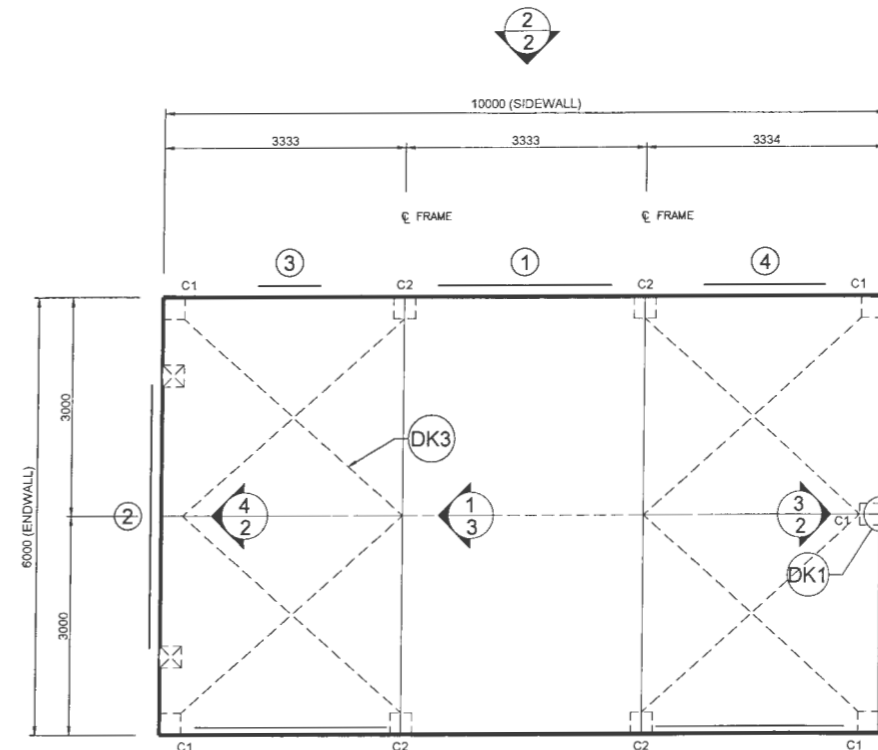
[www.acenz.org.nz](http://www.acenz.org.nz)  
[www.ipenz.org.nz](http://www.ipenz.org.nz)  
[www.nzia.co.nz](http://www.nzia.co.nz)

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IF IN DOUBT, ASK.



1 SLAB PLAN  
SCALE: 1 = 100



2 MEMBER LAYOUT  
SCALE: 1 = 100

ROOF STRAP BRACING TO BE CONNECTED TO THE PURLIN CLOSEST TO THE LINE OF THE END WALL MULLION  
 SC - DENOTES SAW CUT OFFSET FROM COLUMN 200mm MIN  
 ET - DENOTES EDGE THICKENING  
 //// - DENOTES DOOR REBATE

⊗ - INDICATES ROLLER DOOR COLUMNS

MEMBER LEGEND

|    |         |
|----|---------|
| C1 | C15019  |
| C2 | 2C15019 |

|         |           |
|---------|-----------|
| SHEET   | 1         |
|         | OF 6      |
| JOB NO. | ZNTH20149 |
| DATE    | 23/6/2017 |
| CHECKED | TM        |
| DRAWN   | FDS       |

STEEL BUILDING BY (CONTACT)  
**KIWISHEDS NORTHLAND LTD**  
 09 432 7330  
 FOR **CRAIG & MORAG RENDLE UNIT 3**  
 AT 3 SIGNAL STATION ROAD  
 POUTO POINT

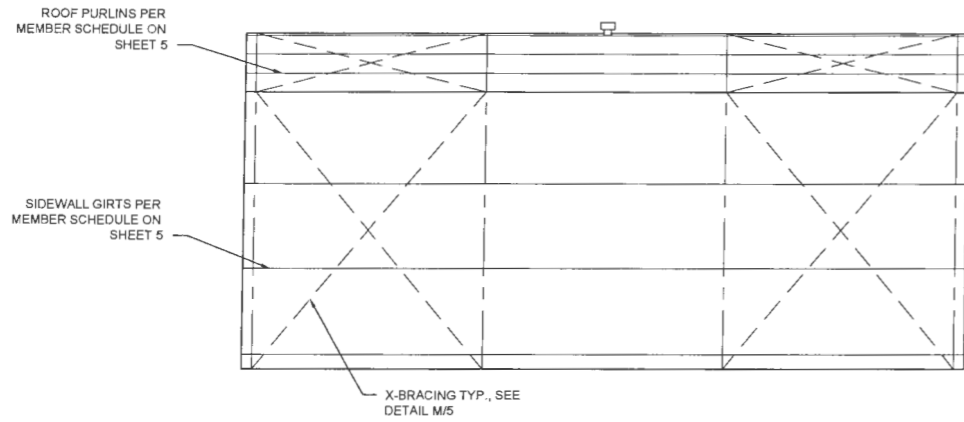


**NORTHERN CONSULTING** engineers  
 Civil & Structural Engineers  
 50 Punari Street  
 Currajong, Qld 4812  
 Email: DesignNZ@nceng.com.au  
 Registered Chartered Professional Engineer  
 Registered Professional Engineer (Civil & Structural) QLD  
 Regn. No. 1029039  
 Regn. No. 9985

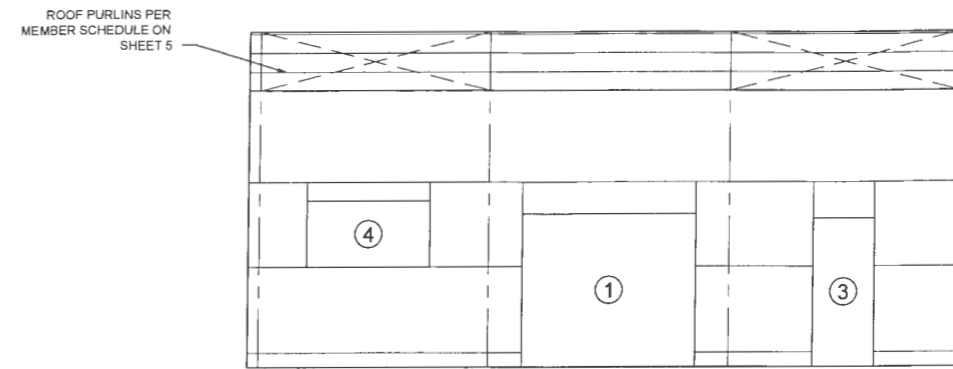
Mr Timothy Roy Messer BE MIEAust RPEQ  
 IPENZ 1029039  
 Signature *T. Messer*  
 Date 23/6/2017

DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE VERIFIED ON SITE.

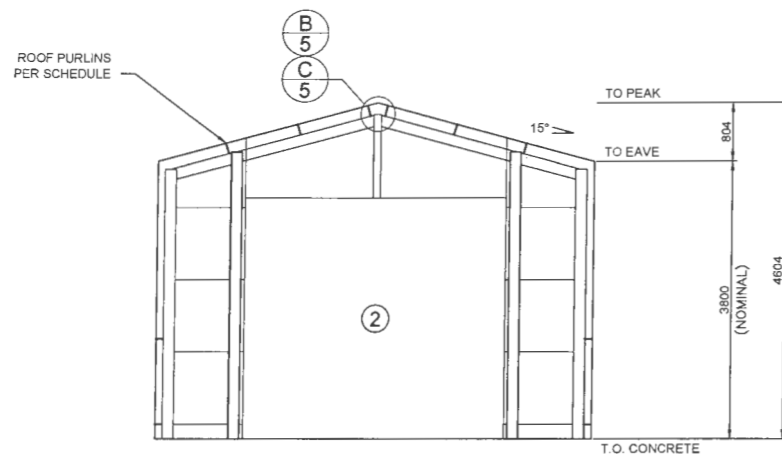
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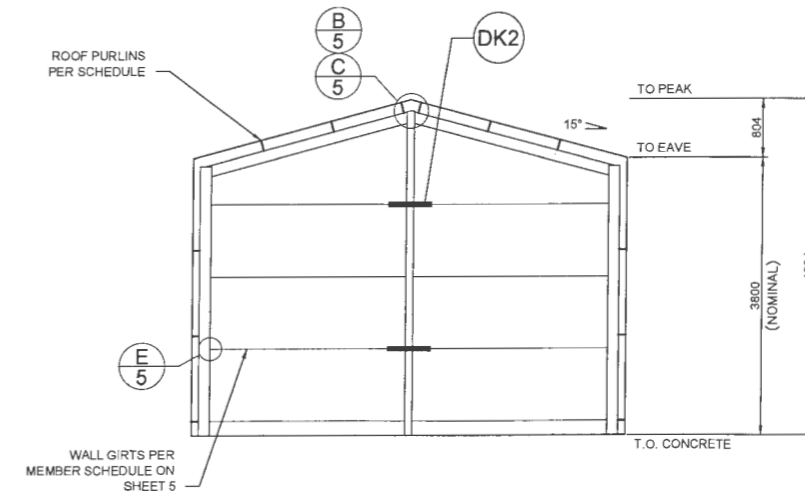
1 SIDEWALL EXTERIOR ELEVATION  
2 SCALE: 1 = 100  
RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8



2 SIDEWALL EXTERIOR ELEVATION  
2 SCALE: 1 = 100  
RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8



4 ENDWALL INTERIOR ELEVATION  
2 SCALE: 1 = 100  
RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8



3 ENDWALL INTERIOR ELEVATION  
2 SCALE: 1 = 100  
RISK MATRIX ANALYSIS = 2+0+1+5+0+0 = 8

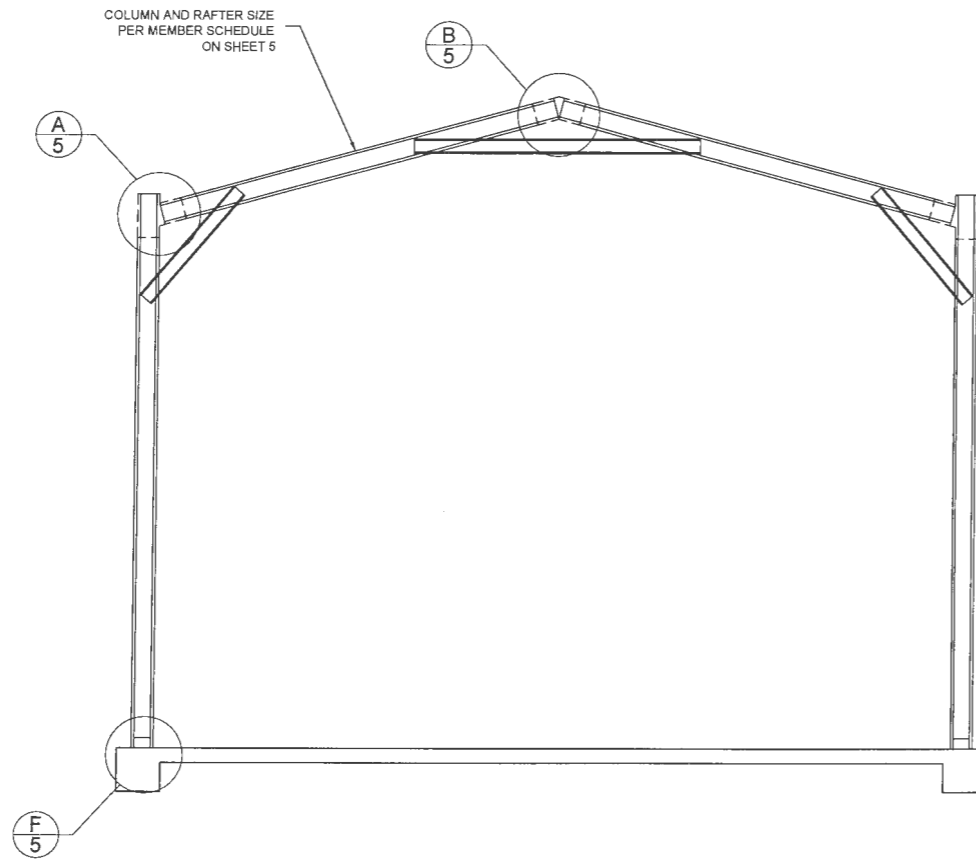
X BRACING IS REQUIRED IN 2 SIDE BAY(S). THIS INCLUDES BOTH CORRESPONDING ROOF BAYS.  
FLY BRACING IS INCLUDED TO BE PLACED ON EVERY SECOND PURLIN AND GIRT ON ENDWALL MULLIONS, INTERNAL COLUMNS AND INTERNAL RAFTERS.

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|  |                      |                   |               |              |   |  |  |   |
|--|----------------------|-------------------|---------------|--------------|---|--|--|---|
| OF<br><b>2</b><br>SHEETS<br>OF<br><b>6</b> | JOB NO.<br>ZNTH20149 | DATE<br>23/6/2017 | CHECKED<br>TM | DRAWN<br>FDS | STEEL BUILDING BY (CONTACT)<br><b>KIWISHEDS NORTHLAND LTD</b><br>FOR 09 432 7330<br><b>CRAIG &amp; MORAG RENDLE UNIT 3</b><br>AT 3 SIGNAL STATION ROAD<br>POUTO POINT |  | <br>Civil & Structural Engineers<br>50 Punari Street<br>Currajong, Qld 4812<br>Email: DesignNZ@nceng.com.au<br><small>Registered Chartered Professional Engineer<br/>Registered Professional Engineer (Civil &amp; Structural) QLD</small> | Mr Timothy Roy Messer BE MIEAust RPEQ<br>IPENZ 1029039<br>Signature <i>T. Messer</i><br>Date 23/6/2017<br><small>Regn. No. 1029039<br/>Regn. No. 9985</small> |
|--|----------------------|-------------------|---------------|--------------|---|--|--|---|

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1 INTERNAL FRAME SECTION  
3 SCALE 1=50

**RISK FACTOR**

| CATEGORY 1. (WIND ZONE) |                             |       |
|-------------------------|-----------------------------|-------|
| RISK CATEGORY           | FEATURE DESCRIPTION         | SCORE |
| LOW RISK                | NZS3604 LOW WIND ZONE       | 0     |
| MEDIUM RISK             | NZS3604 MEDIUM WIND ZONE    | 0     |
| HIGH RISK               | NZS3604 HIGH WIND ZONE      | 1     |
| VERY HIGH RISK          | NZS3604 VERY HIGH WIND ZONE | 2     |

| CATEGORY 2. (BUILDING HEIGHT) |                       |       |
|-------------------------------|-----------------------|-------|
| RISK CATEGORY                 | FEATURE DESCRIPTION   | SCORE |
| LOW RISK                      | ONE STOREY            | 0     |
| MEDIUM RISK                   | TWO STOREYS IN PART   | 1     |
| HIGH RISK                     | TWO STOREYS           | 2     |
| VERY HIGH RISK                | MORE THAN TWO STOREYS | 4     |

| CATEGORY 3. (ROOF/WALL INTERSECTIONS) |  |       |
|---------------------------------------|--|-------|
| RISK CATEGORY                         | FEATURE DESCRIPTION  | SCORE |
| LOW RISK                              | ROOF/WALL INTERSECTION FULLY PROTECTED, EG. HIP AND GABLE ROOF WITH EAVES                | 0     |
| MEDIUM RISK                           | ROOF/WALL INTERSECTION PARTLY EXPOSED, EG. HIP AND GABLE ROOF WITH NO EAVES(FASICA ONLY) | 1     |
| HIGH RISK                             | ROOF/WALL INTERSECTION FULLY EXPOSED, EG. PARAPET WALL OR REVERSE SLOPES EAVES           | 3     |
| VERY HIGH RISK                        | ROOF ELEMENTS FINISHING WITHIN ALL CLADDINGS (LOWER ENDS OF APRONS, CHIMNEYS ETC.)       | 5     |

| CATEGORY 4. (EAVES WIDTH) |  |       |
|---------------------------|--|-------|
| RISK CATEGORY             | FEATURE DESCRIPTION  | SCORE |
| LOW RISK                  | GREATER THAN 600mm AT 1ST FLOOR LEVEL  | 0     |
| MEDIUM RISK               | 450mm - 600mm AT 1ST FLOOR LEVEL, OR GREATER THAN 600mm AT 2ND FLOOR LEVEL           | 1     |
| HIGH RISK                 | 100-450mm AT 1ST FLOOR LEVEL, OR 450-600mm AT 2ND FLOOR LEVEL                        | 2     |
| VERY HIGH RISK            | 0-100mm AT 1ST FLOOR LEVEL OR 100-450mm AT 2ND FLOOR LEVEL OR 450-600mm AT 3RD LEVEL | 5     |

| CATEGORY 5. (ENVELOPE COMPLEXITY) |  |       |
|-----------------------------------|--|-------|
| RISK CATEGORY                     | FEATURE DESCRIPTION  | SCORE |
| LOW RISK                          | SIMPLE RECTANGULAR, L,T OR BOOMERANG SHAPE, SINGLE CLADDING TYPE   | 0     |
| MEDIUM RISK                       | COMPLEX, ANGULAR, OR CURVED BUILDING SHAPES (Y OR ARROW HEAD) SINGLE WALL CLADDING TYPE                                      | 1     |
| HIGH RISK                         | COMPLEX, ANGULAR, OR CURVED BUILDING SHAPES (Y OR ARROW HEAD) MULTIPLE WALL CLADDING TYPE                                    | 3     |
| VERY HIGH RISK                    | AS FOR RISK BUT WITH JUNCTIONS NOT COVERED IN TABLE 1C OR 1F (EG. BOX WINDOWS PERGOLAS, MULTI STOREY RE-ENTRANT SHAPES ETC.) | 6     |

| CATEGORY 6. (DECKS & BALCONIES) |  |       |
|---------------------------------|--|-------|
| RISK CATEGORY                   | FEATURE DESCRIPTION  | SCORE |
| LOW RISK                        | NONE OR TIMBER SLATTED DECK OR PORCH AT GROUND LEVEL                           | 0     |
| MEDIUM RISK                     | FULLY ROOFED WATERPROOF DECK, OR TIMBER SLATTED DECK AT 1ST OR 2ND FLOOR LEVEL | 2     |
| HIGH RISK                       | 1ST LEVEL WATERPROOF DECK OR 1ST LEVEL CANTILEVERED SLATTED DECK               | 4     |
| VERY HIGH RISK                  | 2ND LEVEL WATERPROOF DECK, OR 2ND LEVEL CANTILEVERED SLATTED DECK              | 6     |

Refer to Sheet #4 for concrete specification.

|                       |                       |                   |               |              |   |  |   |   |
|-----------------------|-----------------------|-------------------|---------------|--------------|---|--|---|---|
| 3<br>OF<br>6<br>SHEET | JOB NO.<br>ZNTHT20149 | DATE<br>23/6/2017 | CHECKED<br>TM | DRAWN<br>FDS | STEEL BUILDING BY (CONTACT)<br><b>KIWISHEDS NORTHLAND LTD</b><br>FOR 09 432 7330<br><b>CRAIG &amp; MORAG RENDLE UNIT 3</b><br>AT 3 SIGNAL STATION ROAD<br>POUTO POINT |  | <br>Civil & Structural Engineers<br>50 Punari Street<br>Currajong, Qld 4812<br>Email: DesignNZ@nceng.com.au<br><small>Registered Chartered Professional Engineer<br/>Registered Professional Engineer (Civil &amp; Structural) QLD<br/>Regn. No. 1029039<br/>Regn. No. 9985</small> | Mr Timothy Roy Messer BE MIEAust RPEQ<br>IPENZ 1029039<br><br>Signature .....<br>Date ..... 23/6/2017 |
|-----------------------|-----------------------|-------------------|---------------|--------------|---|--|---|---|

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**STRUCTURAL GENERAL NOTES**

- GOVERNING CODE** : NEW ZEALAND BUILDING CODE 2004, APPROVED DOCUMENT B1 STRUCTURE, LOADING TO AS/NZS1170 - ALL SECTIONS.
- DRAWING OWNERSHIP** : THESE DRAWINGS REMAIN THE PROPERTY OF DELCON HOLDINGS (NO11) LIMITED. ENGINEERING SIGNATURE AND CERTIFICATION IS ONLY VALID WHEN BUILDING IS SUPPLIED BY A DISTRIBUTOR OF DELCON HOLDINGS. DRAWINGS ARE PROVIDED FOR THE DUAL PURPOSE OF OBTAINING BUILDING PERMITS AND AIDING CONSTRUCTION. ANY OTHER USE OR REPRODUCTION IS PROHIBITED WITHOUT WRITTEN APPROVAL FROM DELCON HOLDINGS.
- DRAWING SIGNATURE REQUIREMENTS** : THESE DRAWINGS ARE NOT VALID UNLESS SIGNED BY THE ENGINEER. THE ENGINEER ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR DRAWINGS WITHOUT A SIGNATURE. EACH TITLE BLOCK CONTAINS A WATER MARK UNDER THE CUSTOMERS NAME CONTAINING THE DATE OF PRODUCTION OF THE DRAWINGS; THE DRAWINGS ARE TO BE SUBMITTED TO COUNCIL WITHIN 21 DAYS OF THIS DATE. THIS IS TO ENSURE THAT ONLY CURRENT DRAWINGS ARE IN CIRCULATION.
- CONTRACTOR RESPONSIBILITIES** : CONTRACTOR AND / OR CONTRACTOR TO CONFIRM (ON SITE) THAT THE WIND LOADINGS APPLIED TO THIS DESIGN ARE TRUE AND CORRECT FOR THE ADDRESS. CONTRACTOR SHALL VERIFY AND CONFIRM ALL EXISTING CONDITIONS AND DIMENSIONS. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS PRIOR TO START OF WORK. CONTRACTOR MUST NOT MAKE ANY DEVIATION FROM THE PROVIDED PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM ONE OF THE UNDERSIGNING ENGINEERS. THE ENGINEER / DELCON HOLDINGS TAKE NO RESPONSIBILITY FOR CHANGES MADE WITHOUT WRITTEN APPROVAL. CONTRACTOR IS RESPONSIBLE FOR ENSURING NO PART OF THE STRUCTURE BECOMES OVERSTRESSED DURING CONSTRUCTION. BUILDING IS NOT STRUCTURALLY ADEQUATE UNTIL THE INSTALLATION OF ALL COMPONENTS AND DETAILS SHOWN IS COMPLETED IN ACCORDANCE WITH THESE DRAWINGS. THE INDICATED DRAWING SCALES ARE APPROXIMATE. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. FOR FURTHER DIRECTIONS ON CONSTRUCTION THE CONTRACTOR SHOULD CONSULT THE APPROPRIATE INSTRUCTION MANUAL.
- ENGINEERING** : THE ENGINEER / DELCON HOLDINGS ARE NOT ACTING AS PROJECT MANAGERS FOR THIS DEVELOPMENT, AND WILL NOT BE PRESENT DURING CONSTRUCTION. THE UNDERSIGNING ENGINEERS HAVE REVIEWED THIS BUILDING FOR CONFORMITY ONLY TO THE STRUCTURAL DESIGN PORTIONS OF THE GOVERNING CODE. THE PROJECT MANAGER IS RESPONSIBLE FOR ADDRESSING ANY OTHER CODE REQUIREMENTS APPLICABLE TO THIS DEVELOPMENT. THESE DOCUMENTS ARE STAMPED ONLY AS TO THE COMPONENTS SUPPLIED BY DELCON HOLDINGS. IT IS THE RESPONSIBILITY OF THE PURCHASER TO COORDINATE DRAWINGS PROVIDED BY DELCON HOLDINGS WITH OTHER PLANS AND/OR OTHER COMPONENTS THAT ARE PART OF THE OVERALL PROJECT. IN CASES OF DISCREPANCIES, THE LATEST DRAWINGS PROVIDED BY DELCON HOLDINGS SHALL GOVERN.
- INSPECTIONS** : NO SPECIAL INSPECTIONS ARE REQUIRED BY THE GOVERNING CODE ON THIS JOB. ANY OTHER INSPECTIONS REQUESTED BY THE LOCAL BUILDING DEPARTMENT SHALL BE CONDUCTED AT THE OWNER'S EXPENSE.
- SOIL REQUIREMENTS** : SOIL SAFE BEARING CAPACITY VALUE INDICATED ON DRAWING SHEET 4 OCCURS AT 100mm BELOW FINISH GRADE, EXISTING NATURAL GRADE, OR AT FROST DEPTH SPECIFIED BY LOCAL BUILDING DEPARTMENT, WHICHEVER IS THE LOWEST ELEVATION. REGARDLESS OF DETAIL Y ON SHEET 4 THE MINIMUM FOUNDATION DEPTH SHOULD BE 100MM INTO NATURAL GROUND OR BELOW FROST DEPTH SPECIFIED BY LOCAL COUNCIL. ROLLED OR COMPACTED FILL MAY BE USED UNDER SLAB, COMPACTED IN 150mm LAYERS TO A MAXIMUM DEPTH OF 900mm. CONCRETE FOUNDATION EMBEDMENT DEPTHS DO NOT APPLY TO LOCATIONS WHERE ANY UNCOMPACTED FILL OR DISTURBED GROUND EXISTS OR WHERE WALLS OF THE EXCAVATION WILL NOT STAND WITHOUT SUPPLEMENTAL SUPPORT. IN THIS CASE SEEK FURTHER ENGINEERING ADVICE. OTHER SITE CONDITIONS INCLUDING THOSE SUBJECT TO HIGH GROUND MOVEMENT DUE TO MOISTURE CHANGES, TO BE REFERRED TO A REGISTERED STRUCTURAL ENGINEER.
- CONCRETE REQUIREMENTS** : ALL CONCRETE DETAILS AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH NZS3101.162. CONCRETE SHALL HAVE A MIN. 28-DAY STRENGTH OF 20MPa FOR EXPOSURE A1, A2 & B1, 25MPa FOR EXPOSURE B2 AND 32MPa FOR EXPOSURE C. CEMENT TO BE TYPE A. MAX AGGREGATE SIZE OF 20mm. SLUMP TO BE 80mm +/- 15mm. SLABS TO BE CURED FOR 7 DAYS BY WATERING OR COVERING WITH A PLASTIC MEMBRANE, AFTER WHICH CONSTRUCTION CAN BEGIN, DUE CARE GIVEN NOT TO OVER-TIGHTEN HOLD DOWN BOLTS. GIVEN ALLOWABLE SOIL TYPES, 1 LAYER OF 665 REINFORCING MESH OR FOR RESIDENTIAL HABITABLE BUILDINGS FLETCHER SUPER DUCTILE MESH GRADE 500E (OR EQUIVALENT).
- STRUCTURAL STEEL REQUIREMENTS** : ALL STRUCTURAL STEEL, INCLUDING SHEETING THOUGH EXCLUDING CONCRETE REINFORCING, SHALL CONFORM TO AS 1397 (GAUGE <= 1mm fy = 550MPa, GAUGE > 1mm < 1.5mm fy = 500MPa, GAUGE >= 1.5mm fy = 450MPa). NO WELDING IS TO BE PERFORMED ON THIS BUILDING. ALL STRUCTURAL MEMBERS AND CONNECTIONS DESIGNED TO NZ4600. ALL BOLT HOLE DIAMETERS TO METALCRAFT GENERAL PUNCHINGS.

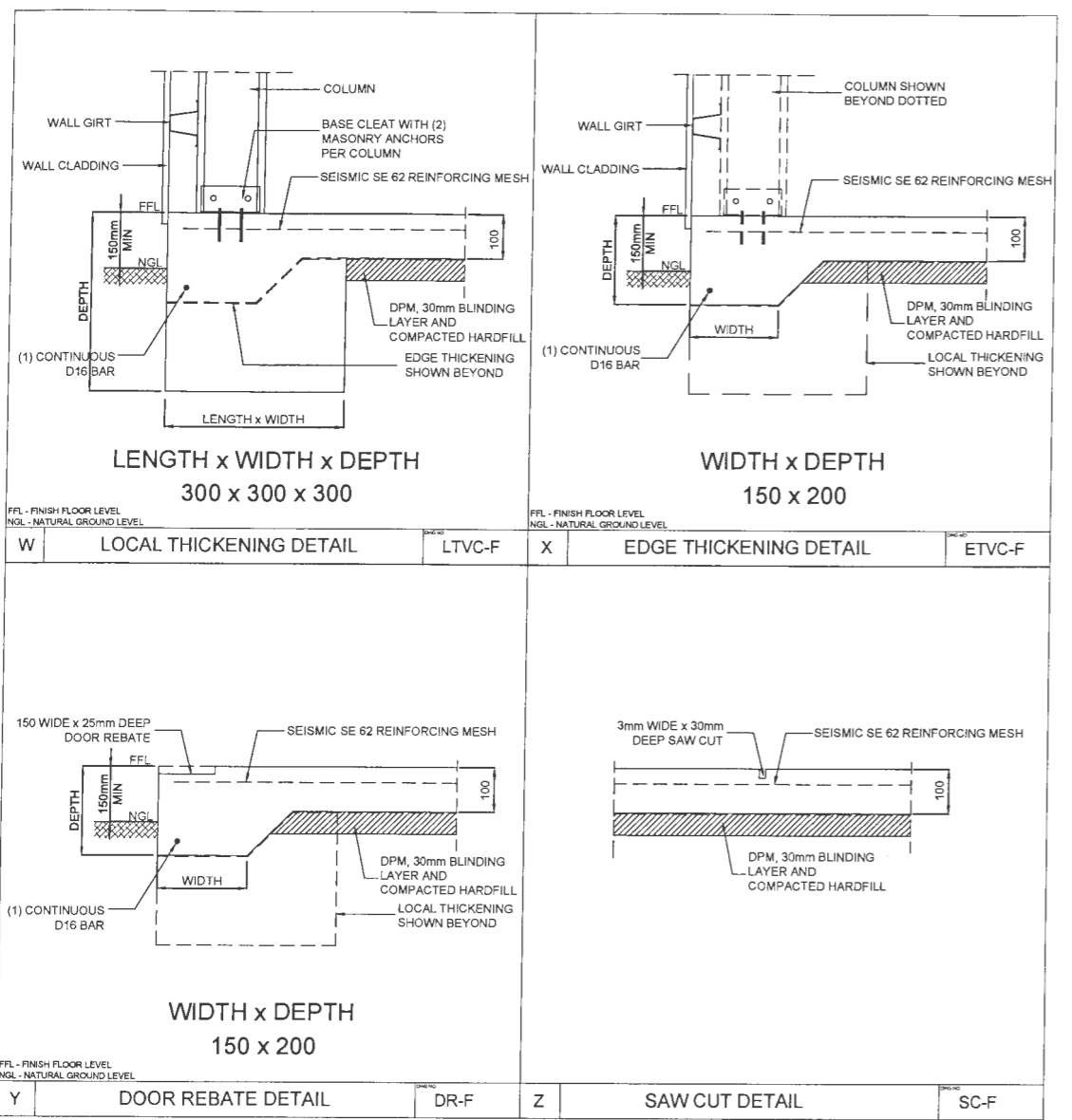
NOTE: THESE PLANS ARE NOT VALID WITHOUT CERTIFIED, JOB SPECIFIC PRODUCER STATEMENT BY AN (IPENZ) CIVIL ENGINEER.

| PROJECT DESIGN CRITERIA     |               |
|-----------------------------|---------------|
| ROOF LIVE LOAD:             | 0.25 kPa      |
| BASIC WIND SPEED:           | VR 0 m/s      |
| SITE WIND SPEED:            | Vsit,B 47 m/s |
| WIND REGION:                | Reg A         |
| TOPOGRAPH FACTOR, $k_t$ :   | 1             |
| SHIELDING FACTOR, $k_s$ :   | 1             |
| MAX GROUND SNOW LOAD:       | NA            |
| MAX ROOF SNOW LOAD:         | NA            |
| SITE ALTITUDE:              | NA            |
| TERRAIN CATEGORY:           | TCat 3        |
| SOIL SAFE BEARING CAPACITY: | 100 kPa       |
| RETURN PERIOD:              | NA            |
| LIMITING CPI 1:             | -0.3          |
| LIMITING CPI 2:             | 0             |
| IMPORTANCE LEVEL:           | 2             |

| DETAIL KEYS |  |
|-------------|--|
| <b>DK1</b>  | ENDWALL VERTICAL MULLION (SEE DETAIL C/5 FOR TOP CONN. AND F/5 FOR BASE CONN.) |
| <b>DK2</b>  | FLYBRACING PER DETAIL L/5  |
| <b>DK3</b>  | X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)                                       |

| DOOR SCHEDULE |       |        |  |             |               |
|---------------|-------|--------|--|-------------|---------------|
| DOOR          | WIDTH | HEIGHT | OPENING TYPE   | HEADER GIRT | OPENING JAMBS |
| ①             | 2400  | 2100   | 2.10X X 2.45 TCWCS ROLLER DOOR                       | SINGLE      |               |
| ②             | 3600  | 3300   | 3.30H X 3.70 TCWCS S3 INDUSTRIAL DOOR DO CHAIN DRIVE | SINGLE      |               |
| ③             | 850   | 2040   | PA DOOR 2.04H X 0.85                                 | SINGLE      |               |
| ④             | 1700  | 910    | WINDOW   | SINGLE      |               |

NOTES: 1) SEE SHEET 5 FOR DOOR OPENING FRAMING INFORMATION.  
2) ALL DOOR SCHEDULE MEASUREMENTS ARE ACTUAL DOOR/WINDOW SIZE NOT OPENING SIZE.



EDGE BEAM IS PROVIDED FOR STRENGTHENING OF THE SLAB UNDER WHEEL LOADS AND IS NOT SITE SPECIFICALLY DESIGNED FOR LIQUEFACTION TYPE, EXPANSIVE OR PROBLEM SOILS, SPECIFICALLY TC3 AND PEAT SOILS

\* Site Wind Speed Override In Use: Please Ensure Correct Wind Region Still Selected

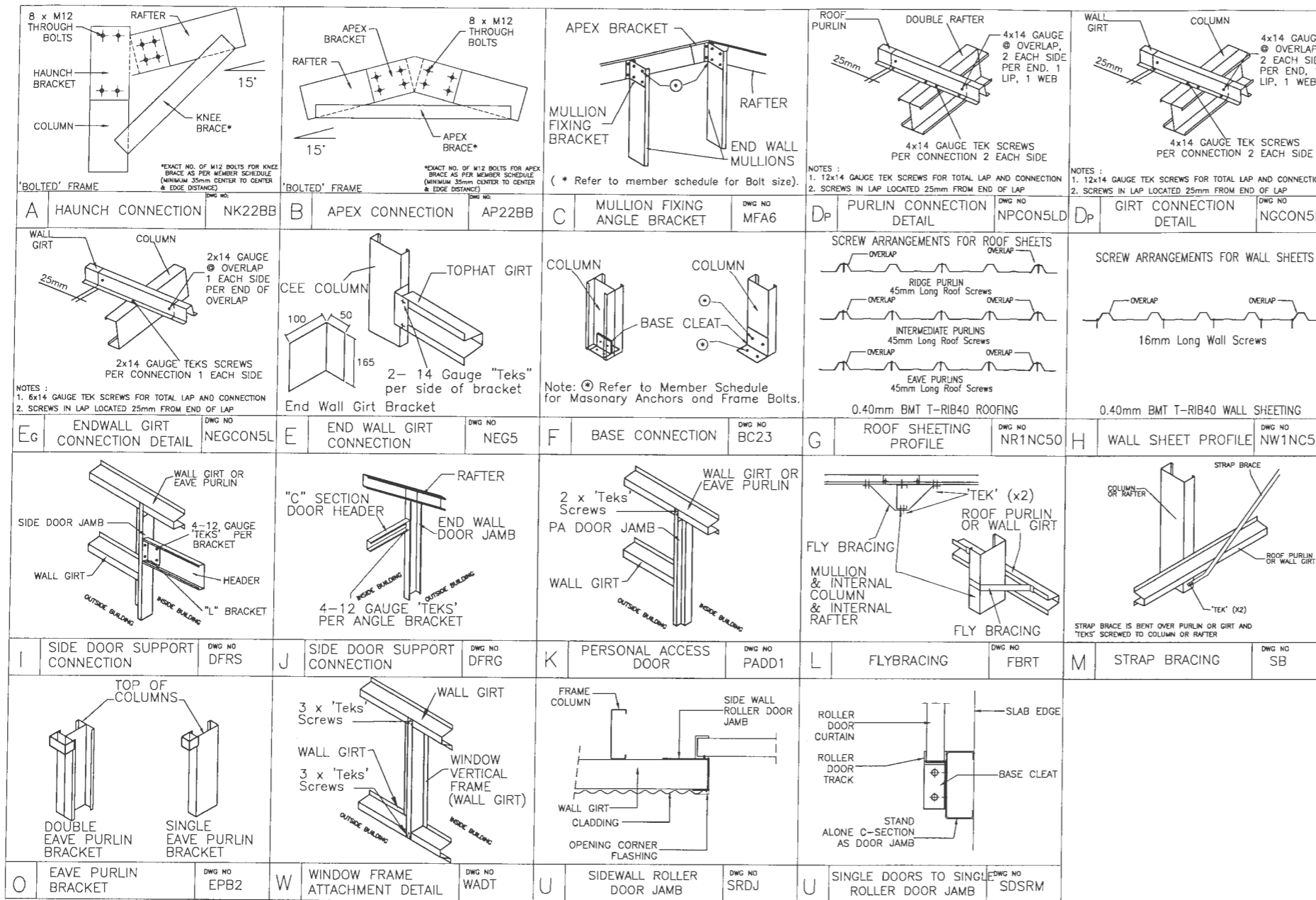
|                                     |                      |               |              |   |  |   |  |
|-------------------------------------|----------------------|---------------|--------------|---|--|---|--|
| SHEET<br><b>4</b><br>OF<br><b>6</b> | DATE<br>23/6/2017    | CHECKED<br>TM | DRAWN<br>FDS | STEEL BUILDING BY<br><b>KIWISHEDS NORTHLAND LTD</b><br>(CONTACT)<br>09 432 7330<br><b>CRAIG &amp; MORAG RENDLE UNIT 3</b><br>3 SIGNAL STATION ROAD<br>POUTO POINT |  | <br>Civil & Structural Engineers<br>50 Punari Street<br>Currajong, Qld 4812<br>Email: DesignNZ@nceng.com.au<br>Registered Chartered Professional Engineer<br>Registered Professional Engineer (Civil & Structural) QLD<br>Regn. No. 1029039<br>Regn. No. 9985 | Mr Timothy Roy Messer BE MIEAust RPEQ<br>IPENZ 1029039<br>Signature <i>T. Messer</i><br>Date ..... 23/6/2017 |
|                                     | JOB NO.<br>ZNTHTD149 |               |              |   |  |   |  |

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**MEMBER AND MATERIAL SCHEDULE**

|    |                                  |  |
|----|----------------------------------|--|
| 1  | END WALL RAFTER                  | Single C15019  |
| 2  | C.S. FRAME RAFTER                | Double C15015  |
| 3  | END FRAME COLUMN (C1)            | Single C15019  |
| 4  | C.S. FRAME COLUMN (C2)           | Double C15019  |
| 5  | MULLION (C1)                     | Single C15019  |
| 6  | C.S. FRAME KNEE BRACE            | Single C10010 @ 1.20 LONG 4 bolts each end               |
| 7  | KNEE BRACE HEIGHT UP COLUMN      | 3.04m  |
| 8  | KNEE BRACE LENGTH UP RAFTER      | 0.62m  |
| 9  | C.S. FRAME APEX BRACE            | Single C10010 @ 1.98 LONG 2 bolts each end               |
| 10 | APEX POSITION FROM RAFTER END    | 1.02m  |
| 11 | ANCHOR BOLTS (# PER DETS.)       | C150 High Tensile Sleeve Anchor M12 x 80                 |
| 12 | EAVE PURLIN                      | C10015 (Eave Purlin Bracket 0mm from top of column)      |
| 13 | TYP. ROOF PURLIN SIZE            | Roof Batten 100 x 0.8                                    |
| 14 | MAIN BLDG. PURLIN SPACING        | 1.00 m. (3 rows) (Max Allow. 1.20m)                      |
| 15 | TYP. SIDEWALL GIRT SIZE          | Roof Batten 100 x 0.8                                    |
| 16 | MAIN BLDG. SIDEWALL GIRT SPACING | 1.17 m. (3 rows) (Max Allow. 1.20m)                      |
| 17 | TYP. ENDWALL GIRT SIZE           | Roof Batten 100 x 0.8                                    |
| 18 | MAIN BLDG. ENDWALL GIRT SPACING  | 0.99 m. (4 rows) (Max Allow. 1.20m)                      |
| 19 | FRAME SCREW FASTENERS            | Heavy Duty Structural Screw 5/16 drive                   |
| 20 | FRAME BOLT FASTENERS             | 12 x 30mm Bolt Ass High Tensile                          |
| 21 | X-BRACING STRAP AND FASTENERS    | 50 x 0.95 Bracing Strap with 4 x 14g Tek Screws Each End |
| 22 | WALL COLOUR                      | SANDSTONE GREY   |
| 23 | ROOF COLOUR                      | SANDSTONE GREY   |
| 24 | ROLLER DOOR COLOUR               | GREY FRIARS  |
| 25 | P.A. DOOR COLOUR                 | GREY FRIARS  |
| 26 | WINDOW COLOUR                    | GREY FRIARS  |
| 27 | ROOF VENT COLOUR                 | SANDSTONE GREY   |
| 28 | DOWNPIPE COLOUR                  | GREY FRIARS  |
| 29 | GUTTER COLOUR                    | GREY FRIARS  |
| 30 | CORNER FLASHING COLOUR           | SANDSTONE GREY   |
| 31 | BARGE FLASHING COLOUR            | GREY FRIARS  |
| 32 | OPENING FLASHING COLOUR          | GREY FRIARS  |
| 33 | OPEN BAY HEADER HEIGHT           | 2  |

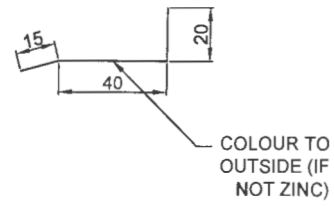
"C.S." = CLEARSPAN "L." = LEFT "R." = RIGHT



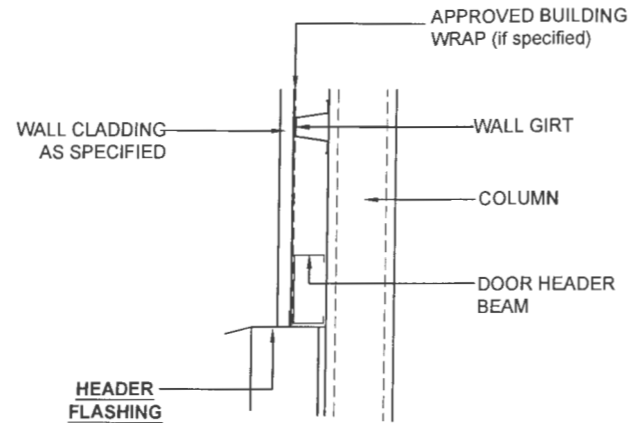
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|                       |  |  |  |  |   |  |
|-----------------------|--|--|--|--|---|--|
| 5<br>OF<br>6<br>SHEET | JOB NO. ZNTH20149<br>DATE 23/6/2017<br>CHECKED TM<br>DRAWN FDS | STEEL BUILDING BY (CONTACT)<br><b>KIWISHEDS NORTHLAND LTD</b><br>09 432 7330<br><b>CRAIG &amp; MORAG RENDLE UNIT 3</b><br>3 SIGNAL STATION ROAD<br>POUTO POINT |  |  | Civil & Structural Engineers<br>50 Punari Street<br>Currajong, Qld 4812<br>Email: DesignNZ@nceng.com.au<br>Registered Chartered Professional Engineer<br>Registered Professional Engineer (Civil & Structural) QLD<br>Regn. No. 1029039<br>Regn. No. 9985 | Mr Timothy Roy Messer BE MIEAust RPEQ<br>IPENZ 1029039<br>Signature <i>T. Messer</i><br>Date 23/6/2017 |
|                       | FOR AT   |  |  |  |   |  |

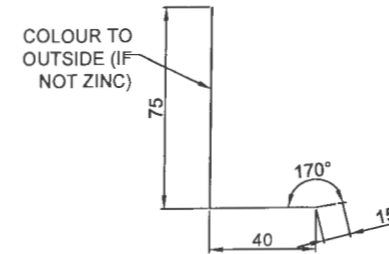
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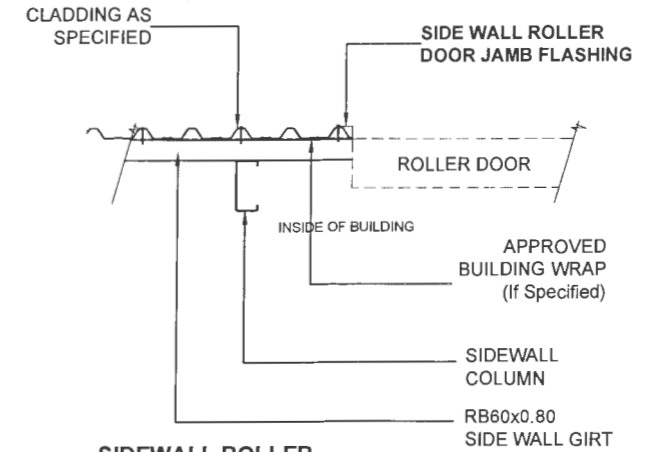
**OPENING HEADER FLASHING**  
1:5



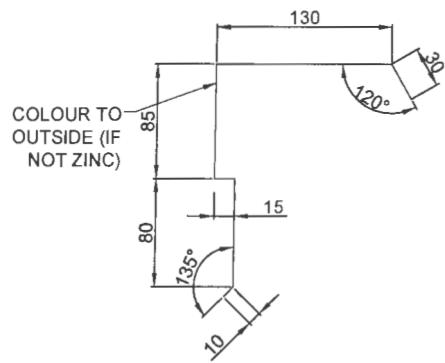
**DOOR HEADER FLASHING DETAIL**  
1:20



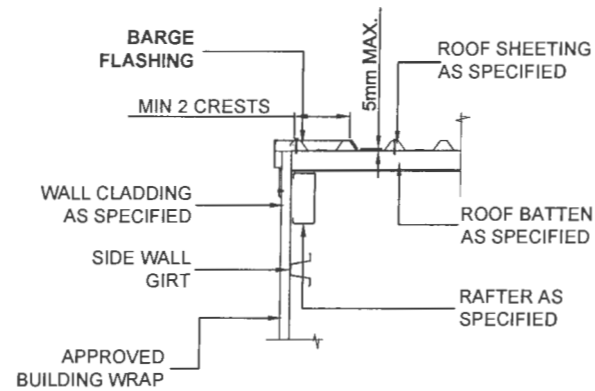
**OPENING FLASHING**  
1:5



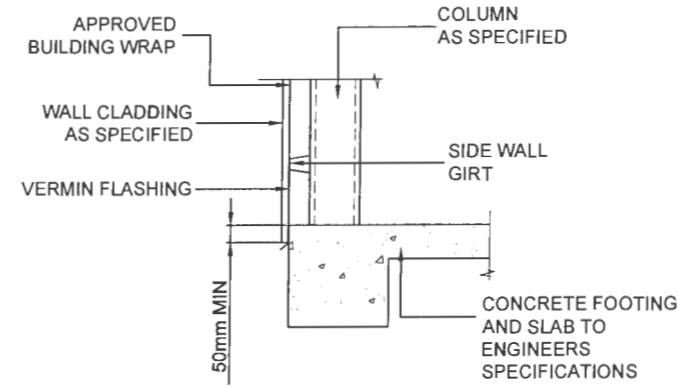
**SIDEWALL ROLLER DOOR JAMB FLASHING CONNECTION DETAIL**  
1:20



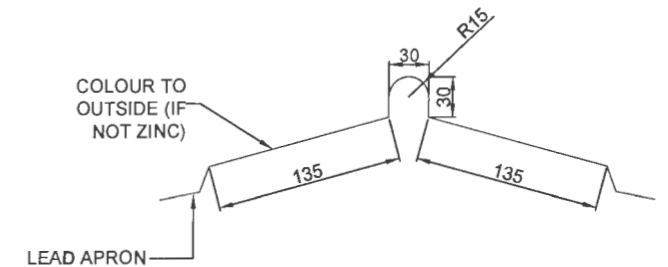
**BARGE FLASHING**  
1:5



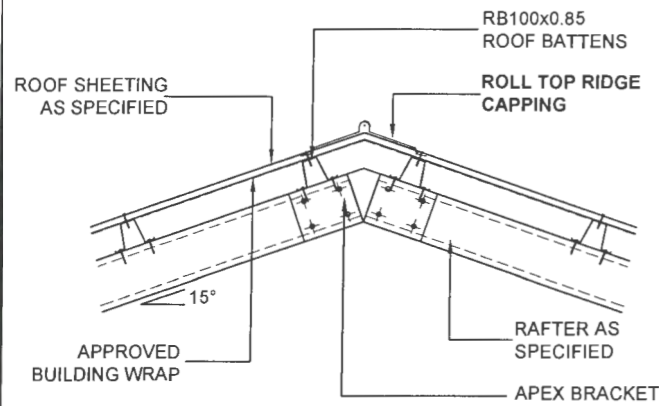
**BARGE FLASHING CONNECTION DETAIL**  
1:20



**VERMIN FLASHING CONNECTION DETAIL**  
1:20



**RIDGE FLASHING**  
1:5



**RIDGE CAPPING CONNECTION DETAIL**  
1:20

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|                                     |                      |                   |               |              |  |  |   |  |
|-------------------------------------|----------------------|-------------------|---------------|--------------|--|--|---|--|
| SHEET<br><b>6</b><br>OF<br><b>6</b> | JOB NO.<br>ZNTH20149 | DATE<br>23/6/2017 | CHECKED<br>TM | DRAWN<br>FDS | STEEL BUILDING BY<br><b>KIWISHEDS NORTHLAND LTD</b><br>(CONTACT)<br>09 432 7330<br>FOR<br><b>CRAIG &amp; MORAG RENDLE UNIT 3</b><br>AT<br>3 SIGNAL STATION ROAD<br>POUTO POINT |  | <br>Civil & Structural Engineers<br>50 Punari Street<br>Currajong, Qld 4812<br>Email: DesignNZ@nceng.com.au<br>Registered Chartered Professional Engineer<br>Registered Professional Engineer (Civil & Structural) QLD<br>Regn. No. 1029039<br>Regn. No. 9985 | Mr Timothy Roy Messer BE MIEAust RPEQ<br>IPENZ 1029039<br>Signature <i>T. Messer</i><br>Date 23/6/2017 |
|-------------------------------------|----------------------|-------------------|---------------|--------------|--|--|---|--|

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Building Code Clause(s) B1 / VM1

PRODUCER STATEMENT - PS1 - DESIGN

(Guidance notes on the use of this form are attached to this Statement)

ISSUED BY : NORTHERN CONSULTING ENGINEERS (Design Firm)

TO : CRAIG & MORAG RENDLE UNIT 3 (Owner/Developer)

TO BE SUPPLIED TO : KAIPARA DISTRICT COUNCIL (Building Consent Authority)

IN RESPECT OF : 6m Wide, 10m Long and 3.8m High. With 15Deg Roof Pitch and 3 side bays. (Description of Building Work)

AT : 3 SIGNAL STATION ROAD POUTO POINT 0391 LOT DP 8 SO 11 (Address)

We have been engaged by the owner / developer referred to above to provide - Structural Engineering Design services in respect of the requirements of Clause(s) B1 of the Building Code. (Extent of Engagement)

All [X] or Part only [ ] (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

- [X] Compliance Documents issued by the Ministry of Business, Innovation & Employment in accordance with the following standards AS/NZS1170, NZS3101, and AS/NZS4600 and verification method B1/VM1 or
[ ] Alternative solution as per the attached schedule.....

The proposed building work covered by this producer statement is described on the attached drawings list and numbered as set out on the Drawings List together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site Verification of the following design assumptions - Good Ground Conditions as per NZS 3604 Wind Region ...A... Terrain Cat ...3... Topgraphy Factor ...1... Shielding Factor ...1... Max Ground Snow Load ..NA.. kPa, Max Roof Snow Load ..NA.. kPa
(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) building, if constructed in accordance with the drawings, specifications and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code. and that b) the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

[ ] CM1 [ ] CM2 [ ] CM3 [ ] CM4 [ ] CM5 (Engineering Categories) or [ ] as per agreement with owner/developer (Architectural)

I am: Tim Messer am: [X] CPEng IPENZ 1029039 # (Name of Design Professional)

[ ] Reg Arch #

I am a Member of: [X] IPENZ [ ] NZIA and hold the following qualifications : CPEng (Civil Structural) , BE (Civil)

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less the \$200,000\*

The Design Firm is a member of ACENZ: [ ]

SIGNED BY : Tim Messer ON BEHALF OF Northern Consulting Engineers (Design Firm)

Date : 23/6/2017 (signature) [Handwritten Signature]

Note : This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000\*

This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.

THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACENZ, IPENZ AND NZIA

### DRAWING LIST

| Job Number | Sheet | Revision | Date      | Description                     |
|------------|-------|----------|-----------|---------------------------------|
| ZNTH20149  | 1     | 0        | 23/6/2017 | FOUNDATION PLAN / MEMBER LAYOUT |
| ZNTH20149  | 2     | 0        | 23/6/2017 | ELEVATIONS                      |
| ZNTH20149  | 3     | 0        | 23/6/2017 | SECTION                         |
| ZNTH20149  | 4     | 0        | 23/6/2017 | FOOTING DETAILS                 |
| ZNTH20149  | 5     | 0        | 23/6/2017 | MEMBER SCHEDULE / DETAILS       |
| ZNTH20149  | 6     | 0        | 23/6/2017 | FLASHING / APPLICATION DETAILS  |

## GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1992. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suite of producer statements has been revised at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

|                                |   |
|--------------------------------|---|
| <b>PS1 Design</b>              | Intended for use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;                             |
| <b>PS2 Design Review</b>       | Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;          |
| <b>PS3 Construction</b>        | Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2003 <sup>1</sup> or Schedules E1/E2 of NZIA's SCC 2007 <sup>2</sup>   |
| <b>PS4 Construction Review</b> | Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate. |

This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, IPENZ and NZIA to interpret the Producer Statement.

### Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence-based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as the Institution of Professional Engineers New Zealand (IPENZ) or the New Zealand Institute of Architects (NZIA), provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

### \* Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

### Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-CM5)<sup>3</sup> (OL1-OL4)<sup>2</sup>. The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

### Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

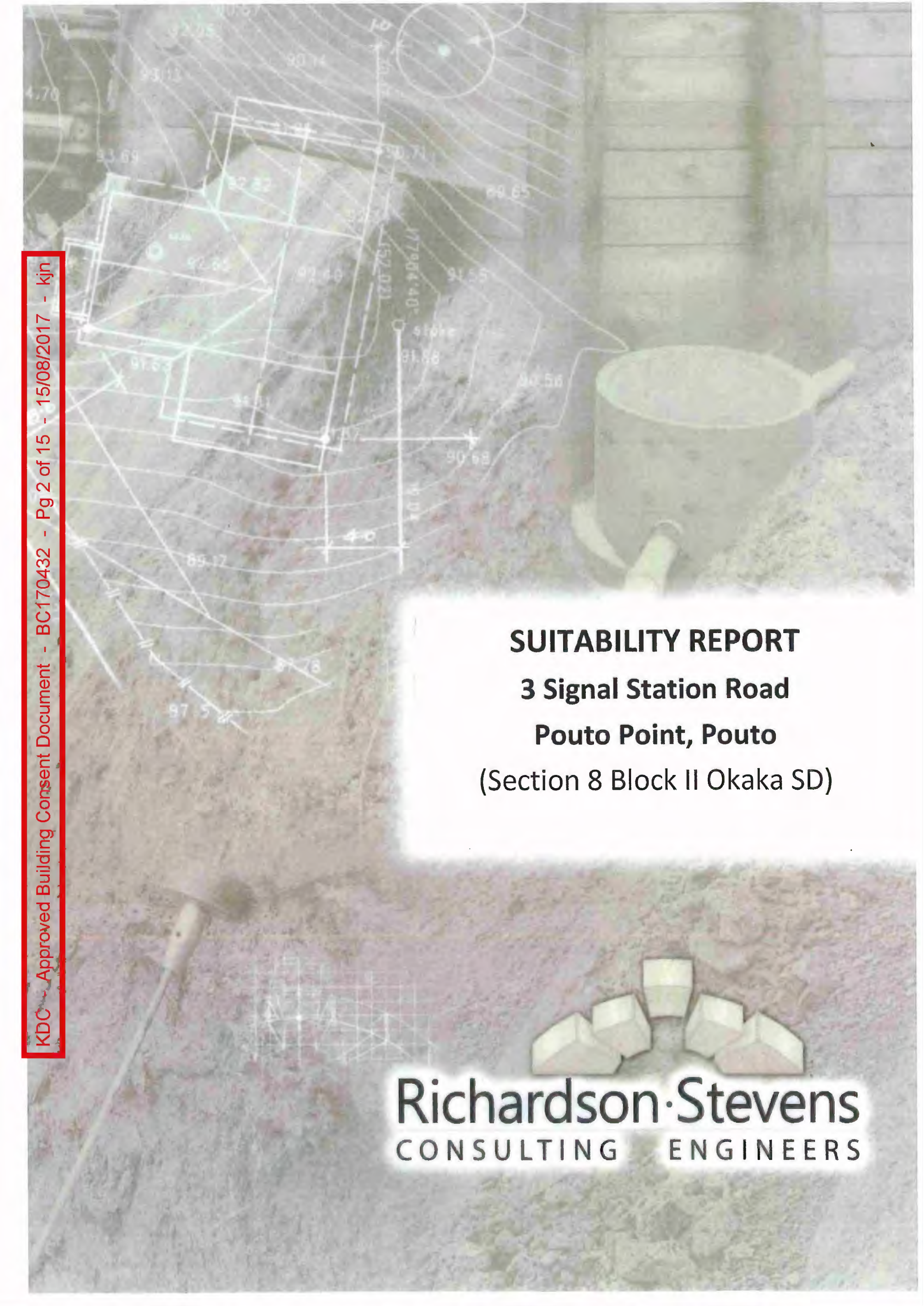
### Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

### Refer Also:

- <sup>1</sup> *Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2003*
- <sup>2</sup> *NZIA Standard Conditions of Contract SCC 2007 (1st edition)*
- <sup>3</sup> *Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)*

[www.acenz.org.nz](http://www.acenz.org.nz)  
[www.ipenz.org.nz](http://www.ipenz.org.nz)  
[www.nzia.co.nz](http://www.nzia.co.nz)

A topographic map is overlaid on a photograph of a wooden building and a large metal drum. The map shows contour lines with numerical values such as 89.65, 90.56, 90.68, 91.55, 91.58, 91.60, 91.63, 92.82, 93.13, 93.69, 94.70, 97.58, and 97.58. A rectangular area is highlighted in green on the map. The background image shows a wooden building on the right and a large metal drum in the foreground.

**SUITABILITY REPORT**  
**3 Signal Station Road**  
**Pouto Point, Pouto**  
(Section 8 Block II Okaka SD)

The logo for Richardson-Stevens Consulting Engineers, featuring a stylized arrangement of several 3D rectangular blocks in shades of yellow and brown.

**Richardson-Stevens**  
CONSULTING ENGINEERS



## **SUITABILITY REPORT**

### **3 Signal Station Road**

### **Pouto Point, Pouto**

(Section 8 Block II Okaka SD)

**Report prepared for:** Kauri Kottage Ltd

**Report prepared by:** Shaun Page

**Report reviewed by:** Steve Turner

**Report reference:** 15345

**Date:** 4 August 2017

| Revision No. | Details | Date |
|--------------|---------|------|
|              |         |      |
|              |         |      |

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| 4.0  | Site Investigation      | 2 |
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| 6.0  | Geotechnical Assessment | 3 |
| 6.1  | Stability               | 3 |
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## Appendices

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## SUITABILITY REPORT

### 3 Signal Station Road, Pouto Point, Pouto

(Section 8 Block II Okaka SD)

---

#### 1.0 Introduction

Kauri Kottage Ltd has commissioned Richardson Stevens Consultants (1996) Ltd to undertake a geotechnical assessment and prepare a Suitability Report for the proposed construction of three new sheds at 3 Signal Station Road, Pouto Point, Pouto (Section 8 Block II Okaka SD). As requested, our assessment covers the following for the Building Consent application;

- Stability
- Foundations
- Stormwater Management

#### 2.0 Site Description

This is a 1120m<sup>2</sup> property located on the north-western side of the Signal Station Road and Pouto Road intersection within the Pouto district. The property has a flat topography and lies at the base of a moderate to steep sloping, southeast facing ridgeline. An existing dwelling is located at the central area of the property and is flanked (not adjoined) by a shed/garage and relocatable building to the northeast and northwest respectively. Ground cover at the northern through western end of the property consists of metal and exposed soils. The remainder of the property is covered in grass, small trees, bushes and shrubbery.

#### 3.0 Proposal

Our client intends to construct three new Kiwi Shed buildings at the northern, north-western and south-western ends of the property. The buildings will comprise footprint areas of 60m<sup>2</sup>, 67.5m<sup>2</sup> and 51m<sup>2</sup> respectively. The existing shed/garage and relocatable building are to be removed from site.

Due to the flat topography of the property, earthworks will consist of undercutting/removal of unsuitable material and required levelling with hardfill.

See attached Appendix A for Site Plan.

#### 4.0 Site Investigation

On 2 August 2017, a site investigation was undertaken by a technician from our consultancy. This comprised of a geotechnical assessment of the property and subsoil testing. An overview of our geotechnical assessment with relevant conclusions and recommendations will be provided in Section 6.0 of this report.

Two hand augered boreholes were excavated at the property with Pilcon Shear Vane readings taken at regular intervals down the boreholes.

Borehole 1 was dug at the north-western end of the property to a depth of 1.4m below existing ground level. This bore encountered very stiff sandy clay to a depth of 0.8m overlying very stiff highly weathered sandstone (friable sandy clay) which became near impermeable at the base of the borehole. In-situ undrained shear strengths measured with a Pilcon Shear Vane ranged between 159kPa and greater than 215kPa. Groundwater was not encountered in this borehole.

Borehole 2 was dug at the south-western end of the property to a depth of 1.8m below existing ground level. This bore encountered very stiff sandy clay to a depth of 1.5m overlying very stiff highly weathered sandstone (friable sandy clay) which became near impermeable at the base of the borehole. In-situ undrained shear strengths measured with a Pilcon Shear Vane ranged between 116kPa and greater than 215kPa. Groundwater was not encountered in this borehole.

See attached Appendix B for site testing results.

#### 5.0 Geology

The GNS Science New Zealand Geology Web Maps (Scale 1:250K) identifies the geology of the property as follows;

- *“Early Pleistocene Parabolic Dunes: Weakly cemented and uncemented quartzofeldspathic to mafic-rich, dune-bedded sand and clay-rich sandy paleosols.”*

From analysis of our subsoil testing results, we conclude that the geology profile of the property is consistent with the above description.

## 6.0 Geotechnical Assessment

### 6.1 Stability

A geotechnical assessment of the property revealed no signs of instability. Minor slumping and surface creep was evident across the ridgeline to the north however the property is setback well clear of any exaggerated slopes. Subsoil testing encountered very stiff sandy clays overlying highly weathered sandstone with in-situ undrained shear strengths generally exceeding 159kPa (single reading of 116kPa assessed as a minor isolated result).

As the site has a flat topography, earthworks are expected to be minor involving the removal of the existing shed/garage and undercutting of unsuitable material. Hardfill should be utilised for all required levelling. If any areas of concern or unsuitable subsoils are encountered during works, advice from a Chartered Professional Engineer should be sought prior to the commencement of works.

We conclude that the risk of instability affecting the proposed development is low subject to the following recommendations in Sections 6.2, 6.3 and 6.4 of this report.

### 6.2 Expansive Soils

We assess the subsoils on-site as being moderately expansive. Varying moisture content throughout differing seasons tends to cause shrink/swell effects on such soils. Results of these effects can lead to deformation in a structure such as jamming doors or windows and in some instances, cracking (especially concrete floor slabs). All foundations should account for any potential expansiveness within the subsoils.

Depending on the time of the year when building works are to be undertaken, exposed soils at the building site revealing surface cracking should be thoroughly wet prior to the commencement of works or conversely, wetter soils should be allowed to dry to an acceptable moisture equilibrium to mitigate against the shrink/swell properties of the underlying subsoils and their effects. Once an optimal moisture content is obtained within the subsoils, we suggest an impermeable membrane should be placed atop all concrete slab areas to maintain the optimal moisture content.

### 6.3 Earthworks

The following are earthworks recommendations for the proposed development;

- The building site should be shaped to assist in stormwater run-off and aid in avoiding ponding of rainwater.
- All topsoil, loose/disturbed/foreign and unsuitable material should be stripped from the building site.
- NZS3604:2011 compliant hardfill should be utilised for all fills.
- Any filling at the proposed building site below foundations, or greater than 600mm deep within foundation walls, should be tested for compaction generally in accordance with NZS4431:1989 by a Chartered Professional Engineer.
- If any areas of concern or unsuitable subsoils are encountered during works, advice from a Chartered Professional Engineer should be sought prior to the commencement of works.

### 6.4 Foundations

The overlying subsoils on-site are assessed as being 'Class M' soils in terms of AS2870:2011. Standard NZS3604:2011 concrete slab foundations or Kiwi Shed standard design will be suitable for all three sheds provided they are embedded a minimum of 0.3m below cleared ground level.

## 7.0 Stormwater Management

The property is identified as being located within a Residential Zone – West Coast Overlay (Chapter 13) as per the Kaipara District Council (KDC). The District Plan states the following regarding a 'Permitted Activity' for permeable surfaces in this zone;

- *“a) The area of any **site** covered by **buildings** and other **impermeable surfaces** is less than 40% of the **net site area**.”*

As the property encompasses an area of 1120m<sup>2</sup>, an allowable area of impermeable surfaces at the property prior to the requirement of stormwater detention controls is 448m<sup>2</sup>. The proposed development and existing impermeable surfaces at the property will total less than this amount and therefore no stormwater detention controls are required. All downpipes from the new buildings should connect to the existing rainwater storage tank on-site.

## 8.0 Recommendations

Below is a summary of our recommendations from this report:

- Depending on the time of the year when building works are to be undertaken, exposed soils at the building site revealing surface cracking should be thoroughly wet prior to the commencement of works or conversely, wetter soils should be allowed to dry to an acceptable moisture equilibrium to mitigate against the shrink/swell properties of the underlying subsoils and their effects. Once an optimal moisture content is obtained within the subsoils, we suggest an impermeable membrane should be placed atop all concrete slab areas to maintain the optimal moisture content.
- The building site should be shaped to assist in stormwater run-off and aid in avoiding ponding of rainwater.
- All topsoil, loose/disturbed/foreign and unsuitable material should be stripped from the building site.
- NZS3604:2011 compliant hardfill should be utilised for all fills.
- Any filling at the proposed building site below foundations, or greater than 600mm deep within foundation walls, should be tested for compaction generally in accordance with NZS4431:1989 by a Chartered Professional Engineer.
- If any areas of concern or unsuitable subsoils are encountered during works, advice from a Chartered Professional Engineer should be sought prior to the commencement of works.
- The overlying subsoils on-site are assessed as being 'Class M' soils in terms of AS2870:2011.
- Standard NZS3604:2011 concrete slab foundations or Kiwi Shed standard design will be suitable for all three sheds provided they are embedded a minimum of 0.3m below cleared ground level.
- No stormwater detention controls are required. All downpipes from the new buildings should connect to the existing rainwater storage tank on-site.

## 9.0 Conclusion

From our site investigation and above assessments, Richardson Stevens Consultants (1996) Ltd concludes that the property is suitable for the proposed development subject to the recommendations in this report.

Subject to the recommendations of this report, in terms of Section 72 of the Building Act 2004, it is our opinion that;

- (a) The building work to which an application for a building consent relates will not accelerate, worsen, or result in subsidence or slippage on the land on which the building work is to be carried out or any other property: and
- (b) The land on which the building work is to be constructed is not subject to nor is it likely to be subject to subsidence or slippage.

### 10.0 Limitations

This report has been prepared solely for the benefit of our client and the Kaipara District Council. The purpose is to determine the engineering suitability of the proposed residential building, in relation to the material covered by the report. The reliance by other parties on the information or opinions contained therein shall, without our prior review and agreement in writing, do so at their own risk.

This report does not address matters relating to the National Environmental Standard for Contaminated Sites, and if applicable separate advice should be sought on this matter from a suitably qualified person.

Recommendations and opinions in this report are based on data obtained as previously detailed. The nature and continuity of subsoil conditions away from the test locations are inferred and it should be appreciated that actual conditions could vary from those assumed.

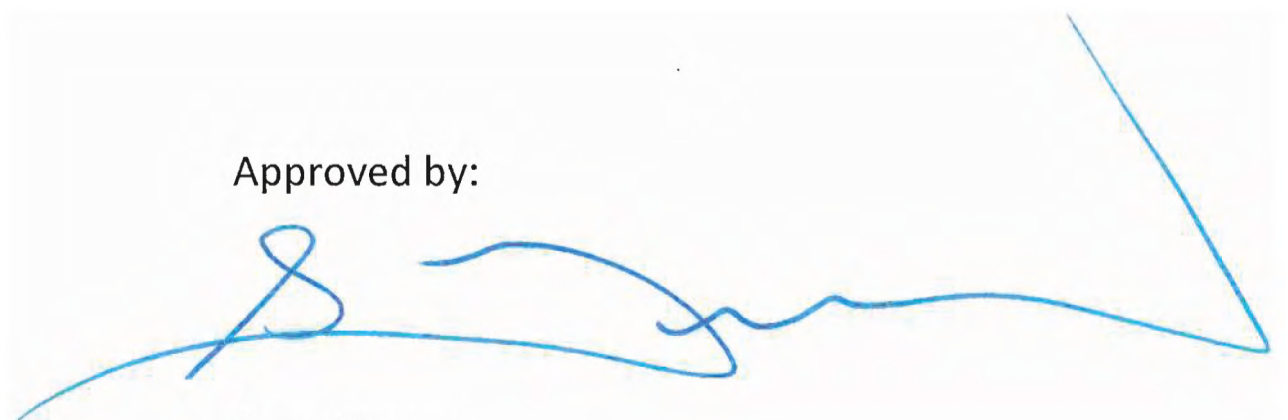
If during excavation and construction conditions are encountered that differ from the inferred conditions on which the report has been based, the site should be examined by a suitably qualified engineer to determine if any modification of the design based upon this report is required.

Prepared by:

Approved by:

Shaun Page  
Engineering Technician

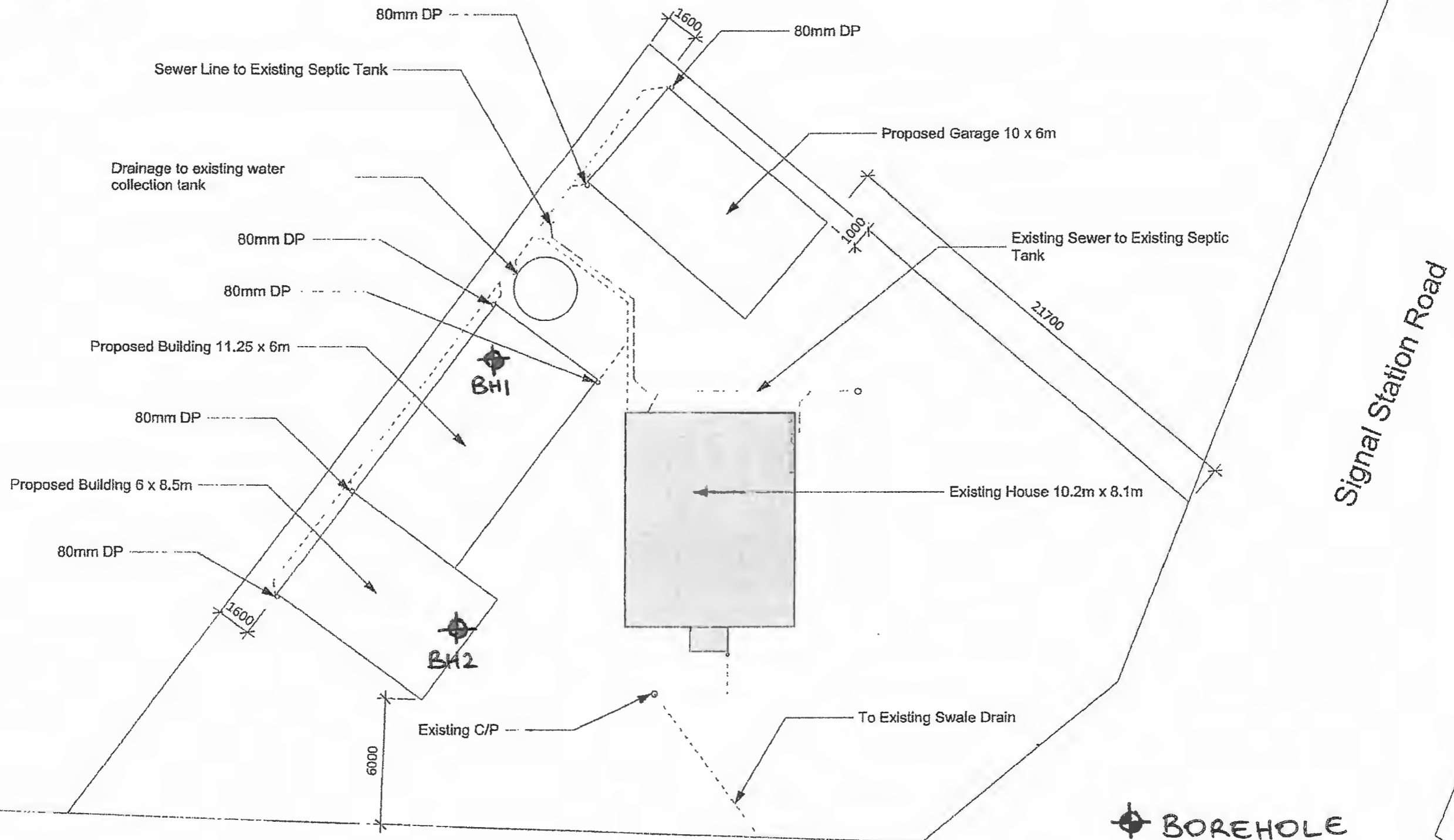
**Richardson Stevens Consultants (1996) Ltd**



Steve Turner  
Chartered Professional Engineer

**Appendix A**

**Site Plan**



**Planning:**

Legal Description: Section 8 Block 11 Okaka SD  
 Authority: Kaipara District Council  
 District Plan: Residential

Site Coverage  
 Site Area: 1140m<sup>2</sup>  
 Existing Buildings: 85m<sup>2</sup>  
 Proposed Shed (GDA): 178.5m<sup>2</sup>  
 Impervious Area (exst): 85m<sup>2</sup>

Earthworks  
 Area: N/A  
 Cut: N/A  
 Fill: N/A

Pouto Road



| ISSUE                         | DATE             | REVISION  |
|-------------------------------|------------------|-----------|
| PROJECT Proposed Sheds        |                  |           |
| ADDRESS 3 Signal Station Road |                  | PROJECT # |
| CLIENT Rendle                 | DATE #           | DWG #     |
| DWG Site Plan                 | SCALE (A3) 1:200 | A001      |
|                               | DRAWN            | REVISION  |
|                               | CHKD             |           |

Kiwi Sheds Ltd 1121 Great South Road Runciman  
 PO Box 155 Drury Auckland T: 0800 454 947 W: www.kiwisheds.co.nz  
 E: info@kiwisheds.co.nz

**Appendix B**

**Site Testing Results**





**Producer Statement Construction (PS3) - Drainage**

Issued by: Nigel Ashley being a Registered Certifying Drainlayer

In respect of installing drainage and the on-site wastewater disposal for:

(Owner) \_\_\_\_\_

At (Address) Pouto Road

Pouto Peninsula

Legal Description: Lot \_\_\_\_\_ DP \_\_\_\_\_ Valuation 0110015803

I have sighted the issued Building Consent (BC \_\_\_\_\_) and have constructed the drainage system including the pipes and fittings in accordance with the approved Building Consent, the New Zealand Building Code, and the manufacturers specifications and requirements.

I have tested the pipework and installed the system as follows:

- Installed an on-site effluent disposal system in accordance with AS/NZS 1547:2000 and provide a schedule to the owner for the systems maintenance.
- Has been installed in accordance with G13 (Foul Water) and G14 (Industrial Liquid Waste) and B2 (durability 15 years) of the Building Regulations 1992.

I believe on reasonable grounds that the work complies with the Building Consent issued.

I also understand that Kaipara District Council in accepting this Producer Statement Construction (PS3), will be relying on it to establish compliance at the completion of the building work.

- I understand and accept that Council may rely on this document, for the purposes of establishing compliance with the above building consent and that the content including the signature, whether electronic or not, is truly representative and authoritative of the information contained.

Signature of Registered Certifying Drainlayer:  
Nigel Ashley

Drainlayers Registration Number: 28987 Reg Expiry Date: 31-03-2018

Date: 9-1-2018

File: 3117.0

From: **Matthew Carson** action.step@carsonfox.co.nz  
Subject: 3 Signal Station Road - Settlement Completed id=carson:p35a15740  
Date: Today at 12:06 PM  
To: Morag Rendle zumum@clear.net.nz, Craig (Uglyanna) Rendle uglyannas@clear.net.nz

here you go.

chrs  
m



**COMPUTER FREEHOLD REGISTER  
UNDER LAND TRANSFER ACT 1952**

Search Copy



**Identifier** NA4B/387  
**Land Registration District** North Auckland  
**Date Issued** 13 August 1964

**Prior References**

NA1593/60

---

|                          |  |
|--------------------------|--|
| <b>Estate</b>            | Fee Simple                               |
| <b>Area</b>              | 1120 square metres more or less          |
| <b>Legal Description</b> | Section 8 Block II Okaka Survey District |
| <b>Proprietors</b>       | Kauri Kottage Limited                    |

---

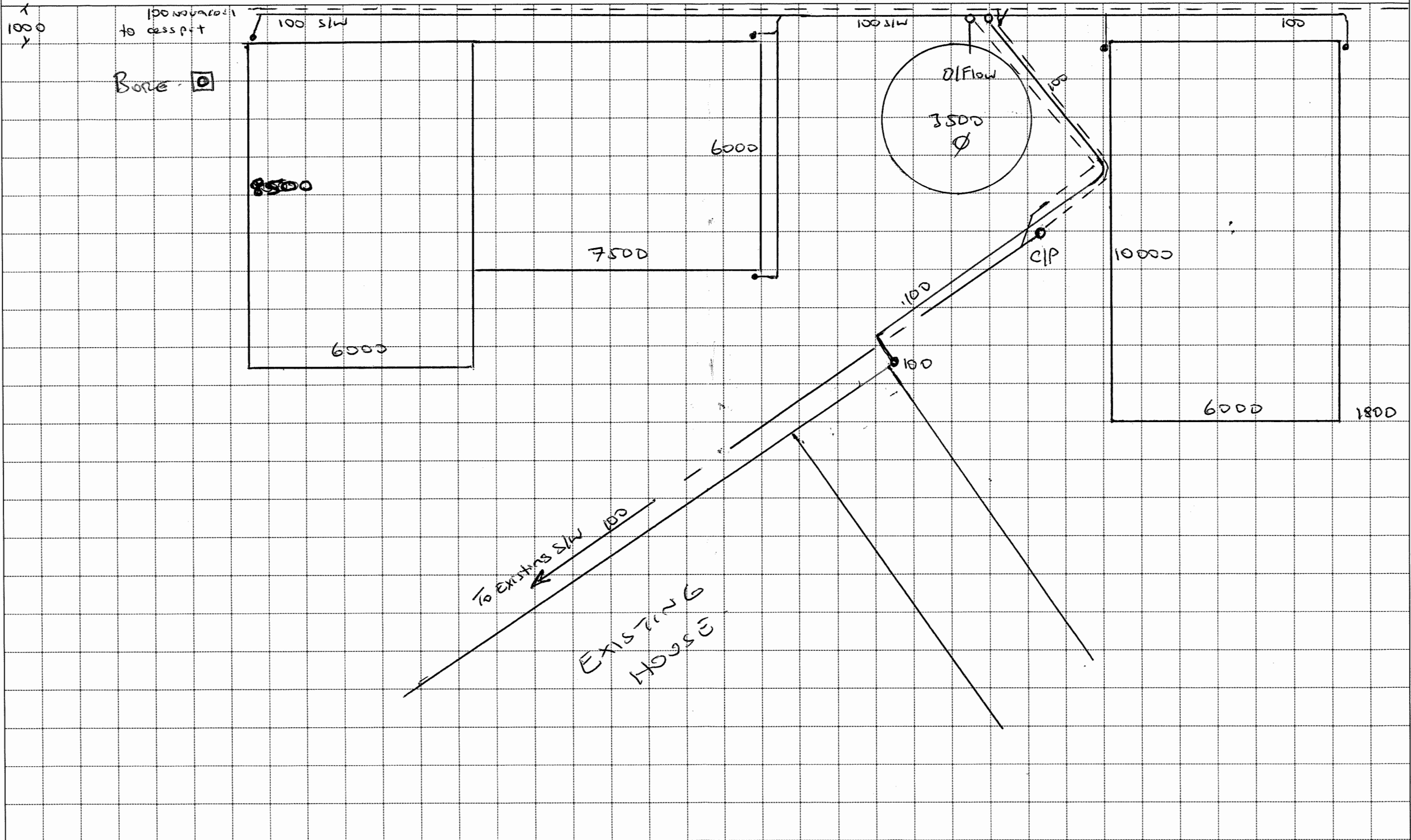
**Interests**

K52063 Building Line Restriction  
Subject to Section 59 Land Act 1948



**PART C: As Built Services Plan**

(To be completed in all cases. If details are already noted on separate drawings then provide copies in duplicate as appropriate and attach to this sheet. Ensure that drawing numbers, etc, are noted below.)



100  
towards  
to cess pit

Scale: 1 in 100  
 Site Address: 3 SIGNAL STATION RD  
RDC TO KOPURU

Please provide at least two measurements for each access point for future location

**Private Utility Service As-Built Record**

(Section 216, Building Act 2004)

**Part A Consent Details** (to be completed in all cases)

 Building Consent Number BC 170432  
 Applicants Name Kauri Kottage Ltd  
 Applicants Mailing Address PO Box 11 Whitford  
AUCKLAND 2149  
 Site Address 3 SIGNAL STATION ROAD RD1 TE KOPURU
**Part B As Built Services Information** (to be completed in relation to service provided, ticking each box as appropriate)

**Stormwater**

| Pipe Diameter                             | Pipe Material                            | Connection Type  |
|---|--|--|
| <input type="checkbox"/> 80mm             | <input checked="" type="checkbox"/> uPVC | <input type="checkbox"/> Public Utility Service Connection |
| <input checked="" type="checkbox"/> 100mm | <input type="checkbox"/> Vitrified Clay  | <input type="checkbox"/> Soak Hole                         |
| <input type="checkbox"/> 150mm            | <input type="checkbox"/> Ductile Iron    | <input type="checkbox"/> Stream                            |
| <input type="checkbox"/> 225mm            | <input type="checkbox"/> Concrete        | <input checked="" type="checkbox"/> Drain                  |
| <input type="checkbox"/> Other _____ mm   | <input type="checkbox"/> Other _____     | <input type="checkbox"/> Other _____                       |

**Water Supply**

| Pipe Material - Cold  | Hot Water Cylinder                                 |
|---|--|
| <input type="checkbox"/> uPVC                                 | <input type="checkbox"/> High Pressure _____ Litre |
| <input type="checkbox"/> Copper                               | <input type="checkbox"/> Low Pressure _____ Litre  |
| <input type="checkbox"/> Polybutylene                         | <b>Meter Type</b>                                  |
| <input checked="" type="checkbox"/> Other <u>Polyethylene</u> | Make _____ Model _____                             |

| Pipe Material - Hot                   | Diameter   |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|---------------------------------------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
| <input type="checkbox"/> uPVC         | _____  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| <input type="checkbox"/> Copper       | Serial Number _____  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| <input type="checkbox"/> Polybutylene | Reading <table border="1" style="display: inline-table; vertical-align: middle;"> <tr> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> </tr> </table> m <sup>3</sup> |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|                                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| <input type="checkbox"/> Other _____  | (Quote all black figures inclusive of zeros only)  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |

**Note Part B As Built Services Information**

| Wastewater - Pressure                   |   | (Pump Make/Model) _____  |                                   |
|---|---|--------------------------|-----------------------------------|
| Connection Diameter                     | Pipe Material                           | Connection Type          |                                   |
| <input type="checkbox"/> 40mm           | <input type="checkbox"/> uPVC           | <input type="checkbox"/> | Public Utility Service Connection |
| <input type="checkbox"/> 50mm           | <input type="checkbox"/> Vitrified Clay | <input type="checkbox"/> | Septic Tank                       |
| <input type="checkbox"/> 80mm           | <input type="checkbox"/> Concrete       | <input type="checkbox"/> | Other _____                       |
| <input type="checkbox"/> Other _____ mm | <input type="checkbox"/> Other _____    |                          |                                   |

N/A

| Wastewater - Gravity                    |   |                          |                                   |
|---|---|--------------------------|-----------------------------------|
| Connection Diameter                     | Pipe Material                           | Connection Type          |                                   |
| <input type="checkbox"/> 65mm           | <input type="checkbox"/> uPVC           | <input type="checkbox"/> | Public Utility Service Connection |
| <input type="checkbox"/> 80mm           | <input type="checkbox"/> Vitrified Clay | <input type="checkbox"/> | Soak Hole                         |
| <input type="checkbox"/> 100mm          | <input type="checkbox"/> Concrete       | <input type="checkbox"/> | Stream                            |
| <input type="checkbox"/> Other _____ mm | <input type="checkbox"/> Other _____    | <input type="checkbox"/> | Other _____                       |

N/A

**Wastewater - Disposal System Description**

| Septic Tank   | Effluent Field                         |
|---|--|
| Size: _____ litres  | Trench _____ m                         |
| Type <input type="checkbox"/> Septic tank <b>DECOMMISSIONED</b> | <input type="checkbox"/> Deep Soakhole |
| <input type="checkbox"/> Ecotank                                | Depth _____ m                          |
| <input type="checkbox"/> Biocycle                               | Number of holes _____ m                |
|   | <input type="checkbox"/> Other _____   |

N/A

**Sanitary Facilities**

|                                 |              |   |
|---------------------------------|--------------|---|
| <input type="checkbox"/> Toilet | Number _____ | <b>Waste Disposal Unit</b>              |
| <input type="checkbox"/> Bidet  | Number _____ |   |
| <input type="checkbox"/> Urinal | Number _____ |   |
|                                 |              | <input type="checkbox"/> No             |
|                                 |              | <input type="checkbox"/> Yes Type _____ |

N/A

**Certification**

 I, CRAIG RENDLE being \_\_\_\_\_  
 Owner  Craftsman plumber Registration Number \_\_\_\_\_  
 Occupier  Registered drainlayer Registration Number \_\_\_\_\_  
 certify that this Private Utility Service As-Built Record is an accurate representation of the work carried out.  
 \_\_\_\_\_ 10/01/18  
 Signature Date



Blue text = Certificate of Compliance, Red text = Electrical Safety Certificate, Green text = Required for both certificates

WORK TYPE  Low-risk (Maintenance Replacement)  General  High-risk (Requires Inspection)

Has the work been done in compliance with AS/NZS 3000 Part 1  or Part 2   
 Has the work been done in accordance with the certified design for the electrical installation  Yes  No  
 Does the work rely on any manufacturer's instructions and suppliers' declarations of conformity   
 Tested in accordance with AS/NZS 3000   
 The installation connected to the electricity supply is safe to use   
 The work done has not adversely affected any other part of the installation.

Other Standards used \_\_\_\_\_

Customer CRAG RENDIS Site ref. SHED #1

Address of installation 3 SIGNAL STATION ROAD, POUKOA, KAPARA DISTRICT.

Type of system the installation is safe to connect to 1 PHASE 230V + N - MEN eg 230V MEN

Number of electrical installations safe to connect to electricity supply  
 10 Power outlets  6 Light fittings/control  1 BORE HIVE PUMP  NIL Ranges

Description of work done and by whom / Work related to ESC

**Test Results**  
 Visual Inspection   
 Polarity   
 Correct Circuit Connections   
 Insulation Resistance   
 RCD   
 Earth fault-loop Impedance

TO INSTALL SIGNAL PHASE SUBMAIN FROM COTTAGE OUTDOOR METER DISTRIBUTION STATION TO SHED #1

TO INSTALL POWER OUTLET, LIGHTING & BORE PUMP SUBCIRCUIT

| 20A power kitchen            | 0.41Ω    |
|------------------------------|----------|
| INSULATION TEST              | < 200 MΩ |
| * SOCKET OUTLETS (20A) 1     | 0.3 Ω    |
| * SOCKET OUTLETS (20A) 2     | 0.3 Ω    |
| * SOCKET OUTLETS (20A) 3     | 0.1 Ω    |
| * ELECTRIC DOORS (6A)        | 0.5 Ω    |
| * BORE PUMP - ISOLATION (6A) | 0.3 Ω    |
| * LIGHTS (6A)                | 0.2 Ω    |
| * MAINS N-E                  | 0.01 Ω   |

TO INSTALL & CONNECT LOCAL DISTRIBUTION SWITCHBOARD + BOND SHED METAL STRUCTURE

TEST.

Other Electrical workers involved \_\_\_\_\_

| full name                      | registration  | date                    |
|--------------------------------|---------------|-------------------------|
| <u>KENNETH DOUGLAS RICHTON</u> | <u>E14658</u> | <u>EXP 30 JUNE 2019</u> |

Issuing Electrician \_\_\_\_\_

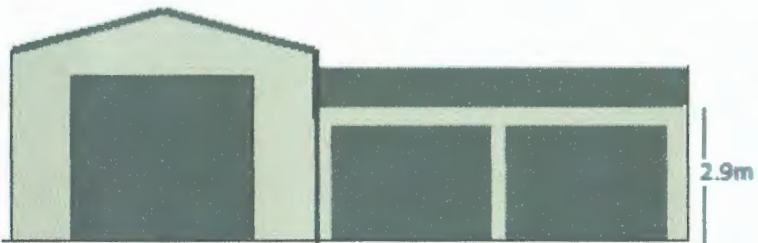
full name KENNETH DOUGLAS RICHTON registration E 14658

phone 09) 429 4859 company \_\_\_\_\_

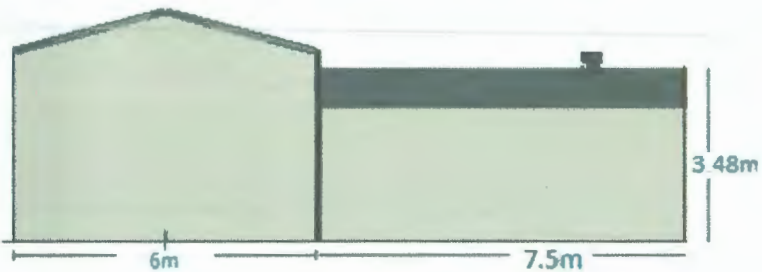
The work on this certificate has been done lawfully and safely, and the information on the certificate is correct signed [Signature] date 20/6/2018

# SHED # 1

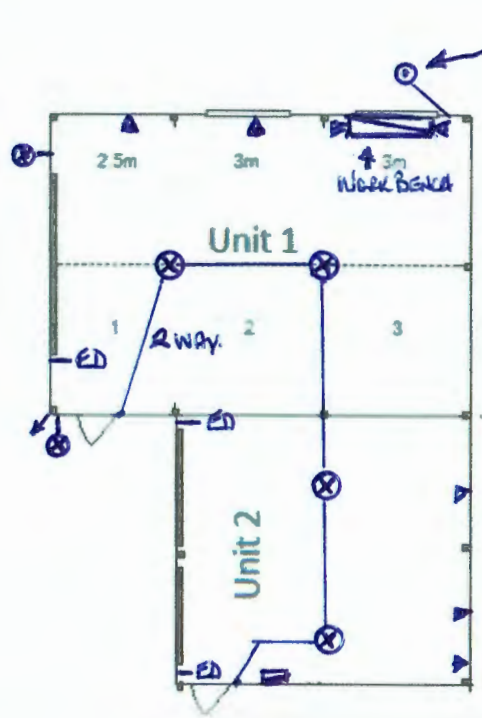
Building For:  
**CRAIG & MORAG RENDLE UNIT 1 & 2**  
**3 SIGNAL STATION ROAD POUTO POINT**  
 Job Number: 20139  
 Produced by:  
**Kiwisheds Northland Ltd**  
 Phone: 09 432 7330



Front facing house

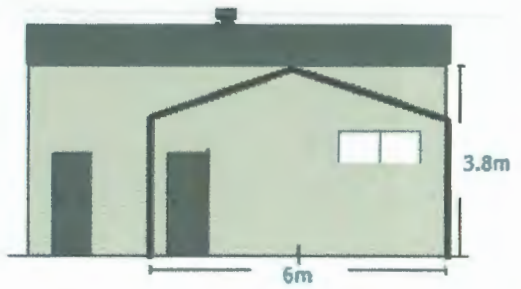
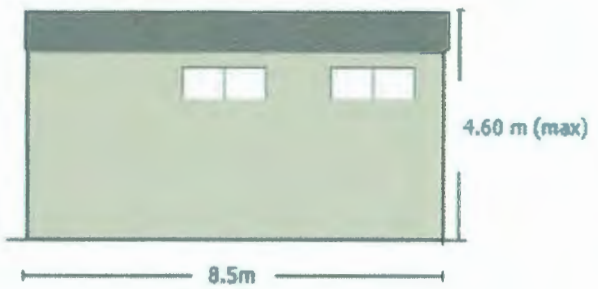


Rear facing boundary



boac Pump

All roller doors have motors



- ⤴ - Photo Call
- ⊗ - LED LIGHTS
- ⓔ - ELECTRIC DOORS
- ▬ - SWITCHED BOARD
- ▷ - SOCKET OUTLETS



# Electrical Certificate of Compliance

## Electrical Safety Certificate

574204  
www.evro.co.nz/cocesc.pdf  
CUSTOMER COPY



Blue text = Certificate of Compliance, Red text = Electrical Safety Certificate, Green text = Required for both certificates

WORK TYPE  Low-risk (Maintenance Replacement)  General  High-risk (Requires Inspection)

Has the work been done in compliance with AS/NZS 3000 Part 1  or Part 2

Has the work been done in accordance with the certified design for the electrical installation  Yes  No

Does the work rely on any manufacturer's instructions and suppliers' declarations of conformity  Yes  No

Tested in accordance with AS/NZS 3000  Yes  No

The installation connected to the electricity supply is safe to use  Yes  No

The work done has not adversely affected any other part of the installation.  Yes  No

Other Standards used

Customer CRAIG KENNEDY Site ref. SHED #2

Address of installation 3 SIGNAL STATION ROAD, POUKA - KAIHARA DISTRICT

Type of system the installation is safe to connect to 1 PHASE 230V +N - MEN eg 230V MEN

Number of electrical installations safe to connect to electricity supply

5 Power outlets 4 Light fittings/control NIL HWC NIL Ranges

Description of work done and by whom / Work related to ESC

### Test Results

TO INSTALL A SIGNAL PHASE SUBMAIN FROM THE LOTTALE OUTDOOR METER DISTRIBUTION STATION TO SHED #2.

Visual Inspection  OK  
Polarity   
Correct Circuit Connections   
Insulation Resistance   
RCD

TO INSTALL POWER OUTLET & LIGHTING SUB CIRCUIT.

\*Earth fault-loop Impedance

| 230V power fitted      | 0.41Ω   |
|------------------------|---------|
| INSULATION TEST        | <200 mA |
| * SOCKET OUTLETS (20A) | 0.1 Ω   |
| * ELECTRIC TOOLS (16A) | 0.1 Ω   |
| * LIGHTS (6A)          | 0.3 Ω   |
| * MAIN N-E             | 0.2 Ω   |

TO INSTALL & CONNECT A LOCAL DISTRIBUTION SWITCH BOARD & BOND SHED'S METAL STRUCTURE.

TEST

Other Electrical workers involved

| full name                      | registration  | date                    |
|--------------------------------|---------------|-------------------------|
| <u>KENNETH DOUGLAS RICHTON</u> | <u>E14658</u> | <u>EXP 30 JUNE 2019</u> |

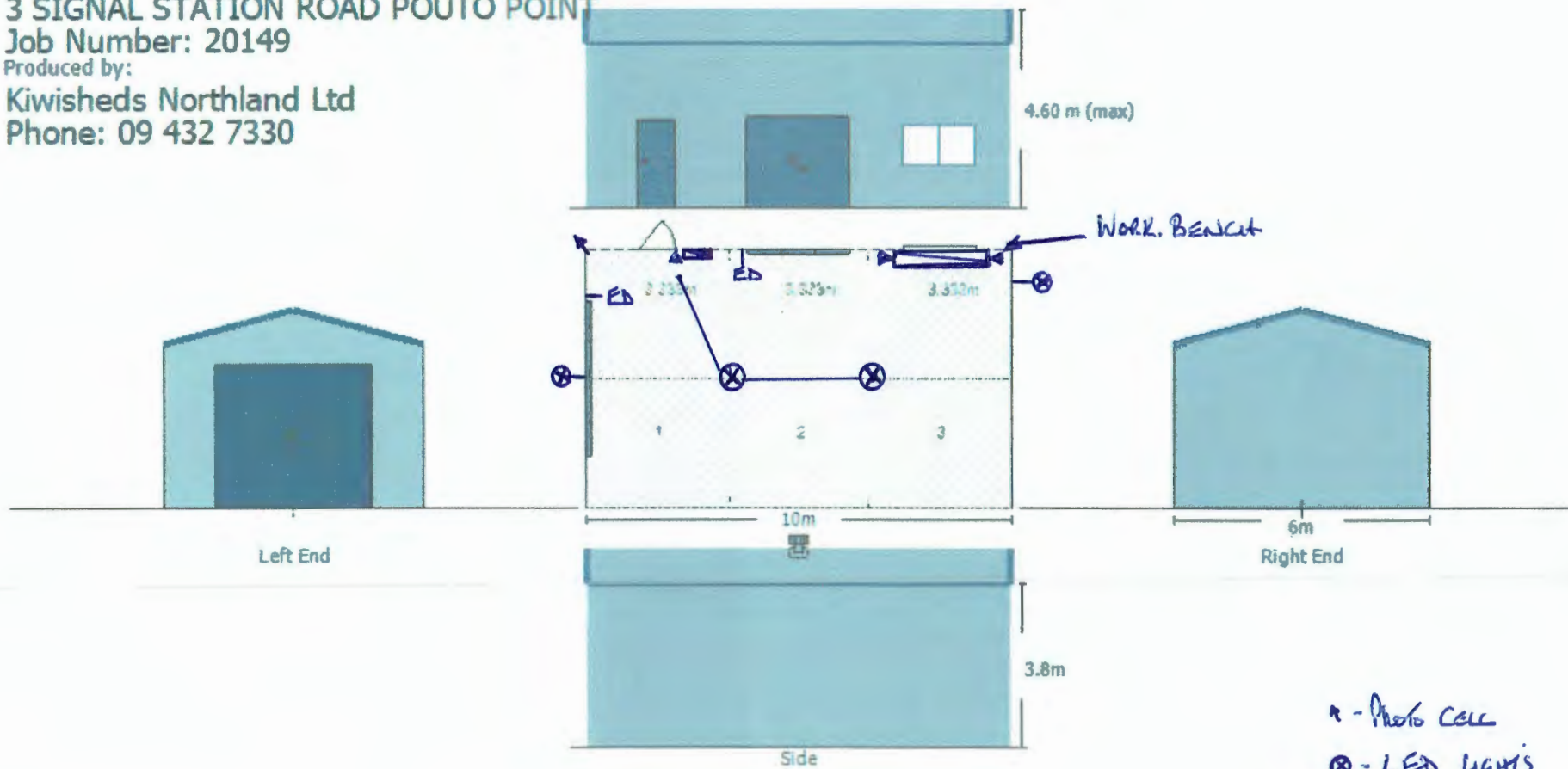
Issuing Electrician

full name KENNETH DOUGLAS RICHTON registration E14658  
phone 09) 439 4859 021 64 8816 company \_\_\_\_\_

The work on this certificate has been done lawfully and safely, and the information on the certificate is correct signed [Signature] date 20/6/2018

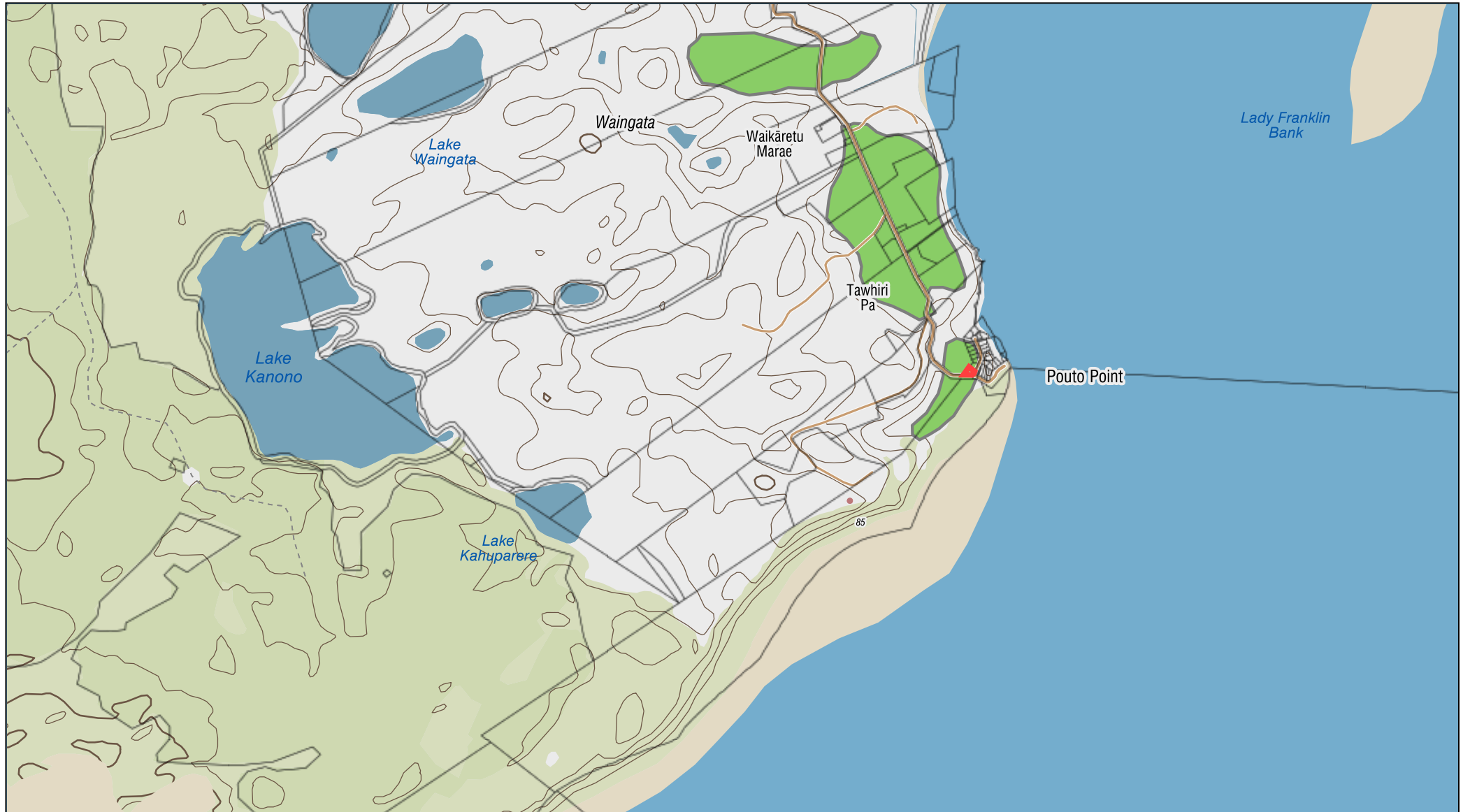
# SHEA # 2

Building For:  
CRAIG & MORAG RENDLE UNIT 3  
3 SIGNAL STATION ROAD POUTO POINT  
Job Number: 20149  
Produced by:  
Kiwisheds Northland Ltd  
Phone: 09 432 7330



- ⤴ - Photo Cell
- ⊗ - LED LIGHTS
- ED - ELECTRIC DOOR
- ▬ - SWITCH BOARD
- ▶ - SOCKET OUTLETS

# Land Use Capability



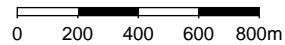
**OURENVIROMENT**



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Scale: 1:25,000






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Printed: 11:17:34 AM Fri, 9 Jan 2026

## Legend

### Baseline Highly Productive Land

-  HPL - LUC Class 1
-  HPL - LUC Class 2
-  HPL - LUC Class 3

**OURENVIRONMENT**



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Printed: 11:17:35 AM Fri, 9 Jan 2026

## Natural Hazards S44B(2)(a)

### Drought

Kaipara District Council has no known information about this natural hazard, including as exacerbated by climate change, that would affect the property. Please consult the Northland Regional Council Hazard attachment for further information, provided by the Northland Regional Council, in relation to this natural hazard.

### Earthquake, Geothermal and Volcanic

Kaipara District Council commissioned ENGE0 Limited to undertake an assessment of engineering geology and geotechnical hazards and their associated risk for development within certain growth areas of the Kaipara District. ENGE0 Limited summarized its findings on these matters in a report to the Council dated 17<sup>th</sup> June 2019 and 1<sup>st</sup> May 2019 (**ENGE0 Report**).

Kaipara District Council is providing the ENGE0 Report as it is information relating to natural hazards that is known to the Council.

The information contained in the ENGE0 Report was current as at the date of the report and has been provided in good faith. The Kaipara District Council makes no representation, warranty or undertaking as to the accuracy, completeness, quality or fitness for any particular purpose of the information contained in the ENGE0 Report.

The information contained in the ENGE0 Report is provided on a regional/catchment basis and in most cases is not site specific. Any users of the information must obtain advice from suitably qualified practitioners if site specific information is required.

Users must also note that natural hazards outlined in the ENGE0 Report do not consider any interventions that may modify the natural hazard risks to a specific site.

### ***West Coast Omamari, Baylys Beach, Glinks Gully, and Te Kopuru Technical Report***

|   |   |
|---|---|
| 1. Scope of report                            | <i>This report presents a geotechnical assessment and hazard mapping the Omamari, Baylys Beach, Glinks Gully, and Te Kopuru areas, located on the West Coast of the Kaipara District.</i>   |
| 2. Report Title:                              | <i>Geotechnical Assessment West Coast of the Kaipara District</i>   |
| 3. Report date:                               | <i>01.05.2019</i>   |
| 4. Entity/Person who prepared the report:     | <i>Engeo Limited</i>  |
| 5. Entity/person who commissioned the report: | <i>Kaipara District Council</i>   |
| 6. Purpose of the report:                     | <i>The purpose of this geotechnical assessment is to provide the Kaipara District Council (KDC) with information on land stability and other geotechnical hazards that could constrain development of the area defined by KDC as 'Future Residential and Business Growth Area' and 'Greater Structure Plan Policy Area' of Omamari, Baylys Beach, Glinks Gully, and Te Kopuru areas, located on the West Coast of the Kaipara District.</i> |
| 7. Where or how to access report              | <a href="#"><u>Engeo Reports</u></a>  |

### Kaipara District Technical Report

|  |  |
|--|--|
| Scope of report                            | <i>This report presents a geotechnical assessment and hazard mapping for the Kaipara District</i>  |
| Report Title:                              | <i>Geotechnical Assessment Kaipara District</i>  |
| Report date:                               | <i>17.06.2019</i>  |
| Entity/Person who prepared the report:     | <i>Engeo Limited</i>   |
| Entity/person who commissioned the report: | <i>Kaipara District Council</i>  |
| Purpose of the report:                     | <i>The purpose of this geotechnical assessment is to provide the Kaipara District Council (KDC) with information on land stability and other geotechnical hazards that could constrain development of the area defined by KDC as 'Future Residential and Business Growth Area' and 'Greater Structure Plan Policy Area' of Kaipara District.</i> |
| Where or how to access report              | <a href="#"><u>Engeo Reports</u></a>   |

Northland Regional Council may provide further data regarding this Natural Hazard. Please refer to the Northland Regional Council attachment for any applicable information.

### Erosion and Landslide

Kaipara District Council commissioned EN GEO Limited to undertake an assessment of engineering geology and geotechnical hazards and their associated risk for development within certain growth areas of the Kaipara District. EN GEO Limited summarized its findings on these matters in a report to the Council dated 17th June 2019 and 1st May 2019 (EN GEO Report).

Kaipara District Council is providing the EN GEO Report as it is information relating to natural hazards that is known to the Council.

The information contained in the EN GEO Report was current as at the date of the report and has been provided in good faith. The Kaipara District Council makes no representation, warranty or undertaking as to the accuracy, completeness, quality or fitness for any particular purpose of the information contained in the EN GEO Report.

The information contained in the EN GEO Report is provided on a regional/catchment basis and in most cases is not site specific. Any users of the information must obtain advice from suitably qualified practitioners if site specific information is required.

Users must also note that natural hazards outlined in the EN GEO Report do not consider any interventions that may modify the natural hazard risks to a specific site.

**West Coast Omamari, Baylys Beach, Glinks Gully, and Te Kopuru Technical Report**

|  |  |
|--|--|
| Scope of report                            | This report presents a geotechnical assessment and hazard mapping the Omamari, Baylys Beach, Glinks Gully, and Te Kopuru areas, located on the West Coast of the Kaipara District.   |
| Report Title:                              | Geotechnical Assessment West Coast of the Kaipara District   |
| Report date:                               | 01.05.2019   |
| Entity/Person who prepared the report:     | Engeo Limited  |
| Entity/person who commissioned the report: | Kaipara District Council   |
| Purpose of the report:                     | The purpose of this geotechnical assessment is to provide the Kaipara District Council (KDC) with information on land stability and other geotechnical hazards that could constrain development of the area defined by KDC as 'Future Residential and Business Growth Area' and 'Greater Structure Plan Policy Area' of Omamari, Baylys Beach, Glinks Gully, and Te Kopuru areas, located on the West Coast of the Kaipara District. |
| 8. Where or how to access report           | <a href="#">Engeo Reports</a>  |

**Kaipara District Technical Report**

|  |  |
|--|--|
| Scope of report                            | <i>This report presents a geotechnical assessment and hazard mapping for the Kaipara District</i>  |
| Report Title:                              | <i>Geotechnical Assessment Kaipara District</i>  |
| Report date:                               | <i>17.06.2019</i>  |
| Entity/Person who prepared the report:     | <i>Engeo Limited</i>   |
| Entity/person who commissioned the report: | <i>Kaipara District Council</i>  |
| Purpose of the report:                     | <i>The purpose of this geotechnical assessment is to provide the Kaipara District Council (KDC) with information on land stability and other geotechnical hazards that could constrain development of the area defined by KDC as 'Future Residential and Business Growth Area' and 'Greater Structure Plan Policy Area' of Kaipara District.</i> |
| Where or how to access report              | <a href="#">Engeo Reports</a>  |

Northland Regional Council may provide further data regarding this Natural Hazard. Please refer to the Northland Regional Council attachment for any applicable information.

### **Flooding**

Kaipara District Council relies on flooding information provided by the Northland Regional Council. Northland Regional Council may provide further data regarding this Natural Hazard. Please refer to the Northland Regional Council attachment for any applicable information.

### **Fire**

Kaipara District Council has no known information about this natural hazard, including as exacerbated by climate change, that would affect the property.

### **Wind**

Kaipara District Council has no known information about this natural hazard, including as exacerbated by climate change, that would affect the property.

## S44B(2)(a) Natural Hazards

**Dated 30 October 2025**

The information in this report has been prepared by the Northland Regional Council for the purposes of providing information to the Territorial Authorities in Northland in accordance with Part 6A of the Local Government Official Information and Meetings Act 1987.

The information contained in this report is current as at the date of the report and has been provided in good faith. Best efforts have been made to ensure the accuracy and completeness of the information however Northland Regional Council makes no representation, warranty or undertaking as to the accuracy, completeness, quality or fitness for any particular purpose. Where information is provided in draft form, that information may not have been peer reviewed or accepted by Northland Regional Council as correct.

The information is provided on a regional/catchment basis and in most cases is not site specific. Any users of the information must obtain advice from suitably qualified practitioners if site specific information is required.

Users must also note that natural hazards outlined in this report do not take into account any interventions that may modify the natural hazard risks to a specific site.

### **Flooding**

Not applicable

### **Flood susceptible lands**

Not applicable

### **Erosion and Landslide**

Not applicable

### **Coastal erosion**

Not applicable

### **Tsunami**

Not applicable

### **Drought**

Drought in Te Taitokerau Northland is a complex hazard to define and detect, and its impacts vary from one area to the other.

#### **Technical Report for Northland Drought Assessment**

|                           |  |
|---------------------------|--|
| 1. Scope of report        | <i>Regional</i>  |
| 2. Report Title:          | <i>Droughts in Northland: A Local and Regional Analysis</i>                                  |
| 1. Report date:           | <i>2024</i>  |
| 2. Report prepared by:    | <i>National Institute of Water and Atmosphere</i>  |
| 3. Report commissioned by | <i>Northland Regional Council</i>  |
| 4. Purpose of the report: | <i>Analysis of the development, occurrence and severity of droughts in Northland Region.</i> |

|                                  |   |
|----------------------------------|---|
| 5. Where or how to access report | <i>Envirolink website</i><br><a href="#">Droughts in Northland: A local and regional analysis</a> |
|----------------------------------|---|

In September 2024 the Ministry for the Environment and NIWA published national climate projections. Droughts are expected to become more frequent and more severe in Te Taitokerau Northland by 2090.

## Volcanic, Geothermal and Earthquake

There are many processes associated with volcanic eruptions, and these can be hazardous when they interact with people and/or infrastructure. The type and intensity of volcanic process will vary from volcano to volcano. There are two areas of past local volcanic activity in Northland, at Puhipuhi-Whangārei and at Kaikohe-Bay of Islands. While climate change does not affect volcanic eruptions, it can affect the risk from volcanic hazards such as lahars (volcanic mudflows) because of the forecast changes in rainfall.

Earthquakes occur when stress that has built up along a fault – a break in the Earth’s crust – is suddenly released. Earthquakes can cause ground shaking, fault rupture, permanent ground movement, subsidence or lateral spreading, liquefaction, landslides, rock falls and tsunamis. Although climate change does not affect earthquakes, it can make some of the problems earthquakes cause, such as subsidence, liquefaction, and landslides, more likely or more severe. This is because climate change affects rainfall and groundwater, which play roles in these hazards.

While the earthquake risk in Northland is low, there have been earthquakes recorded in the region.



Northland Regional Council does not have a map of volcanic, geothermal or earthquake risk but did commission information on volcanic hazards as part of the review of natural hazards information for Northland region. This information relates to region-wide studies and may not reflect the on-site situation or natural hazard investigations and mitigation done on a site-specific property level.

### **Technical Report for earthquake information**

|                                  |   |
|----------------------------------|---|
| 1. Scope of report               | <i>Regional</i>   |
| 1. Report Title:                 | <i>A review of natural hazards information for Northland region<br/>Section 2.0 Seismic Hazards</i>   |
| 2. Report date:                  | <i>2004</i>   |
| 3. Report prepared by:           | <i>Institute of Geological &amp; Nuclear Sciences Limited</i>   |
| 4. Report commissioned by        | <i>Northland Regional Council and Whangarei District Council</i>  |
| 5. Purpose of the report:        | <i>The aim of this report is to assemble and present a review of existing information on natural hazards, including earthquakes. The report identifies gaps and possible future work.</i><br><br><i>Please note sections on flooding and erosion prone land have been superseded by more recent work and modelling.</i> |
| 6. Where or how to access report | <i>Northland Regional Council Website</i><br><a href="https://www.nrc.govt.nz/media/2itixwuo/naturalhazards.pdf">https://www.nrc.govt.nz/media/2itixwuo/naturalhazards.pdf</a>  |

# Asset Map 0110015803

**Legend**

-  Property Boundaries (Internal)
-  Parcel Boundaries



Eagle Technology, Land Information New Zealand, GEBCO, Community maps contributors



Scale: 1:564  
Original Sheet Size: A4

Projection: NZGD 2000 New Zealand Transverse Mercator  
Bounds: 1705757.454503E 5975167.486126N  
1705918.433497E 5975071.126574N

The information provided is an indication only and needs to be validated in the field. Kaipara District Council accepts no responsibility for errors or omissions for loss or damage resulting from the reliance or use of this information. Cadastral information is derived from LINZ's Digital Cadastral Record System (CRS) CROWN COPYRIGHT RESERVED.

# Asset Map 0110015803



Scale: 1:564  
Original Sheet Size: A4

Projection: NZGD 2000 New Zealand Transverse Mercator  
Bounds: 1705757.454503E 5975167.486126N  
1705918.433497E 5975071.126574N

The information provided is an indication only and needs to be validated in the field. Kaipara District Council accepts no responsibility for errors or omissions for loss or damage resulting from the reliance or use of this information. Cadastral information is derived from LINZ's Digital Cadastral Record System (CRS) CROWN COPYRIGHT RESERVED.

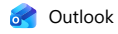
# **PLEASE NOTE:**

## **Prior pages Customer Copy**

1. LIM Template
2. District Plan LIM Info & Key
3. District Plan Map S1 and S2 - Site location marked
4. Public Rates info sheet
5. RMA Attachments (Landuse, 223, 221, covenant, Reports, Asbuilts, other
6. Building Attachments.
7. LUC maps
8. NRC Disclosure statement and maps
9. KDC GIS Asset and Aerial Maps
10. Rural Living

## **Following pages record Copy**

1. Applicant correspondence
2. Payment
3. LIM Comment Pack
4. Internal Emails in order RMA, Building, Water, Monitoring, Roding, Linda
5. Further internal emails eg rates, health
6. Private septic system inspection sheet
7. Checklist



---

**Kauri Kottage Ltd**

---

**From** Craig Rendle <craig.rendle@quixnz.com>

**Date** Sun 04/01/2026 14:37

**To** LIM <lms@kaipara.govt.nz>

1 attachment (12 MB)

KAIPARA.pdf;

**CAUTION:** This email originated from outside Kaipara District Council. Do not click links or open attachments unless you recognise the sender and know the content is safe.

You don't often get email from craig.rendle@quixnz.com. [Learn why this is important](#)

LIM request for Kauri Kottage Ltd  
3 Signal Station Road  
Pouto  
\$360 paid today  
Ref LIM Rendle

Kind regards  
Craig

Sent from my iPhone

I/We request that a Land Information Memorandum (LIM) be carried out on the following property:

Street Address 3 SIGNAL STATION ROAD  
POUTO

Legal Description Lot ..... DP.....  
Section 8 ..... Block II OKAKA SURVEY DISTRICT  
Valuation No 01100-15803 ..... Area 1120 m<sup>2</sup>

Certificate of Title ..... We request that a copy of the Certificate of Title is included with all applications.

Present Owners KAURI KOTTAGE LTD  
Client's Name CRAIG & MORAG RENDLE

Site Details: Please tick where applicable / known

|                      |                                     |              |                                     |                        |                          |
|----------------------|-------------------------------------|--------------|-------------------------------------|------------------------|--------------------------|
| Dwelling             | <input checked="" type="checkbox"/> | Apartment    | <input type="checkbox"/>            | Fireburner             | <input type="checkbox"/> |
| Minor Dwelling       | <input type="checkbox"/>            | Carport      | <input type="checkbox"/>            | Swimming Pool          | <input type="checkbox"/> |
| Resited Dwelling     | <input type="checkbox"/>            | Garage       | <input checked="" type="checkbox"/> | Spa                    | <input type="checkbox"/> |
| Commercial (Specify) | <input type="checkbox"/>            | Conservatory | <input type="checkbox"/>            | Farm Building          | <input type="checkbox"/> |
| Industrial (Specify) | <input type="checkbox"/>            | Deck         | <input type="checkbox"/>            | Outbuildings (Specify) | <input type="checkbox"/> |
| Education (Specify)  | <input type="checkbox"/>            | Bare Land    | <input type="checkbox"/>            | Other (Specify)        | <input type="checkbox"/> |

**Land Information Memorandum to be sent to:**

Name on LIM KAURI KOTTAGE LTD  
Address C/- CRAIG AND MORAG RENDLE  
6577 POUTO ROAD RD1 TE KOPURU 0391  
Email: Cra: g.rendle@quixnz.com  
Telephone No 021 950 266 Fax No .....  
Signature e Rendle Date 4/1/26

Would you like a copy printed and couriered? (an additional \$30 charge applies) Yes  No

All applications are supplied via email unless advised otherwise.

The Council charges payable for application are found in the current years [Fees and Charges](#).

**The application will not be processed until the fee is paid.**

A maximum of 10 working days may be required for the processing of this application. If you would like to pay by Direct Credit our Bank Account Details are as follows: Kaipara District Council, **02-0308-0090743-007** please place **LIM** (surname) as the reference. Please ensure that the form is completed fully. For further information regarding LIMS please contact the Dargaville office:

|   |   |
|---|---|
| Kaipara District Council<br>Private Bag 1001<br>Dargaville 0340 | Freephone 0800 727 059<br>Telephone 09 439 3123<br>Fax 09 439 6756<br>e-mail <a href="mailto:lims@kaipara.govt.nz">lims@kaipara.govt.nz</a> |
|---|---|

Completed LIM Application Forms can be sent to [lims@kaipara.govt.nz](mailto:lims@kaipara.govt.nz)

**Office use only**

\$ ..... Receipt No ..... Date .....



**COMPUTER FREEHOLD REGISTER  
UNDER LAND TRANSFER ACT 1952**



*R. W. Muir*  
Registrar-General  
of Land

**Guaranteed Search Copy issued under Section 172A  
of the Land Transfer Act 1952**

**Identifier** NA4B/387  
**Land Registration District** North Auckland  
**Date Issued** 13 August 1964

**Prior References**  
NA1593/60

**Estate** Fee Simple  
**Area** 1120 square metres more or less  
**Legal Description** Section 8 Block II Okaka Survey District

**Proprietors**

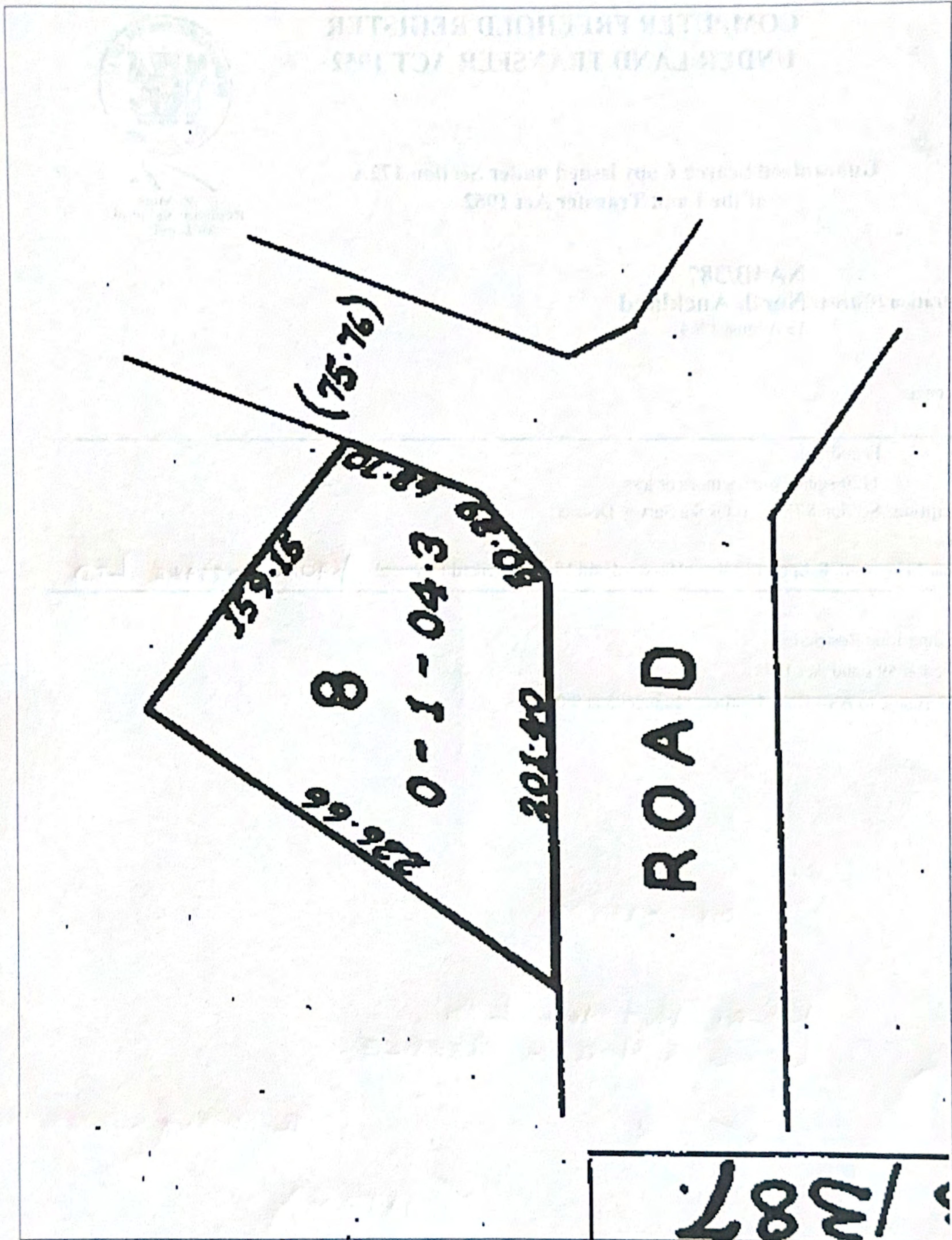
~~Donald Bernard Hayward, Riripeti Elizabeth Hayward and Vivian Bernard Hayward~~ **KANU KOTTAGE LTD**

**Interests**

K52063 Building Line Restriction  
Subject to Section 59 Land Act 1948  
~~5615792.2 Mortgage to ASB Bank Limited - 10.6.2003 at 9:00 am~~

Identifier

NA4B/387



## General Property Information: 0110015803

Kauri Kottage Limited

## Property

|                   |                                    |
|-------------------|------------------------------------|
| Valuation No      | 0110015803 : GIS                   |
| Location          | 3 Signal Station Road, Pouto Point |
| Legal Description | SEC 8 BLK II OKAKA SD              |
| Area (Hectares)   | 0.1120                             |

## Rates

## Government Valuation

|               |         |
|---------------|---------|
| Land          | 285,000 |
| Improvements  | 270,000 |
| Capital Value | 555,000 |

## Current Rates Year 2025 to 2026

|                            |           |
|----------------------------|-----------|
| Annual Rates               | 2,397.01  |
| Current Instalment         | 599.25    |
| Outstanding Balance        | -1,198.51 |
| Arrears for Previous Years | 0.00      |
| Next Instalment Date       | 20/02/26  |

## Planning/Resource Management

11/12/17 RESOURCE CONSENT 170399 : Proposed new dwelling in breach of 13.10.7 Setbacks and 13.10.12 impermeable surfaces on Section 8 Block 11 Okaka Survey District : Decision Notified 20/11/17

## Building

|          |  |
|----------|--|
| 6/09/17  | BUILDING CONSENT 170432 : Construction of 3 new sheds : Code Compliance Cert Issued 21/06/18 |
| 25/05/90 | BUILDING PERMIT H 028017 STORE SHED  |
| 7/02/90  | BUILDING PERMIT G 006639 SMOKEHOUSE/RESITE SHED  |

## Licences

No information located

## Sewer and Drainage

SEWER/WATER NOTES 26.09.2017 Septic Tank Checklist - The Bog Doc

## Land and Building Classifications

No information located

## Transport

No information located

## Special Land Features

No information located

## Swimming Pools

No information located

## Natural Hazards

No information located

## Other

2/06/17 LIM APPLICATION L170257L170257 : LIM (Land Information Memorandum)

Rates Information - 2025/26

Valuation ID 0110015803

Property Description

Location (GIS) 3 Signal Station Road, Pouto Point

[View in Google Maps](#)

Legal Description SEC 8 BLK II OKAKA SD

Certificate of Title 4B/387

|               |  |                |   |
|---------------|--|----------------|---|
| Use           | 91 Residential: Single Unit (other than bach)    | Category       | RD191                                       |
| TORAS         | 121000   | Category Group | Residential Dwelling fully or semi detached |
| Tenure        | Property is not leased. Owner is also occupier.  | Ward           | 3   |
| Ownership     | Private: Company - not Crown owned               | Region         | 1   |
| Rateability   | Rateable   | Zone           | 9A  |
| Apportionment | Std property - Not Applicable, Not apportionment |                |   |

Valuations

|                        |            |               |         |
|------------------------|------------|---------------|---------|
| Area (Hectares)        | 0.1120     | Land Value    | 285,000 |
| Improvements           | 270,000    | Capital Value | 555,000 |
| Nature of Improvements | DWG OBS OI |               |         |
| Valuation Date         | 1/09/23    |               |         |

Rates for Current Year - 2025/26

| Type | Description (Basis)                                     | Factor     | Amount \$       |
|------|---|------------|-----------------|
| 002  | Uniform Annual General Charge - Rating Unit             | 1.00       | 725.00          |
| 230  | General Rate Residential & Small Sized Lifestyle - (L)  | 285,000.00 | 640.22          |
| 235  | CCTV Dargaville - (U)                                   | 1.00       | 7.70            |
| 238  | Parks and Libraries Targeted Rate - (U)                 | 1.00       | 384.34          |
| 242  | Museums Targeted Rate - (U)                             | 1.00       | 14.00           |
|      | <b>** Kaipara District Council Sub-Total</b>            |            | <b>1,771.26</b> |
| 250  | NRC Targeted Council Services Rate - (U)                | 1.00       | 262.32          |
| 253  | NRC Pest Management Rate - (U)                          | 1.00       | 125.86          |
| 254  | NRC Targeted Flood Infrastructure Rate - (U)            | 1.00       | 41.66           |
| 255  | NRC Targeted Emergency and Hazard Management Rate - (U) | 1.00       | 77.38           |
| 256  | NRC Targeted Regional Rescue Services Rate - (U)        | 1.00       | 8.87            |
| 257  | NRC Targeted Regional Sporting Facilities Rate - (U)    | 1.00       | 16.09           |
| 259  | NRC Targeted Land and Freshwater Management Rate - (L)  | 285,000.00 | 85.02           |
| 260  | NRC Targeted Regional Economic Development Rate - (L)   | 285,000.00 | 8.55            |
|      | <b>** Regional Council Sub-Total</b>                    |            | <b>625.75</b>   |
|      | <b>Total Rates Levied 2025/26</b>                       |            | <b>2,397.01</b> |
|      | (GST on Rates Levied)                                   |            | 312.65          |
|      | <b>Rates Last Year 2024/25</b>                          |            | <b>2,231.31</b> |
|      | <b>Last Year's Final Instalment</b>                     |            | <b>557.82</b>   |

Rates Last Year 2,231.31 Instalments YTD 1,198.50 Current Instalment 599.25

History

| Year    | Land Value | Capital Value | Annual Rates |
|---------|------------|---------------|--------------|
| 2024/25 | 285,000    | 555,000       | 2,231.31     |
| 2023/24 | 185,000    | 415,000       | 1,806.80     |
| 2022/23 | 185,000    | 415,000       | 1,725.55     |
| 2021/22 | 185,000    | 415,000       | 1,653.00     |
| 2020/21 | 131,000    | 345,000       | 1,439.29     |
| 2019/20 | 131,000    | 345,000       | 1,373.64     |
| 2018/19 | 131,000    | 345,000       | 1,310.72     |
| 2017/18 | 117,000    | 220,000       | 1,264.97     |
| 2016/17 | 117,000    | 220,000       | 1,251.35     |
| 2015/16 | 117,000    | 220,000       | 1,227.03     |

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# Asset Map 0110015803

**Legend**

- Property Boundaries (Internal)
- Parcel Boundaries



Eagle Technology, Land Information New Zealand, GEBCO, Community maps contributors



Scale: 1:564  
Original Sheet Size: A4

Projection: NZGD 2000 New Zealand Transverse Mercator  
Bounds: 1705757.454503E 5975167.486126N  
1705918.433497E 5975071.126574N

The information provided is an indication only and needs to be validated in the field. Kaipara District Council accepts no responsibility for errors or omissions for loss or damage resulting from the reliance or use of this information. Cadastral information is derived from LINZ's Digital Cadastral Record System (CRS) CROWN COPYRIGHT RESERVED.

# Asset Map 0110015803

**Legend**

- Property Boundaries (Internal)
- Parcel Boundaries



Deprecated Basemap - Eagle Technology, Land Information New Zealand, Kiwirail, OpenStreetMap Contributors



Scale: 1:564  
Original Sheet Size: A4

Projection: NZGD 2000 New Zealand Transverse Mercator  
Bounds: 1705757.454503E 5975167.486126N  
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**Legend**

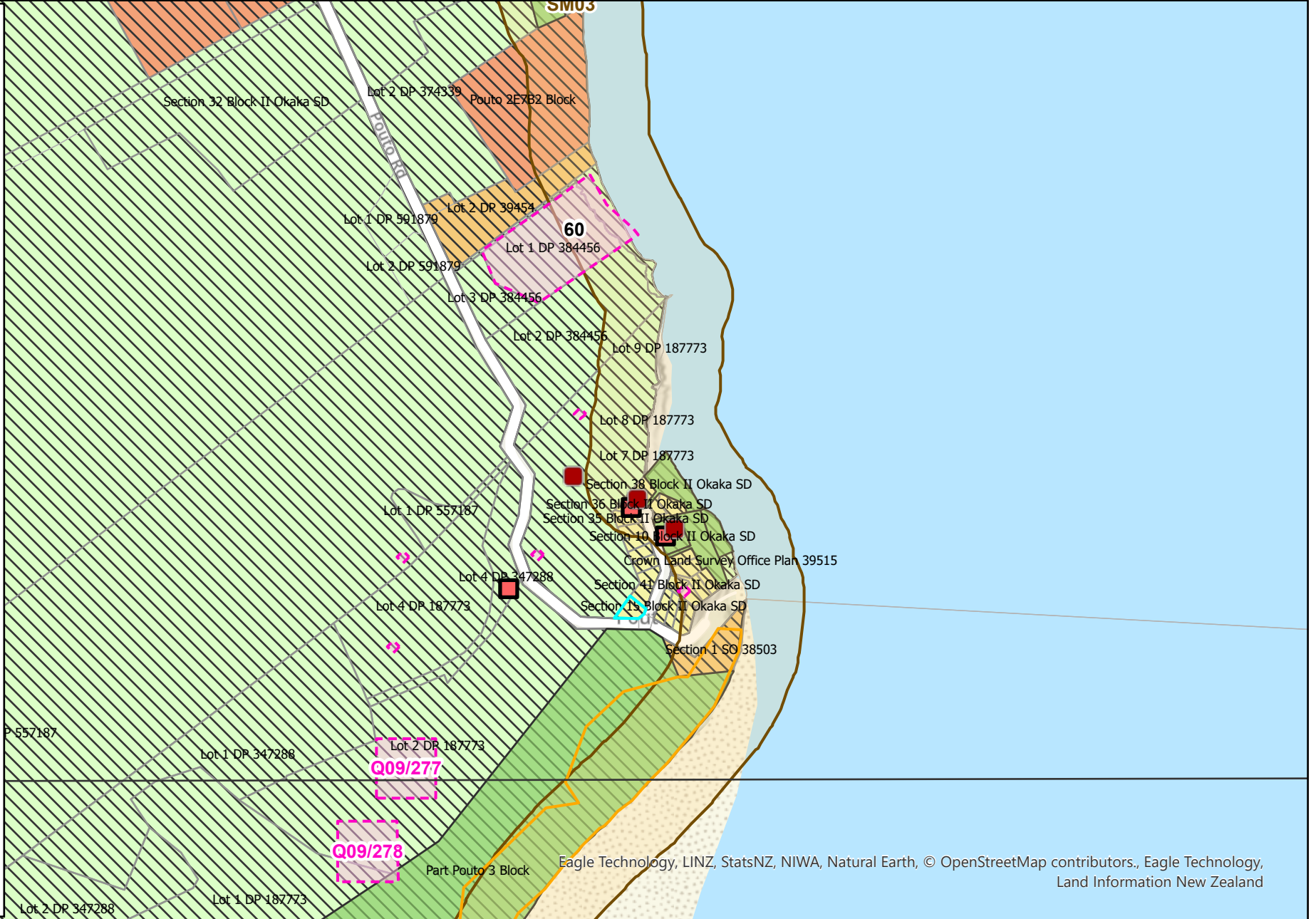
- District Plan Map Index
- NZAA Archaeological Sites
- New Zealand Heritage List
- District Plan Heritage Resource
- District Plan Outstanding Natural
- District Plan Areas of Significance to
- District Plan Reserve Management
- Property Boundaries
- Parcel Boundaries
- Regional Council Boundary

**District Plan Overlays**

- West Coast

**District Plan Zones**

- Rural
- Residential
- Maori Purpose: Maori Land
- Maori Purpose: Treaty Settlement



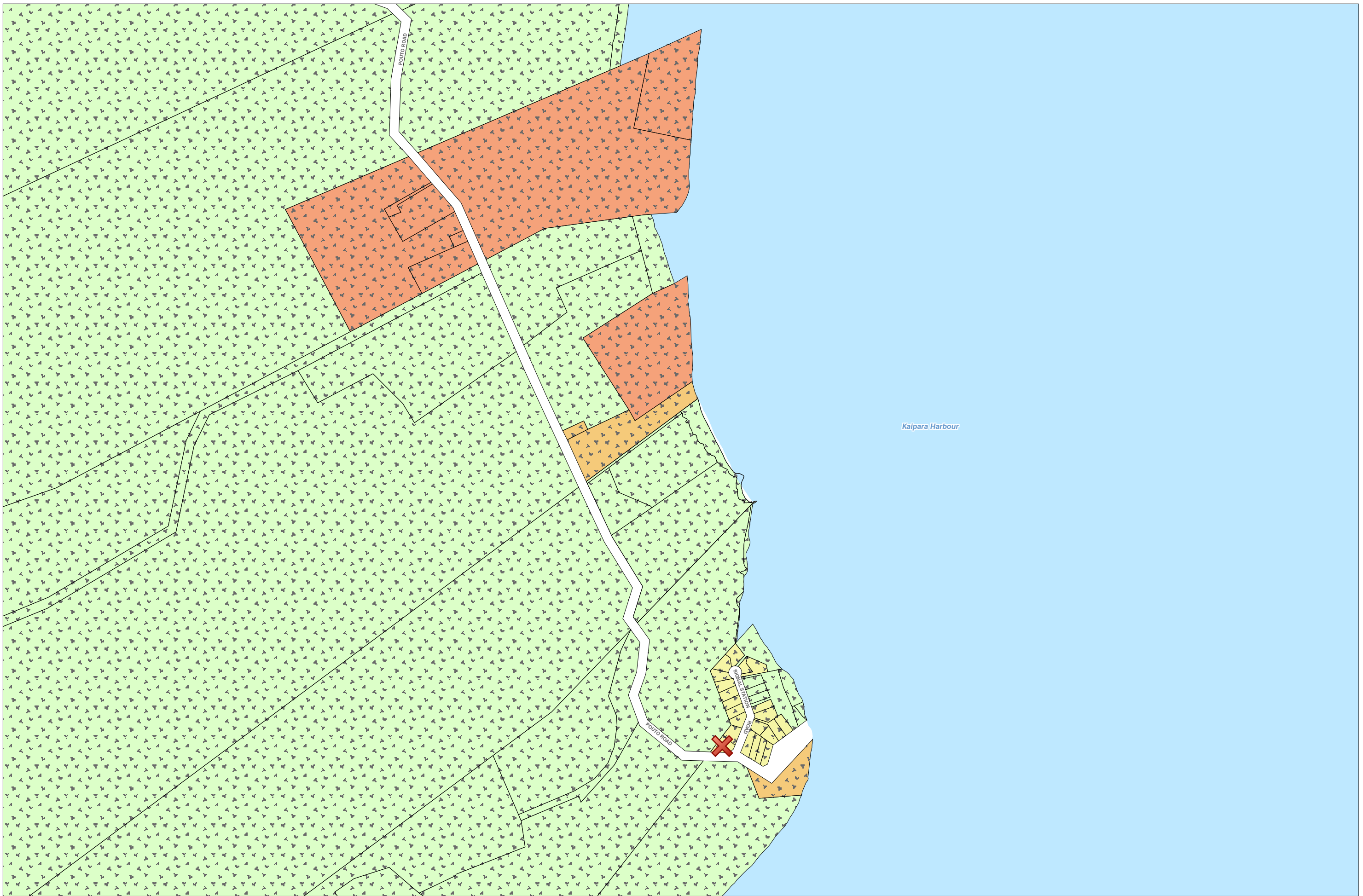
# 0110015803

**Legend**

- Parks and Reserves
- Kaipara District Boundary
- Property Boundaries
- Parcel Boundaries



0110015801  
 Deprecated Basemap - Eagle Technology, Land Information New Zealand, Kiwirail, OpenStreetMap Contributors



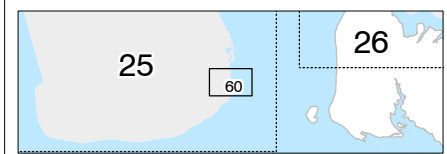
Scale: 1: 7,500 @ A3  
 Contains Crown Copyright Data. Crown Copyright Reserved.

KAIPARA DISTRICT PLAN - OPERATIVE VERSION - JULY 2013

**Map Series One**

**Land Use : Pouto**

Map 60 of 60



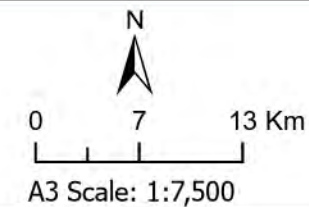


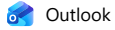
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Cadastre from 19 March 2021.

**KAIPARA DISTRICT PLAN - OPERATIVE NOVEMBER 2013**

**Map Series Two  
Sites, Features and Units Pouto**





**FW: L260002 - 0110015803 - 3 Signal Station Road, Pouto Point**



From Debbie Ravji <dravji@kaipara.govt.nz>


Date Mon 05/01/2026 13:29

To LIM <lims@kaipara.govt.nz>

2 attachments (20 MB)

L260002 Comment Pack.pdf; FS-170399 Decision Bundle.pdf;

|   |  |  |
|---|--|--|
| <b>Zone</b>   | Residential West Coast Overlay   |  |
| <b>Subdivision - What RC created subject Lot? (provide consent notices, Plans, geotechnical reports etc for subject lot only if required)</b> | RM unknown created SEC 8 BLK II OKAKA SD   |  |
| <b>Land use Consents (Decisions and reports mentioned in the decision)</b>  | RESOURCE CONSENT 170399 : Proposed new dwelling in breach of 13.10.7 Setbacks and 13.10.12 impermeable surfaces on Section 8 Block 11 Okaka Survey District : Decision Notified 20/11/17<br><br>FS-170399 Decision Bundle  |  |
| <b>Linking or Not</b>   | linking  |  |
| <b>Planning notes correct and complete?</b>   | Appear to be correct   |  |
| <b>Access</b>   | Public   |  |
| <b>Planning Maps</b>  | Map 60<br><br><b>Buildings outside the Indicative Boundary</b><br><i>Note it appears the positional accuracy depicted, including the boundaries and aerial photos may be approximate. It is recommended that source documents are used accurately to determine positions. Where necessary suggest talking with a spatial professional, such as surveyor, to assist with interpretation.</i><br><br> |  |
| <b>NRC Hail Site Contact NRC for further information</b>  | -  |  |
| <b>Hazard Maps refer to NRC for further information</b>   |  |  |
| <b>Rural Land Zones</b>   |   |  |

|   |  |   |
|---|--|---|
| <p><b>Baseline HPL LUC</b><br/> <b>Highly Productive Land</b><br/> <i>The National Policy Statement in relation to Highly Productive Land may be applicable to this property. These controls as well as the Kaipara District Operative District Plan 2013 are considered in relation to subdivision and development of highly productive land (Land Use Class 1 to 3 soils) in the Rural zone. Soil classification maps are available from Manaaki Whenua (Land Research) <a href="#">here</a>. These maps will be eventually replaced by Northland Regional Council mapping to be completed by 2025. A copy of the National Policy Statement Highly Productive Land is available <a href="#">here</a>.</i></p> | <p><small>Overlain NZLUC Class 2 Land with moderate limitations for arable use, but suitable for cultivated crops, pasture or forestry</small></p> |   |
| <p><b>Notified Resource Consents on adjoining properties?</b><br/> <b>Delete one</b></p>  | <p>-</p>   |   |
| <p><b>Proposed District Plan</b></p>  |   | <p><a href="#">Kaipara District Plan Review - Kaipara District Council.</a></p> |



**Debbie Ravji | - Resource Consents and Road Naming Co-ordinator**

Kaipara District Council, Private Bag 1001, Dargaville 0340

**Freephone:** 0800 727 059 | 09 439 3123

[rmaconsents@kaipara.govt.nz](mailto:rmaconsents@kaipara.govt.nz) | [www.kaipara.govt.nz](http://www.kaipara.govt.nz)

For urgent emails outside of my hours: [rmaconsents@kaipara.govt.nz](mailto:rmaconsents@kaipara.govt.nz)

My core working hours are:

| Mon | Tues             | Wed | Thurs | Fri |
|-----|------------------|-----|-------|-----|
| ✓   | ✓<br>7-am 3.30pm | 🏠   | 🏠     | 🏠   |

Dargaville - 32 Hokianga Road  
 Monday to Friday - 9.00am to 4.30pm

|                |                |                |                |   |
|----------------|----------------|----------------|----------------|---|
| 7-am<br>4.30pm | 7-am<br>3.30pm | 7-am<br>3.30pm | 7am-<br>2.30pm | except Wednesday - 9.00am to 4.30pm<br>Mangawhai - Unit 6, The Hub, 6 Molesworth Drive<br>Monday to Friday - 9.30am to 3.00pm |
|----------------|----------------|----------------|----------------|---|

✓ In the office; 🏠 Working remotely; ✗ Not working



**The statutory Christmas close down period starts Friday 19th December 2025 and ends Friday 9th January 2026. Processing will resume on Monday 12th January 2026.**

**From:** LIM <lms@kaipara.govt.nz>  
**Sent:** Monday, 5 January 2026 10:48 am  
**To:** RMA Consents <rmaconsents@kaipara.govt.nz>; Building Support <buildingsupport@kaipara.govt.nz>; Kimberley Mills <kmills@kaipara.govt.nz>; George Lewis <glewis@kaipara.govt.nz>; Roading <roading@kaipara.govt.nz>  
**Subject:** L260002 - 0110015803 - 3 Signal Station Road, Pouto Point

Hello Team

Please see attached for review and comment.

Nga mihi



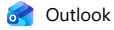
Pamela Henare | Kairukruku Parongo Whenua | LIM Coordinator  
 Kaipara te Oranganui | Kaipara District Council, Private Bag 1001, Dargaville 0340  
 Freephone: 0800 727 059 | DDI 09 439 1140  
[pHenare@kaipara.govt.nz](mailto:pHenare@kaipara.govt.nz) | [council@kaipara.govt.nz](mailto:council@kaipara.govt.nz) | [www.kaipara.govt.nz](http://www.kaipara.govt.nz)

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**NOTE:** Legislation has changed regarding Land Information Memoranda (LIMs) under the [Local Government Official Information and Meetings Act 1987 \(LGOIMA\)](#). The Local Government Official Information and Meetings Amendment Act 2023 introduces new requirements for natural hazard information in LIMs, with the regulations and relevant provisions coming into effect on October 17, 2025. These changes require councils to provide more comprehensive, understandable, and structured information on natural hazards and their potential impacts in LIMs, including information on the effects of climate change. This means that from October 17th 2025 the LIM you receive may look different then what you may be used to. If you have questions or are unsure about any of the information you have been supplied you can contact us to discuss further.

Kaipara District Proposed District Plan was publicly notified Monday April 28th 2025. Submissions on the Proposed District Plan closed Monday 30th June 2025. Further information can be found here [Kaipara District Plan Review - Kaipara District Council](#)



FW: L260002 - 0110015803 - 3 Signal Station Road, Pouto Point

From Building Support <buildingsupport@kaipara.govt.nz>  
Date Tue 06/01/2026 13:24  
To LIM <lims@kaipara.govt.nz>

1 attachment (14 MB)  
L260002 Comment Pack.pdf;

Hello LIM Team,  
Sent via LIMs Teams

**Building,**

|   |   |
|---|---|
| Building Consents/Permits and attachments (CCC, Floor Plan, Site Plan, Geotechnical Report) | <p><b>BUILDING CONSENT 170432 : Construction of 3 new sheds : CCC,PL, PL-MV, CCC_SD</b></p> <p><b>BUILDING PERMIT H 028017 STORE SHED - BP APP, BP, Inspection note</b></p> <p><b>BUILDING PERMIT G 006639 SMOKEHOUSE/RESITE SHED – BP APP, BP, Inspection note</b></p> |
| Molesworth Peninsula Urban Capability Survey (Planning Map A)                               |   |

|                                      | Yes | No |
|--------------------------------------|-----|----|
| Wastewater connection shown on plan? |     | X  |
| Stormwater connection shown on plan? |     | X  |
| Drainage/As Built Plan attached?     | X   |    |

|  | Yes | No | Not Known |
|--|-----|----|-----------|
| Is there asbestos in any existing buildings?     |     |    | X         |
| Are there any other hazardous materials on site? |     |    | X         |

Additional Comments

Cheers Sharon



Sharon Martin | Building Technical Support Officer  
Kaipara te Oranganui | Kaipara District Council, Private Bag 1001, Dargaville 0340  
Freephone: 0800 727 059 |  
[smartin@kaipara.govt.nz](mailto:smartin@kaipara.govt.nz) | [council@kaipara.govt.nz](mailto:council@kaipara.govt.nz) | [www.kaipara.govt.nz](http://www.kaipara.govt.nz)

**From:** LIM <lims@kaipara.govt.nz>  
**Sent:** Monday, 5 January 2026 10:48 am  
**To:** RMA Consents <rmaconsents@kaipara.govt.nz>; Building Support <buildingsupport@kaipara.govt.nz>; Kimberley Mills <kmills@kaipara.govt.nz>; George Lewis <glewis@kaipara.govt.nz>; Roding <roding@kaipara.govt.nz>  
**Subject:** L260002 - 0110015803 - 3 Signal Station Road, Pouto Point

Hello Team

Please see attached for review and comment.

Nga mihi



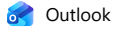
Pamela Henare | Kairukuku Parongo Whenua | LIM Coordinator  
Kaipara te Oranganui | Kaipara District Council, Private Bag 1001, Dargaville 0340  
Freephone: 0800 727 059 | DDI 09 439 1140  
[pohenare@kaipara.govt.nz](mailto:pohenare@kaipara.govt.nz) | [council@kaipara.govt.nz](mailto:council@kaipara.govt.nz) | [www.kaipara.govt.nz](http://www.kaipara.govt.nz)

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RE: L260002 - 0110015803 - 3 Signal Station Road, Pouto Point

From George Lewis <glewis@kaipara.govt.nz>

Date Mon 05/01/2026 11:09

To LIM <lms@kaipara.govt.nz>

Monitoring

| Special features or characteristics concerning the subject property known to Council | Yes | No | Not Known |
|--|-----|----|-----------|
| Potential Erosion  |     |    | x         |
| Avulsion   |     |    | x         |
| Falling Debris   |     |    | x         |
| Subsidence   |     |    | x         |
| Slippage   |     |    | x         |
| Alluvion   |     |    | x         |
| Inundation   |     |    | x         |
| Likely presence of hazardous contaminants  |     |    | x         |

|  | Yes | No |
|--|-----|----|
| Are there any active complaints for this property? |     | x  |

Additional Comments

None

Ngā mihi

George Lewis

Manager Bylaws Compliance  
 Kaipara District Council, Private Bag 1001, Dargaville 0340  
 Freephone: 0800 727 059 | Mobile: 021 781 864  
[george.lewis@kaipara.govt.nz](mailto:george.lewis@kaipara.govt.nz) | [council@kaipara.govt.nz](mailto:council@kaipara.govt.nz) | [www.kaipara.govt.nz](http://www.kaipara.govt.nz)



From: LIM <lms@kaipara.govt.nz>

Sent: Monday, 5 January 2026 10:48 am

To: RMA Consents <rmaconsents@kaipara.govt.nz>; Building Support <buildingsupport@kaipara.govt.nz>; Kimberley Mills <kmills@kaipara.govt.nz>; George Lewis <glewis@kaipara.govt.nz>; Roading <roading@kaipara.govt.nz>

Subject: L260002 - 0110015803 - 3 Signal Station Road, Pouto Point

Hello Team

Please see attached for review and comment.

Nga mihi



Pamela Henare | Kairukuku Parongo Whenua | LIM Coordinator  
 Kaipara te Oranganui | Kaipara District Council, Private Bag 1001, Dargaville 0340  
 Freephone: 0800 727 059 | DDI 09 439 1140  
[pohenare@kaipara.govt.nz](mailto:pohenare@kaipara.govt.nz) | [council@kaipara.govt.nz](mailto:council@kaipara.govt.nz) | [www.kaipara.govt.nz](http://www.kaipara.govt.nz)

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**Land Information Memorandum Checklist**

LIM # .....

|  | Yes | No | N/A |
|--|-----|----|-----|
| Comment emails (RMA, Building, Infrastructure, Monitoring, Roding and Linda (if in MCWWS))   |     |    |     |
| Check legal description, rate value (current) and whether in MCWWS catchment. Add any necessary wording (Development contributions/UAGC/A&B Plates etc)  |     |    |     |
| Check Certificate of Title - Are there consents or encumbrances to council, if yes then add consents and anything related to in the consent e.g. Encumbrance or Reports mentioned?   |     |    |     |
| Does the property have road access i.e. right of way, paper / private road? licence to occupy.   |     |    |     |
| If in Maungaturoto Dairy Factory Noise Boundary, then add wording / if pipeline through property.  |     |    |     |
| General Property Enquiry checked against LIM   |     |    |     |
| <ul style="list-style-type: none"> <li>RMA (Which created DP, check all RMs / Land Use consents if on subject lot, add words)</li> <li>Building (Check buildings plans relate etc.)</li> <li>Any historical notes/monitoring?</li> </ul> |     |    |     |
| Any Additional Information?  |     |    |     |
| Does the property have a Vehicle Crossing? if not does it require on in consent notice e.g. permit to be obtained.   |     |    |     |
| Any Public service on lot (Wastewater / Stormwater Etc.) if pipes in boundary add wording.   |     |    |     |
| Sewer and Water (Check connections, ADD wastewater Bylaw words for septic tanks)   |     |    |     |
| Any Private Water/Wastewater Supply – add appropriate wording.<br>(Known Private water schemes in Kaiwaka, Rehutai, Mahuta,) Any Water Agreements? (Kaihu Raw line, Turiwiri, Gorge Road Maungaturoto etc).                              |     |    |     |
| Check District Plan map 2 for archaeological sites, designations, features etc. – add wording  |     |    |     |
| Checked Maps – Property layer and District Plan layer for and SLU or Heritage sites etc  |     |    |     |
| Coastal Hazard Erosion/Flood/River area/ Tsunami, Ruawai Pathways (NRC) - If yes add standard words and maps   |     |    |     |
| Land Use Capability - Is Property within Rural Class 2 or 3? If yes add wording and map  |     |    |     |
| Check Service Requests using valuation number Checked Property file (only check building envelopes if necessary). Check Te Aka,  |     |    |     |
| District Plan Information, Map legend and Rural if applies   |     |    |     |
| <b>If Mangawhai Property</b>   |     |    |     |
| Is Property within proximity to Mangawhai Central? Add wording   |     |    |     |
| If no Geotechnical Report then add standard words that apply (residential only).   |     |    |     |
| Is it within Mangawhai Wastewater Drainage Area? If so check:  |     |    |     |
| <ul style="list-style-type: none"> <li>Standard words for contribution paid or not paid</li> <li>Standard words for area under extension review</li> <li>Standard words for Development Contributions Policy</li> </ul>                  |     |    |     |
| Is Property within Mangawhai Park- EUO? (71 Moir St, Mangawhai) Send to Revenue for comment  |     |    |     |
| <b>Comments:</b>   |     |    |     |
|  |     |    |     |