

KAIPARA DISTRICT COUNCIL
APPLICATION FOR A BUILDING PERMIT



Valuation reference :

1220/123/11

Name of Applicant :

G. Williamson & L. Dover

Address of Property :

Garbolino Rd Mangawhai

Permit required for :

Dwelling

1. Application received 19

2. Further details sought (if required) Fees 10891 Y/N 9 11 19

3.(a) Vehicle Crossing (green) application required Y/N 19

(b) Vehicle Crossing (green) application received No 19

(c) Vehicle Crossing (green) application to AOE/W 19

(d) Kerb (etc) damage (blue) deposit application required Y/N 19

(e) Kerb (etc) damage (blue) deposit application received No 19

(f) Kerb (etc) damage (blue) deposit application to AOE/W 19

4. Application accepted for processing 19

5. Prelining inspection carried out by County Inspector R/NR

Issue of building pennit approved (signed) CI 9 11 19

Collate and issue building permit 19

(a) Building Permit J 60359 Y/N

(b) Plumbing and Drainage Permit E 186 Y/N

(c) Receipts (various) Y/N

(d) One copy of plan submitted with application Y/N

6. (e) One copy of specification submitted with application Y/N

(f) One copy of advice to applicant of inspection procedure Y/N

(g) Other (eg copy of Design Certificate, calculations etc) Y/N

Foundation inspection requested R/NR 19

Foundation inspection carried out by County Inspector 16 11 19

Prelining inspection requested R/NR 19

10. Prelining inspection carried out by County Inspector 9 2 19

11. Plumbing and drainage inspection requested R/NR 19

12. Plumbing and Drainage inspection carried out by County Inspector 19

13. Any additional inspection of property Reason

Application completed and approved for filing

(signed) County Inspector 19

14. Checked and all sections correctly completed

(signed) SAO 19

15. Date application completed and filed 19

13062

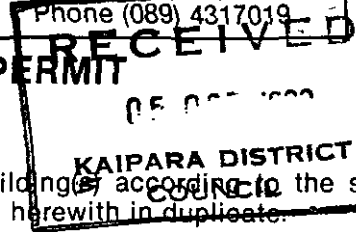
KAIPARA DISTRICT COUNCIL

Dargaville Office
Private Bag, Dargaville
Phone (0884) 7059

13062

Paparoa Office
P.O. Box 1, Paparoa
Phone (089) 4317019

APPLICATION FOR BUILDING PERMIT



To the Engineer (ATTENTION: Building Inspector)

I hereby make application to erect/~~re-erect~~/~~extend~~/~~alter~~/~~repair~~ the building(s) according to the site plan, detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:

OWNER Name GARY WILLIAMSON & KATRINA DOVER
Postal Address 21 6 PRINCESS ST.
OTAHUHI Phone (09) 276 2966

BUILDER Name ARGUS HOMES
Postal Address PO Box 219, MANUREWA
Phone (09) 277 7781

EXISTING USE OF SITE AND BUILDINGS NIL

NATURE OF PROPOSED BUILDING WORK DWELLING

e.g. additions to Dwelling, Bedroom, Lounge extensions etc.

VALUATION DEPT. ASSESSMENT No: (from rate demand) PT 1220 15/03

LEGAL DESCRIPTION OF SITE (from rate demand or title deeds) LOT 2

Subdivision of Lot 1 DP 135214 (Title due end of October)

ADDRESS OF SITE CARBOLINO RD MAUNGAWHAI

AREA OF SITE 4.0 Hectares sq. metres

NATURE OF SOIL (rock, clay, sand, loam etc) CLAY

FLOOR AREA (proposed work-square metres)

	Basement (Carport Under)	Ground Floor	Other Floors (1st Floor)	Total
Main Building	21.60m ²	54.00m ²	38.34m ²	113.94m ²

ESTIMATED VALUE OF WORK AND FEES

	VALUE
Main Buildings (excluding plumbing and drainage)	\$ <u>65000</u>
Accessory Buildings (excluding plumbing and drainage)	\$ <u>14000</u>
	\$ <u>16000</u>
	\$ <u>03000</u>
Vehicle Crossing Deposit	
Vehicle Crossing Payment	
Footpath and Street Damage Deposit..	
Sewer Connection	
Water Connection	
Other: eg. Hoarding Licence. Stormwater Inspection, Off Street Parking	

TOTAL FEE \$

FOR OFFICE USE ONLY

Fees	Receipt No.	Date	Permit No.
\$ <u>525</u>	<u>96187</u>	<u>9 IN 92</u>	
\$ <u>108</u>			
\$ <u>108</u>			
\$ <u>68</u>			
\$			
\$			
\$			
\$			
\$			
\$			

CERTIFICATE

I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Kaipara District Council By-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant [Signature]

Date 2-10-92

FOR OFFICE USE ONLY

TO TOWN PLANNING OFFICER

Checked and approved

Signature

Date

TO BUILDING INSPECTOR:

Checked and approved

Signature

Date

TO STRUCTURAL ENGINEER:

Checked and approved

Signature

Date

TO FIRE INSPECTOR:

Checked and approved

Signature

Date

TO HEALTH INSPECTOR

Checked and approved

Signature

Date

REMARKS

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PERMIT TO BE ISSUED SUBJECT TO:

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PERMITS

Building Permit No. Signature Date

Plumbing Permit **No.** Signature Date

Drainage Permit No. Signature Date

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GENERAL INFORMATION

- (1) The following MUST accompany this Application:

PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATE in ink or on print paper to an acceptable metric scale (eg. Plans and Elevations 1:100, Cross sections 1:50, Details 1:10, Site Plan 1:200 would be normal) and drawings shall be drawn or printed on quality paper preferably of Standard A1, A2 or A3 size.

The following shall be included:

- (a) A floor plan of each floor level showing position of all sanitary fittings and names and sizes of various rooms.
 - (b) Where the building is on a sloping site the correct height of foundations must be shown.
 - (c) An elevation of each external wall.
 - (d) Cross-sections showing framing, the type and location of cladding, insulation, sheathing and lining.
 - (e) The type and location of **each** foundation element (for example: reinforced masonry foundation Wall, anchor pile, cantilevered pile, and so on).
 - (f) Adequate information on all subfloor, floor, wall, and roof framing, including the type and location of each subfloor brace, diagonal brace, and wall bracing element and the number of bracing units assigned to each wall bracing element.
 - (g) Where a building requires Plumbing and Drainage work a separate Application form must be filled in and fee paid before a Building Permit can be issued.
 - (h) Such drawings and information in details as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the By-laws.
 - (i) A report and calculations **showing how** the design complies with the By-laws in the case of buildings requiring specific designs.
 - (j) Applications for (in so far applicable):
 - (1) Drainage and Plumbing
 - (2) Sewer Connections
 - (3) Water Supply Connection
 - (4) Footpath Damage Deposit
 - (5) Hoarding Licence
 - (6) Vehicle Crossing
 - (7) Stormwater Connection
 - (k) In duplicate a location drawing showing the site (all four boundaries) the buildings already on the site and the new proposed building shown in **black**. The measurements from the proposed buildings to all buildings on the site and the boundary lines should be given.
- (2) FEES may be forwarded **later** on advice of availability of permit and the amount of fees required.

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the Engineer shall have the absolute determination of the value of the proposed work or building.

BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK: (Value to exclude value of Plumbing and Drainage work).

Values must be calculated at current market rates and include the GST content of the price of the building.

0 to \$ 2,500	fee	\$ 55.00
\$ 2,501 to \$ 5,000	fee	\$ 95.00
\$ 5,001 to \$ 9,000	fee	\$145.00
\$ 9,001 to \$ 13,000	fee	\$220.00
\$ 13,001 to \$ 20,000	fee	\$300.00
\$ 20,001 to \$ 30,000	fee	\$370.00
\$ 30,001 to \$45,000	fee	\$425.00
\$ 45,001 to \$ 60,000	fee	\$485.00
\$ 60,001 to \$ 80,000	fee	\$525.00
\$80,001 to \$110,000	fee	\$585.00
\$110,001 to \$150,000	fee	\$650.00
\$150,001 to \$200,000	fee	\$750.00

\$200,001 and above — \$750.00 for the first \$200,000 plus \$100.00 for every \$50,000 or part thereof thereafter.

That where a design certificate or structural checking is required, that the fee be increased by 25%.

BUILDING RESEARCH LEVY FEE

In addition to the above fee, there will also be payable a Building Research Levy in accordance with the Building Research Levy Act 1969, which is set at \$1.00 in each \$1,000 or part thereof of the value of each Building Permit issued. Permits for work of a value less than \$20,000 are exempted.

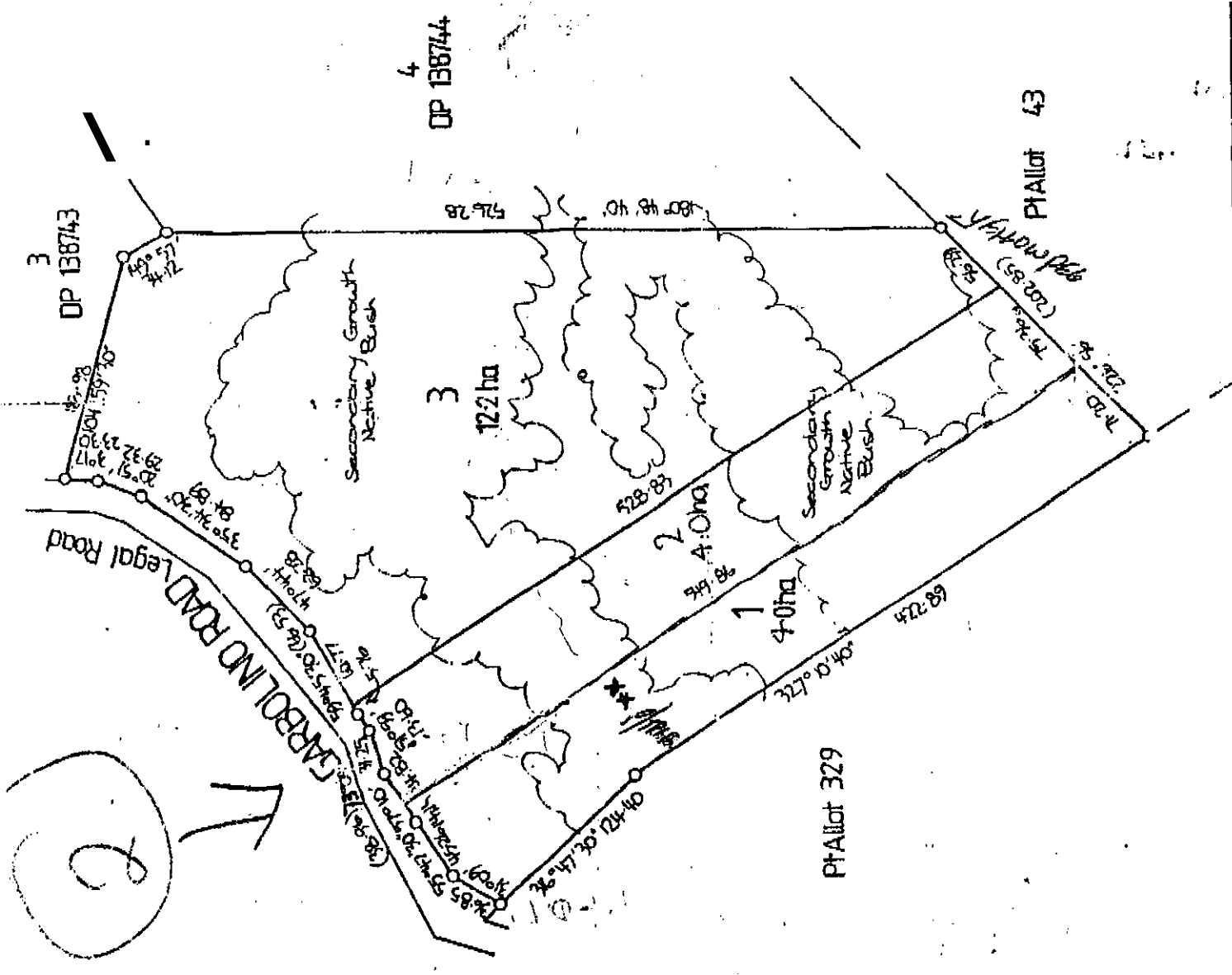
PLUMBING AND DRAINAGE PERMIT FEE

See Drainage and Plumbing Application Form

A minimum fee of \$30.00 for the first \$200 worth of work (labour without materials).

\$6.00 per \$100.00 worth of work thereafter.

All the above fees include GST.



PROPOSED SUBDIVISION OF LOT 1 DP 135214

Owner: TW & CM Hodgson CT: 790/218 Total Area: 20.2365 ha
 Scale: 1:3000 Garbolino Road, Mangawhai
 Prepared by: Thompson Fish & Associates Registered Surveyors

RECEIVED
15 OCT 1966
KAIPARA DISTRICT
COUNCIL

NOTES

- 1/ ALL DIMENSIONS + LEVELS TO BE CHECKED + VERIFIED ON SITE BY CONTRACTOR
- 2/ DRIVEWAY ACCESS TO BE PROVIDED BY OTHERS PRIOR TO CONSTRUCTION COMMENCING

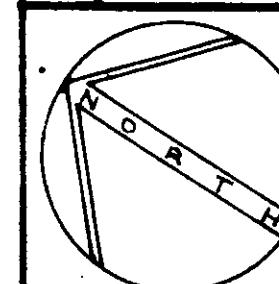
LEGAL DESCRIPTION:-

LOT 2
DP (SUBDIVISION OF LOT 1, DP 135214)
AREA 4.0 HA

BEFORE CARPORT/GARAGE IS CONCRETED, A 150x150 CHANNEL DRAIN IS TO BE CONSTRUCTED AROUND THE PERIMETER, DRAINING AWAY FROM HOUSE

NOVA COIL DRAIN AT BASE OF TOP EXCAVATION @ LATER DATE

NO	REVISION	DETAILS	DATE
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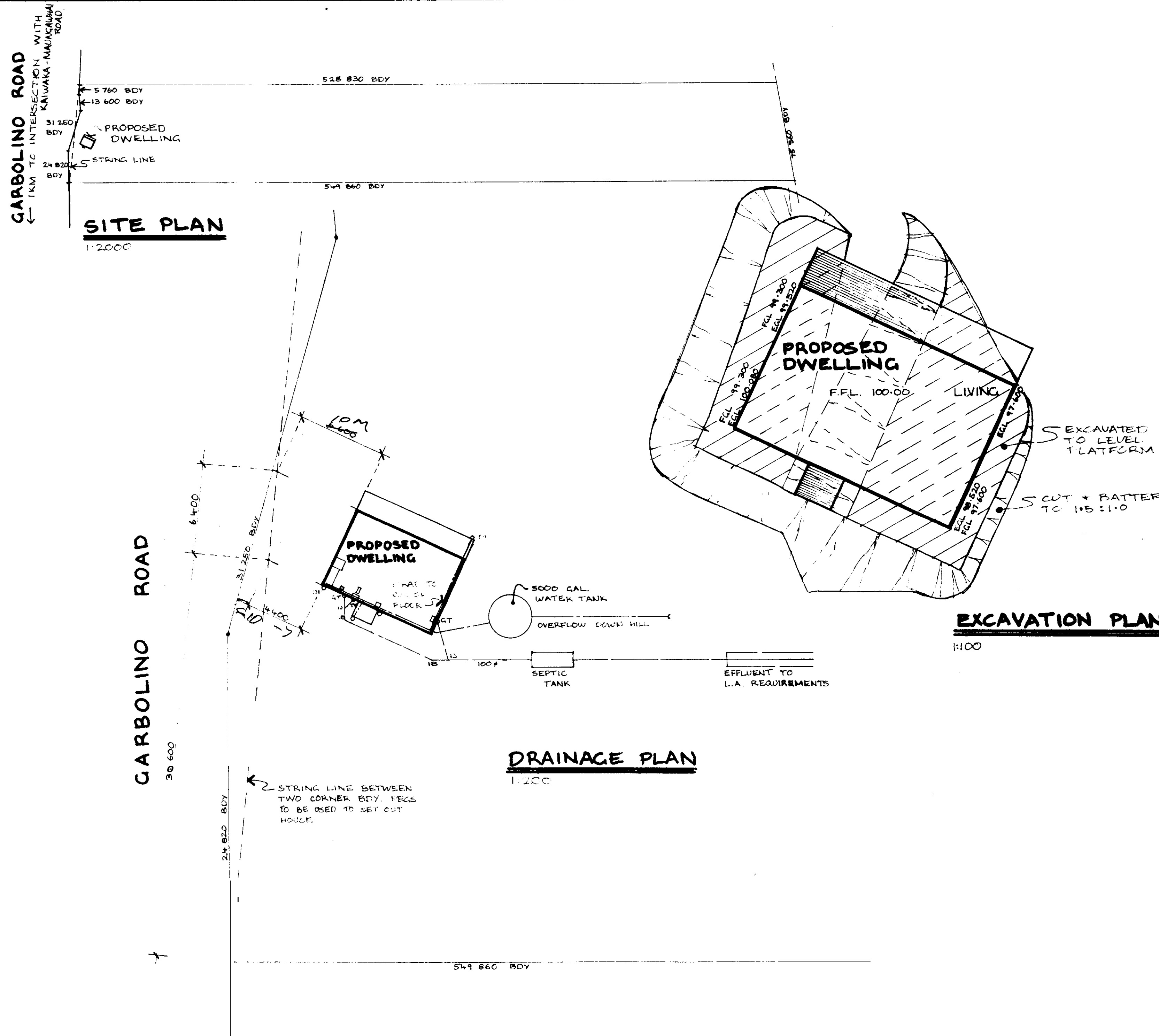


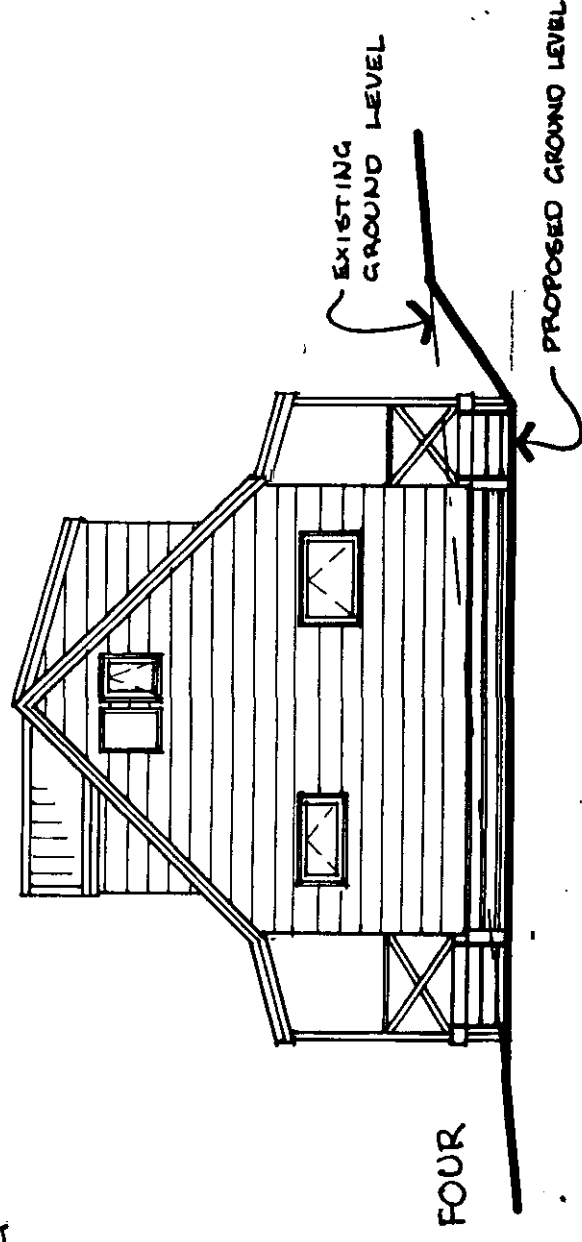
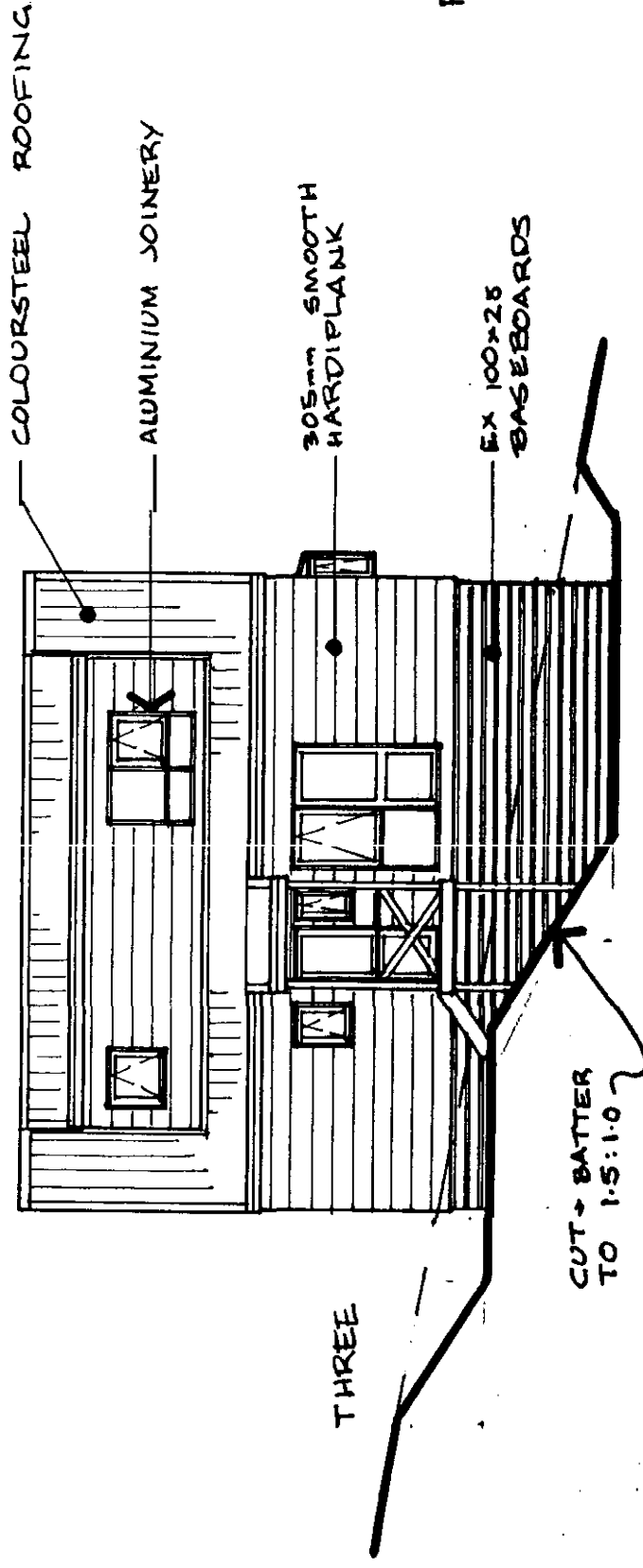
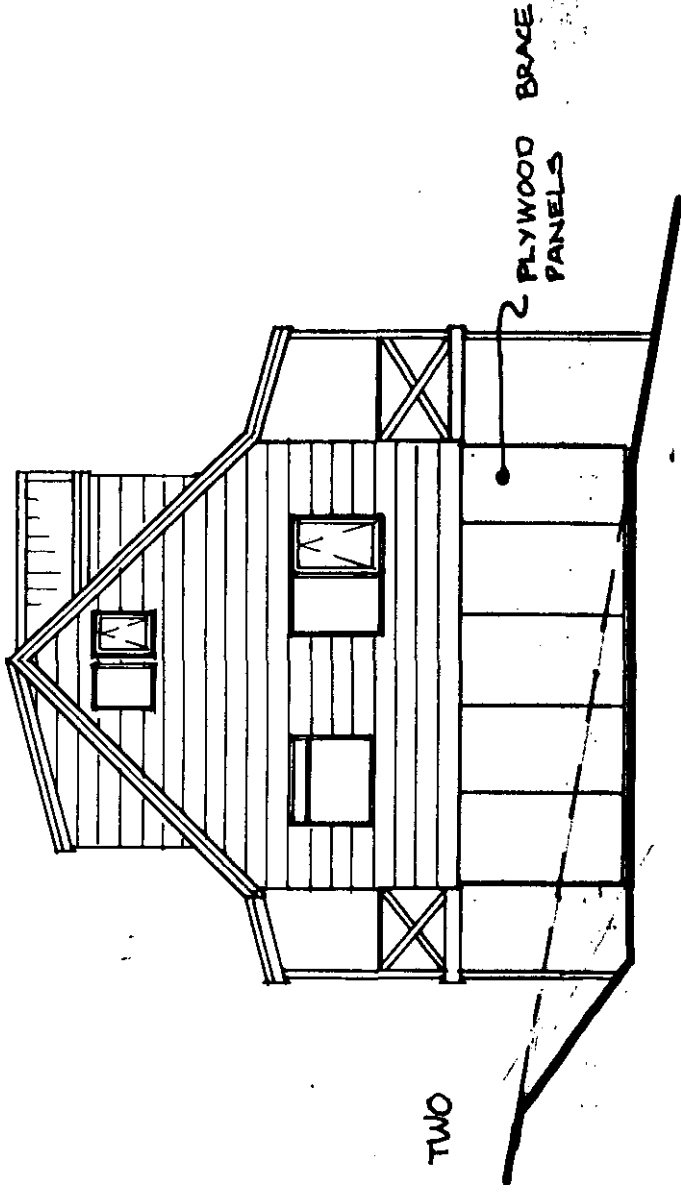
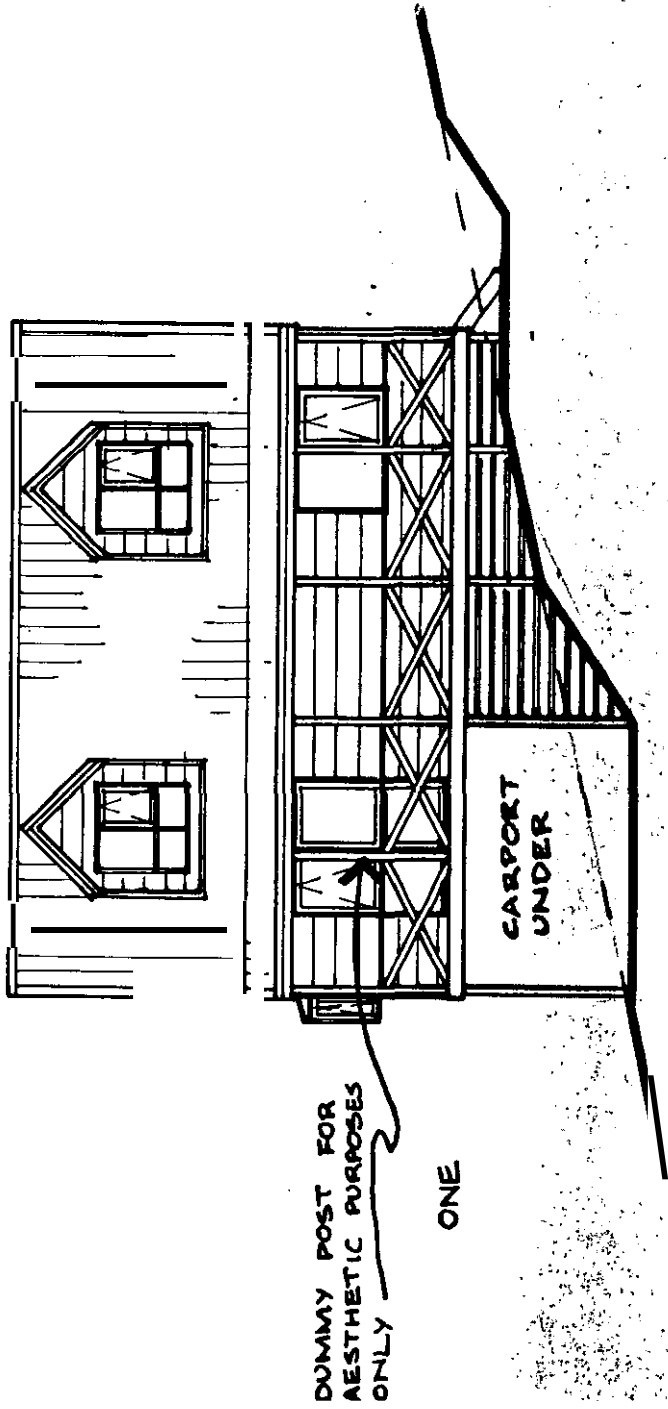
DESIGN	
DRAWN	C. ASHBY
CHECKED	
APPROVED	
DATE	10-8-92

DRAWING TITLE
SITE, DRAINAGE + EXCAVATION PLANS

JOB TITLE
PROPOSED DWELLING AT GARBOLINO AD, MAUNGAWHAI, FOR G. WILLIAMSON AND K. DOVER

SCALE	SH	OF
AS SHOWN	1	10
ODE	JOB NO	
MACAU L/H	2023	





ELEVATIONS

SCALE 1/50

ARGUS HOMES **PROPOSED OWELL NG AT CARBOLINO D, MAUNGAWHAI**

JOB TITLE

DESIGNER C. ASHBY

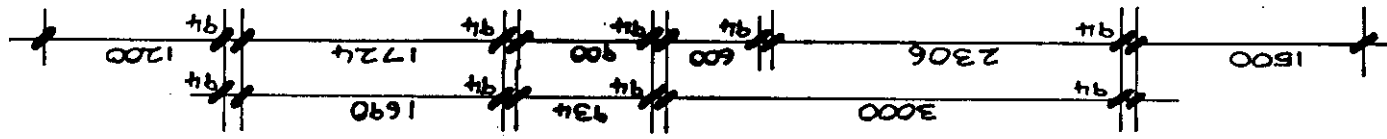
DATE 30-9-92

CODE

MACAU L/H

JOB NO. 2023

INTERVIEW

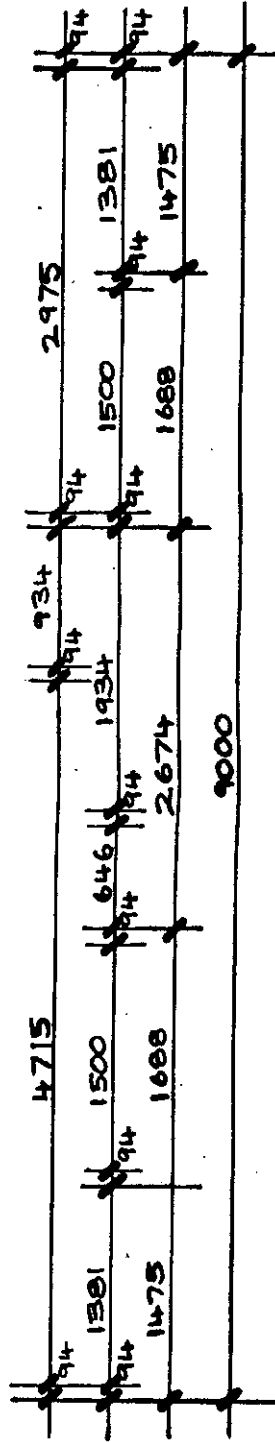
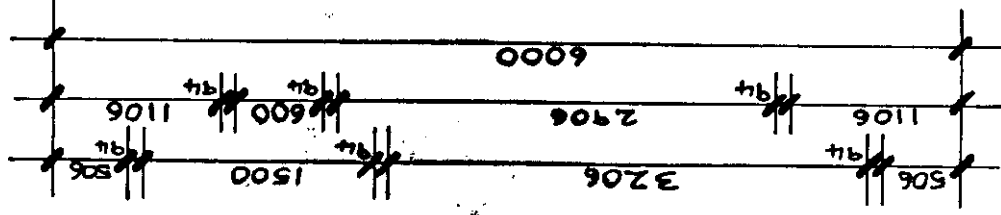
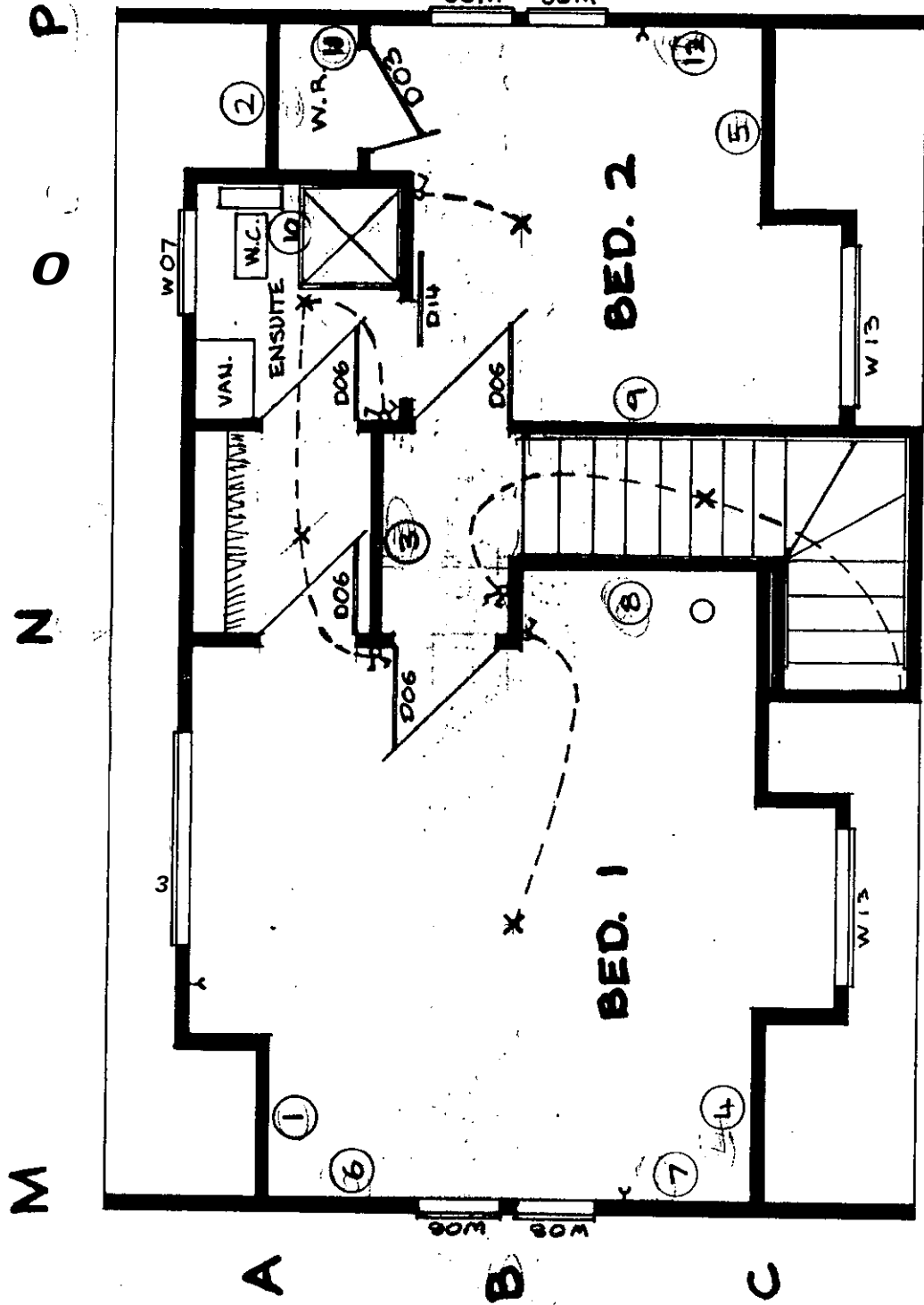
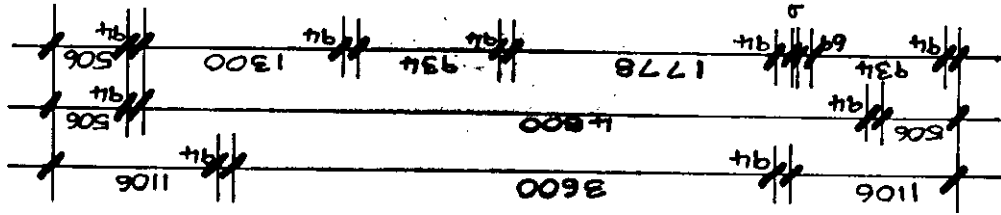
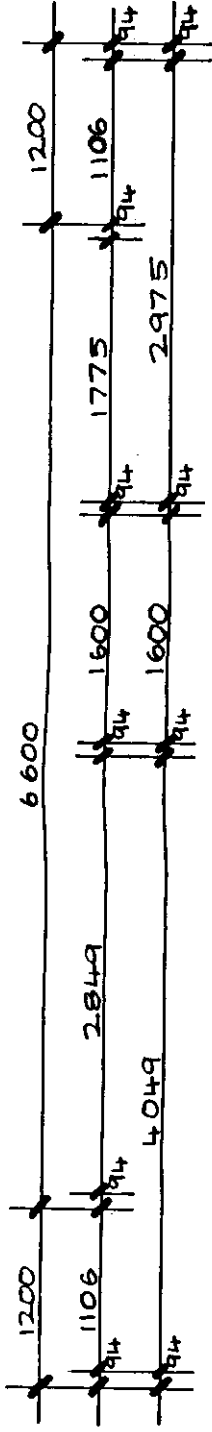


1:50
54:00 eq. m. (501.04 eq. pt)

→ KEY TO ELEVATIONS

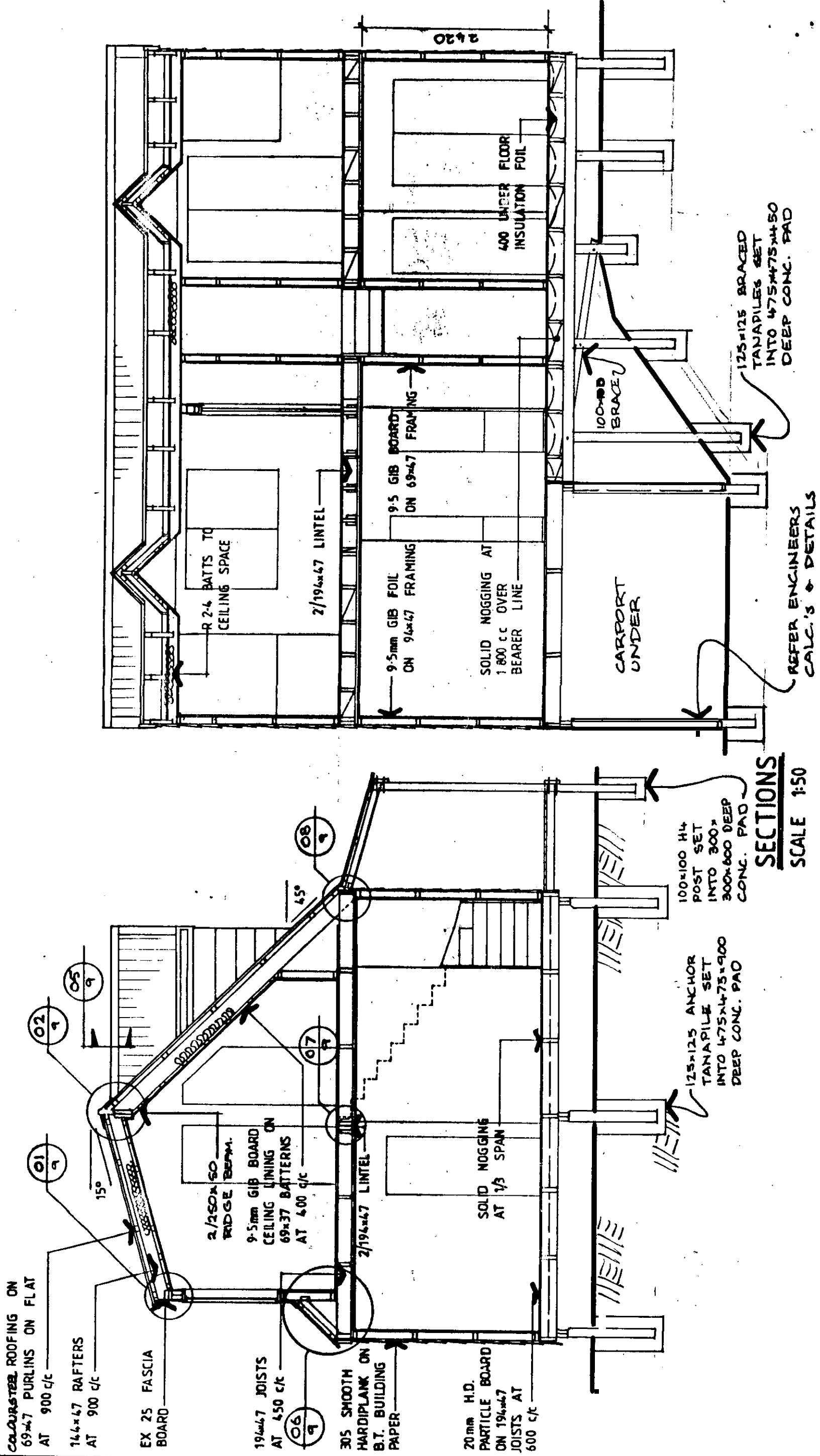
ARGUS HOMES

DRAWN G. ASHEY	SH 3 OF 10	AMENDMENTS
DATE	CODE	JOB NO



FIRST FLOOR PLAN

1:50
98.34 sq. m. (412.54 sq. ft.)
KEY TO ELEVATIONS



+ 125x125 ANCHOR TANA-
A PILE SET INTO 475x475
x900 DEEP CONC. PAD

+ 125x125 BRACED TANA-
B PILE SET INTO 475x475
x450 DEEP CONC. PAD

+ 125x125 ORDINARY TAN-
PILE SET INTO 475x475
x350 DEEP CONC. PAD

□ 100x100 H4 POST SET
INTO 300x300x600
DEEP CONC. PAD

← DIAGONAL TIMBER
SUBFLOOR BRACE
TO N7S 3604-11990

INDICATES HEIGHT
OF FLOOR ABOVE
GROUND LEVEL

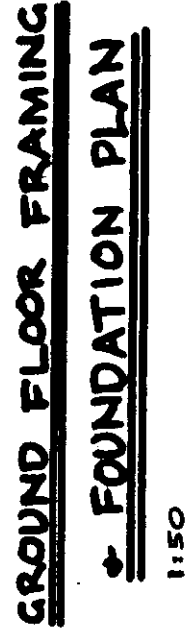
* 2-300x50 BEAMS
TO BE PROPED UNTIL
DRY

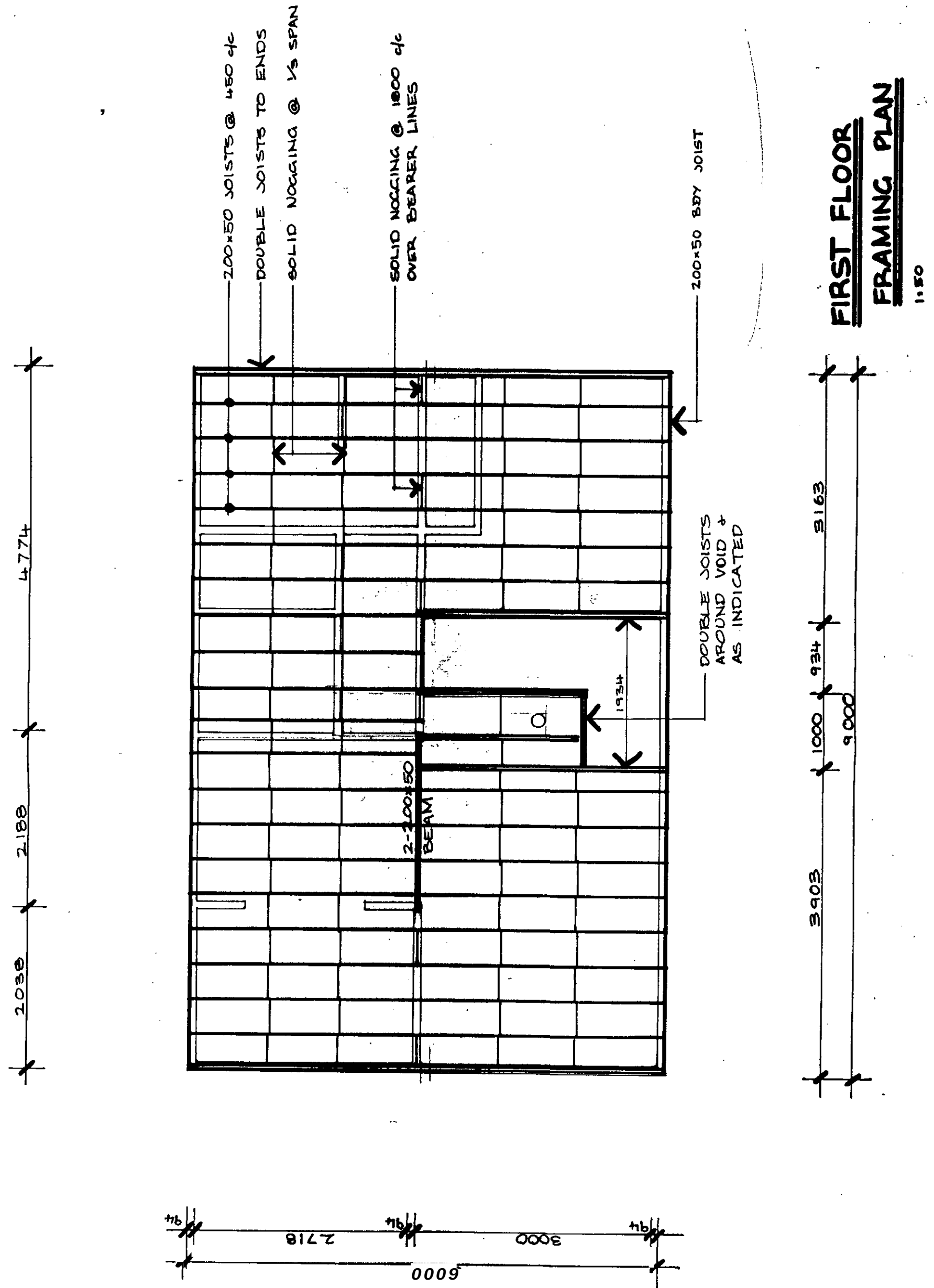
* FLOOR TO BE NAILED
AS A DIAPHRAGM AS
PER NZS 3604:1990
CL. 5.3

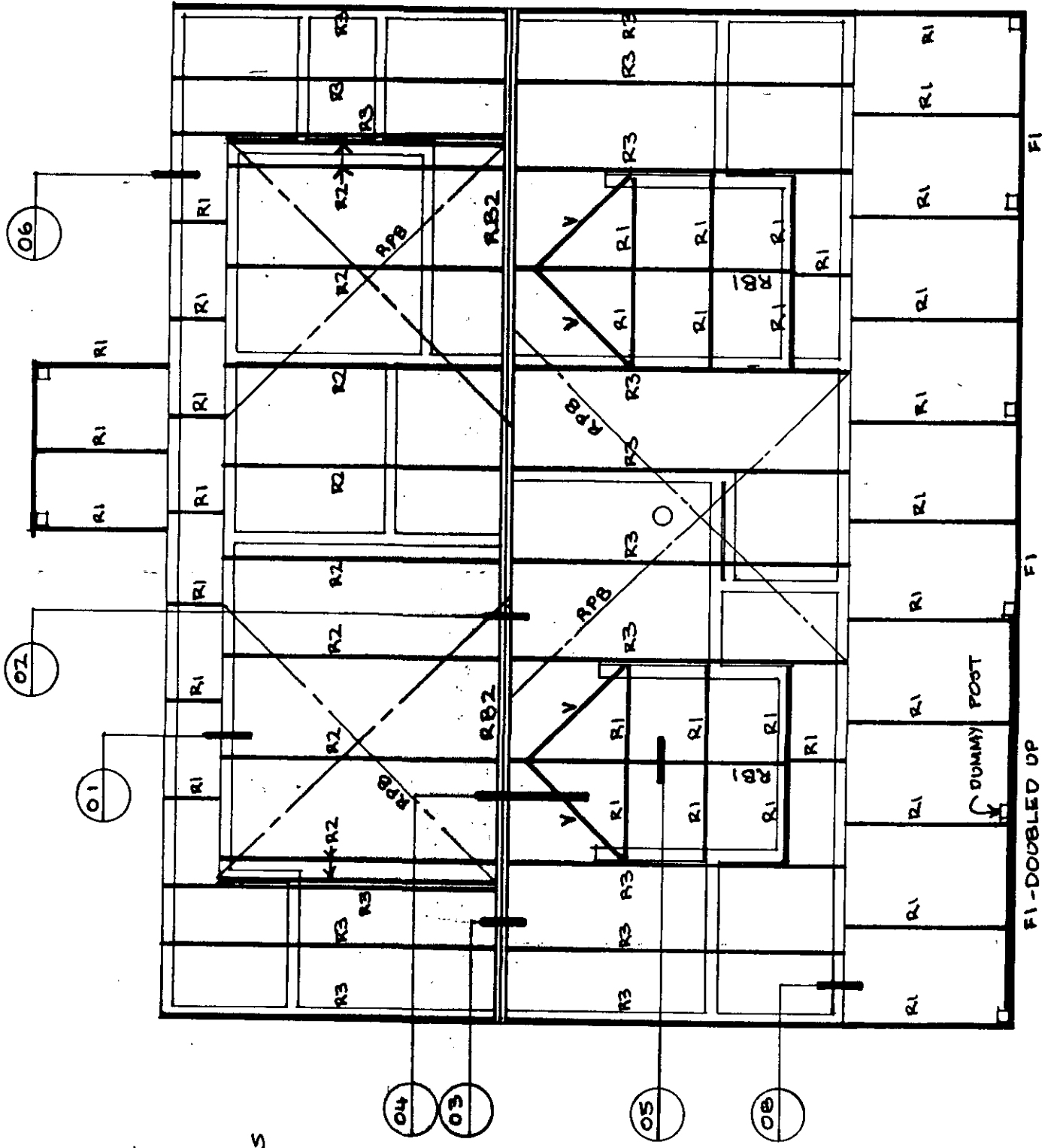
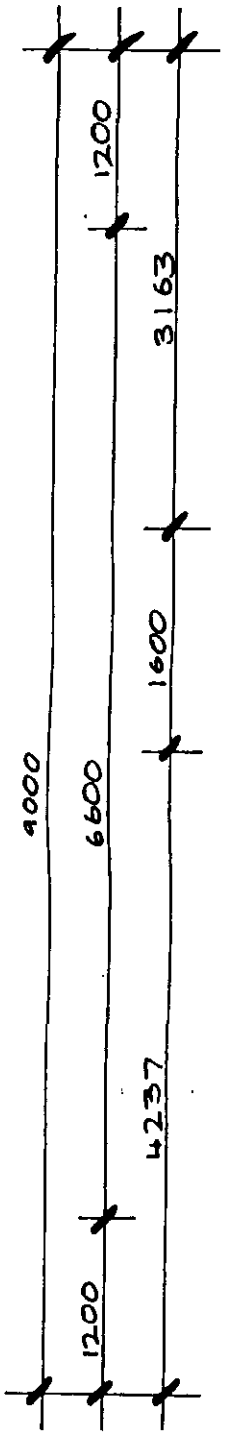
* 7.5mm PLY BRACING
PANELS TO EACH
SIDE OF CARPORT.
6m LONG & NAILED
OFF WITH 90x3.15mm
NAILS @ 100mm c/c
TO PERIMETER OF
SHEETS. USE 100x50
FRAMING @ 600 c/c
BETWEEN PILES

*FOR BRACING CALC.'S
REFER TO ATTACHED
ENGINEERS CALC.'S

* DUMMY POST TO SPAN
BETWEEN BEAMS ONLY
REFER SH 2





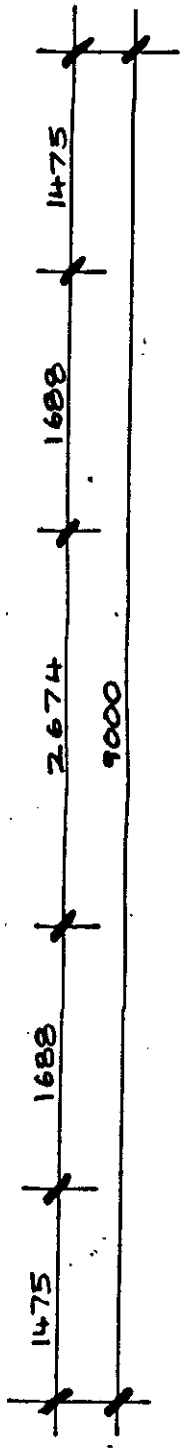
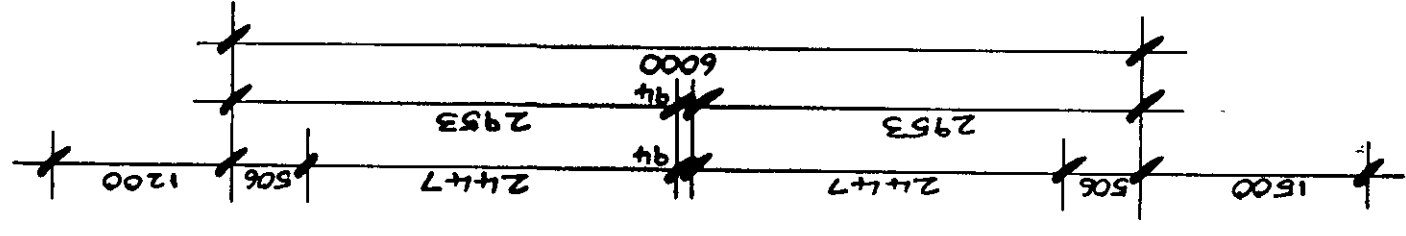


LEGEND :-

- R1 75x50 RAFTERS @ 900 c/c
- R2 150x50 RAFTERS @ 900 c/c
- R3 200x50 RAFTERS @ 900 c/c
- RB1 150x50 RIDGE BOARD
- RB2 250x100 RIDGE BEAM
- FI 200x50 FASCIA LINTEL
- V 75x50 VALLEY RAFTERS
- RPB ROOF PLANE BRACE STEEL STRAP.

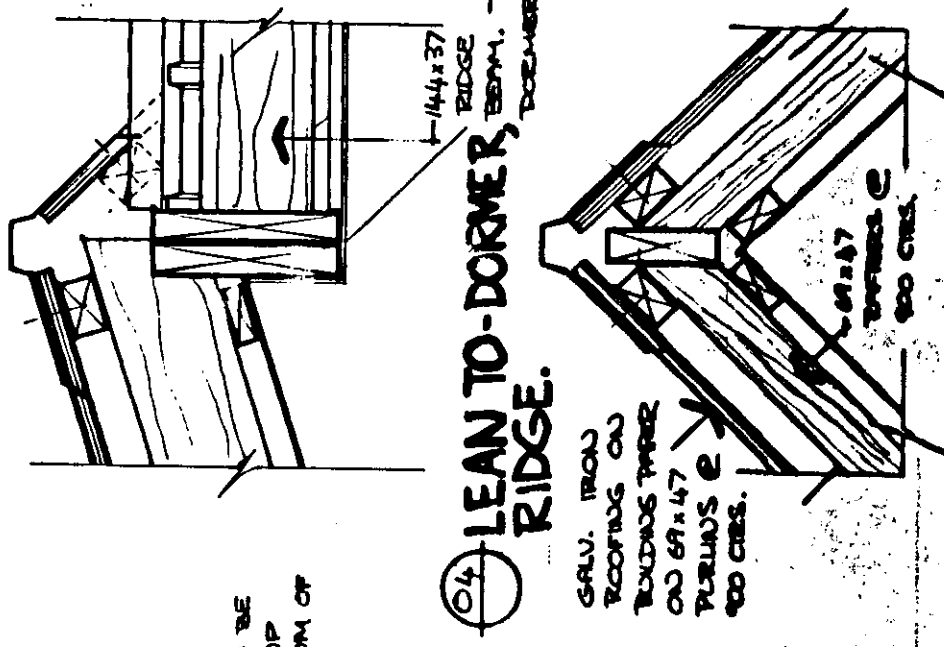
NOTES:-

- 45° LIGHT CABLE ROOF TO HOUSE
- 45° LIGHT CABLE ROOF TO DORMIERS
- 15° LIGHT ROOF TO LEAN-TO
- 15° LIGHT ROOF TO VERANDAHS
- 75x50 PURLINS ON FLAT @ 900 c/c



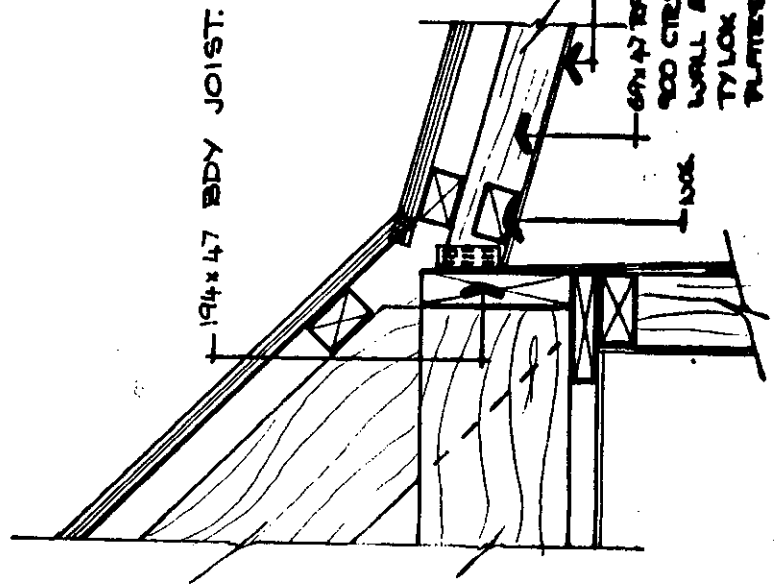
ROOF FRAMING PLAN

1:50



MAIN RIDGE

FORMER RIDGE



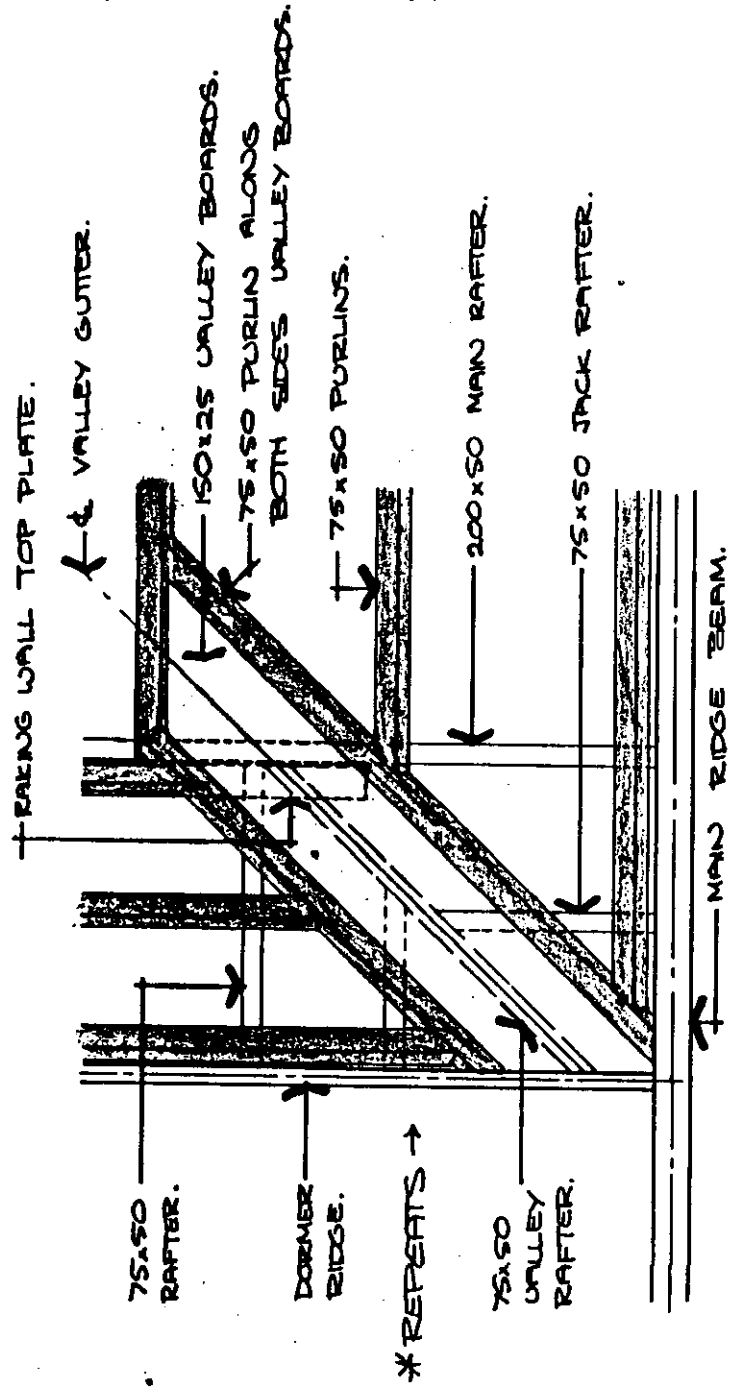
FLOOR-EAVE-VERANDA

DETAILS

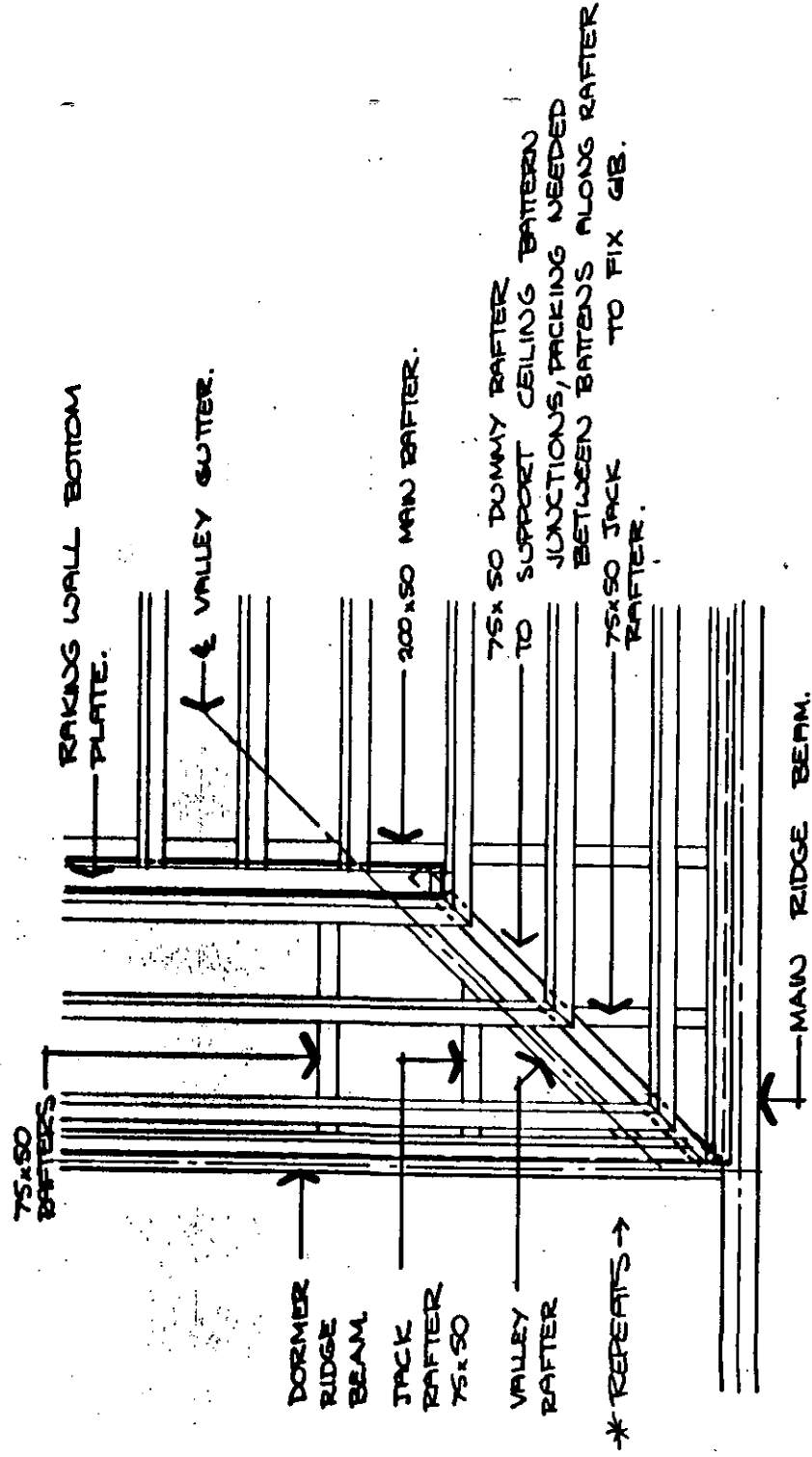
JOB TITLE PROPOSED DWELLING AT CARBOLINO RD, MAUNGAUHA I

DRAWN BY: SH 9 OF 10
C: ASHBY

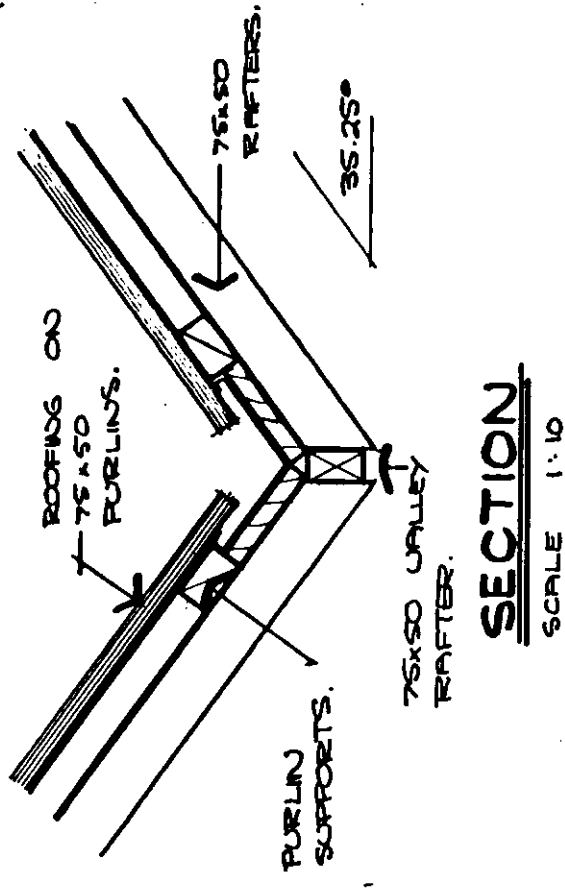
JOB NO. 2023



PLAN. SCALE 1:20
(FRAMING)



REFLECTED CEILING PLAN. (FITTINGS)
SCALE 1:20



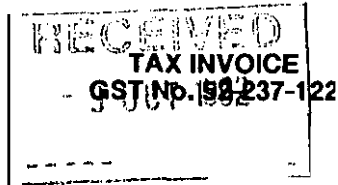
SECTION
SCALE 1:10

(CONTINUED OVER)

KAIPARA DISTRICT COUNCIL

BM

~~PRIVATE BAG 1001~~
~~DARGAVILLE~~



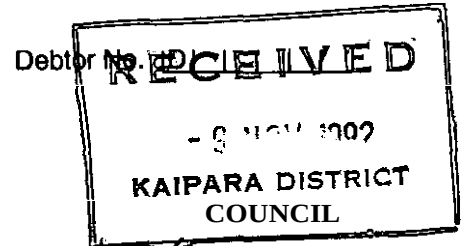
PHONE 439 7059
DARGAVILLE

Date 8.10.92

No. 1089

Angus Homes
P.O. Box 219
M.

KAIPARA DISTRICT COUNCIL
P.O. BOX 1,
PAPAROA.



This is to advise that your application for a permit to erect dwelling lot 2
Garbaki Mangawhai

will be processed and the relevant permits, subject to compliance, will be available for issue upon payment of the following fees:

B11101A	Building Permit	\$ <u>525</u>
W11101A	Building Research Levy	\$ <u>68</u>
B11102A	Plumbing and Drainage Permit	\$ <u>218</u>
W14102A	Footpath and Street Damage Deposit	\$ <u> </u>
M11101A	Sewer Connection	\$ <u> </u>
T10104A	Water Connection	\$ <u> </u>
L10102A	Stormwater Inspection	\$ <u> </u>
W14103A	Vehicular Crossing	\$ <u> </u>
		<u><u>809</u></u>

Total Includes \$ 89.80 GST

BUILDING INSPECTOR

GENERAL SPECIFICATIONS: CARBOLINO RD, MAUNGAWAHA

GENERAL: Owners responsibility to ensure the correct position of all survey pegs, positioning of the home and consultation with main Contractor on site to verify all measurements. The owner shall ensure site access.

CONTRACT: The Contractor supplies and delivers all materials, labour, fittings, tools, plant etc., to complete the building as on the drawings and herein specified, in a tradesman-like manner, in accordance with the local By-laws. The owner shall not select or supply any goods whatsoever, other than supplied by the Contractor.

SERVICES: Connections to services as per Building Agreement.

TELEPHONE: Owners responsibility to arrange.

PERMITS: Contractor to comply with the Labour and Building By-laws of the District and to apply for and obtain all necessary permits at own cost to P C only.

INSURANCE: Contractor shall cover by 'Fire Insurance' to 100% of value of buildings, and his employees (except sub-contractors) shall be covered by 'Employers Liability'. Both Policies held until buildings taken over by owner.

A

MATERIALS & WORKMANSHIP: All workmanship must be careful, thorough and in accordance with standard trade practice and all materials as specified, and in accordance with the Local Body By-laws and the NZS 3604:1990.

STABILITY: The Contractor shall carefully brace and support all parts of his work against damage by wind, and also protect same from damage by water.

CARPENTER AND JOINER: All materials are of good quality, laid true, levelled and a tradesmanlike construction used to comply with the Local By-Laws.

FOUNDATION: ~~140mm S E D natural or~~ ^{125x125} square timber piles set on concrete pads as required by NZS 3604... *Attached engineers calculations*

BEARERS: All joints to be scarfed or alternatively butt jointed with a nail plate fixed each side over solid bearings.

FLOOR JOISTS: Provide an even surface and 90mm nails to stringers and hangers. Joists over a solid bearing. Double joists under exterior walls.

PLATES: Straight with nail-plates at joints, corners and intersections.



INTERIOR WALL PARTITIONS: ¹⁰⁰~~75~~ x ⁶⁰~~45~~ Framing with Gib partitioning according to NZS 3604.

ROOF FRAMING: ~~Rafter as per drawings to be~~ ^{by} ~~fixed as required~~ NZS 3604. Fix 75 x 50mm ~~or 100 x 50mm~~ purlins at approximately 800mm centres.

BASBOARDS: 100mm x 25mm rough sawn timber fixed horizontally approximately 20 mm spacings, 100mm clear of ground.

RAVES: Barge. Allow the rafters to overhang and cut off plumb. fix prefinished fascia and Harley gutter system.

SOFPITS: Lined with ~~fibrolite~~ sheets and finished with galvanised soakers. ^{4.5mm Hardiflex}

FLOORING: All floors to be covered with high density particle board or strandboard nailed, with all nails punched below floor surface. On completion of all trades, clean off to an even surface with a sanding machine. Floor sanding 1 cut only.

NOGGING: 2 rows of nogging to be required by NZS 3604.

INSULATION: Floor, walls and ceilings insulated to Government Thermal requirements.

CEILINGS: All ceilings, gibraltar board. ~~Provide 500mm x 500mm man hole.~~

SCOTIA & SKIRTING: No.7 Bevelled Scotia. No20 Bevelled Skirting, paint grade.

LININGS: Interior walls lined with 9.5mm Gibraltar board. nailed with 30mm galvanised flat heads on joints every 150mm and intermediate studs and nogging every 225mm.

WARDROBES LINRN & HOTWATER: Full height walls and ceilings lined. Wardrobe 1,225mm hat shelf and hanger rail 1600mm above floor. Linen 3 full width shelves at 400mm spacings. Hotwater slatted shelves as detailed. Provide doors.

KITCHEN CUPBOARDS ETC: Construct Kitchen cupboards, end sink unit where shown on plan. Sinktop stainless steel insert. As per design supplied by Vogue Kitchens.

JOINERY: All exterior doors, frames and sills and windows to be aluminium fitted with 19mm reveals, grooved to take lining.

DOORS: Interior, paint grade, flush doors in 30mm jambs grooved to take lining. Fit with standard hardware latch sets, fixed by Builder after painting.

BATHROOM: Bath standard Acrylic 1675mm, or similar, to be built in, framed and timber splash board provided. Fit vanity and basin, no towel rail, no mirrors and no soap holders. Vanity & basin supplied by owner. St Michelle shower cubicle supplied & fitted by contractor.

ENSUITE: 750x750 Stainless Steel Shower tray & hardiglaze linings to two faces, supplied & fitted by contractor. Fit vanity & basin as supplied by owner. Owner shall supply own shower screen.

LAUNDRY: Provide fabricated stainless steel tub and standard timber cabinet.

ROOF: ^{Colour} ~~Galvanised~~ steel roofing fixed to **NZS 3604**.

GIBSTOPPING: Interior ceiling paint quality finish. Excluding interior cupboards and Hotwater cupboard,

TIMBER SCHEDULE

Bearer		No.1 tan H3 Pine
Foundation Bracing		No.1 tan H3 Pine
Base Boards	100x25	No.1 tan H3 Pine Rough Sawn
EXTERIOR FINISHING		
Timbers	50x25	No.1 tan HB Pine
Floor Joists		No.1 Boric treated Pine or Douglas Fir
Top & Bottom Plates & Studs	100x50	No.1 Boric treated Pine or Douglas Fir
Window Lintels		No.1 Boric treated Pine or Douglas Fir
Ceilings Runners Truss Roof	100x50	No.1 treated Pine or Douglas Fir
Window Jacks	100x50	No.1 treated Pine or Douglas Fir
Nogs	100x50	No.1 treated Pine or Douglas Fir
Floorings		20mm high density particle board
Internal Door Jambs		30mm paint grade

PLUMBER

WATERPROOF: Leave the building absolutely waterproof in every aspect. Flash opening through roof. Any part or parts not specified and necessary to make the building water-tight shall be as mentioned, with appropriate materials.

DOWN PTPRS: Round 60mm diameter P V C.

WATER PIPES P V C OR COPPER AND HOTWATER: Piping for hot and cold water, fitted with all necessary bonds, tees, elbows etc. to basin, sink, tub and bath. Install an approved electric hot water cylinder 136 litre capacity, with element and thermostat and all necessary connections. Lag hot water where required be local authority. Cold water to W C Main supply to house if specified in the building agreement to be 20mm Alkathene.

WASTES: Baths, tub and sink to have P V C traps and wastes. All wastes to discharge over gully traps. All sanitary plumbing to be installed by a registered plumber and approved by the Health Department and Sanitary Inspector..

TAPS: All taps chromium plated, signature bib and pillar nooks with indicators for 'hot' and 'Cold'. Two hose taps and stop cocks to be brass.

DRAINAGE: Lay all necessary drains from gully traps and W C to town sewer. All pipes and connection to be 100mm P V C Drainage system laid to a true and even fall. The whole of the drainage and sanitary arrangements to comply with the By-laws and to the satisfaction of the Sanitary Inspector.

PAINTER & PAPERHANGER:

MATERIALS: All material are of good quality and workmanship in a tradesmanlike manner. All woodwork to be sanded between coats. Exterior woodwork to receive one coat of first quality priming. Putty all nail holes and finish with two coats of approved paint.

HARDIPLANK, GABLE ENDS, SOFFIT, BASISMENTS: Painted to standard colour scheme.

WALLPAPER: All walls to be sealed before papering to samples enclosed.

~~ROOF: Painting of roof to be owners responsibility.~~

RXTRA: All extras to be paid to builder within 5 days of agreed price given. Payments not received will revert back to standard lines.

ELECTRICIAN: The Electrician will make the necessary notification to the local Power Board. All work to be carried out to the satisfaction of the Power Board and the Underwriter's Association.

METER PANEL: Provide and fix meter panel completely, externally, and a fuse panel internally, as shown on the plan.

SWITCHES: Provide and fix power points where indicated on the plan and make connections to hot water cylinder and stove.

STOVE: 4 plate, to P C Sum.

COMPLETION: On completing, to clear all building debris from the site.

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CONSULTING CIVIL AND
STRUCTURAL ENGINEERS

CLIENT: Argue Homes

ADDRESS: Standard houses

PROJECT: Floor systems

PAGE: 1

JOB No. 920128

DATE: 16/3/92

BY: KE

1. Loads

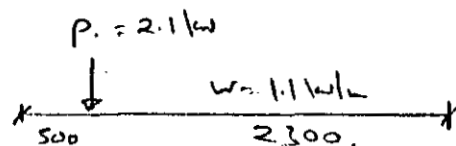
	D_L	L_L (kpa)
Roof	0.40	0.25
Walls	0.40	—
Floor	0.40	1.50

2. Floor joists

check upper level post loads to floor joists.
200 x 50 joists @ 600 o.c.

$$w = 1.9 \times 0.6 = 1.1 \text{ kN/m}$$

$$P = 0.65 \times 3.7/2 + 0.4 \times 2.2 = 2.1 \text{ kN}$$



$$M_b = wL^2/8 + PL/4 = 2.0 \text{ kNm}$$

$$f_b = M/Z = 6.7 \text{ MPa}$$

200 x 50 joist

$$\sigma_T = \Delta \sigma_{Tb} = 8.8 \text{ kN}$$

$$\Delta \sigma_c = \Delta/250 = 11.2 \text{ kN}$$

ok

So 200 x 50 joists @ 600 o.c. Satisfactory.

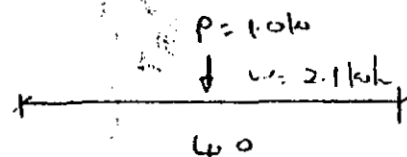
3. Ridge Beam

check 300 x 100 ridge beam (gable beam)

span = 4.0 m (max clear)

$$w = 0.65 \times 6.5/2 = 2.1 \text{ kN/m}$$

$$P = 0.65 \times 1.8/2 \times 45^\circ \times 2.5/2 = 1.0 \text{ kN}$$



$$M_b = wL^2/8 + PL/4 = 5.2 \text{ kNm}$$



CLIENT: Angus Hones
 ADDRESS: Standard houses
 PROJECT: Floor systems

PAGE: 2
 JOB No. 920129
 DATE: 16/3/92
 BY: KE

$$f_b = 11/2 = 4.44 \text{ MPa} \quad 300 \times 100 \text{ gully beam}$$

$$DT = D_{300} = 14.1 \text{ mm} \quad (\text{conservative})$$

$$D_{all} = 112.5 = 16.0 \text{ mm} \quad \text{OK}$$

So 300 x 100 gully beam satisfactory, 270 x 65

• check glulam alternative: 270 x 65 glulam

$$f_b = 11/2 = 6.6 \text{ MPa} \quad 270 \times 65 \text{ glul}$$

$$= 9.5 \text{ MPa} \quad 225 \times 65 \text{ "}$$

$$DT = D_{270} = 24.4 \text{ mm}$$

$$D_{all} = 112.5 = 16.0 \text{ mm}$$

$$D_0 = 24.4 \times 4/105 = 9.3 \text{ mm}$$

so use 225 x 65 glulam preservative $\frac{60}{12}$ if 4.0m length

note preservative 18mm if full length beam
 (9.0m) over 2 or more
 supports,

Note: If reverting to ordinary timber beams, the following sizes
 are appropriate to the spans given.

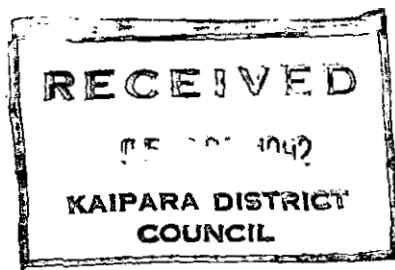
$$\text{span} = 4.0 \text{ m over Bedroom 1: } 2/250 \times 50$$

$$\text{span} = 4.6 \text{ m } 1: 2/300 \times 50$$

KE Paul

13/3/92

KEVIN C. RAWLINSON
 B.Sc. M.E. M.I.P.E.N.Z.
 Registered Engineer



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CLIENT:

ADDRESS:

PROJECT:

Argus Homes

Garbolino Rd. Manurewa

PAGE:

JOB No.

DATE:

BY:

120307

26 Aug 95

ADD

Ridge $D = 3/6 \times 2.5 = 1.06$ $L = 2.5 \times 2.5 = 1.625$

Total = 1.69. For diff 3D+L = 3.61

In dry pre $F = 6 \times (1.1 = 1.9) = 6.21$ $E = 8$

Allow $\delta = 1000$ of ~~4.1~~ span

Ry 11 Ry $Z = 423 \times 10^3$ $I = 107$

if ~~2-250 x 50~~ $Z = 2933$ $I = 114$

Floor Gable Beam $D = 4 \times 3 + 1 = 1.3$ $L = 1.5 \times 3 = 4.5$

Span 211 Total = 5.8 3D+L = 6.4

Ry $Z = 361$ $I = 2$

if 200 x 100 $Z = 570$ $I = 572$

The beam has on a multiple purlins to
group to span 3.6m

Two beams $D = 2 \times 2.5 = 1.16$ $L = 1.5 \times 2.5 = 1.675$

Total = 0.855 3D+L = 1.215

At up to compression of truss all load on above as
point at 1.6m end

Total = 5.8 + 1.16 = 10.21 3D+L = 6.21 + 1.16 = 15.12

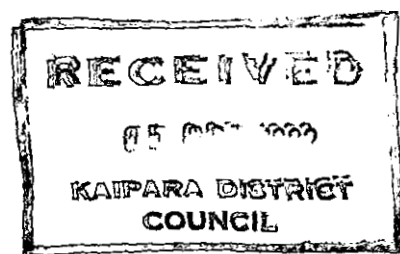
Due to deflection Ry $Z = 165$ $I = 23$ OR 20

--- point in 1159 125 148 106 126

Use 4 x 200 x 50 $Z = 1100$ $I = 114$

Prof with 10mm beams with dry

OR $Z = 300 \times 50$ $Z = 1354$ $I =$



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CLIENT:
ADDRESS:
PROJECT:

PAGE: 2
JOB No. 0347
DATE:
BY:

At garage entry.

Rad
Daps
up to
can be
deck
Sp 3-6

D	L
$.42 \times 1.5 = .63$	$.25 \times 1.5 = .375$
$.13 \times 4.5 = .585$	
$.4 \times 1.5 = .6$	$1.5 \times 2.4 \times \frac{1.2}{2} = 1.8$
$.4 \times 2.25 = .9$	$1.5 \times 2.25 = .3375$
$.4 \times .75 = .3$	$2.0 \times .75 = 1.5$
<u>3.1</u>	<u>3.675</u>

Total = 6.75 $2D + L = 9.85$ OR $3D + L = 12.45$

Req $Z = 1300$ $L = 187$ OR $L = 245$
10 $2 \times 300 + 50$ Pref. unbrl d
OR $3 \times 300 + 50$

At rear load is analog can be

$D = 2.6$ $L = 2.15$

Total = 4.75 $2D + L = 7.75$ OR $3D + L = 10.55$

Req $Z = 955$ $L = 147$ OR 200
10 $2 \times 300 + 50$ pref

Edge of deck was parapet.

$D = .4 \times .75 = .3$ $L = 2 \times .75 = 1.5$

Total = 1.8 $2D + L = 2.4$

Req $Z = 347$ $L = 45$
10 $2 \times 300 + 50$ $L = 590$ $L = 590$



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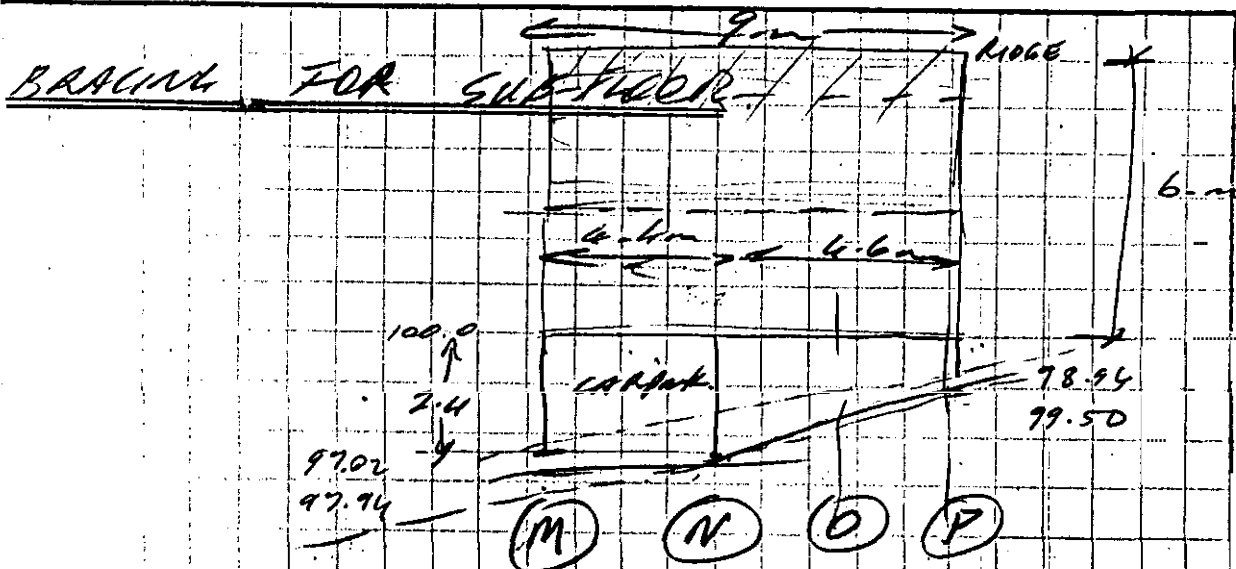
BY:

3

920317

4/9/92

BT



Ducting does not comply with NPS 3604 for parking over carparking.

Design for $V = 50 \text{ m/s}$

$$h = 8.5$$

$$\text{Class} = B$$

$$S_1 = 1.1$$

$$G_R = 2$$

$$S_2 = .84$$

$$q = 613 \times 46 = 1.3 / \text{m}^2$$

E.Q. zone C. light roof $\therefore$ not critical.

Live N + M

$$C_p = 1.3 \quad A = 2.5 \times 7.2 = 18 \text{ m}^2$$

$$F_w = 47 A$$

$$= 1.3 \times 1.31 \times 18$$

$$= 30.6 \text{ kN}$$

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BY

LINES D & P / Across.

As NOS 3604.

$$h = 6.0 + 1.5 = 7.5 \text{ m}$$

∴ NOS 3604 requires $228 - 191 = 210 \text{ kN/m}$
consider 4.6m length ⇒ require

$$4.6 \times 210 = 966 \text{ kN total}$$

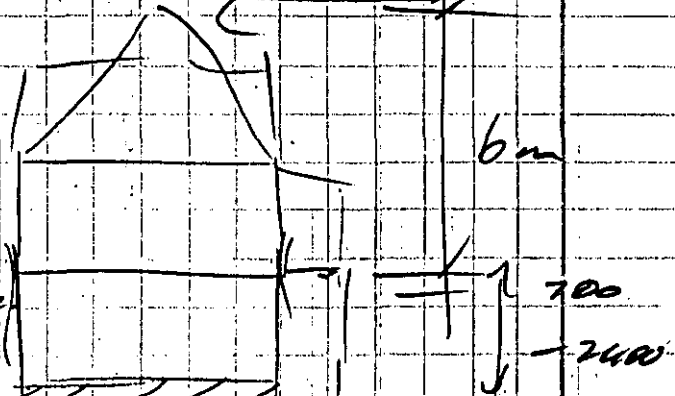
⇒ 6.04 diag braces or arch piles

⇒ use 6 archan piles +
2 diagonal braces (TOTAL)

BRACING ALONG.

height at rear = 6.7
front = 8.5

design as for Subfloor
and height > 7.6m arch
ie 8m.



⇒ require 239 kN/m

⇒ 1434 kN total

⇒ 9 diag braces $\Rightarrow 9 \times 160 = 1440 \text{ kN}$
or archan piles > 1434

⇒ provide 3 diag braces and
6 archan piles (TOTAL ALONG)

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05 OCT 1992

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CLIENT

ADDRESS:

PROJECT:

Argue Hauer
Gentle Hill, Manurewa

PAGE:

JOB No.

DATE

BY:

5
920397
4/9/92
Bk

PLY BRACE PANELS, LINES (M,N)

$F_w = 30.6 \text{ kN}$
length = 6m
min 7.5mm construction ply ext grade.

Safe nail load = 0.615 kN/nail
 $\therefore$ require nails @ $6 / \frac{30.6}{0.615} = 0.12 \text{ m centres}$

3.15 ϕ nails @ 100mm crs. L_o
sheet edges

Overturning $M = 30.6 \times 2.4 = 73.4 \text{ kNm}$

Shear = $30.6 \text{ kN} \Rightarrow 6.1 \text{ kN/pile}$

$\Rightarrow$ provide 450 $\phi \times 900$

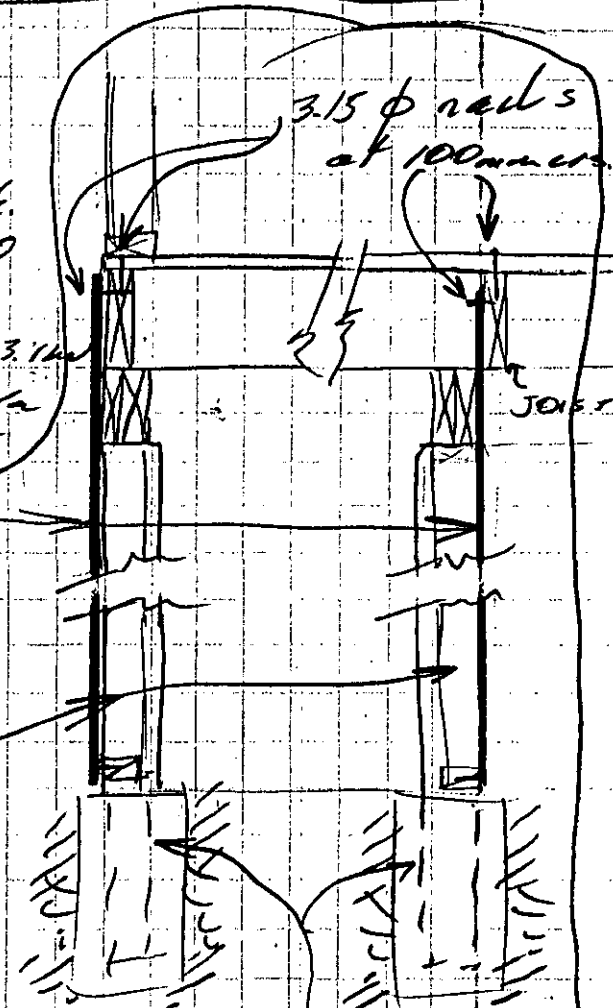
deep piles

Uplift, tons. = $73.4 / 5.6 = 13.1 \text{ tons}$

Anchor piles
at ends of panels $P_f = 11 \times 4.5 \times 6 = 15 \text{ kN}$

7.5mm ply bracing
panel 5
nail perimeter of
sheet edges with
3.15 ϕ nails at 100mm
centres

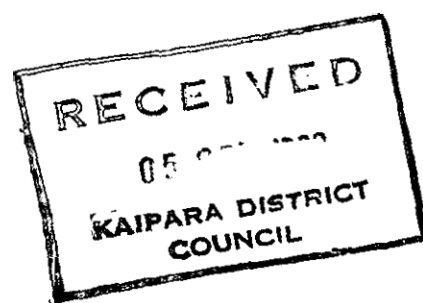
Provide 100x50 bracing
at 600 crs.



X-X

Y-Y

125
dia
piles
min 450 dia
 $\times 900$ deep.



ARGUS HOMES

Architectural specification form for ARGUS HOMES, containing sections for FOUNDATION, UPPERSTOREY, WINDOW SCHEDULE, RANCHSLIDER SCHEDULE, and DOOR SCHEDULE. Includes detailed tables for structural requirements, material specifications, and project information.

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K A I P A R A D I S T R I C T C O U N C I L

APPLICATION FOR PERMIT FOR SANITARY PLUMBING OR DRAINAGE WORK

To: The Engineer (Attn. Plumbing & Drainage Inspector)
Kaipara District Council

Private Bag
DARGAVILLE

05 OCT 1992
KAIPARA DISTRICT
COUNCIL

P.O. Box 1
PAPAROA

I, the undersigned ARGUS HOMES of PO Box 219 MANUREWA
(full name) (full postal address)
hereby apply for a permit for the work described herein, and set but in the
plans attached hereto, to be carried out in the premises situated at:

Valuation Number: _____ Legal Description: _____
Lot No.: 2
Street or Road: GARBOLINO RD Deposited Land: _____
Block: _____
District: MAUNCAWHAI Survey District: _____

Name and Address of Person for whom work is to be carried out:

GARY " WILLIAMSON + KATRINA DOVER
2/156 PRINCESS ST. OTAHUHI

Name and Address of Registered Craftsman Plumber, or Registered Drainlayer:

Plumber: TONY CRIPPELING Drainlayer: KEN BARTON
16 ST JAMES AVE. PO BOX 574
HELENSVILLE PUKEKOHE

Registration Number: 12036 Registration Number: 08653

DESCRIPTION OF WORK

State type of premises: DWELLING

State extent of work: Water to + waste away from new
dwelling + connect new dwelling to water tank + septic tank

ESTIMATED VALUE OF WORK

	Materials	Labour	Subtotal
Drainage	<u>2400-</u>	<u>3600-</u>	<u>6000-</u>
Plumbing	<u>2400-</u>	<u>1600-</u>	<u>4000-</u>
		TOTAL	<u>10000.-</u>

Signed: [Signature] Date: 2-10-92

- SEE NOTES ON REVERSE -

OFFICE USE ONLY

Fee Paid: _____ Receipt Number: _____ Date: _____

SCALE OF PERMIT FEES PAYABLE

Labour Value

Up to \$200.00.....\$30.00

Plus \$6.00 for every \$100.00 or part thereof

NOTE:

Fees are calculated on the total value of the work less the cost of materials. Such items as digger hire should not be included in the value of materials. Where the value of materials is not stated these will be calculated at 60% of the total value of plumbing work and 40% of the total value of drainage work. The Council reserve the right to alter the estimated value of all work for permit fee purposes at the discretion of the Plumbing and Drainage Inspector.

Water Conservation Bylaw (Dargaville Only)

Dual Flush Toilets

All water closet flushing cisterns in new installations or where the cistern is being replaced shall be of a dual flush type approved by the engineer.

On Demand Urinal Flush Controllers

The flushing of all urinals in new installations or where the cistern is being replaced, shall be controlled by an on-demand controller or a type approved by the Engineer.

Work is to be carried out by a registered plumber or drainlayer.

A plan of the proposed work is to be submitted with this application.

"As built" plans of the completed work will be the responsibility of the Drainage and Plumbing Inspector.

All testing gear to be supplied by the Drainlayer and drains are to be pretested by air.

Permit fees are payable on sanitary plumbing and drainage, but not on roofing, spouting etc.

Plan

A suitable plan should be provided here indicating position, and length of the walls of the building, the position of sanitary fittings, the proposed position of drainage and septic tank, distances from boundaries and the position and dimensions of effluent disposal.