



RECEIVED
 WANGANUI DISTRICT COUNCIL

129 MAY 2006

APPLICATION FOR

- PROJECT INFORMATION MEMORANDUM AND/OR
 BUILDING CONSENT OR
 ALTERATION TO EXISTING BUILDING CONSENT

(Please tick appropriate box)

Building Consent or PIM No:

06/0839

Section 32 or Section 45, Building Act 2004

The Building Street Address: 10 RIMU ST		The Owner Owners Name: M ^{rs} POWER Contact Person: DAVID Mailing Address: 10 RIMU ST WNG	
Legal Description: Lot: _____ DP: _____		Street Address: _____ (Registered Office)	
WDC Property No: _____ Building Name: _____ (if applicable)		Phone: 3446885 Mobile: _____ Fax: _____ Afterhours: _____ Email: _____ Website: _____	
Level/Unit No: _____ (if applicable) Area: _____ m ² Current Use: _____ Year first constructed: _____ (if applicable/or approx, year)		Contact Person Name: _____ Phone: _____ Mobile: _____ Fax: _____ Afterhours: _____ Email: _____ Website: _____ Relationship to Owner: _____ First Point of Contact: The Owner (please circle one) <u>The Agent</u>	
Agent (please fill in if owner not applying) Name: DAVID TEMPERTON Mailing Address: 4 TAWMOROS WNG Street Address: _____			
The Project Description of Building Work: S/W SEPARATION			
Will the building result in a change of use: YES <u>NO</u> (please circle one) If yes, please provide details of new use: _____			
Intended life of the building if less than 50 years: _____ Building Consent Numbers of those building consents previously issued for this project (staged project): _____			
Estimated value of building work including GST \$: 1095.00			
The information provided will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising			

PTO

The following evidence of ownership is attached to this application: Please tick those that are applicable

- 1. Certificate of Title
- 2. Lease Agreement
- 3. Agreement for Sale and Purchase
- 4. Other... (please give details)

Signature of owner/agent on behalf of and with authority of the owner - (please delete one)

[Handwritten Signature]

Dated: 26-5-06

Consent Fee to be paid by: (please circle one)

Owner Builder Plumber Designer Agent

Code Compliance Certificate to be sent to: owner

Project Information Memorandum

The following matters are involved in the project: (please tick the appropriate project)

- | | |
|--|---|
| <input type="checkbox"/> Subdivision | <input type="checkbox"/> Alterations to land contours |
| <input type="checkbox"/> New or altered connections to public utilities | <input type="checkbox"/> New or altered locations and/or external dimensions of buildings |
| <input type="checkbox"/> New or altered access for vehicles | <input type="checkbox"/> Building work over or adjacent to any road or public place |
| <input checked="" type="checkbox"/> Disposal of stormwater and waste water | <input type="checkbox"/> Building work over existing drains or sewers or in close proximity to wells or water mains |
| <input type="checkbox"/> Other matters known to the applicant that may require authorisation from the Territorial Authority as listed below: | |
| <input type="checkbox"/> | <input type="checkbox"/> |

Attachments

The following documents are attached to this application: (please tick those that are applicable)

- | | |
|---|--|
| <input type="checkbox"/> Plans and Specifications | <input type="checkbox"/> Development Contribution Notice |
| <input type="checkbox"/> Project Information Memorandum | <input type="checkbox"/> Certificate attached to PIM |
| <input type="checkbox"/> Copies of other Authorisations | <input type="checkbox"/> Producer Statement |
| <input type="checkbox"/> Truss Layout plan | <input type="checkbox"/> Fire Design Analysis |
| <input type="checkbox"/> Other (provide details): | <input type="checkbox"/> Other (provide details): |

Please give Building Consent details

The following plans and specifications are attached to this application (all plans and specifications must meet the minimum requirements set out in the regulations or required by the building consent authority):

[Please schedule pages/documents supplied] 27 COPIES

Cont'd

Compliance Schedule

(please tick one of the appropriate boxes):

- The specified systems and features for this building are as follows:
- The following specified systems and features are being altered, added to, or removed in the course of the building work:
- There are no specified or features in this building:


Designer:	Name: Address: Phone: Mobile: Fax: Email:
Builder:	Name: Address: Phone: Mobile: Fax: Email:
Craftsman Plumber:	Name: Licence No: Address: Phone: Mobile: Fax: Email:
Registered Drainlayer:	Name: DAVID TEMPERLEY Licence No: 16973 Address: 4 LAWRENCE ST WING Phone: Mobile: 027 6137877 Fax: Email:
Electrician:	Name: Licence No: Address: Phone: Mobile: Fax: Email:
Other:	Name: Address: Phone: Mobile: Fax: Email:

OFFICE USE ONLY

BCA		Fees	\$
Date application received:		Building Consent Application	
Receiving Officer:		Building Consent Issue	
Receipt No:		PIM	
Date of receipt:		Building Levy (DBH)	
		BRANZ Levy	
		Stormwater Connection	
		Vehicle Crossing	
		Sewer Connection	
		Water Connection	
		- Fordell Connection (application chge)	
		Development contribution levy	
		NZFS Alternative Solution	
		Resource Consent	
		Relocation Bond	
		Other	
		Total:	\$

Processing							
Unit	Checks				Inspections No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	<i>JK</i>	<i>30/02</i>					
Planning							
Fire Design (referred to NZFS)							
Building							
Drainage (utilities)							
Water (utilities)							
Fordell Water Scheme (utilities)							
Structural							
Plumbing/Drainage							
Roading							
Health							
Dangerous Goods							

Approved for Issue of PIM/Building Consent

Approving Officer:  Date: 31 / 5 / 08

Notes:

Wanganui District Council

PO Box 637, Wanganui

Phone (06) 349-0001

Visit our Web Site www.wanganui.govt.nz

OFFICIAL RECEIPT

GST Reg No 51-668-324

29/05/2006

Receipt No: 171208

To Mrs C Power

<u>Type</u>	<u>Reference</u>	<u>Amount</u>
GL Receipt	ZPRECONSENT	\$377.50
S/Water 10 Rimu St		
Total:		\$377.50

Amounts Tendered :

Cheque	\$377.50
Total	\$377.50
Rounding	\$0.00
Change	\$0.00

Printed 29/05/2006 1:39:13 p.m.



PREPAID - TAX INVOICE

GST Number 51-668-324

Payers Name:

C Parker
10 Rimu St
Wanganui

For Building Consent:

Reference No:

Date:

YOUR APPLICATION WILL NOT BE PROCESSED UNLESS THE FEE IS PAID

Location of project

Description of project

Stamwater

10 Rimu Street

Reference	Details	Amount (Incl GST)
1.	Building Consent Project Type – application fee (see over)	\$ 377.50
2.	Resource Consent - deposit	
	• Land use - Non-Notified	\$
	• Subdivision - Notified	\$
3.	Other - Aerial photographs @ \$5.00 each	\$
	- Plan Searches @ \$5.00 each	\$
	- Rural Rapid Numbers (New) @ \$40.00 each	\$
	- Large Plan photocopying A2 @ \$4.00 each,	\$
	A0 – A1 @ \$6.00 each.	\$
	Total application fee/deposit	\$ 377.50

1000
0824

WHEN PAID THIS FORM WILL BE PART OF YOUR CONSENT APPLICATION AND MUST BE ATTACHED TO THE CONSENT APPLICATION BEFORE IT WILL BE PROCESSED.

PLEASE RETURN TO CUSTOMER SERVICES

Waikānui District Council



BUILDING CONSENT FEES – ESTIMATED COSTS

Effective from 1 April 2006

There are two fees to be Paid:

1. An Application Fee when the plans are submitted
(The Application Fee covers the administration costs and initial assessment of the plans).
2. A Consent Issue Fee when the consent is uplifted.
(The Consent Issue Fee is estimated to cover the balance of the charges, which may vary in total, depending upon the quality of the plans submitted and the number of inspections required). The Consent Issue Fee as shown is an estimate, and all figures include GST.

Please note: s.217 of the Building Act 2004 requires Council to make all the Building Consent information available to the public, as official information.

PROJECT TYPE	APPLICATION FEE	CONSENT ISSUE
PIM Project Information Memorandum	\$105 +	At cost
SIGNS Signage (temporary signs are \$35 only)	\$40 +	At cost
PDonly Stormwater Separation	\$40 +	At cost
1H Inbuilt Solid Fuel Heaters (total payable on application)*	\$235 +	NIL
2H Free Standing Solid Fuel Heaters (total payable on application)*	\$180 +	NIL
1A Ancillary Building Work (requiring only 1 inspection)- (valve vented cylinders \$100 full fee)	\$80 +	\$105
1AD Demolition (total payable on application)* +	\$200 +	NIL
1S Solar Hot Water Heating Installation (requiring only 1 inspection)	\$200 +	NIL
2A Minor Building Work (requiring only 2 inspections), e.g. Pergolas, Carports	\$100 +	\$150
3A Fire Reinstatement	\$100 +	\$150
1B Minor Building Work accessory to the main building, e.g.: unserviced outbuildings, garages	\$100 +	\$190
2B Minor Building Work other than 1B up to \$20,000 limit in value. e.g.: serviced outbuildings, sleepouts, alterations, additions, relocated buildings	\$200 +	\$350
1C Additions/Alterations to private residential dwellings where the value of the work is between \$20,000 - \$50,000	\$300 +	\$450
2C Additions/Alterations to private residential dwellings where the value of the work is over \$50,000	\$400 +	\$645
3C New Residential dwellings where the value of the work is under \$100,000	\$500 +	\$420
4C New private residential dwellings where the value of the work is between \$100,000 - \$200,000	\$600 +	\$545
5C New residential dwellings where the value of the work is over \$200,000	\$700 +	\$900
1D Additions/Alterations to (other than residential) buildings where the value of the work is between \$20,000 - \$50,000	\$300 +	\$495
2D Additions/Alterations to (other than residential) buildings where the value of the work is between \$50,000 - \$100,000	\$400 +	\$510
3D Additions/Alterations to (other than residential) buildings where the value of the work is over \$100,000	\$500 +	\$900
4D New (other than residential) buildings where the value of the work is under \$200,000	\$600 +	\$600
1E New (other than residential) buildings where the value of the work is between \$200,000 - \$500,000	\$900 +	\$1300
2E New (other than residential) buildings where the value of the work is between \$500,000 - \$1,000,000	\$1100 +	At cost
3E New (other than residential) buildings where the value of the work is over \$1,000,000	\$1340 +	At cost
1F Farm buildings	\$60 +	\$220

*Rural consents for solid fuel heaters will continue to incur an application fee as above plus a Consent Issue Fee which will be assessed on estimated travel and inspection times. If a second hand heater is to be installed but no manufacturers specifications are supplied, then additional charges will result if we have to search for the material. Alternatively the heater will have to be installed to conform with AS/NZS 2918: 2001.

OTHER CHARGES:

+ Time Extension to Any Consents \$65.00

BRANZ Levy

\$1.00 per \$1000 work for applications of \$20,000 or more.

Dept of Building and Housing Levy

\$1.97 per \$1000 work for applications of \$20,000 or more.

Unscheduled Building, Plumbing & Drainage Inspections – \$90 per hour

Such inspections will include but are not limited to:

- requested inspections of existing buildings
- inspections of unauthorised work (plus a Certificate of Acceptance Fee of \$125)
- reinspection of work subject to prior notification
- inspections of work covered by a Notice to Fix
- Building Warrant of Fitness, inspection.

Compliance Schedule Issue Fee \$101.25

Compliance Schedule Alteration or Amendment Fee \$73.00

Engineering Assessment

The Building Consent fee does not include the cost of any structural assessment which may be required.

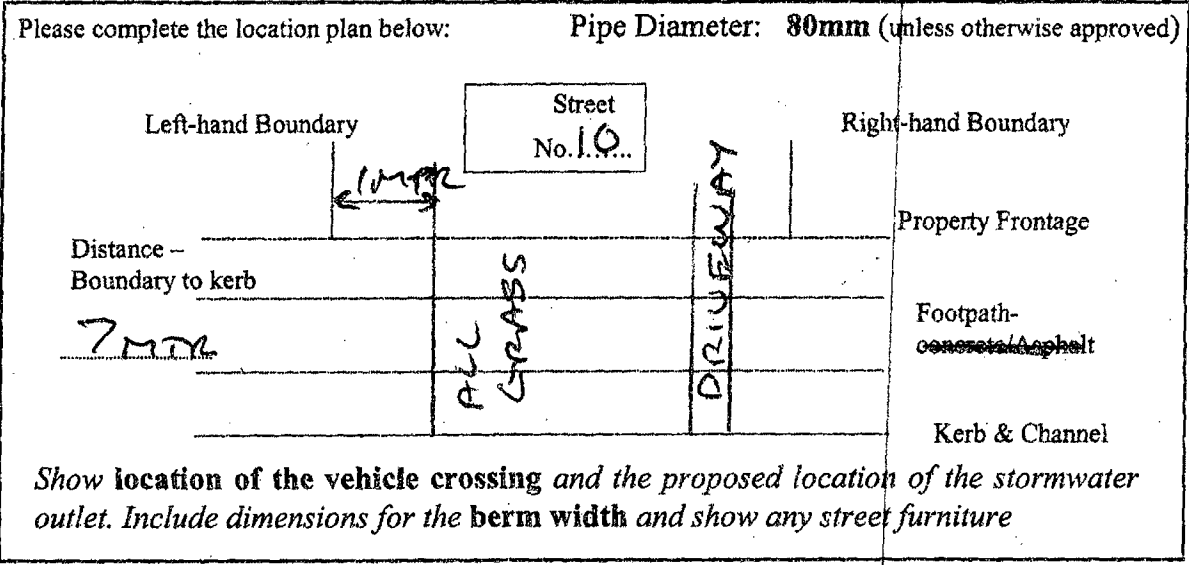
Third Schedule

**WANGANUI DISTRICT COUNCIL
STORMWATER TO KERB APPLICATION/QUOTATION FORM**

SWC NO.

No: 10 Street: RIMU ST Date: 26/5/06
 City: WNG Daytime Contact Phone No: 344 6885
 Owner: POWER **FEE payable: \$337.50 incl GST**
 Postal Address:

OFFICIAL USE ONLY: B/C: 0830
 WDC Debtor Acct No.: Date paid: .../.../... Receipt No.: 17128



QUOTATION:

Contractor: DAVID TEMPERLEY Fax No. 344 7153

My price to install the stormwater connection as above and in accordance with Contract No. 920 Standards and Specification and its amendments. **\$350.00**
 GST **43.75**

Contractor's Signature: [Signature] Date: 26/5/06 Total **\$393.75**

WWS OFFICIAL USE ONLY
 Quotation Accepted / Declined Installation required by .../.../...
 Engineers Signature: Date: / / WWS No.

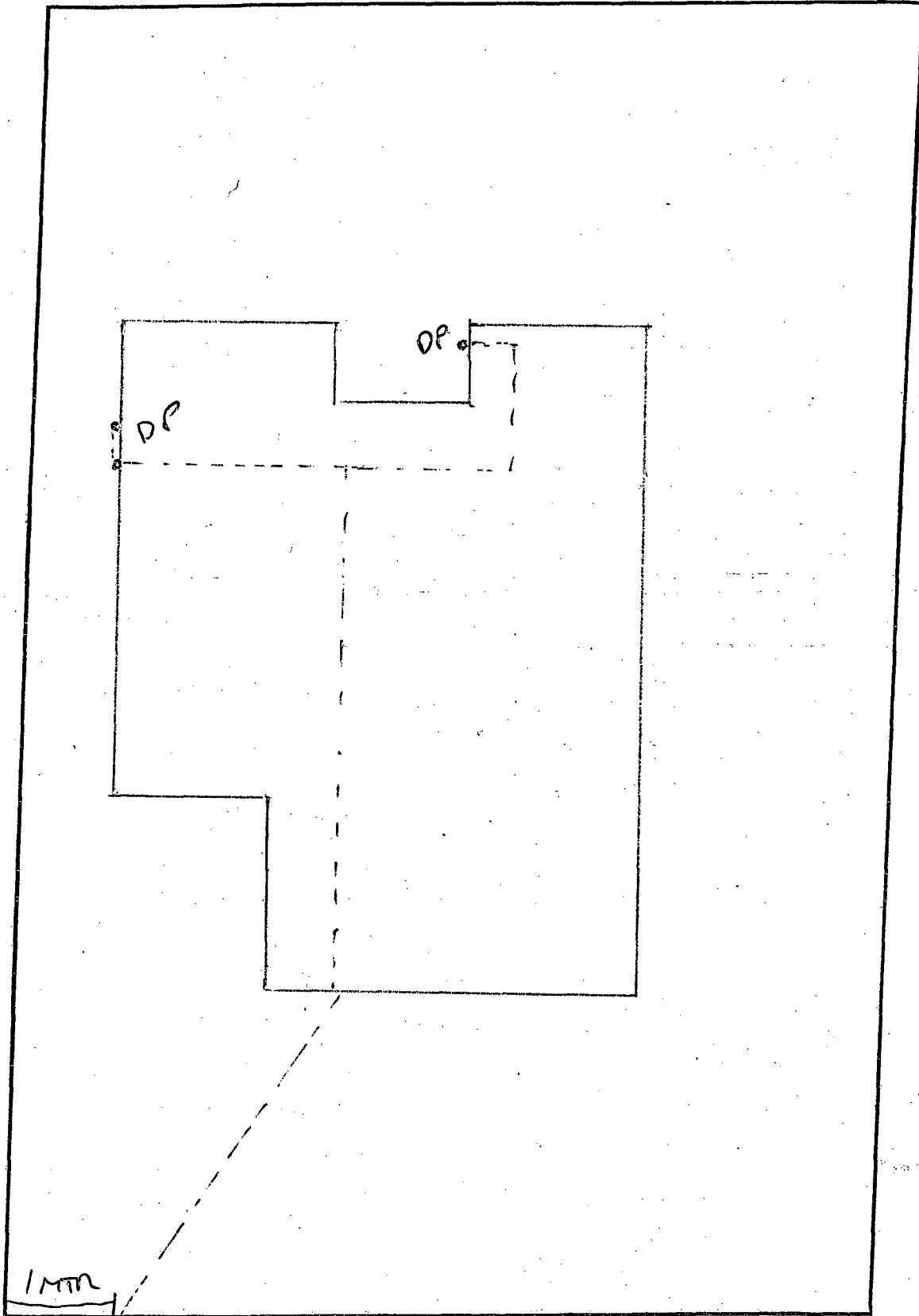
Approved Contractors "As - Built" Producer Statement:

I confirm that the stormwater connection has been installed as per the above details and in accordance with the requirements of Contract No. 920.

Contractor's Signature: Date: / /

Site Plan of Stormwater System

at 10 RIMU ST., Wanganui





ENVIRONMENTAL SERVICES
WANGANUI DISTRICT COUNCIL

WANGANUI DISTRICT COUNCIL

PRODUCER STATEMENT - CONSTRUCTION

Building Consent Application No. BC 06/0830

Issued By: DAVE T
(Constructor)

To: WANGANUI DISTRICT COUNCIL

IN RESPECT OF AN APPLICATION FOR BUILDING CONSENT MADE BY
(Building Consent Applicant)

IN RELATION TO STORMWATER SEPARATION.

At: 10 RIMU ST
(Address)

Lot DP SO

Has undertaken to construct all of the building work the subject of Building Consent No. and the attached conditions of building consent and am satisfied on reasonable grounds that the building work specified above has been completed to the extent required by that Building Consent and complies with the Building Code. I understand that if this Producer Statement is accepted, it will be relied on by Wanganui District Council for the purposes of establishing compliance with the Building Code.

The stormwater is being disposed of: (please tick) On-site Off Site

DAVE TEMPERTON
(Constructor)

26-5-06
(Date)

[Signature]
(signed)

.....
(Phone)

.....
(Facsimile)

Please note

An as-built Drainage Plan is to be attached to this form, if it differs from the Building Consent application, when returned to Environmental Services. This plan must clearly show the position of the drainage installed including any cleaning access, either by a scaled plan or by figured measurements from a defined point. The size and type of materials used must also be stated.



Rep # 3155



CODE COMPLIANCE CERTIFICATE NUMBER BCon06/0830

Section 95(3), Building Act 2004

Mrs C Power
10 Rimu St
WANGANUI 5001

**Building Consent
No:** BCon06/0830

Issue Date: 31-May-06

Project Location	Assessment Number/Legal Description
10 Rimu St WANGANUI 5001	LOT 68 DP 15830 0.0715 Ha
Type of Work	Description of Work
P&D	Stormwater Separation on property to kerb & channel
Intended Life	Estimated Value
50 years	\$1095.00

This is a final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.

Signed for and on behalf of the Wanganui District Council:

A J Jamieson
**Team Leader Building Services
Environmental Services Business Unit**

Date: 31 May 2006