

Wanganui District Council  
PO BOX 637 WANGANUI

Date 22/07/91

I hereby apply for a Building permit to erect/~~demolish~~ GARAGE

according to site plan and detailed plans, elevation, cross sections and specifications of building deposited herewith, in duplicate.

**OWNER**

Name J.N. LARSEN

Address 95 GONVILLE AVE  
WANGAMUN

Phone \_\_\_\_\_

**BUILDER**

Name QUIN GARAGES WANGANUI

Mailing Address P.O. Box 7015  
WANGANUI

Phone 3454777 Fax \_\_\_\_\_

**PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED**

**SITE**

Street No. \_\_\_\_\_ Farm No. \_\_\_\_\_

Street Name AS ABOVE

Town/District \_\_\_\_\_

Riding \_\_\_\_\_

**LEGAL DESCRIPTION**

Valuation Roll No. 13/068

Lot 1 D.P. 14962

Section \_\_\_\_\_ Block \_\_\_\_\_

Survey District 25

### DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

ERECT A DOMESTIC GARAGE.

| <i>FLOOR AREA</i>   | <i>DWELLING UNITS</i> |
|---------------------|-----------------------|
| Whole<br>Sq. Metres | Number<br>Erected     |

|                                |                       |                |
|--------------------------------|-----------------------|----------------|
| <b>ESTIMATED<br/>VALUES \$</b> | Building              |                |
|                                | Plumb & Drain (Labour |                |
|                                | <b>TOTAL</b>          | <b>3827 00</b> |

**NATURE OF PERMIT (TICK BOX)**

☐ NEW BUILDING  
- including dwelling added, exclude domestic garages

☐ FOUNDATIONS ONLY

☐ ALTER, REPAIRED, EXTENDED  
- include conversions & resited buildings

☐ NEW CONSTRUCTION OTHER THAN BUILDINGS  
- include demolitions

☒ DOMESTIC GARAGES & DOMESTIC OUTBUILDINGS  
- Sheds etc

| FEES APPLICABLE                |                   |              |
|--------------------------------|-------------------|--------------|
| BUILDING PERMIT (No. _____)    | ) \$ <u>50.00</u> | RCPT _____   |
| PLUMBING PERMIT (No. _____)    | ) \$ _____        | RCPT _____   |
| DEVELOPMENT LEVY _____         | \$ _____          | RCPT _____   |
| T.P. DISP. FEE _____           | \$ _____          | RCPT _____   |
| PREPAID CROSSING _____         | \$ _____          | P.W.R. _____ |
| PREPAID SEWER CONNECTION _____ | \$ _____          | P.W.R. _____ |
| PREPAID WATER CONNECTION _____ | \$ _____          | P.W.R. _____ |
| STORMWATER CONNECTION _____    | AT COST           | P.W.R. _____ |
| BUILDING RESEARCH _____        | \$ _____          | RCPT _____   |
| <b>SUB TOTAL OF FEES</b> _____ | \$ _____          |              |
| BUILDERS DEPOSIT _____         | \$ _____          | RCPT _____   |
| <b>TOTAL FEES</b> _____        | \$ _____          |              |

***PLUMBERS/DRAINLAYERS***

Name \_\_\_\_\_

Address \_\_\_\_\_

\_\_\_\_\_

Phone \_\_\_\_\_ Fax \_\_\_\_\_

**DESIGN ENGINEER/PRINC. CONSULTANT**

Name \_\_\_\_\_

Address \_\_\_\_\_

\_\_\_\_\_

Phone \_\_\_\_\_ Fax \_\_\_\_\_

APPLICANTS SIGNATURE: 

METEOR PRINT

**PERMIT MAY BE ISSUED SUBJECT TO THE FOLLOWING CONDITIONS:**

# BUILDING PERMIT APPLICATION CHECK SHEET

DATE 22/07/91

**Notes :**

| DATE  | DEPARTMENT          |                                                                                                                                                                                                                                                                                                                      | REMARKS |
|-------|---------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------|
| 22/07 | Town Planning       | Refer Attached Check Sheet _____<br>Approved: _____ Date _____                                                                                                                                                                                                                                                       |         |
|       | Building Inspector  | Values on Application _____<br>Ground Levels & Foundations _____<br>Materials _____<br>Construction _____<br>Bracing (3604) _____<br>Heating Appliances _____<br>Public & Commercial Buildings _____<br>Access for Handicapped _____<br>Chapter 5 Egress etc (Check Sheet Yes/No) _____<br>Approved _____ Date _____ |         |
|       | Drainage Engineer   | SS Connection & Fee _____<br>Approved _____ Date _____<br>SW Connection & Fee _____<br>Approved _____ Date _____                                                                                                                                                                                                     |         |
|       | Water Engineer      | Water Connection & Fee _____<br>Approved _____ Date _____                                                                                                                                                                                                                                                            |         |
|       | Structural Engineer | Structural Drawings & Calculations _____<br>Approved _____ Date _____                                                                                                                                                                                                                                                |         |
|       | Health Department   | Value _____<br>Plumbing & Drainage Requirements _____<br>SW Requirements _____<br>General Requirements _____<br>Health & Food Regulations etc _____<br>Dangerous Goods Requirements _____<br>Approved _____ Date _____                                                                                               |         |

GENERAL REMARKS

TOWN PLANNING

BUILDING INSPECTOR

DRAINAGE ENGINEER

WATER ENGINEER

STRUCTURAL ENGINEER

HEALTH DEPARTMENT

# TOWN PLANNING

## memo:

To

Warden

From

J.H.

95 Gonville Ave R.A

J.H. Larsen.

Dispensation required to erect garage within the 9x9 front yard.

See enclosed letter & neighbours consent discussed with Ritchie C. (19/08). He will discuss with the Larsens re a ROW or some alternative legal arrangement. At this stage he is not keen on a ROW. However he doesn't want the garage in the 9x9 either.

Hold Item to Reg Committee

/ See attached letter /

# BUILDING PERMIT CHECK LIST

|                                                                                                                                                                    |                                                          |          |          |      |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------|----------|----------|------|
| Property reference                                                                                                                                                 |                                                          |          |          |      |
| Type of Building                                                                                                                                                   |                                                          |          |          |      |
| Net Site Area                                                                                                                                                      |                                                          | Zoning   | Reserves |      |
| REQUIREMENTS                                                                                                                                                       |                                                          | REQUIRED | PROVIDED | O.K. |
| 1.                                                                                                                                                                 | Coverage                                                 |          |          |      |
| 2.                                                                                                                                                                 | Density                                                  |          |          |      |
| 3.                                                                                                                                                                 | Height                                                   |          |          |      |
| 4.                                                                                                                                                                 | Front Yard<br>(including Beautification)                 |          |          |      |
| 5.                                                                                                                                                                 | Side Yards                                               |          |          |      |
| 6.                                                                                                                                                                 | Rear Yards                                               |          |          |      |
| 7.                                                                                                                                                                 | Outdoor Living Space                                     |          |          |      |
| 8.                                                                                                                                                                 | Storage Area                                             |          |          |      |
| 9.                                                                                                                                                                 | Service Area                                             |          |          |      |
| 10.                                                                                                                                                                | Car Spaces                                               |          |          |      |
| 11.                                                                                                                                                                | Vehicular Access                                         |          |          |      |
| 12.                                                                                                                                                                | Loading Bays / Crossings /<br>Distance from Intersection |          |          |      |
| 13.                                                                                                                                                                | Trees / Historic Places                                  |          |          |      |
| 14.                                                                                                                                                                | Proposed Road / Service Lane                             |          |          |      |
| 15.                                                                                                                                                                | Road Widening & BLR                                      |          |          |      |
| 16.                                                                                                                                                                | Easements / Site Dimensions                              |          |          |      |
| 17.                                                                                                                                                                | Floor Area Ratio                                         |          |          |      |
| 18.                                                                                                                                                                | View Protection Plane                                    |          |          |      |
| 19.                                                                                                                                                                | Sunlight Protection Plane                                |          |          |      |
| 20.                                                                                                                                                                | Services                                                 |          |          |      |
| Design Approval Required      Yes / No      Date: _____<br>Dispensations Required in respect of No's: _____<br>Dispensation Approved / Declined      Reason: _____ |                                                          |          |          |      |

**HOME & LEISURE CENTRE**

CORNER INGESTRE & CHURTON STREETS - P.O. BOX 7015 - WANGANUI  
TELEPHONE (064) 54777

20.7.91

CITY PLANNER  
DISTRICT COUNCIL  
WANGANUI.

Dear Sir,

On behalf of Mr & Mrs J. Lassen I hereby apply for dispensation to erect a new garage.

The rear yard which provided access to their garage has been sold by Mr Lassen's brother and they now rely on the co-operation of the new owner to gain entry to their garage.

Owing to the position of their house on the section there is not enough room to provide a driveway through to the rear section to gain access to their existing garage. Also if the proposed garage was shifted further back from the road it would block out light into the house. I enclose two neighbours consent forms agreeing to the siting.

I remain

Yours faithfully  
B. Anderson

WANGANUI DISTRICT COUNCIL

NEIGHBOUR'S CONSENT FOR THE ERECTION OF A BUILDING

Address 97. Gonville Ave  
Wanganui  
.....

TO WHOM IT MAY CONCERN

~~I~~WE I and H. IZETT  
(full name or names)

being the OWNER TRUSTEE LESSEE of a  
(strike out those which do not apply)  
property situated at 97 Gonville Ave.  
(address)

have NO OBJECTION to the erection on the adjoining property  
being 95 Gonville Ave by the owner/owners  
(address where the building is to be erected)  
thereof MR & MRS J. LARSEN  
(name person or persons wishing to build)  
of a QUINE CUSTOM GARAGE sited in  
(description of building)

accordance with the attached plan and constructed to the  
Wanganui City Council Bylaws.

Signed H. Izett  
Date 16.7.1991  
Signed J. M. Larsen  
Date 16.7.1991

NOTE: (Plan must be attached to this consent before signing)

WANGANUI DISTRICT COUNCIL

NEIGHBOUR'S CONSENT FOR THE ERECTION OF A BUILDING

Address 95 A Gonville Ave

WANGANUI

.....

TO WHOM IT MAY CONCERN

I/WE Gonville Nurseries.....

(full name or names)

being the OWNER/ ~~TRUSTEE~~ /LESSEE of a  
(strike out those which do not apply)

property situated at 95 A Gonville Ave.....  
(address)

have NO OBJECTION to the erection on the adjoining property

being 95 Gonville Ave..... by the owner/owners  
(address where the building is to be erected)

thereof MR & MRS J. LARSEN.....  
(name person or persons wishing to build)

of a QUINE CUSTOM GARAGE..... sited in  
(description of building)

accordance with the attached plan and constructed to the  
Wanganui City Council Bylaws.

Signed C. Cantello.....

Date 16-7-91.....

Signed J. M. Larsen.....

Date 16-7-91.....

NOTE: (Plan must be attached to this consent before signing)



# Wanganui District Council

• 101 Guyton Street



Our Ref: 4/2/1E UA:VJS

If calling contact Mr Ali

22 October 1991

Mr Barry Hudson  
P O Box 7015  
WANGANUI

Dear Sir

**RE : 95 GONVILLE AVENUE**

I refer to your building permit application on behalf of Mr and Mrs J N Larsen to erect a garage at 95 Gonville Avenue, which will encroach within the 9m x 9m frontyard requirement.

The application was discussed at the Regulatory Committee held on 9 October 1991 and the full text of the report is attached for your information.

The Council at its Ordinary Meeting held on Monday 21 October 1991 endorsed the recommendation of the Regulatory Committee as follows:

THAT the officer's decision to decline the application be endorsed.

AND THAT the officers' be given delegated authority to renegotiate the siting of the garage.

Should you like further information or clarification, please do not hesitate to contact the Planning Department.

Yours faithfully

C. J. Whitlock  
**CHIEF EXECUTIVE OFFICER**

(b) (No. 64) 82 Patterson Street

This property had a large inground pool in a small rear yard. The yard was enclosed by complying fences and the rear wall of the house, which included lockable ranchsliders. In the yard were a barbecue, a shed and a clothesline. The owner maintained these were used in conjunction with the pool and felt strongly that providing an additional fence around the pool only, was unreasonable.

The dispensation sought was:

To allow the "immediate pool area" to include a barbecue, store shed and clothesline, and to adjoin the rear of the house, on condition that the access from the house, and gates and fences comply with the requirements of the Act.

The Chief Building Inspector recommended that the dispensations be granted.

Members discussed aspects of the dispensations sought, and queried whether there had been dispensations previously granted by the Council in similar circumstances. The Regulatory Services Manager undertook to provide this information.

It was suggested that because a number of councillors had been unable to view the pool situations first hand, a site visit be arranged. The date proposed for the site visit was 2.00 pm on Thursday, 14 November 1991, and suitable arrangements would be made by the Regulatory Services Manager.

THAT a site visit be arranged to view the situations of the two swimming pools for which dispensations from the provisions of the Fencing of Swimming Pools Act 1987 have been sought.

4. Non-Complying Activity - Front Yard Requirement - 95 Gonville Avenue

The Development Planner reported that an application for a building permit had been submitted by Mr J N Larsen to erect a garage within the 9m x 9m front yard at 95 Gonville Avenue.

The garage to this property was presently at the rear of the section, and access to the garage was through the driveway of 97 Gonville Avenue. The driveway for 97 Gonville Avenue was also the access for Gonville

Nurseries. The Larsen's used this access by mutual agreement between them and Ritchie Cvitanovich, owner of Gonville Nursery. There was no alternative access to the rear of the Larsen's property.

The building of a garage within the 9m x 9m front yard in this instance would have a detrimental effect on traffic movement in Gonville Avenue and the nursery. The nursery was very well patronised all the year round. In the summer and weekends there was a constant flow of vehicles to and from the nursery. The proposed garage would affect sight lines and problems would be experienced in Gonville Avenue itself.

In view of this, discussions were held with Mr Cvitanovich. He then approached Mr and Mrs Larsen to assure them of the mutual agreement and, if necessary, a legal agreement. The Larsen's were not happy with this proposal either.

From the Larsen's point of view, this was understandable. Their garage had to be entered through the nursery carpark. Although the garage entrance was always kept clear, manoeuvrability could be a problem.

The 9m x 9m front yard requirement was a desirable environmental boundary. Only in exceptional circumstances should development within it be permitted and even then, only after all possible alternatives had been investigated.

In this case, to have granted the dispensation would have had greater impact on the general public than desirable. When the specified departure consent was granted, it was on the basis that the access had very good visibility/sight lines to Gonville Avenue. The Larsen's were satisfied with the arrangement and voiced no objection.

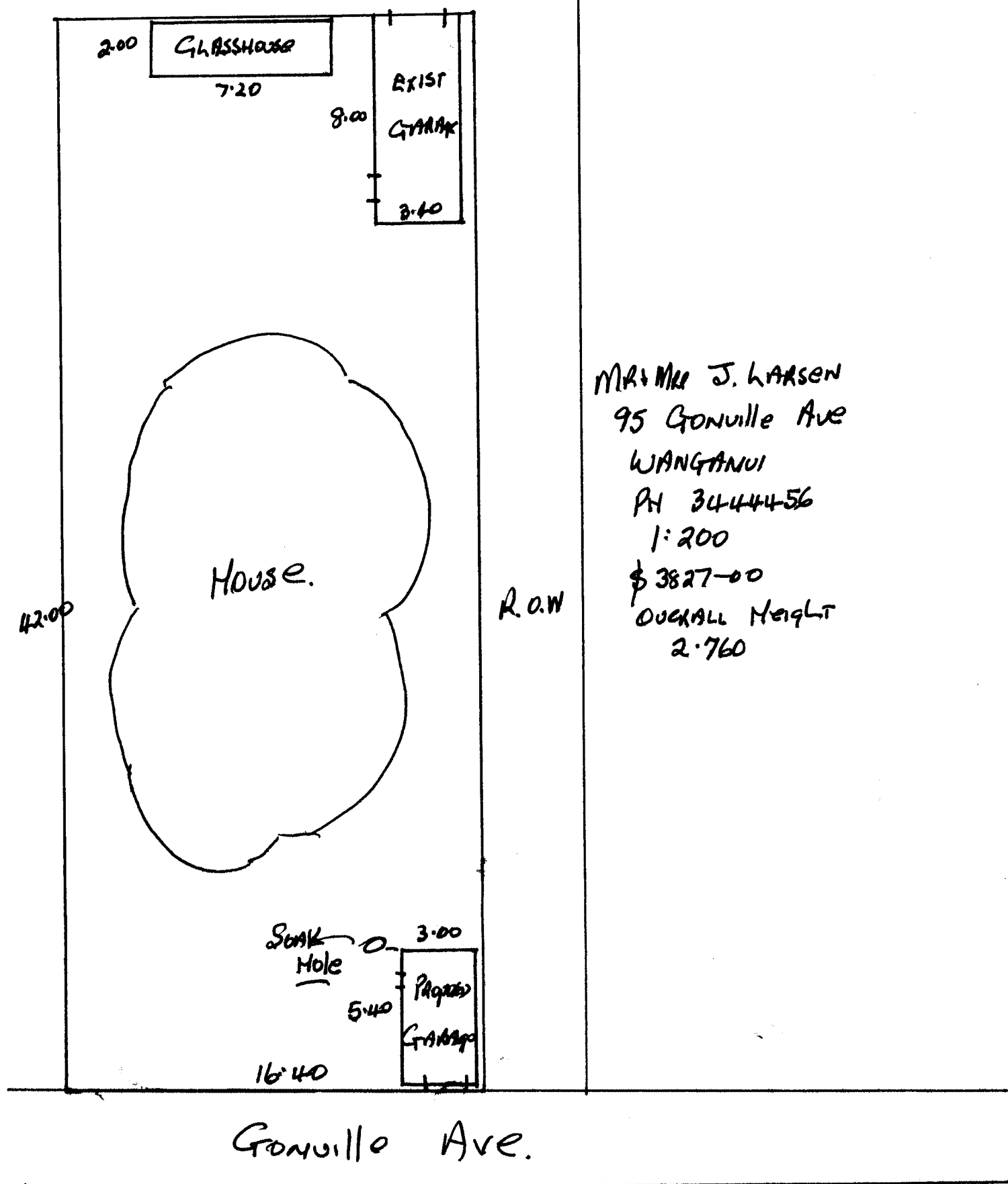
Mr and Mrs Larsen had questioned the grounds on which this dispensation had been declined, and were seeking a review of the decision.

Members supported the reasons for the declining of the dispensation put forward by the Development Planner, but suggested that because there may be a possibility of siting the garage in a different position on the property, that the matter be renegotiated.

THAT the officer's decision to decline the application be endorsed.

AND THAT the officers be given delegated authority to renegotiate the siting of the garage.

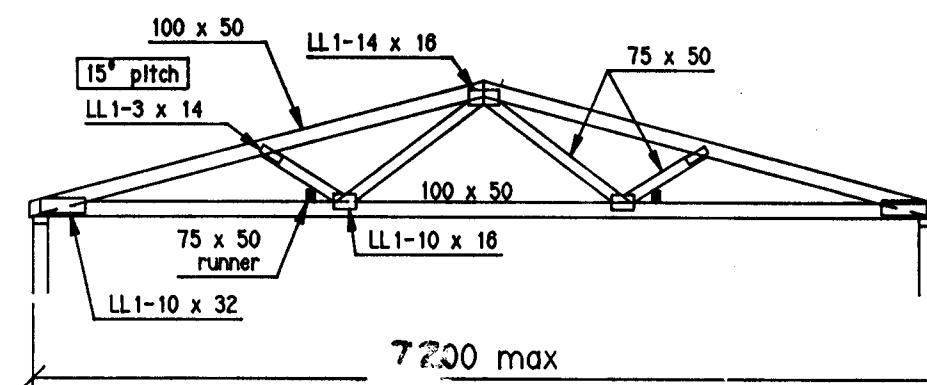
NURSEY



site plan. lot..... D.P..... At.....

MARINKI J. LARSEN  
95 Gonville Ave  
WANGANUI  
PH 3444456  
1:200  
\$3827-00  
OVERALL HEIGHT  
2.760

Trusses from Lumberlok truss design book,  
standard design pitched commercial trusses  
100 R 42 on drawing number 8350



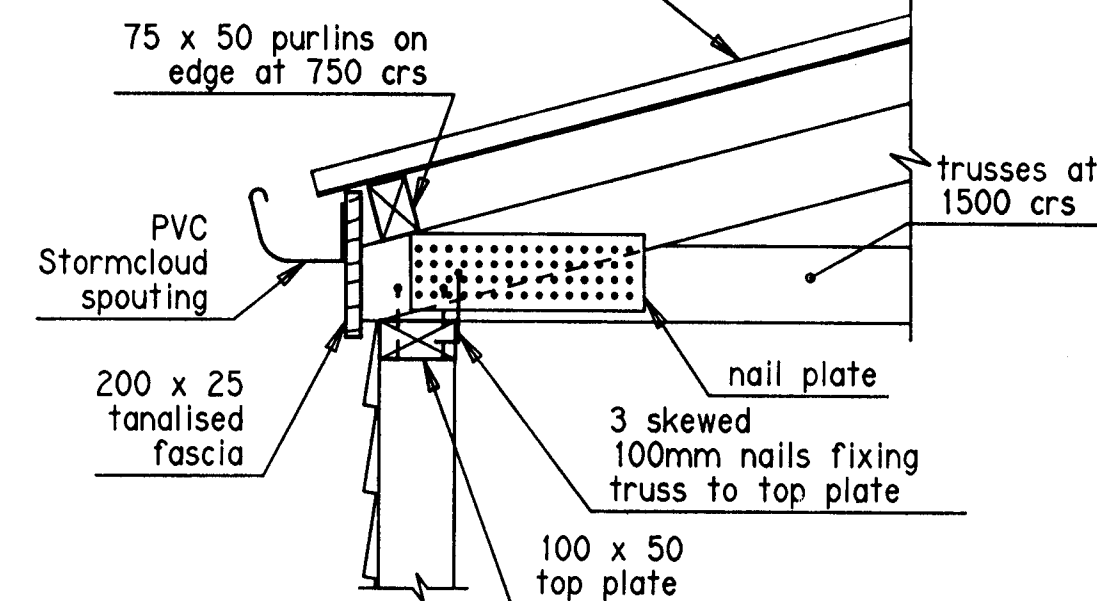
truss detail

### notes

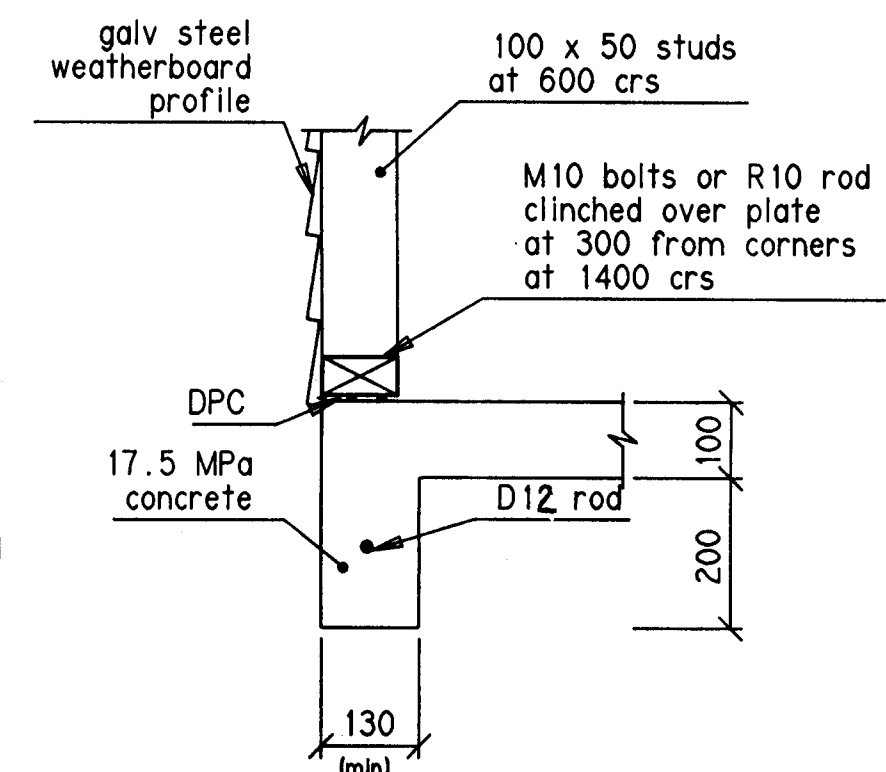
- studs: 100 x 50 at 600 maximum crs.  
plates: 100 x 50 fixed down at 1400 maximum centres 300 from corners with M10 bolts or R10 rod clinched over.
- dwangs: 100 x 50 - 1 row only  
d.p.c.: Malthoid  
foundations: 200 x 130 min, reinf'd with 1-D12 rods  
floor: 100mm thick concrete  
trusses: Lumberlok type 100 R 42 at 1500 crs
- purlins: 75 x 50 at 750 max crs.  
roofing: 0.40 corrugated galvanised iron over building paper & nylon tape.  
wall cladding: galvanised weatherboards  
spouting: PVC Stormcloud  
framing: plus radiata treated D4S nail plate jointed to NZS 3604.  
construction: to NZS 3604.  
workmanship: to NZS 3604.

0.40 galv corrugated iron  
roofing over building  
paper & nylon tape

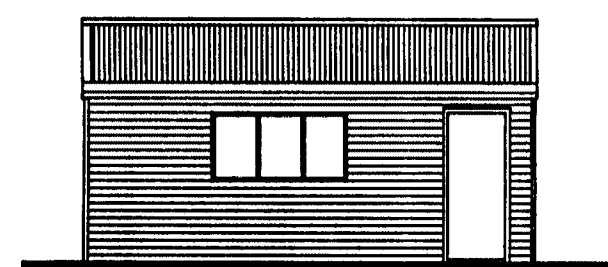
Wall Cladding Nailing Schedule  
30 x 2.5 galvanised flat head  
nails to every fold (1200 max crs)  
at ends of sheets and every  
second fold at intermediate fold



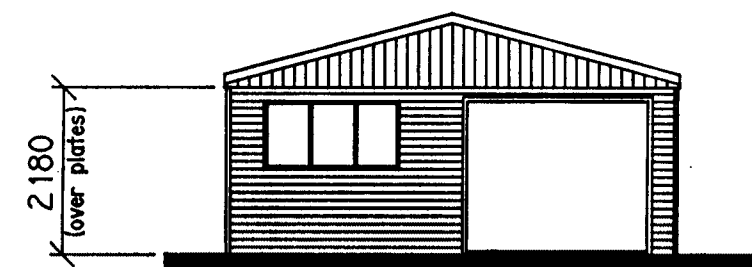
eaves detail



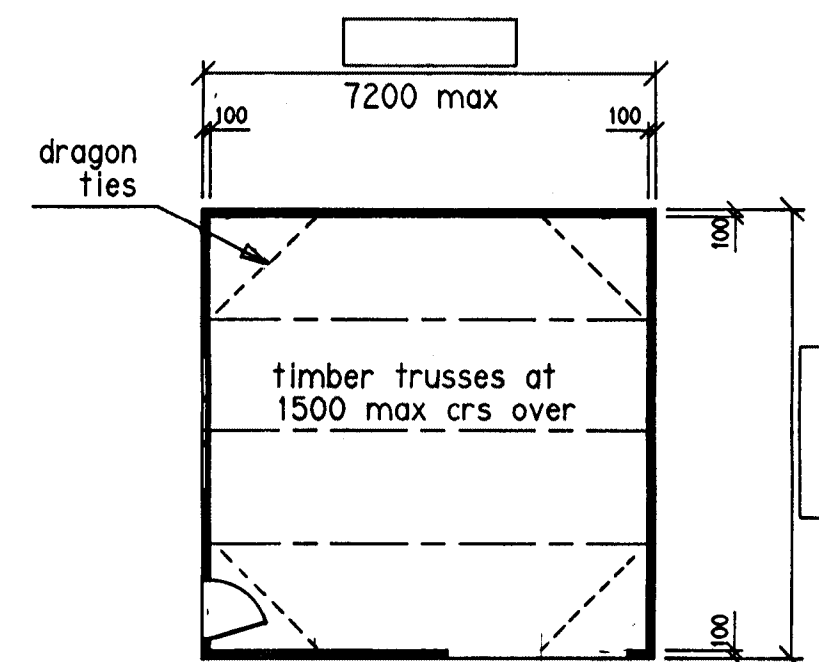
foundation concrete



side elevation



front elevation



floor plan

QUIN CUSTOM BUILDINGS Ltd

WANGANUI DISTRICT Council.

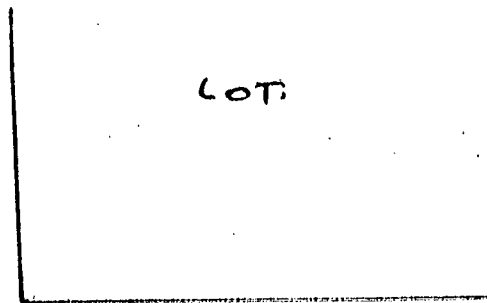
Foot paths and crossing. Inspection.

STREET NAME: GONVILLE AVE

STREET Number. 95 DATE. 22/07/91

FOOTPATH TYPE: 23/7/91

CROSSING TYPE: \_\_\_\_\_



Location of  
crossing.

FOOTPATH. \_\_\_\_\_

KERB. \_\_\_\_\_

ROAD. \_\_\_\_\_

DAMAGE. \_\_\_\_\_

REMARKS. PLEASE CHECK FOR XING AS PER ATTACHED.

Xing to be installed @ 16.2m<sup>2</sup> = \$632

DEPOSIT:      / NO.