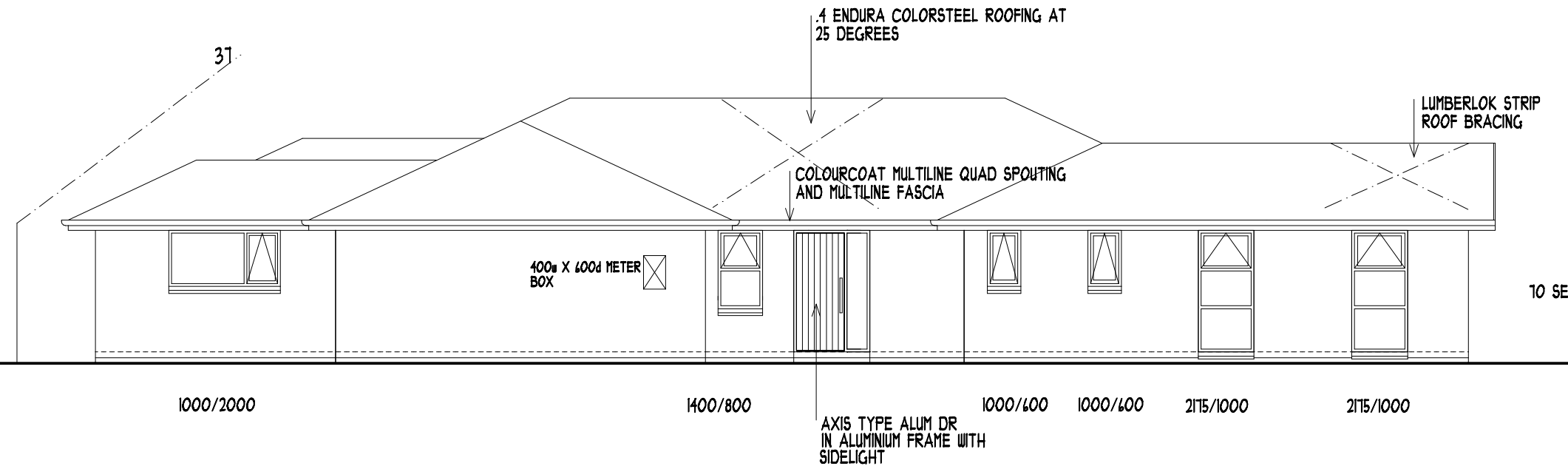


NOTE: ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE AND DURING CONSTRUCTION. ALL WORK TO COMPLY WITH RELEVANT CLAUSES OF THE N.Z.B.C 1992 AND N.Z.S 3604: 2011.



EAST THERMAL H1 CALCULATIONS:
TOTAL AREA OF THERMAL ENVELOPE: 57.8sqm
TOTAL AREA OF GLAZED AREAS: 4.7sqm
TOTAL PERCENTAGE OF ALL WALLS GLAZED: 11.6%

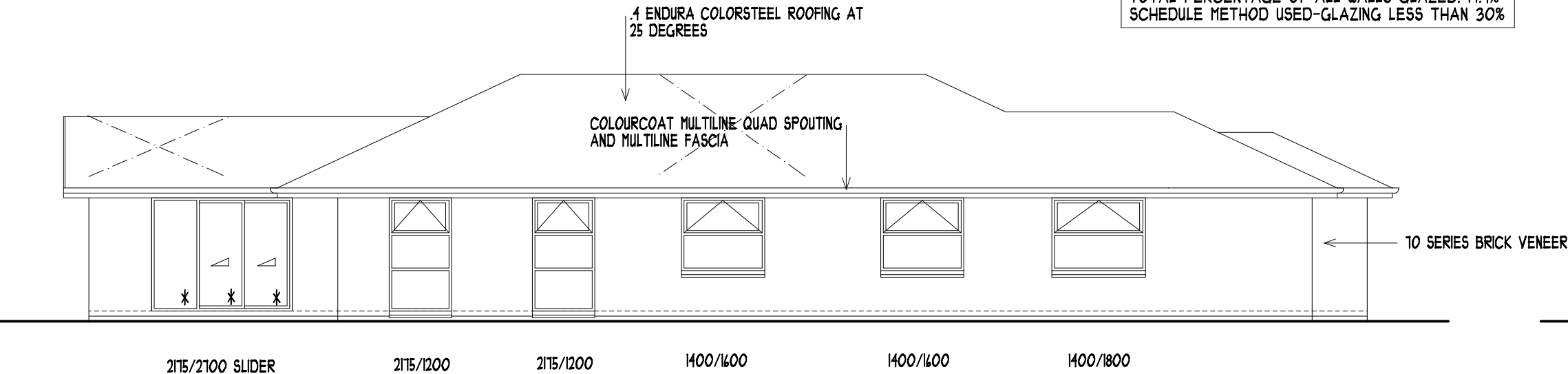
EAST VIEW

Elevation : ALL ELEV's		Risk severity						SUBTOTALS FOR EACH RISK FACTOR
Risk factor	LOW	MEDIUM	HIGH	VERY HIGH				
Wind zone	0	0	1	1	2			1
Number of storeys	0	0	1	2	4			0
Roof/Wall intersection design	0	0	1	3	5			0
Eaves width	0	1	1	2	5			1
Envelope complexity	0	0	1	3	6			0
Deck design	0	0	2	4	6			0
Old risk score:								2

NOTE: ALUMINIUM JOINERY & GLAZING
VERIFY ALL DIMENSIONS ON SITE BEFORE MANUFACTURE
ALL UNITS TO BE DOUBLE GLAZED-MIN R RATING 0.24
INSULATED GLASS UNIT IGU CLEAR/CLEAR
VERIFY ALL COLOURS, FINISHES, HANDLES, ETC WITH OWNER.
VERIFY ALL DOORS TO BE KEYED ALIKE
ALL TIMBER REVEALS SHALL BE H31 TREATED
ALL GLAZING SHALL COMPLY WITH NZS 4223:1999, & PARTS 1, 2, 3 & 4.
* TYPE 'A' SAFETY GLAZING
** TYPE 'A' SAFETY GLAZING TO INSIDE

H1 THERMAL CALCULATIONS:
TOTAL AREA OF THERMAL ENVELOPE: 164.2sqm
TOTAL AREA OF GLAZED AREAS: 37.1sqm
TOTAL PERCENTAGE OF ALL WALLS GLAZED: 22.6%

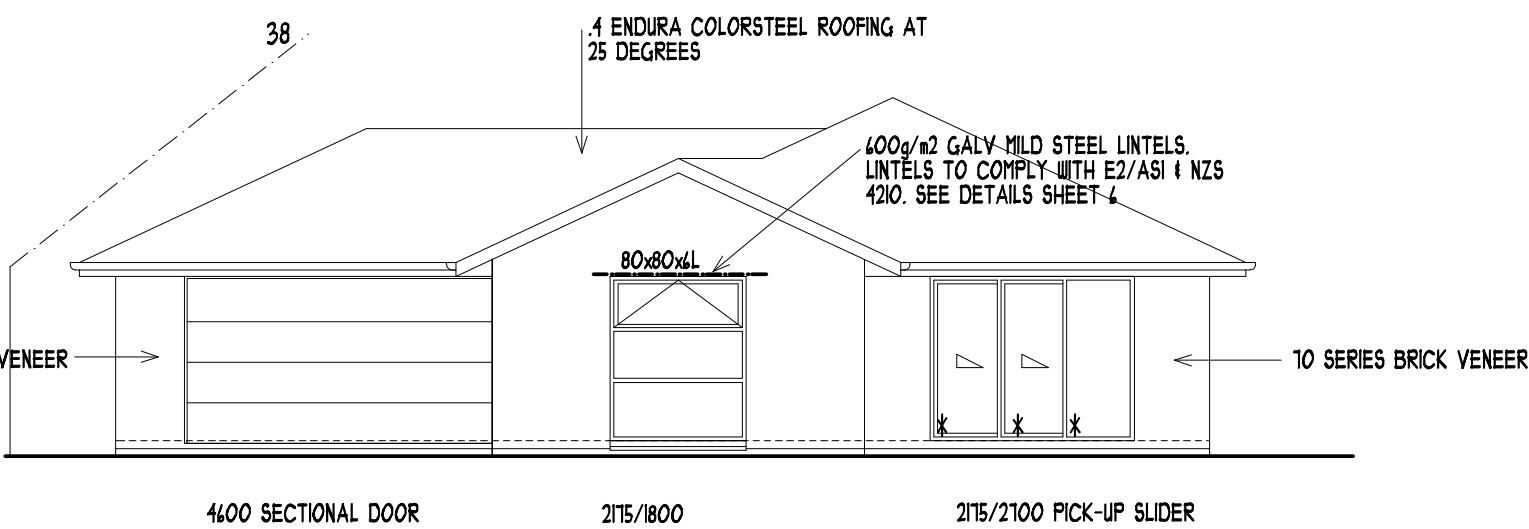
SOUTH/EAST/WEST THERMAL H1 CALCULATIONS:
TOTAL AREA OF THERMAL ENVELOPE: 139.9sqm
TOTAL AREA OF GLAZED AREAS: 27.1sqm
TOTAL PERCENTAGE OF ALL WALLS GLAZED: 19.4%
SCHEDULE METHOD USED-GLAZING LESS THAN 30%



WEST THERMAL H1 CALCULATIONS:
TOTAL AREA OF THERMAL ENVELOPE: 57.8sqm
TOTAL AREA OF GLAZED AREAS: 18sqm
TOTAL PERCENTAGE OF ALL WALLS GLAZED: 31.1%

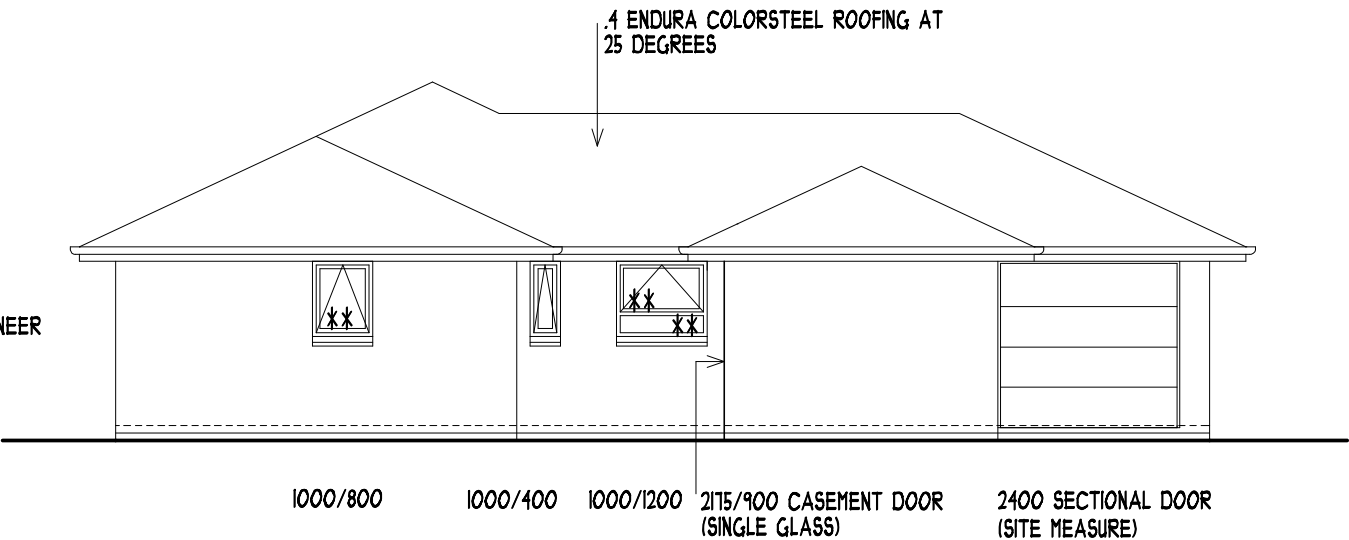
WEST VIEW

INSULATION TO BE USED FOR CLIMATE ZONE 3 ARE:
CEILINGS: R3.4 FIBREGLASS BATTS / CONSTRUCTION RV 3.4
WALLS: R2.4 FIBREGLASS BATTS / CONSTRUCTION RV 2.4
FLOOR: 100mm CONCRETE SLAB / CONSTRUCTION RV 1.3
DOUBLE GLAZING: R0.24 CLEAR/CLEAR / CONSTRUCTION RV 0.24
NOTE: CONSTRUCTION RVs FOR WALLS AND CEILINGS TAKEN FROM BRANZ HOUSE INSULATION GUIDE-THIRD EDITION.



NORTH VIEW

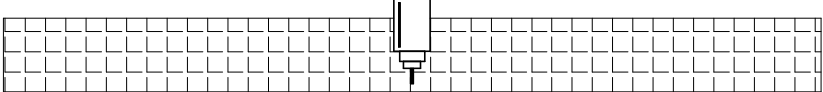
SOUTH THERMAL H1 CALCULATIONS:
TOTAL AREA OF THERMAL ENVELOPE: 24.3sqm
TOTAL AREA OF GLAZED AREAS: 10sqm
TOTAL PERCENTAGE OF ALL WALLS GLAZED: 41.1%



SOUTH VIEW

NORTH THERMAL H1 CALCULATIONS:
TOTAL AREA OF THERMAL ENVELOPE: 24.3sqm
TOTAL AREA OF GLAZED AREAS: 2.4sqm
TOTAL PERCENTAGE OF ALL WALLS GLAZED: 9.8%

Warren Sheddan - Architectural Designer



42 HAPPY HOME ROAD-CHRISTCHURCH 8025
Phone (03) 338 1206
email: w.sheddan@clear.net.nz

PROPOSED RESIDENCE FOR LOT 291 DP496862 LAWRENCE DRIVE
ROLLESTON
FOR MAC PROPERTY DEVELOPMENTS

ELEVATIONS

Date : Friday, 2 September, 2016

Scales : 1:100

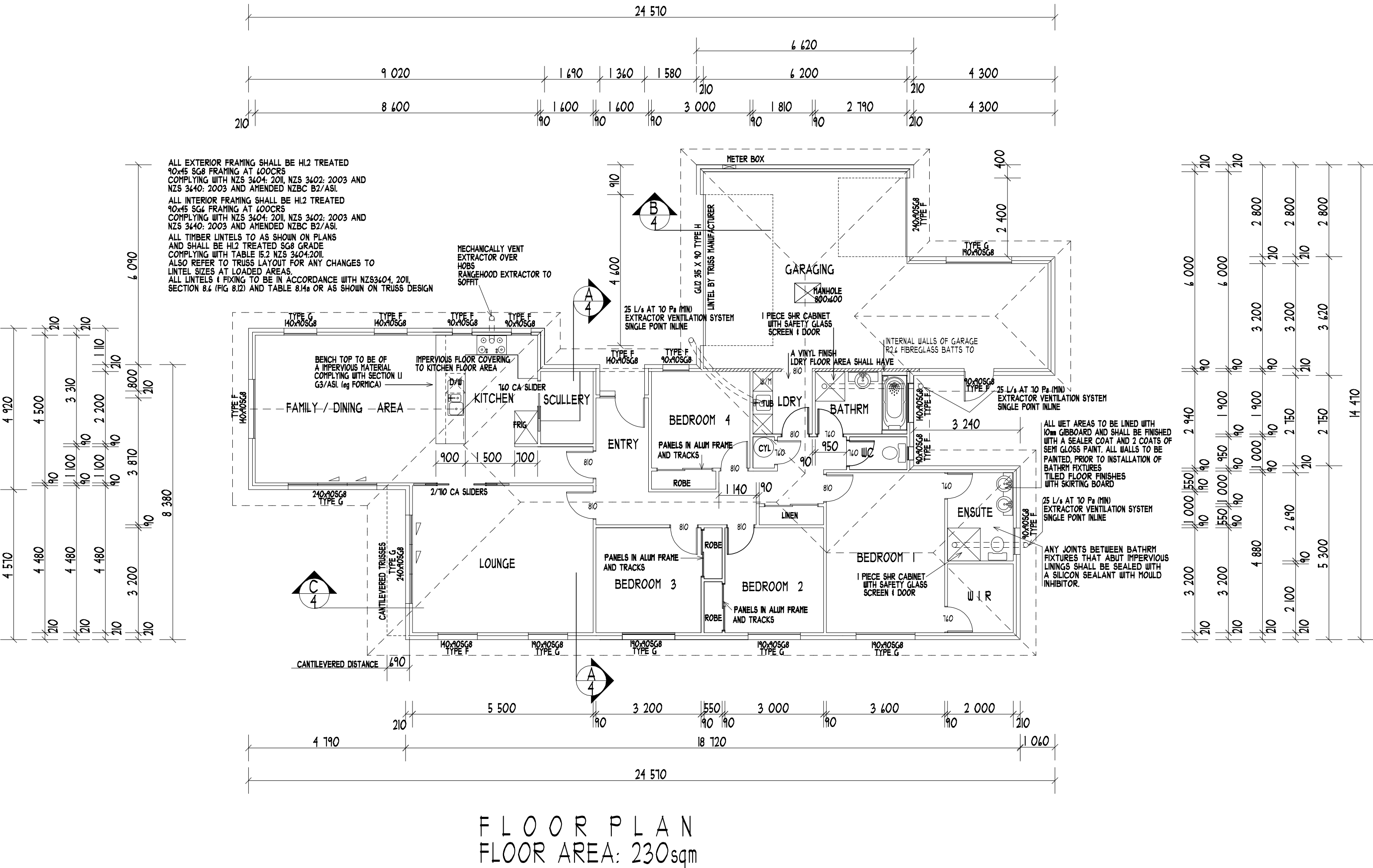
Shts :

Sht 1 of 7

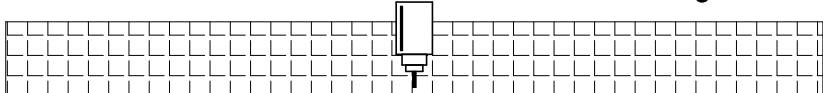
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MPD042

NOTE: ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE AND DURING CONSTRUCTION. ALL WORK TO COMPLY WITH RELEVANT CLAUSES OF THE N.Z.B.C 1992 AND N.Z.S 3604: 2011.



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42 HAPPY HOME ROAD-CHRISTCHURCH 8025
Phone (03) 338 1206
email: w.sheddan@clear.net.nz

PROPOSED RESIDENCE FOR LOT 291 DP496862 LAWRENCE DRIVE
ROLLESTON
FOR MAC PROPERTY DEVELOPMENTS

FLOOR PLAN

Date : Friday, 2 September, 2016

Scales : 1:100

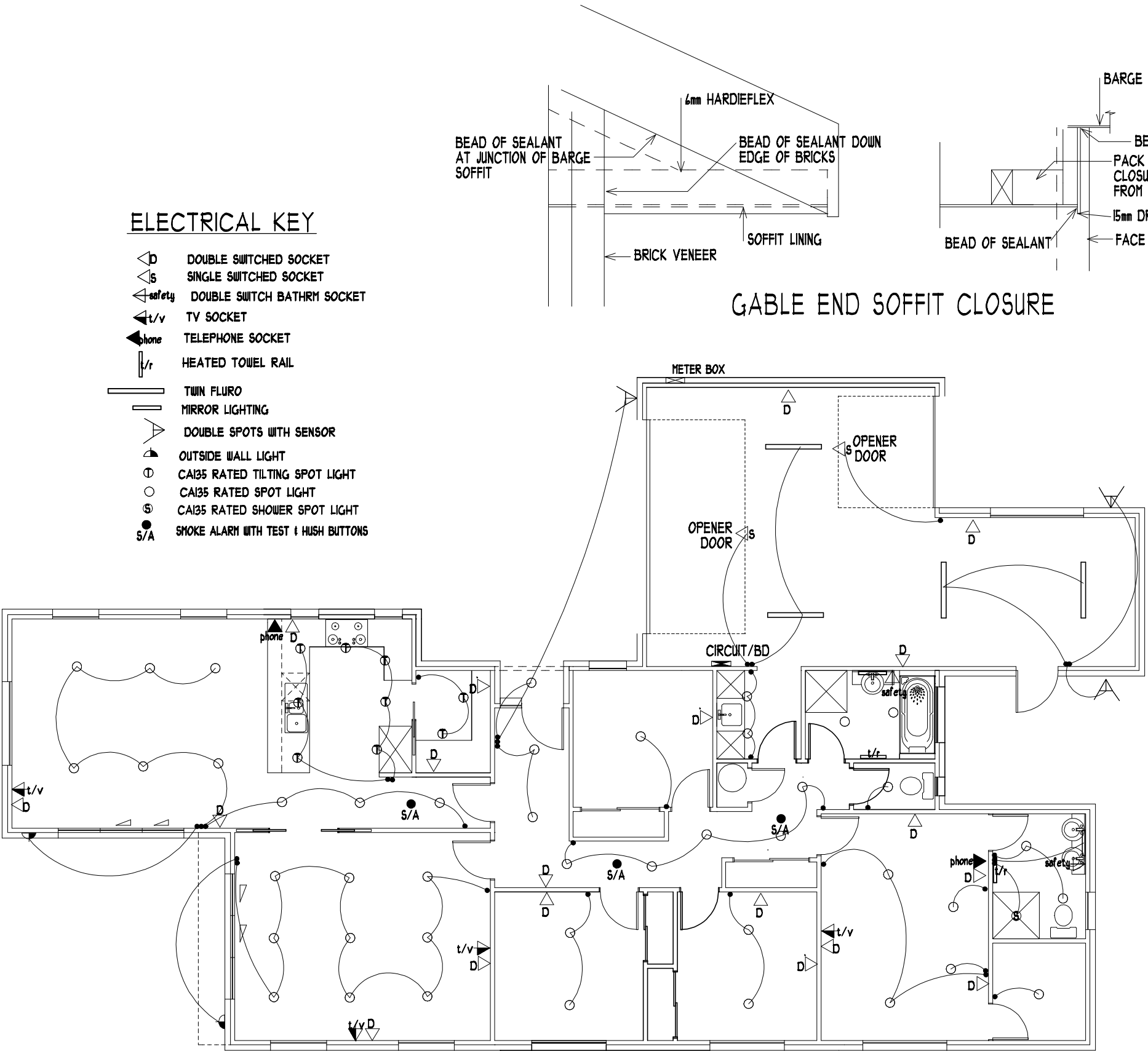
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Sht 2 of 7

Ref No :

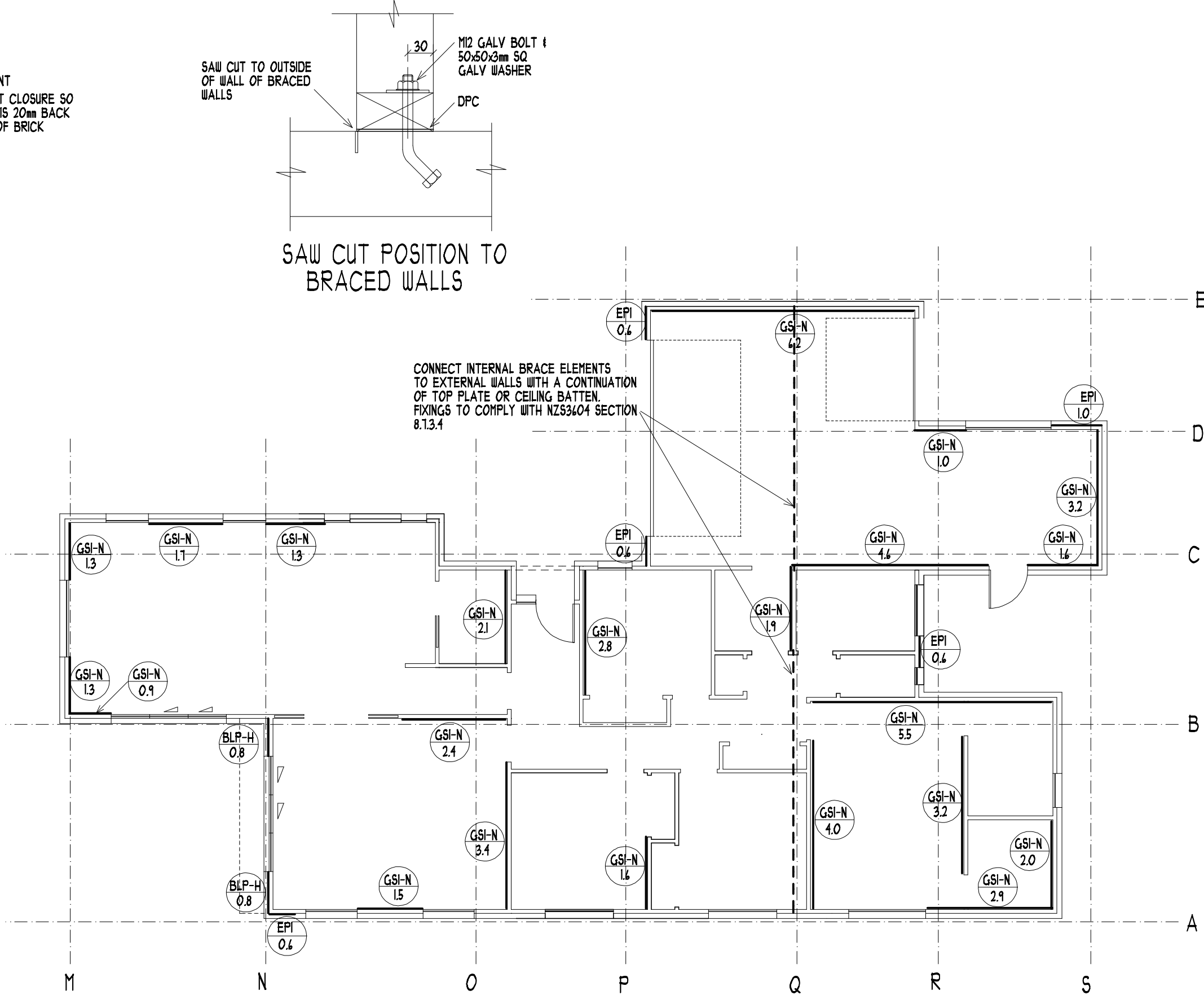
MPD042

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ELECTRICAL PLAN

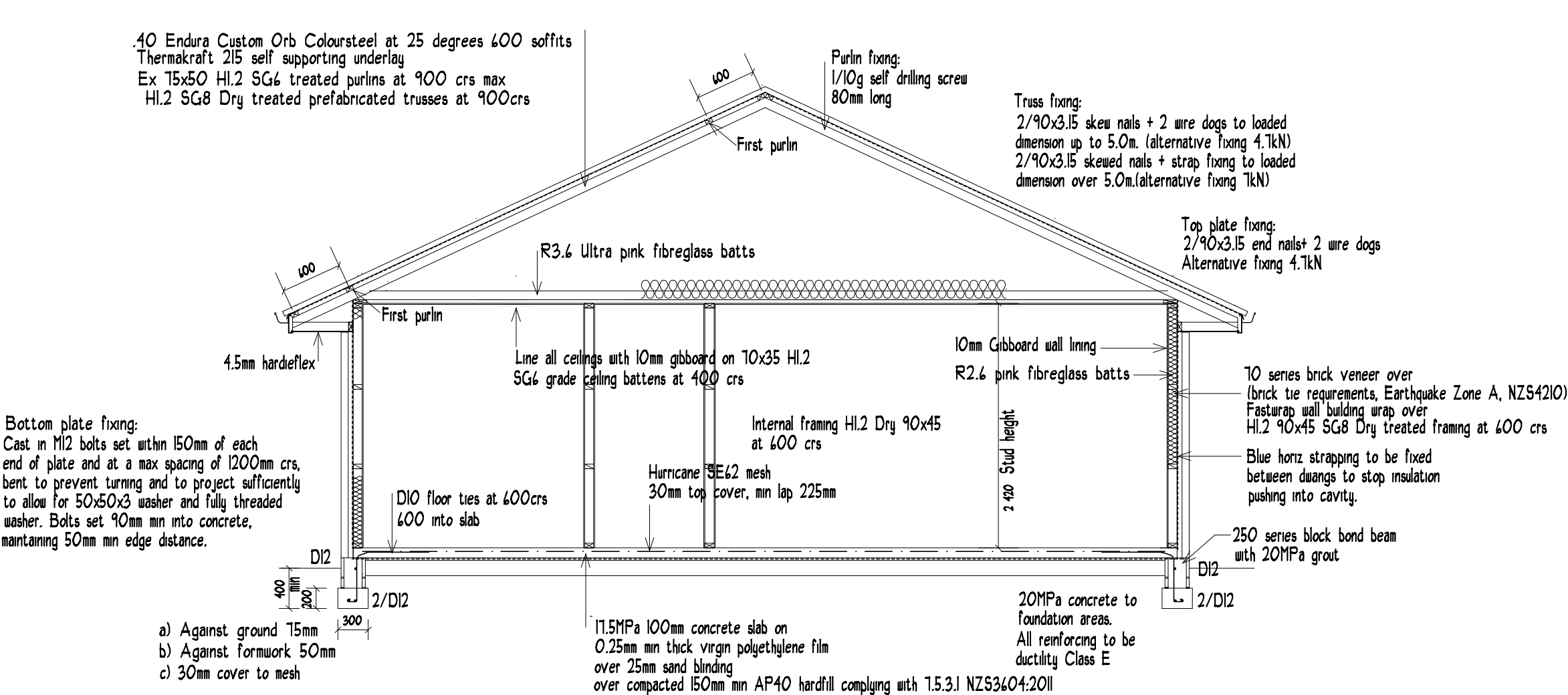
NOTES: -ALL ELECTRICAL WORK TO BE FINALIZED ON SITE WITH OWNERS
-ALL ARTIFICIAL LIGHTING WILL COMPLY WITH THE REQUIREMENTS OF G8.
-ALL DOWNLIGHTS TO BE COMPLIANT WITH ELECTRICAL SAFETY REGULATIONS 2010.



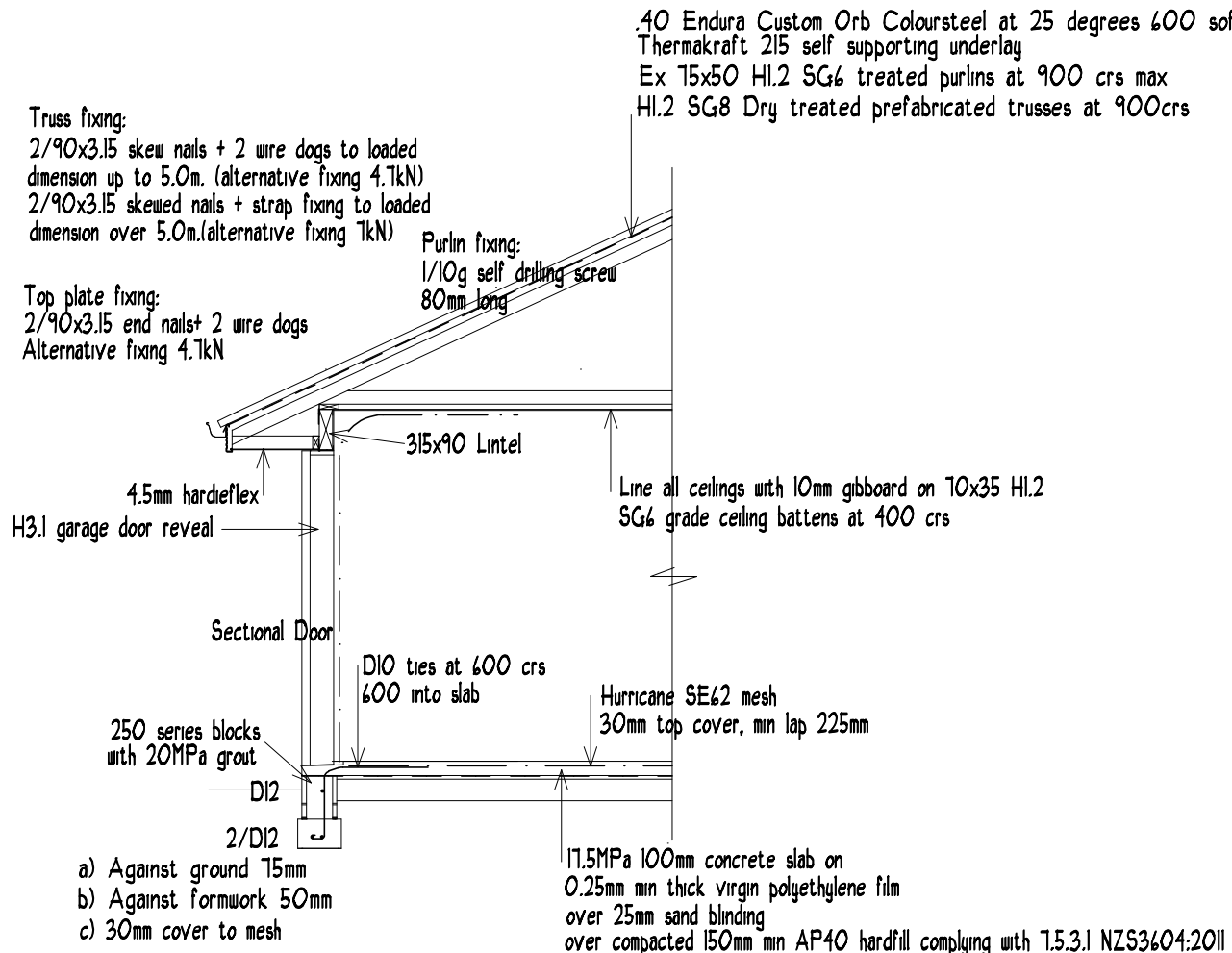
BRACING PLAN

-GIB BRACING SYSTEMS TO BE FIXED AS DETAILED IN GIB EzyBracing SYSTEMS MANUAL (JUNE 2011), VIEW ON www.gib.co.nz
-ALL EXTERIOR PLY BRACING TO BE CARTER HOLT HARVEY 7mm H3 ECOPLY PLYBRACE. ALL BRACING SHEETS SHOWN SHALL BE FIXED AS DETAILED IN STRUCTURAL PLYWOOD PROPERTIES & APPLICATIONS MANUAL (MARCH 2014), OR VIEW ON www.ecoply.co.nz. ALL FIXINGS TO BE GALV

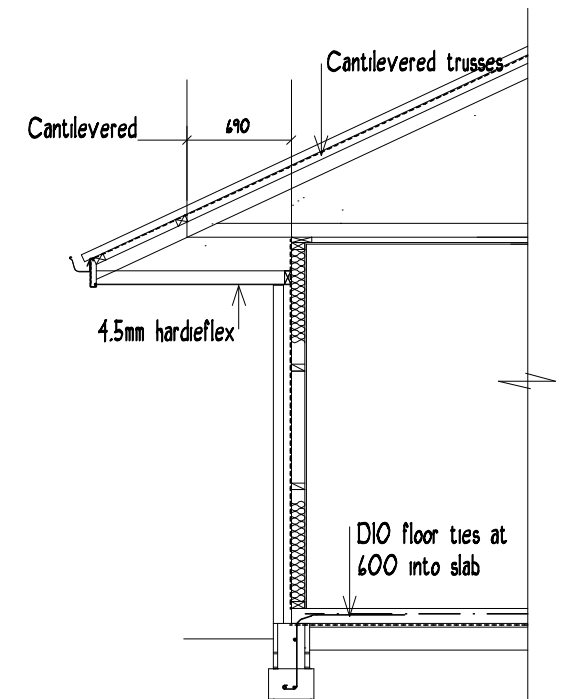
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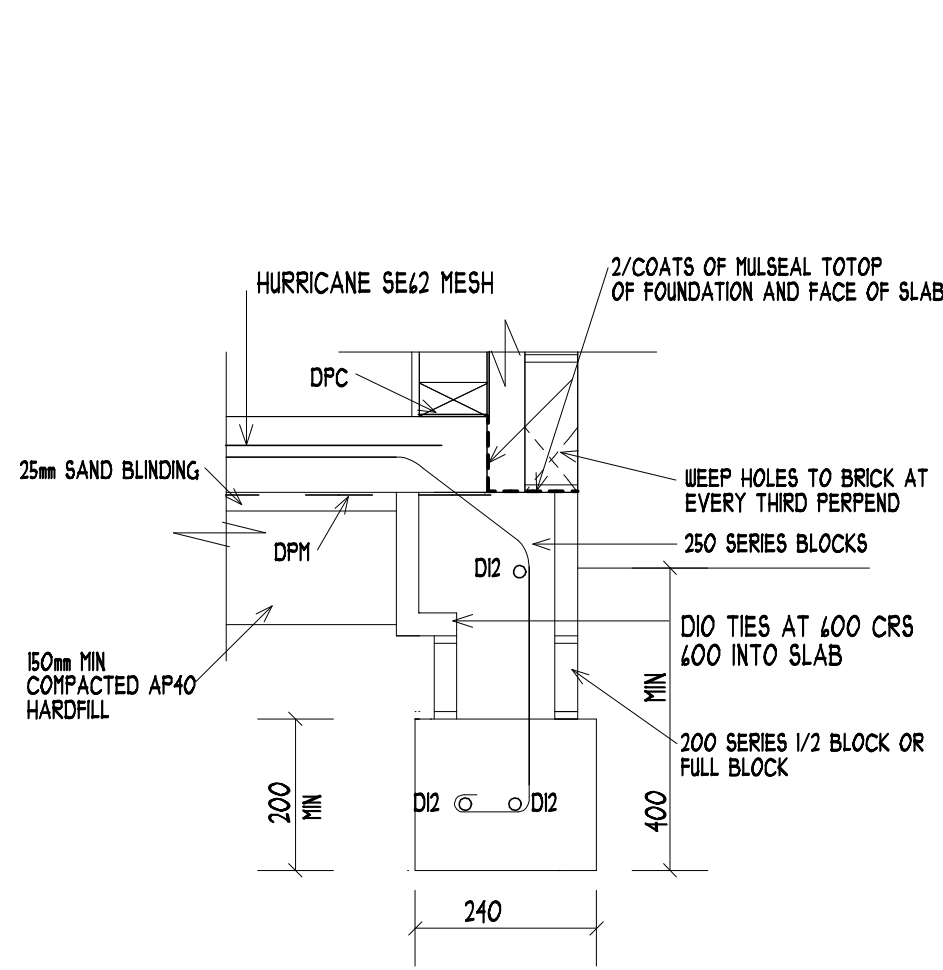
CROSS SECTION A-A



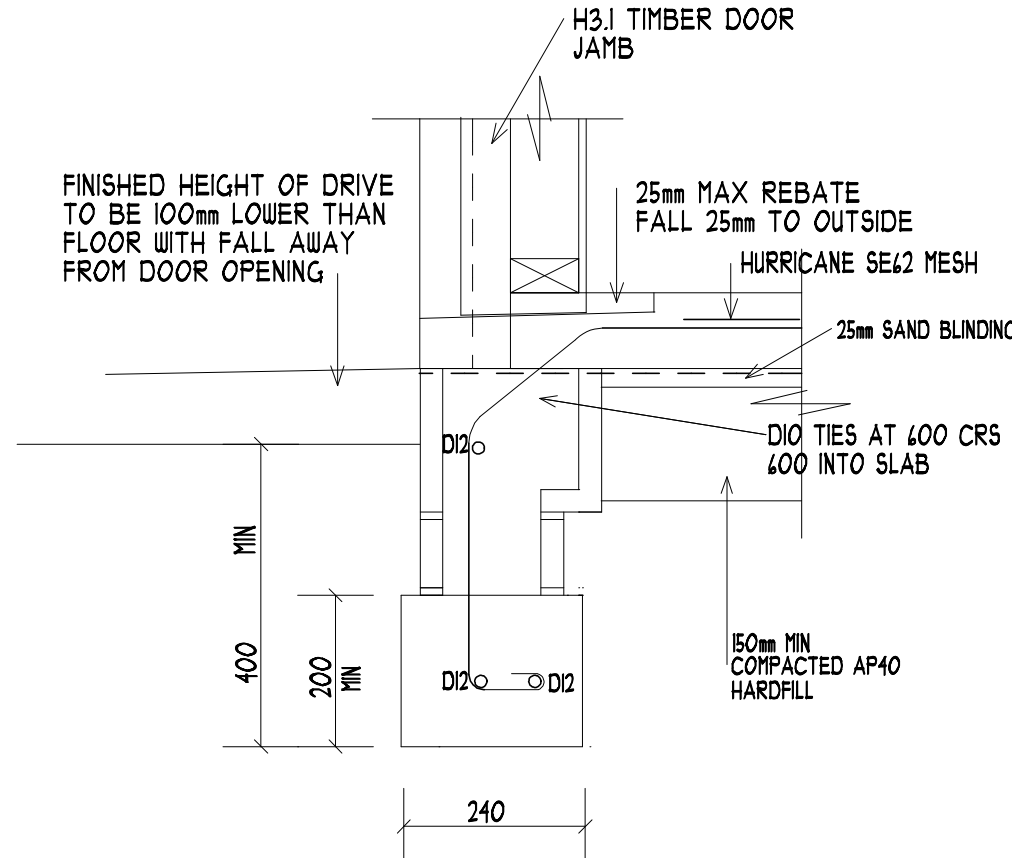
SECTION B



SECTION C

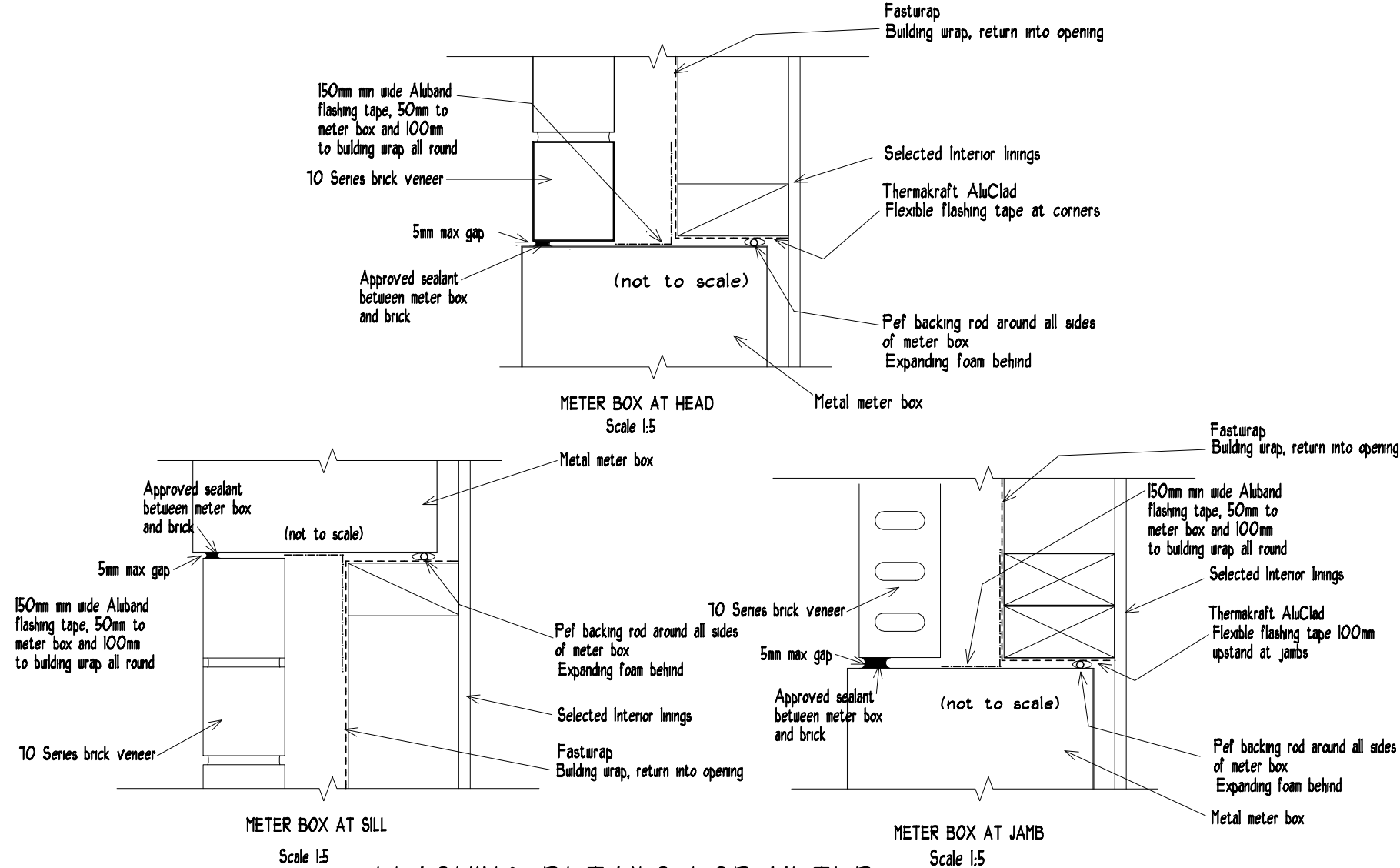


TYPICAL FOUNDATION



GARAGE DR REBATE DETAIL

NOTE: REFER TO SELECTED MANUFACTURERS SECTIONAL DOOR SPECIFICATIONS FOR REBATE WIDTHS ETC



FLASHING DETAILS FOR METER BOX TO BRICK VENEER

MASONRY OPENING COMPLYING WITH E2/AS1 SECTION 9.2.9

Warren Sheddan - Architectural Designer

42 HAPPY HOME ROAD-CHRISTCHURCH 8025

Phone (03) 338 1206

email: w.sheddan@clear.net.nz

PROPOSED RESIDENCE FOR LOT 291 DP496862 LAWRENCE DRIVE
ROLLESTON
FOR MAC PROPERTY DEVELOPMENTS

CROSS SECTION A-A
SECTION B
FOUNDATION DETAILS
METER BOX DETAIL

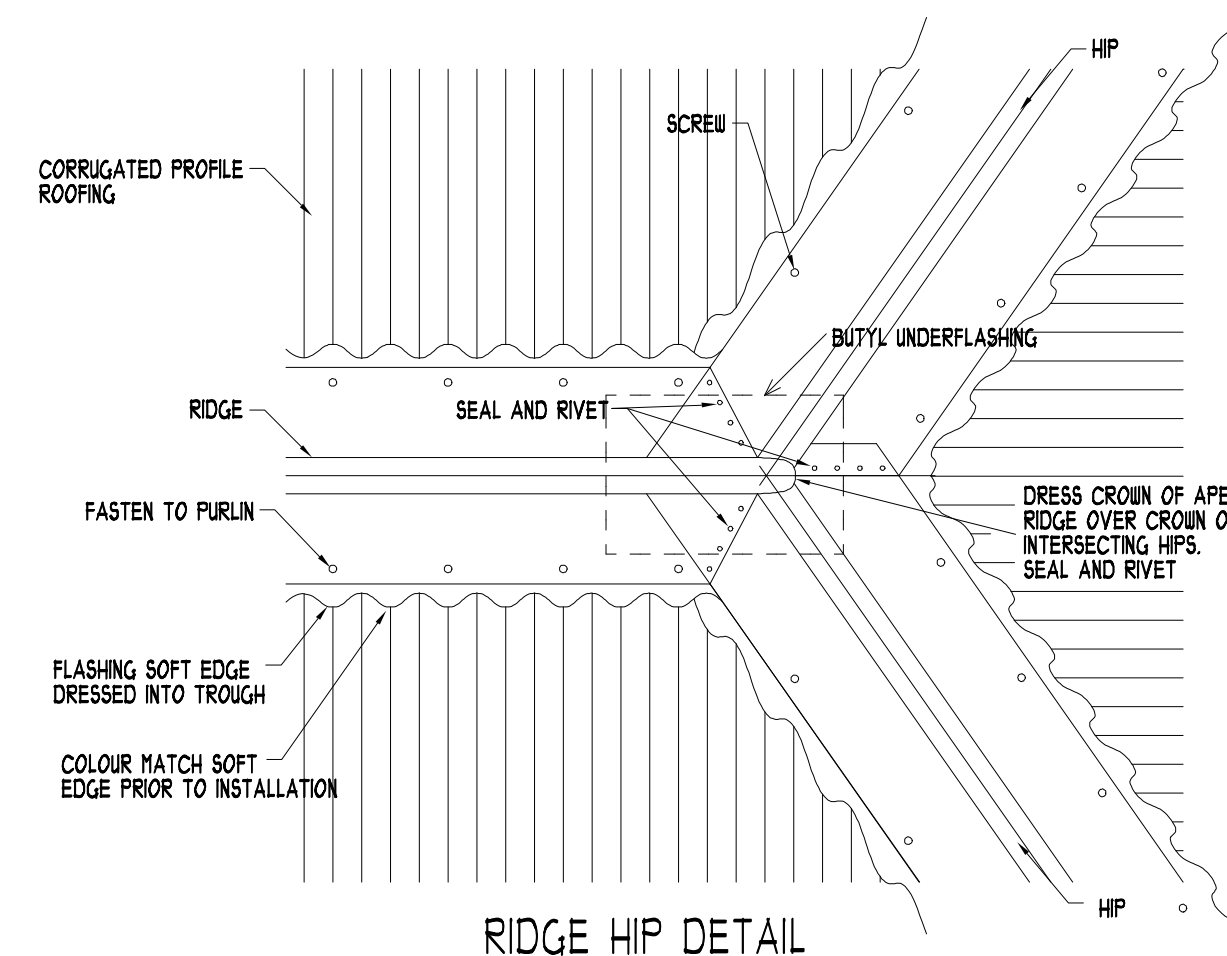
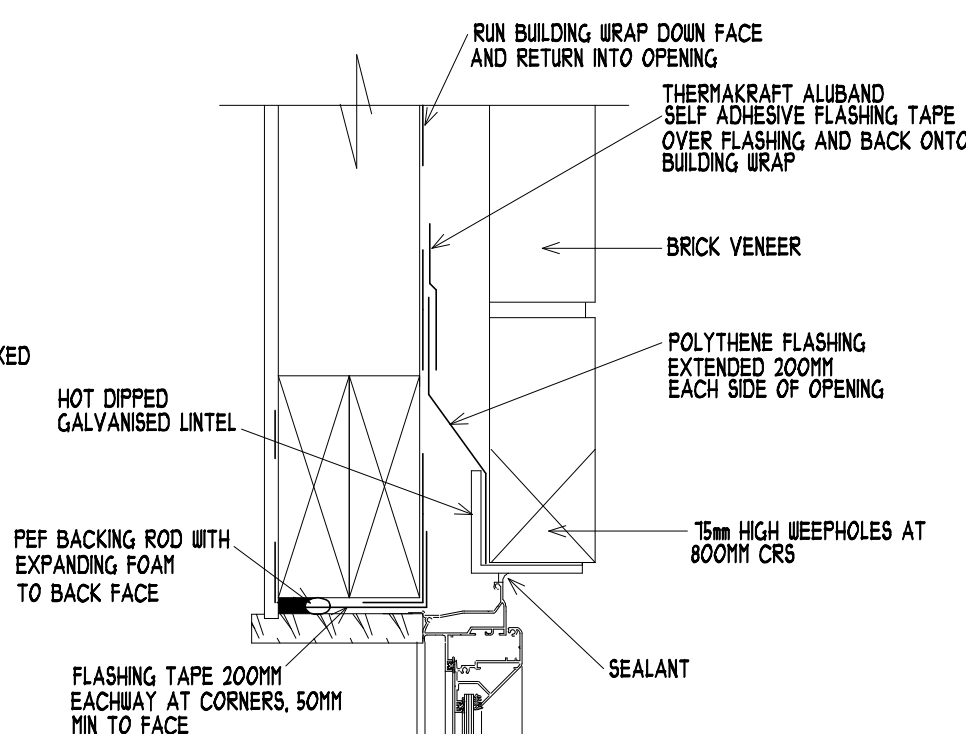
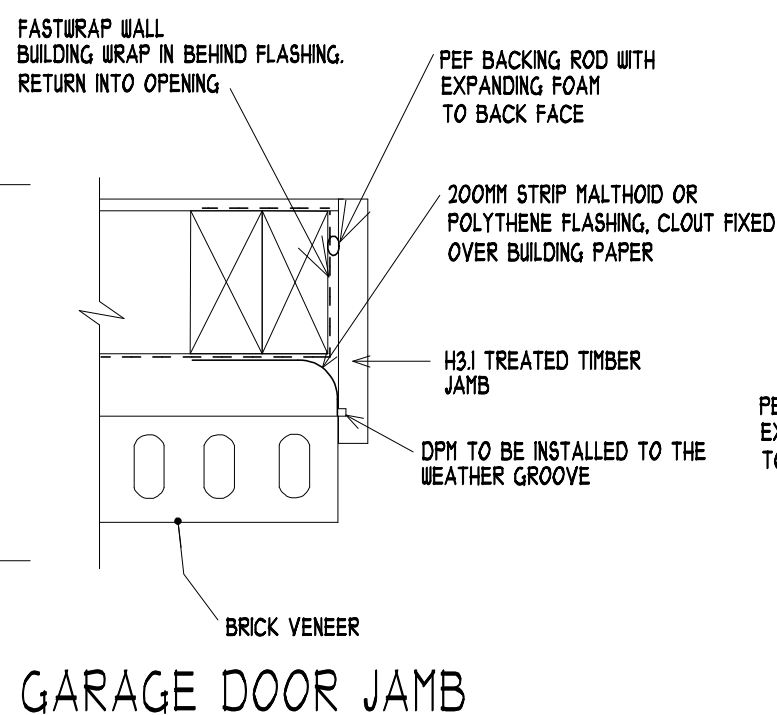
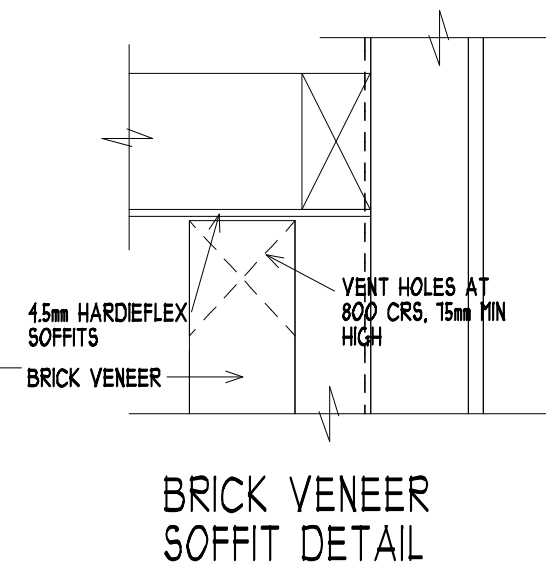
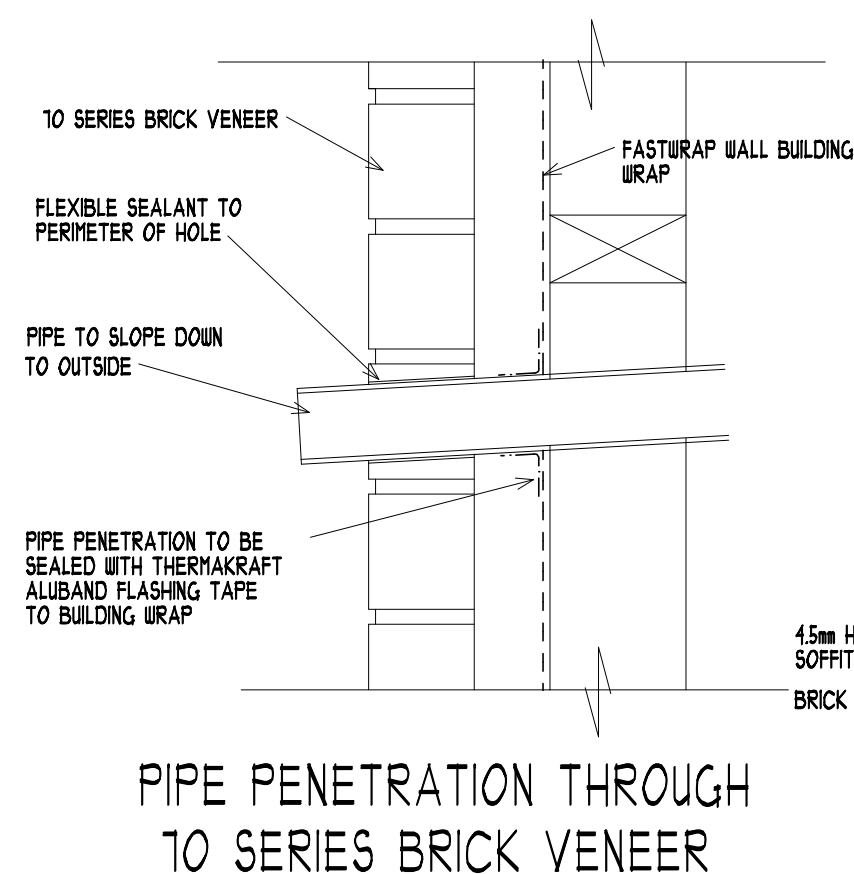
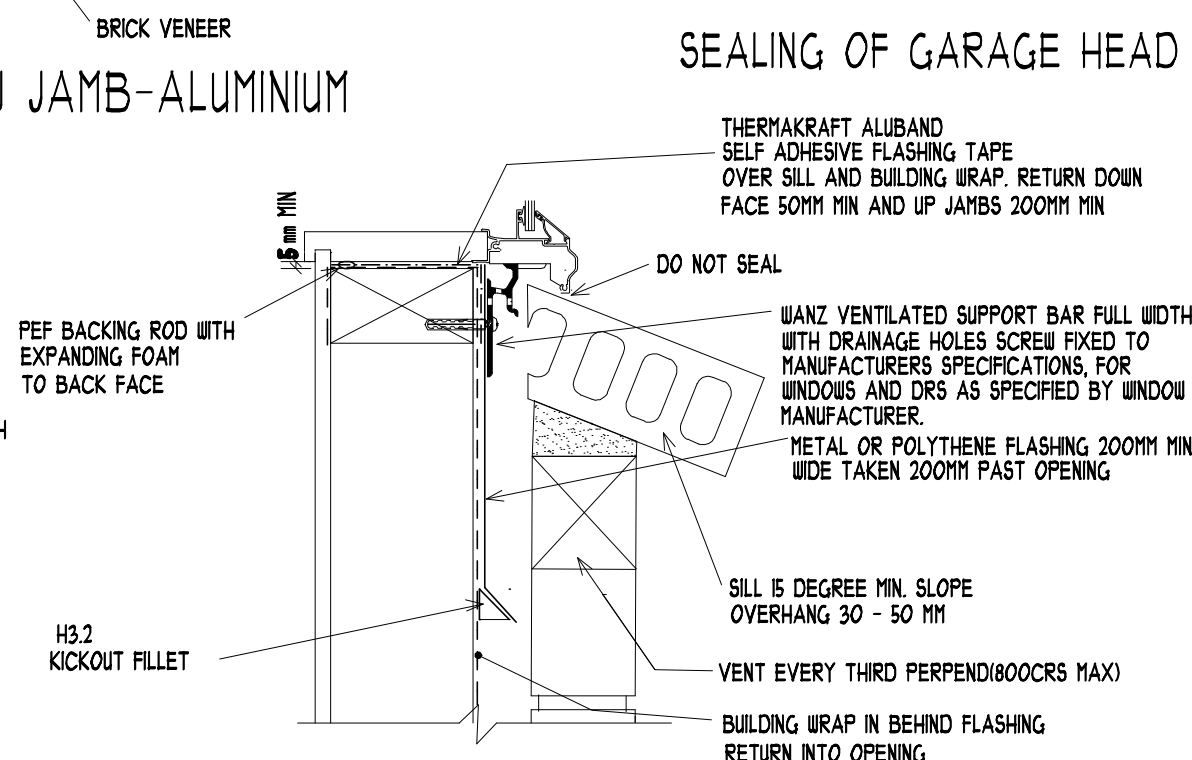
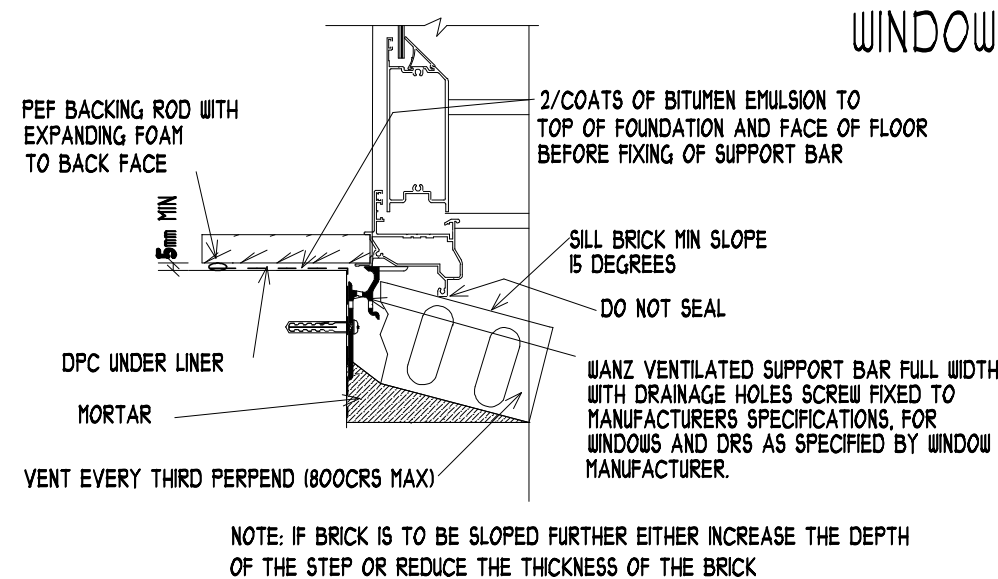
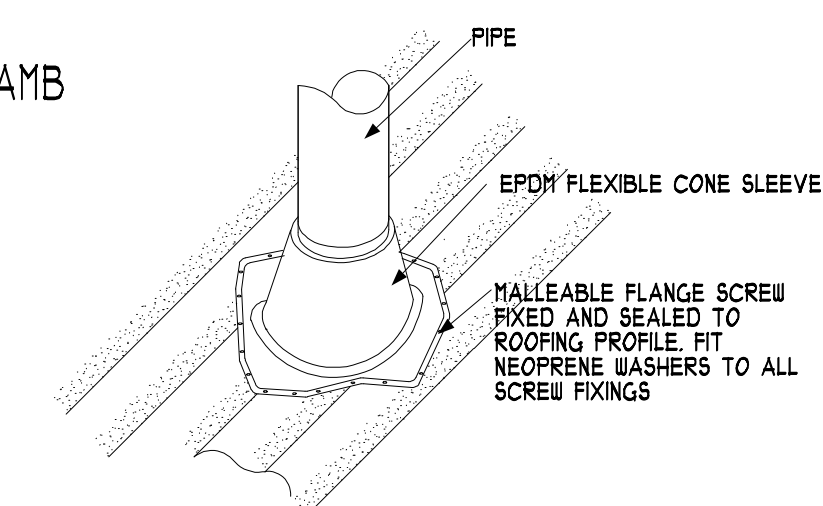
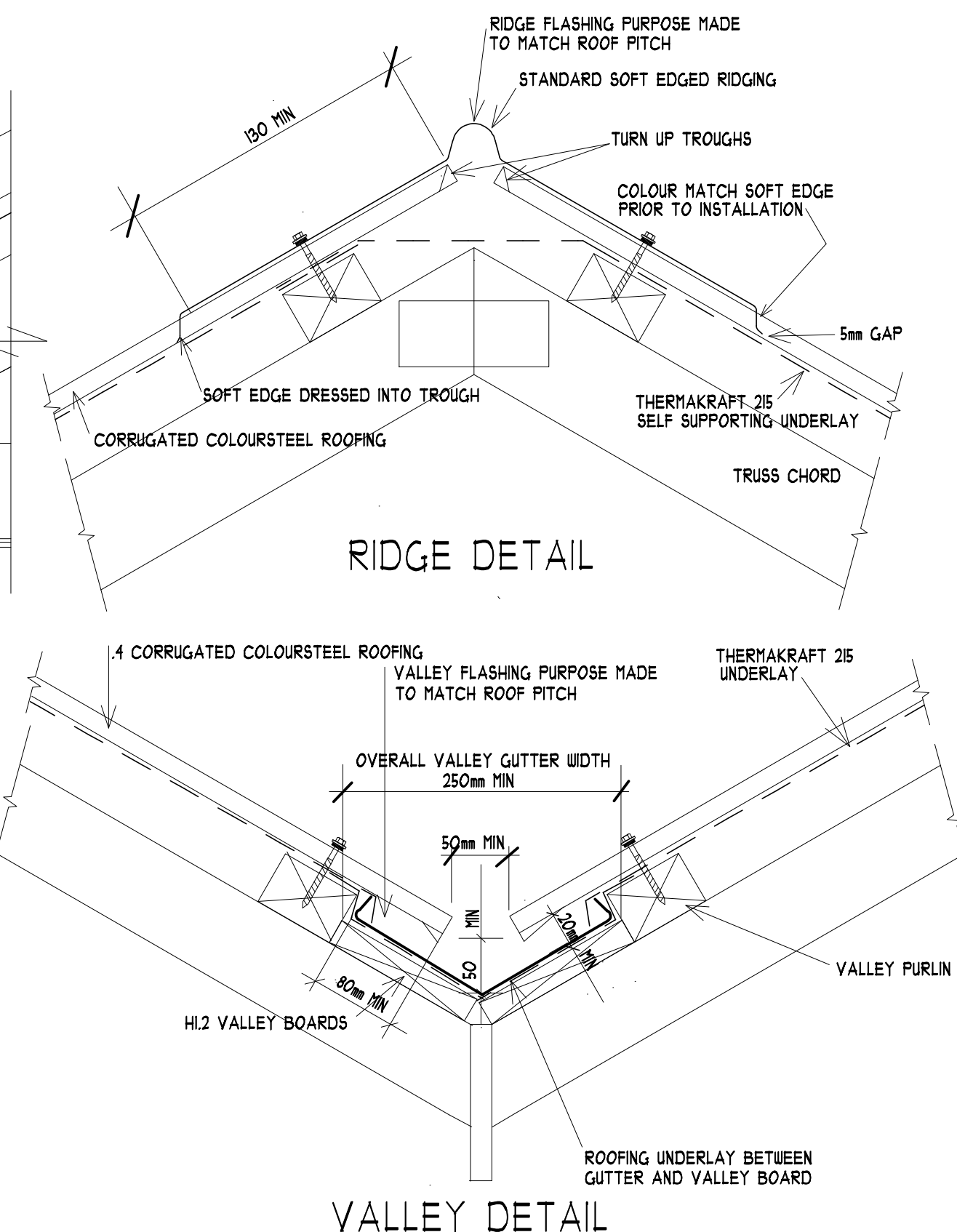
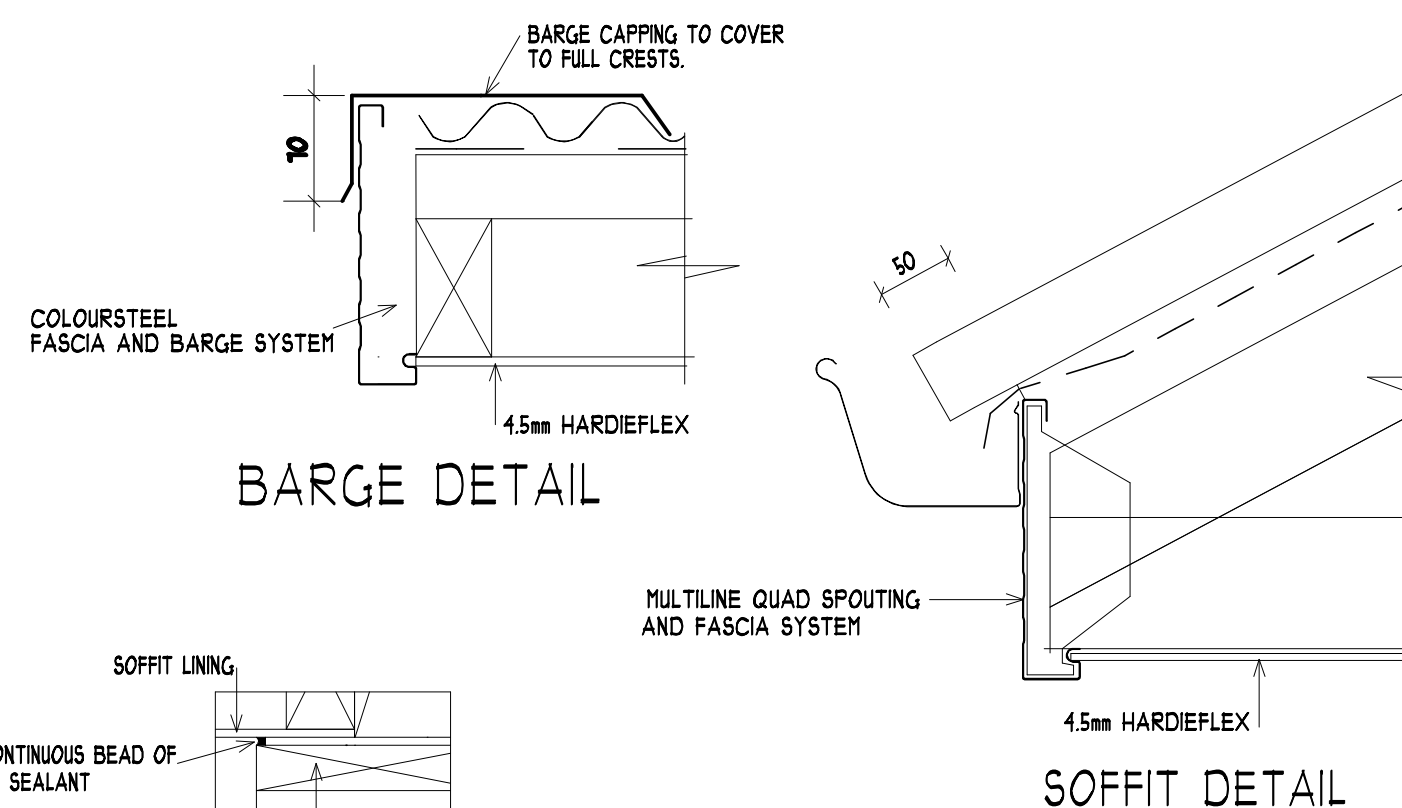
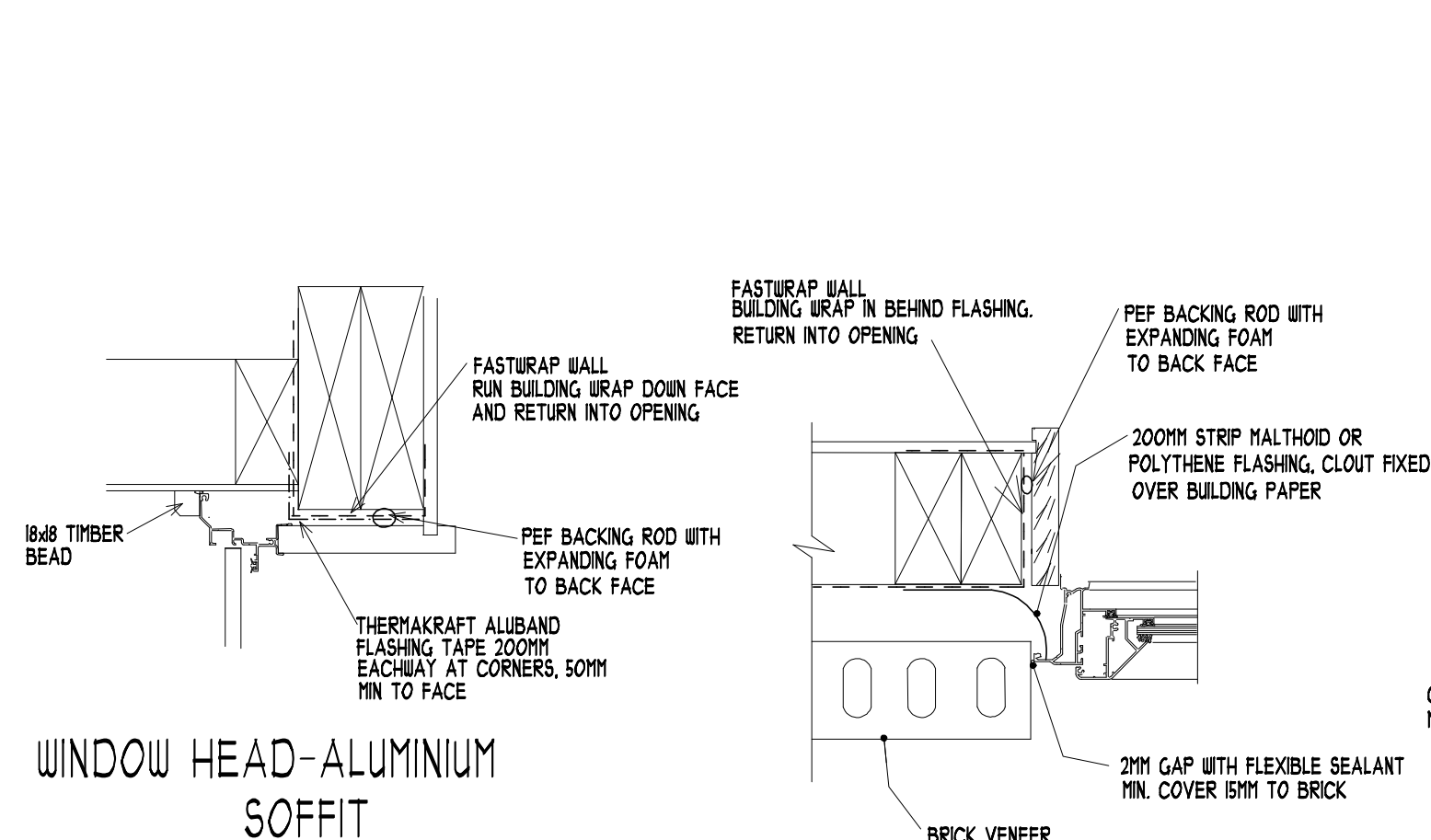
Date : Friday, 2 September, 2016

Scales : 1:50 1:10 1:5

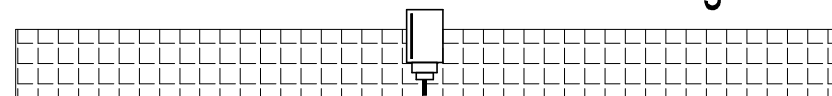
Shts: Sht 4 of 7

Ref No : MPD042

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Warren Sheddan - Architectural Designer



42 HAPPY HOME ROAD-CHRISTCHURCH 8025
Phone (03) 338 1206
email: w.sheddan@clear.net.nz

PROPOSED RESIDENCE FOR LOT 291 DP496862 LAWRENCE DRIVE
ROLLESTON
FOR MAC PROPERTY DEVELOPMENTS

BRICK DETAILS
ROOFING DETAILS

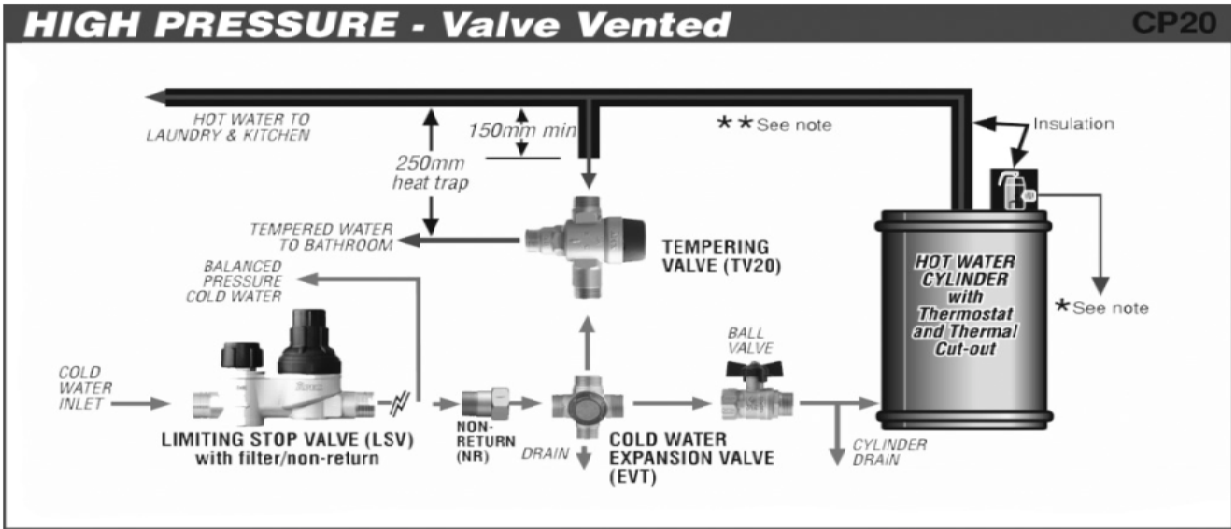
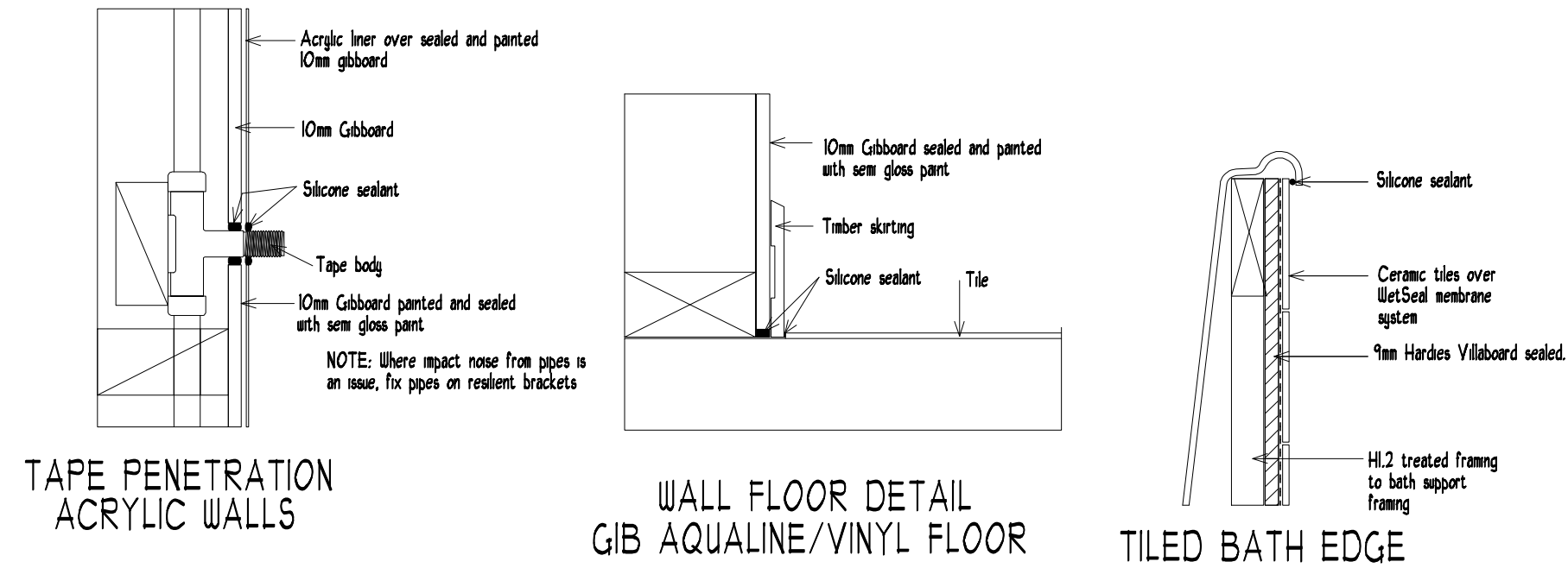
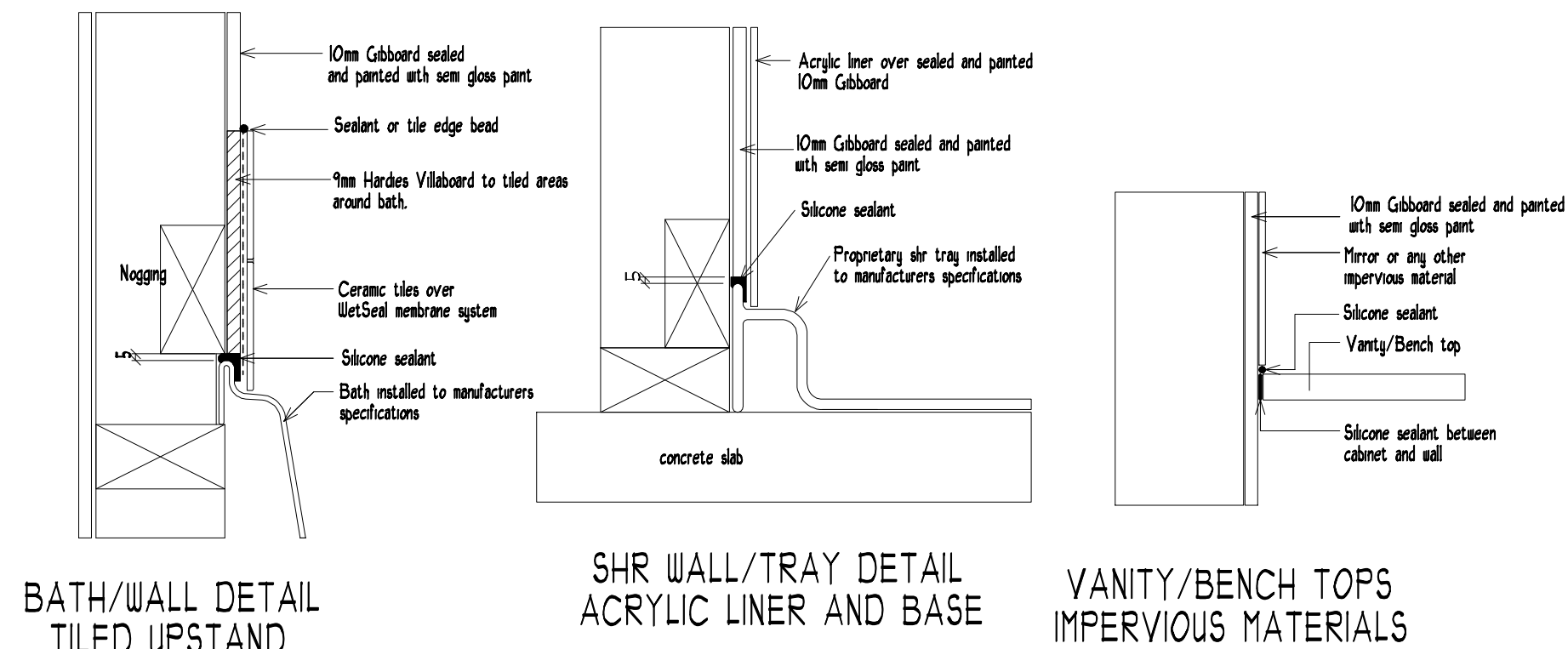
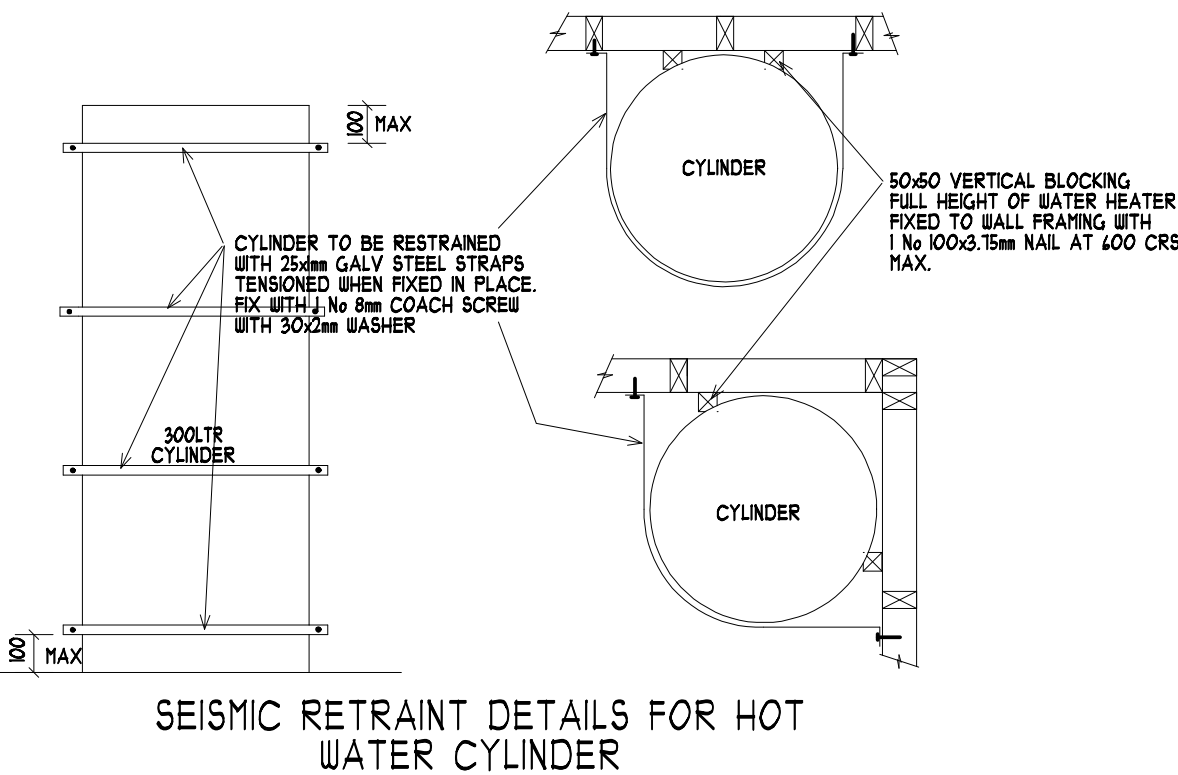
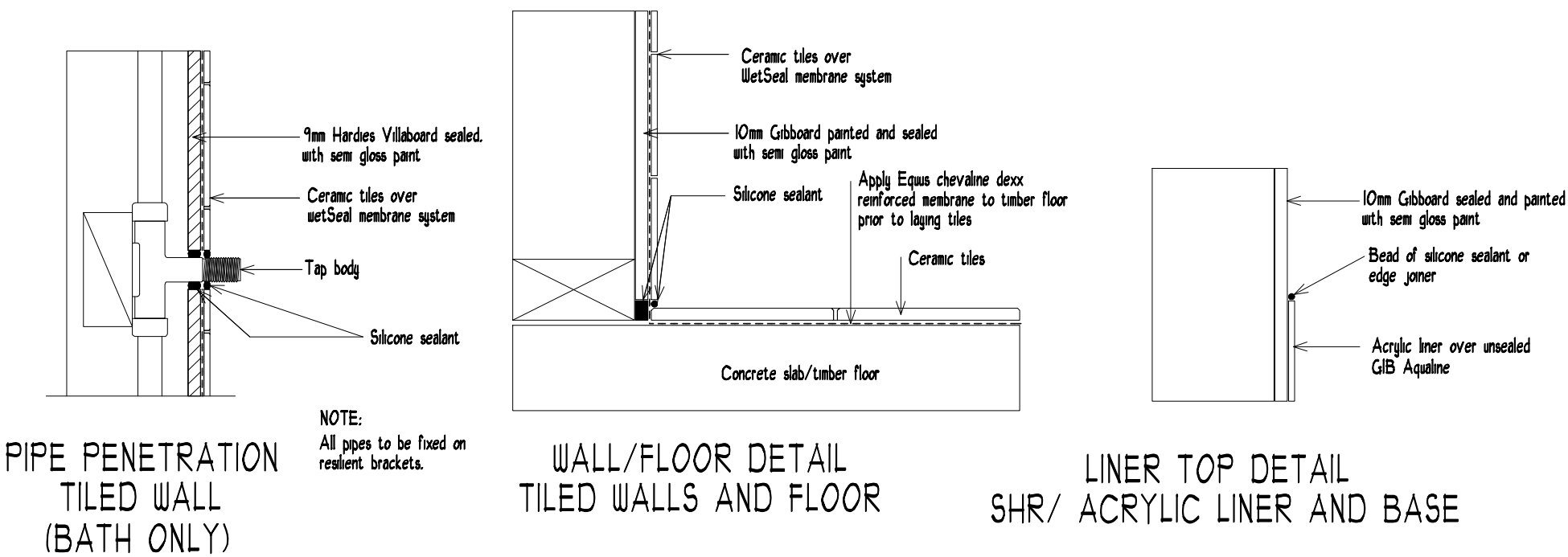
Date : Friday, 2 September, 2016

Scales : 1:5

Shts :
Sht 5 of 7

Ref No : MPD042

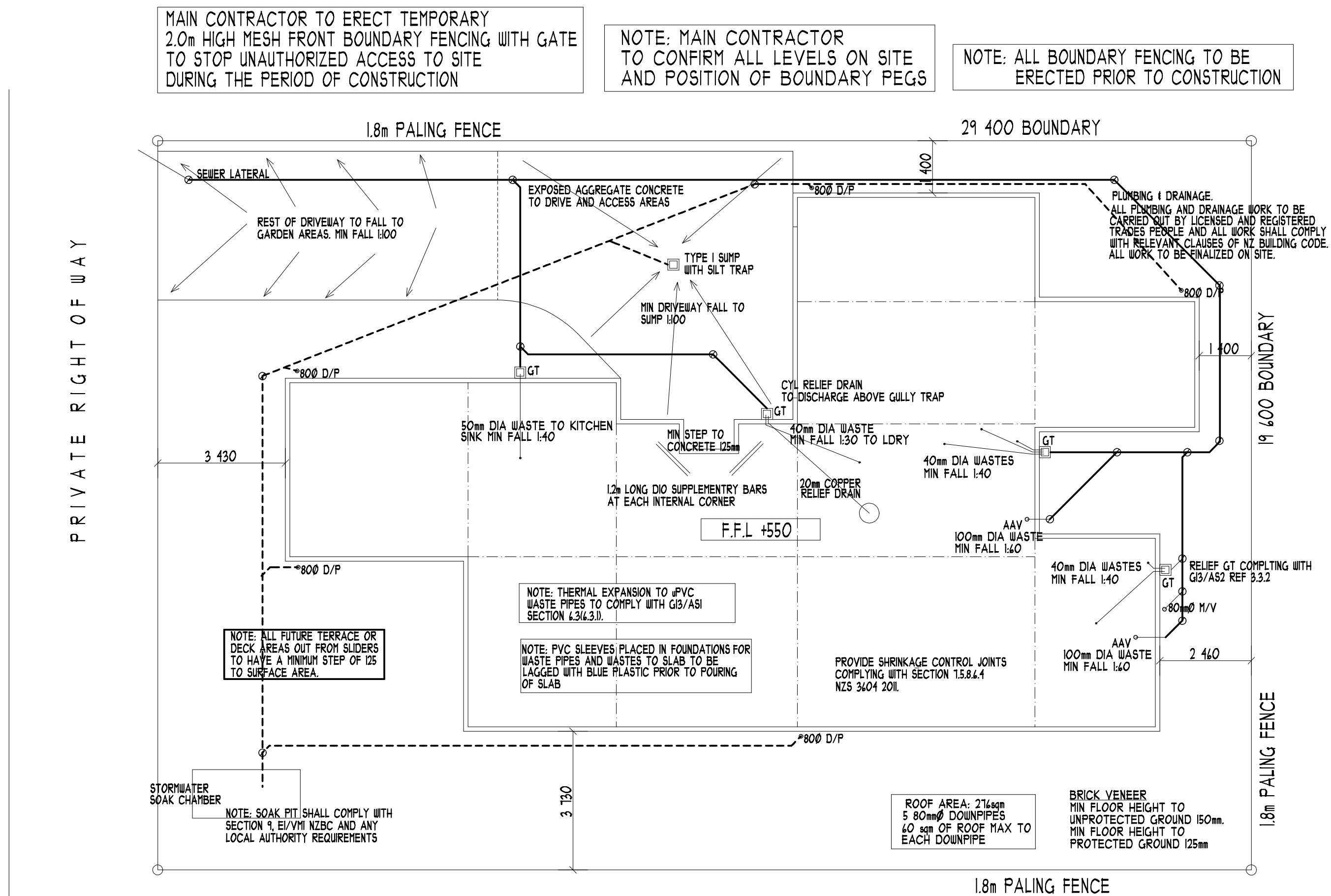
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VALVE TRAIN DETAILS

Warren Sheddan - Architectural Designer  42 HAPPY HOME ROAD-CHRISTCHURCH 8025 Phone (03) 338 1206 email: w.sheddan@clear.net.nz	PROPOSED RESIDENCE FOR LOT 291 DP496862 LAWRENCE DRIVE ROLLESTON FOR MAC PROPERTY DEVELOPMENTS	WET AREA DETAILS CYLINDER RESTRAINT VALVE TRAIN DETAILS	Date : Friday, 2 September, 2016	
			Scales : 1:5 1:20	
			Shts: Sht 6 of 7	Ref No : MPD042

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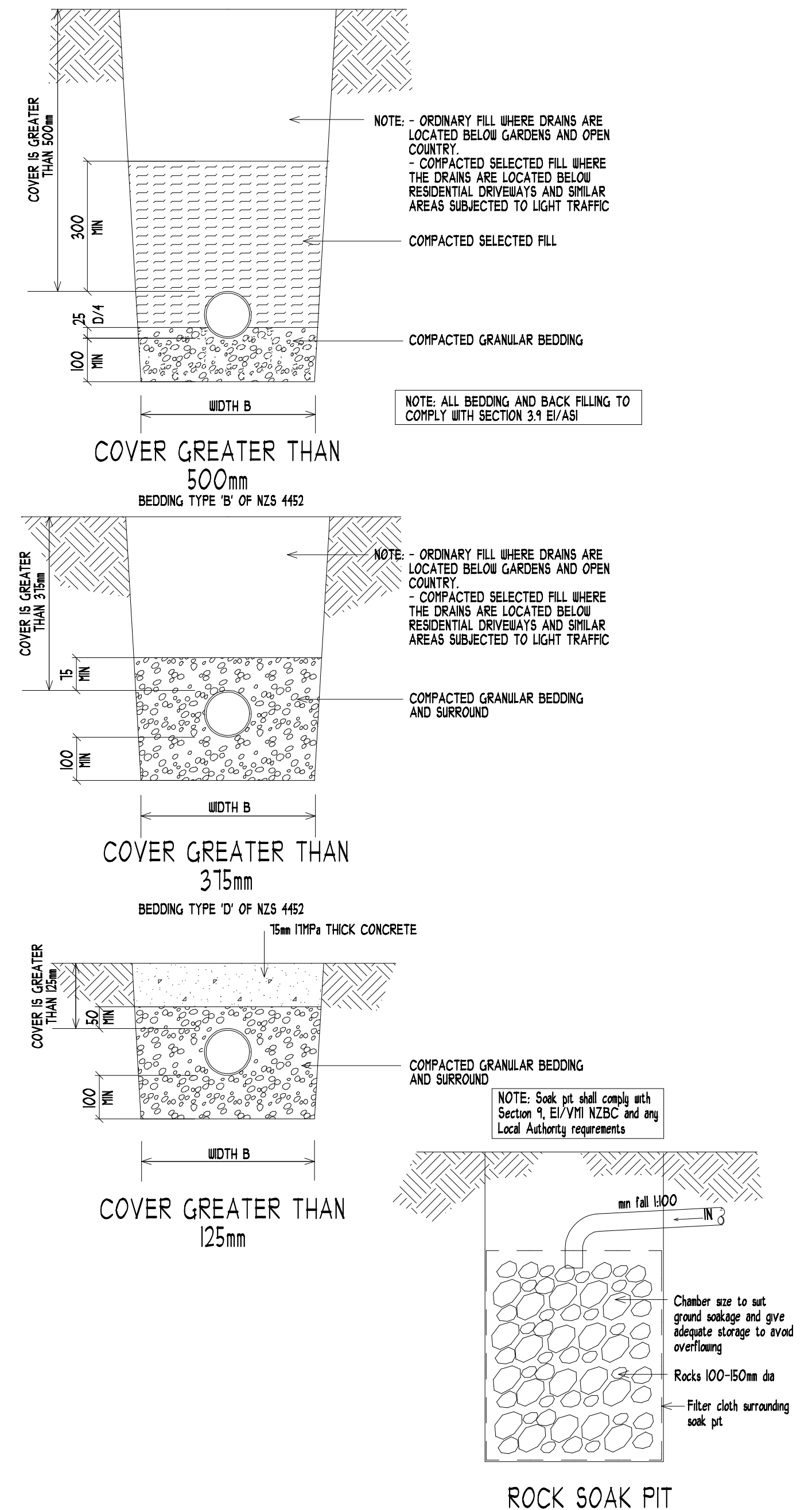


LEGAL DESCRIPTION:
LOT 291 DP496862
NETT AREA: 516sqm
FLOOR AREA: 230sqm
COVERAGE: 40%

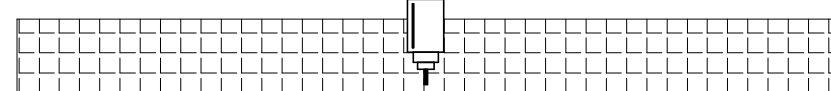
SITE KEY:

	100mm uPVC SEWER LINE MIN FALL 1:100
	100mm uPVC S/WATER LINE MIN FALL 1:100
	INSPECTION (ACCESS) POINTS
	EXISTING SITE LEVELS

S I T E / D R A I N A G E / F O U N D A T I O N P L A N



Warren Sheddan - Architectural Designer



42 HAPPY HOME ROAD-CHRISTCHURCH 8025
Phone (03) 338 1206
email: w.sheddan@clear.net.nz

PROPOSED RESIDENCE FOR LOT 291 DP49862 LAWRENCE DRIVE
ROLLESTON
FOR MAC PROPERTY DEVELOPMENTS

SITE AND DRAINAGE PLAN

DRAIN DETAILS

SOAK HOLE DETAIL

Date : Friday, 2 September, 2016

Scales : 1:100 1:25 1:10

Shts:	Ref No :
Sht 1 of 1	MPD042