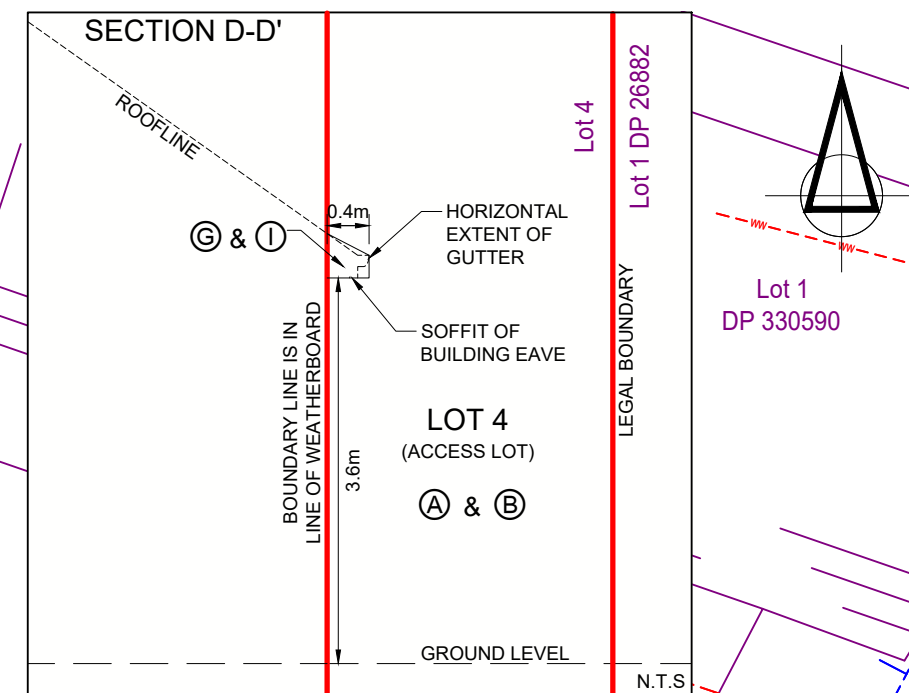


LEGEND

Pattern	Description
	BENCHMARK
	DOWNPIPE
	NATURAL GROUND
	TREE
	SUMP LID
	POWER POLE
	TELECOM MARKER
	WATER METER
	POWER BOX

Pattern	Description
	BUILDING
	EAVE
	FENCELINE
	EDGE OF CONCRETE
	STAIRS
	POWERLINE
	RIDGELINE
	EDGE OF GARDEN
	EDGE OF DRIVEWAY
	TOP OF KERB
	ROAD CROWN

SITE COVERAGE			
PURPOSE	NET AREA	BUILDING AREA	SITE COVERAGE
LOT 1	145m ²	47m ²	32%
LOT 2	106m ²	42m ²	40%
LOT 3	267m ²	88m ²	33%

[illegible]

- NOTES
1. COORDINATES ARE IN TERMS OF NEW ZEALAND GEODETIC DATUM 2000, MOUNT PLEASANT 2000 CIRCUIT (EPSG:2124).
2. HEIGHTS ARE IN TERMS OF CHRISTCHURCH DRAINAGE DATUM.
ORIGIN OF HEIGHTS: BM 3242 DP 416542 (ET81).
RL: 12.59m.
3. SITE BOUNDARIES ARE CALCULATED AND SUBJECT TO LAND TRANSFER SURVEY APPROVAL. ABUTTING BOUNDARIES HAVE BEEN COPIED FROM LANDONLINE.
4. THIS PLAN IS ISSUED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED OR USED FOR ANY OTHER PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT FROM FRASER THOMAS LTD.
5. ALL EASEMENTS, COVENANT AND OTHER LEGAL INSTRUMENTS ASSOCIATED WITH THIS SITE HAVE NOT BEEN SHOWN ON THIS PLAN, AN INVESTIGATION OF THE CURRENT LEGAL RECORDS SHOULD BE UNDERTAKEN PRIOR TO CONSTRUCTION.
6. THIS SURVEY HAS BEEN CARRIED OUT TO TOPOGRAPHICAL STANDARDS. CRITICAL DIMENSIONS AND LEVELS SHOULD BE VERIFIED.
7. RECORD OF TITLE FOR THIS SITE IS CB26F/841.
8. THIS SITE IS ZONED AS RESIDENTIAL MEDIUM DENSITY ZONE UNDER THE CHRISTCHURCH DISTRICT PLAN.
9. DRAINAGE LINES HAVE BEEN TRACED BASED ON PROVIDED AS-BUILT OR COUNCIL GIS RECORDS.

CLIENT

AARON McGUINNESS

PROJECT

41, 1/41, 2/41 & 3/41 OLLIVIERS
ROAD, PHILLIPSTOWN

TITLE

PROPOSED
SUBDIVISION
SURVEY PLAN

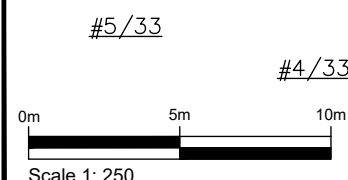
ENGINEERS	»	RESOURCE MANAGERS	»	SURVEYORS
AUCKLAND				09 278 7078
HAWKE'S BAY				06 211 2766
CHRISTCHURCH				03 358 5936
BLENNHEIM				03 428 3292
NELSON				03 222 1132
TAURANGA				020 4118 9465

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STATUS	
Construction shall begin only on receipt of and in accordance with the Council or CCO stamped approved drawings, unless otherwise indicated.	
SCALE	(A3)
1:250	
DRAWING No	REVISION
CH01968-SU-SC-01B	

Proposed Memorandum of Easements			
PURPOSE	SHOWN	BURDENED LAND (Servient Tenement)	BENEFITED LAND (Dominant Tenement)
RIGHT OF WAY, RIGHT TO CONVEY WATER & RIGHT TO DRAIN SEWAGE	A	LOT 4	LOTS 1-3
	B	LOT 4	LOTS 2 & 3
RIGHT TO DRAIN WATER	E	LOT 2	LOT 3
	F	LOT 1	LOTS 2 & 3
PARTY WALL	C	LOT 2	LOT 1
	D	LOT 1	LOT 2
RIGHT TO CONVEY TELECOMMUNICATIONS & ELECTRICITY	A	LOT 4	LOT 1
	A & B	LOT 4	LOTS 2 & 3
RIGHT TO OCCUPY (HEIGHT RESTRICTED)	I	LOT 4	LOT 1
	G	LOT 4	LOT 2



NOTE
AN INVESTIGATION OF THE CADASTRE WAS UNDERTAKEN TO ESTABLISH IF THE SUBJECT SITE BOUNDARIES ARE "AFFECTED" BY EARTHQUAKE MOVEMENT. IT WAS CONCLUDED THAT THEY ARE "AFFECTED". THE DEPTH OF THE SITE HAS REDUCED BY 60mm. BOUNDARIES SHOWN ON THIS PLAN WILL NOT AGREE WITH CURRENT TITLE BOUNDARY DIMENSIONS.

AMALGAMATION CONDITION

THAT LOT 4 HEREON (LEGAL ACCESS) IS TO BE HELD AS TO TWO UNDIVIDED ONE HALF SHARES (1/2) BY THE OWNERS OF LOTS 2 & 3 HEREON AS TENANTS IN COMMON IN THE SAID SHARES AND THAT INDIVIDUAL RECORDS OF TITLE ARE TO BE ISSUED IN ACCORDANCE THEREWITH.