

Project: 26021

15 June 2026

Flow Properties Limited

By email:

Attention:



**41A & 41B OLLIVERS ROAD, PHILLIPSTOWN
PRODUCER STATEMENT - PS4A**

Please find attached a producer statement (PS4A – Construction Monitoring), covering the existing units releve design (The Works), showing that it has been constructed in accordance with the design as far as can be reasonably sighted. This statement applies to clause B1 of the Building Code only.

The producer statement is based on the following inspections:

- 14 May 2026 New Pile Inspection
- 20 May 2026 Subfloor and Connections Photo Review
- 26 May 2026 Subfloor Framing and Connections and Final Level Inspection
- 05 June 2026 Final Levels and Subfloor Framing and Connections Photo Review

This letter should be attached to the PS4a when applying for the code of compliance certificate.

Yours sincerely

Chris Burrell-Smith
RICHARDS CONSULTING ENGINEERS

Encl: PS4A, B2 Compliance Letter and Site Records

Project: 26021

15 June 2026

Local Building Consent Authority

**B2 COMPLIANCE IN RESPECT OF EXISTING UNITS RELEVEL DESIGN
AT 41A & 41B OLLIVERS ROAD, PHILLIPSTOWN (LOT 1 AND LOT 2 DP 612767)
BUILDING CONSENT NUMBER: 20261859**

To whom it may concern,

Construction Monitoring in relation to Building Code Clause B2 – Durability

The purpose of this letter is to confirm that direct construction monitoring by **Richards Consulting Engineers** in relation to Clause B2 (Durability) of the Building Code, for the above project, has been limited. This is because material protection is typically carried out by specialist applicators and requires specific quality assurance by the suppliers and/or third-party independent inspectors. Subject to all proprietary products meeting their performance specification requirements we can confirm that in relation to specifically designed structural elements included in the design documentation prepared by the **[Richards Consulting Engineers]**, the following relates to B2/Durability applicable to the materials listed below:

Material	Means of Compliance	Details
Reinforced concrete	B2/AS1	Compliance with cover and concrete quality requirements for B1 will also imply compliance with B2. Refer to the PS4 for B1.
Structural timber	B2/AS1	The quality of timber treatment is dependent on the QA systems of manufacturers/suppliers. Refer to the contractor's PS3 and QA records.
Mild steel structure	Alternative Solution	The quality of mild steel protective coatings is dependent on: • Steel preparation • Quality and production consistency of the coating products • QA of the application and curing • QA of the handling, protection and repair Refer to: • Contractor's and sub-contractor's PS3s and QA records • Third party inspection and test results • On-going maintenance plan (attached)

We trust this provides the information you are seeking.

Prepared by



Chris Burrell-Smith

RICHARDS CONSULTING ENGINEERS

PRODUCER STATEMENT – PS4A CONSTRUCTION REVIEW



association of
consulting and
engineering



[NOT TO BE USED IN CONJUNCTION WITH A BUILDING
CONSENT CODE COMPLIANCE APPLICATION]

JOB NUMBER:	26021
ISSUED BY: (Construction Monitoring Firm)	Richards Consulting Engineers Limited
TO: (Client)	
TO BE SUPPLIED TO: (Regulatory Authority)	Christchurch City Council
IN RESPECT OF: (Description of Works to be constructed/carried out)	Alterations to an existing structure (the “Works”)
AT: (Address)	41A & 41B Olliviers Road, Phillipstown, Christchurch
LEGAL DESCRIPTION	LOT 1 and LOT 2 DP 612767

Richards Consulting Engineers Limited has been engaged by Aaron McGuinness to provide construction monitoring services in respect of specific elements within the Works, to the following level:

CM4

The construction monitoring that has been carried out relates to elements of the Works referred to in the **attached** PS1A Design Producer Statement issued prior to commencement of the Works. The construction monitoring also relates to the authorised instructions / variation(s) provided or listed in the attached Schedule, that were issued during the course of the Works. The construction monitoring relates to All of the elements of the Works referred to in the PS1A.

On the basis of this construction monitoring together with information supplied by the contractor during the course of the Works and on behalf of Richards Consulting Engineers Limited, I believe on reasonable grounds that these elements of the Works have been completed in accordance with the relevant requirements of the design documentation that accompanied the attached PS1A and those additionally referred to in the attached Schedule.

I also believe on reasonable grounds that the persons who have undertaken this construction monitoring have the necessary competency to do so.

I, Chris Burrell-Smith am:

- CPEng number 1019482
- and hold the following qualifications: B.E. (Hons)

Richards Consulting Engineers Limited holds a current policy of Professional Indemnity Insurance no less than \$200,000.

✓

Richards Consulting Engineers Limited is a member of ACE New Zealand.

SIGNED BY: Chris Burrell-Smith

(Signature):

Date: 15/06/2026

Job Number: 26021
Job Address: 41A & 41B Olliviers Road, Phillipstown, Christchurch
Compilation Date and Time: 15 June 2026 at 14:51 pm

ON BEHALF OF: Richards Consulting Engineers Limited

Note: This statement has been prepared solely for Christchurch City Council above and shall not be relied upon by any other person or entity. Any liability in relation to this statement accrues to Richards Consulting Engineers Limited only. As a condition of reliance on this statement, Christchurch City Council accepts that the total maximum amount of liability of any kind arising from this statement and all other statements provided to Christchurch City Council in relation to the Works, whether in tort or otherwise, is limited to the sum of \$200,000.

SCHEDULE TO PS4A

Please include an itemised list of all referenced documents, drawings, or other supporting materials in relation to this producer statement below:

Project Address:	41A and B Olliviers Road	Project No:	26021
Date:	14/05/26	Time:	12:30pm
Engineer:	Jayden Bracey		
Subject:	New Pile Inspection		
Issued to:	Sam (Contractor)		
☐ Instruction ☒ Information ☐ Meeting Minutes ☐ Other			
NOTES			
Present: Jayden, Sam (Contractor)			
BC #: 20261859			
Richards Consulting Engineers inspected 6 new pile footings for the relelevel works at the above site. The new piles have been installed to allow for localised leveling of doorways. The following was noted: - 200kPa generally available at the base of the footings. - Footings generally 500x500x500. This varies form the proposed design (800x800) but due to the increased soil strength 100kPa vs 200kPa the reduced footing size is OK. - The excavtions genrally consisted of approx. 200mm of topsoil underlain with 300mm of light brown silts.			
SUMMARY			
Pass – new pile footings OK			

REV B – 05/06/26

Project Address:	41A and B Olliviers Road	Project No:	26021
Date:	05/06/26	Time:	9:00 am
Engineer:	26/05/2026		
Subject:	Subfloor framing and connections, and final levels inspection		
Issued to:	Sam (Contractor)		

☐ Instruction ☐ Information ☐ Meeting Minutes ☐ Other

NOTES

Present: Sam, Denzil, Jayden

BC #: 20261859

Richards Consulting Engineers completed an inspection of the following items at the dwelling re-levelling at the above site:

- Inspection of perimeter footing mortar packing via photos.
- Inspection of new subfloor framing beneath Unit 41B bathroom. This has been done based on a visual inspection and notes which were collected while on site for the footing inspection (14/05/2026).
- Inspection of final levels using a zip level.

The following was noted:

- The photo review of the overpinning mortar packing appears to have been installed as per the drawings.
- New DPC and bottom plate has been installed around all visible locations of the perimeter footing. The bottom plate is a 2/90x45 on edge bottom plate instead of a 90x45 on flat bottom plate. This has been done to match the height of the previous existing bottom plate and blocking that was in place from a historical re-level attempt. The new bottom plate members are well fixed together, this is considered a suitable approach.
- Blocking has also been installed between all existing floor joists. This is OK.
- New NZS3604 holdowns installed @900mm crs.
- The new floor joists have been installed within the bathroom as per the drawings. Note, the floor joists have been installed such that the previous step into the bathroom is now removed.
- The existing bearers have been fixed to the existing rock piles with a SS strap over the top of the bearer and down to the pile. The strap is fixed to the pile with SS Bugle screws on both sides and the packer has been fixed to the bearer with SS bugles. New DPC has been installed between the piles and packers. This differs from the design drawings but will provide the same restraint to the packer.

1) ~~The levels within the units still require work – please refer to the attached sketch.~~ The levels have been discussed with the contractor over the phone and the following is noted:

- a) The builder has attempted to resolve the levels beneath the hallway and bedroom dividing wall in Unit 41A by installing a new bearer beneath the wall. When lifting the joists in this location it caused all surrounding location to lift up with them due to the memory in the joists. Based on this we believe that the settlement present in this location is historical settlement related to joist sag and not earthquake damage – further works are not required.
- b) The subfloor beneath the bath in Unit 41A was made up of blocking which supported the bath. The existing blocking and joists have excessive sag within them which we believe to be due to poor construction. The Builder has installed a new joist and attempted to lift the area beneath the bath but memory in the subfloor is causing the surrounding areas (Unit 41A Kitchen and Unit 41B bedroom) to go out of level as a result. Based on this we believe that the settlement present in this location is historical settlement related to joist sag and not earthquake damage – further works are not required.
- c) The contractor has provided a video of zip levels showing the 16mm high point in Unit 41A hallway to now be 8mm- OK

- d) The contractor has provided a video of zip levels showing the -8 and -10mm low point next to the Unit 41A bathroom door opening to now be +2mm and -6mm – We note that this is slightly outside of the 0.3% slope goal for this project but lifting this location further is considered to affect the rest of the structure which currently have good levels. The slope is within MBIE guidelines so considered OK.
- e) The contractor has provided a video of zip levels showing the -8mm low spot in Unit 41B to now be 0mm - OK

SUMMARY

PASS – EQ damage has been resolved and within MBIE guidelines.

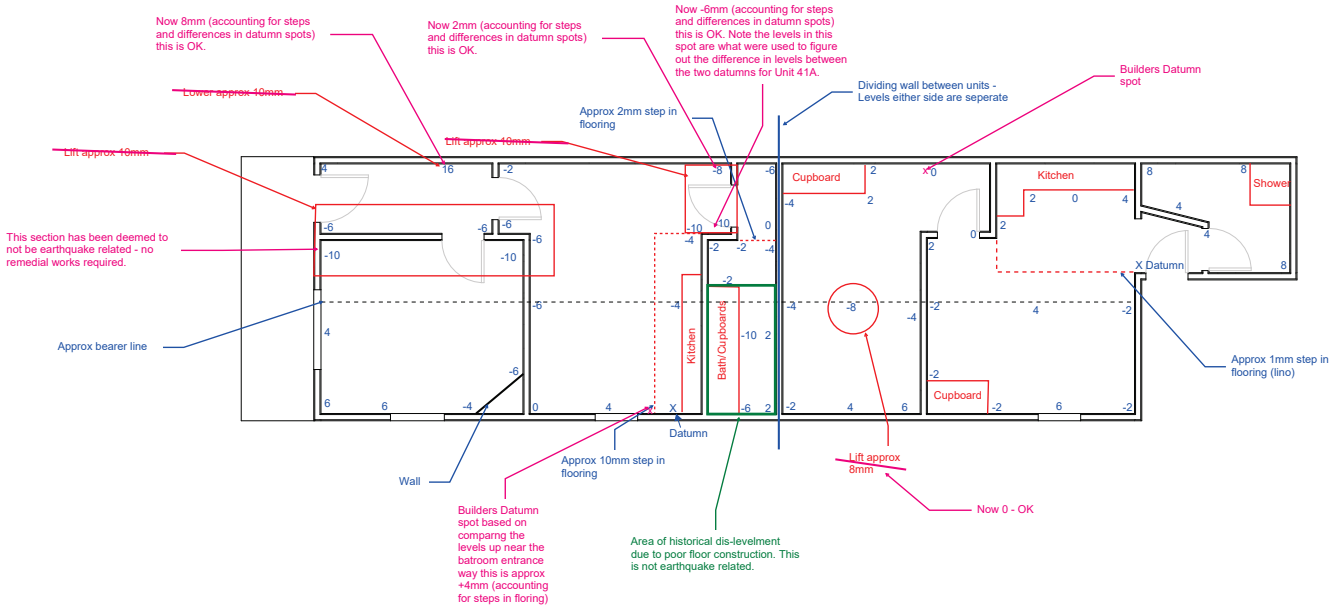
Make landscape and A3

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECT'S DRAWINGS

DO NOT SCALE - IF IN DOUBT CONFIRM DIMENSIONS ON SITE

Notes:
1. Unites have had there levels taken seperately and have been considered to be seprate with regards to floor levels.
2. Levels have all been adjusted to account for changes in flooring

REV B - JB - 05/06/26



RICHARDS
CONSULTING ENGINEERS

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PROJECT TITLE
EXSTING UNITS RELEVEL
41A AND 41B OLLIVIERS ROAD
CHRISTCHURCH

DRAWING TITLE
MEASURED LEVELS
FINAL LEVELS ASSESSMENT

REV NO.	REVISION	DATE	APPROVED	PROJECT NO.	26021	DESIGNED	JB
				SCALE @ A3	N/A	DRAWN	
				REV NO.	A	SHEET NO.	SK.01