

APPLICATION FOR BUILDING PERMIT

WANGANUI,

21 - 6 - 1949

TO THE CITY ENGINEER,

I hereby apply for permission to erect dwelling
at Conville Ave

for Mr. J. Larsen of 6 Central Ave

according to locality plan and detailed plans, elevations, cross sections and specifications of building deposited herewith, in duplicate.

Particulars of Land: Lot No. 1 & 2 on Town Section 11 D.P. 937

Length of boundaries _____ Area _____

Particulars of building—Foundations Concrete

Walls Concrete Roof Concrete

Area of ground floor 1100 sq. ft. Area of outbuildings _____ sq. ft.

Estimated cost—

Building _____ £ 1600 - - -

Plumbing and Drainage _____ £ 100 - - -

Total £1700 - - -

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) _____

dwelling

Nature of ground on which building is to be placed and of the subjacent strata _____

Mr. J. Larsen Builder or Owner

Address 6 Central Ave

PARTICULARS OF WORK:

Cost £ 1700 — Building Fee £ 8 - - -

No. of Bricks _____ Water Fee £ : 11 : 3

Chimneys _____ Inspection Fee £ : : -

Cubic yds. of Concrete 11/3 Crossing Fee £ : : -

£ 8 : 11 : 3

Received Fee MA

Receipt No. 6444

Please issue Permit. WSS

2/116/2029

Larsen, Walter

Pl. Lot 2, Bk 2, Lots 5/6
pt. Sec. 9.

Lo
Pa
K
Genville Central Ave.

Genw

g

Part of land in BT: 139-290

↓
Rale Dept

to advise

later

description

Jones section

Lot. 1 D. P.

Part Lot. 2 D. P. 937

Part Sect. 9 Right Bank Mang
River

Part of land in G.T. 139-290



Rale Dept

to advise you

later for

description

S P E C I F I C A T I O N

OF CIRCULAR REINFORCED CONCRETE RESIDENCE

DESIGNED BY

WALTER LARSON & SONS LTD., WANGANUI.

GENERAL CONDITIONS OF CONTRACT AND
SPECIFICATION OF LABOUR AND MATERIAL TO BE SUPPLIED

- - - - -

The Contractor is to provide all labour and material necessary for the due and proper completion of the works included in the Contract, unless expressly stated to the contrary and according to the true intent and meaning of the drawings and specifications taken together.

All labour and material must conform to all laws, rules and regulations in force in the locality in which the building is erected, notwithstanding anything specified or provided which may be construed to the contrary. The Contractor to obtain all necessary permits, paying all charges thereon, shall give the requisite notices to the proper authorities relative to the work in his charge and be responsible for any violation of laws or regulations traceable to the neglect of himself or his subordinates.

The Contractor shall not absent himself from the works during ordinary working hours without leaving a fully authorised and competent person to act on his behalf and shall not re-let or sub-contract any part of the work without first obtaining the consent of the proprietor or his representative. All extra work or variation of the contract must be authorised in writing by the proprietor otherwise it will not be recognised nor paid for.

INSURANCE: The contractor is to insure the works in the joint names of himself and the proprietor against loss or damage by fire in an approved Insurance Office until such time as the building is finally taken over by the proprietor and he is also to take out an insurance policy against any liability that may arise under the Workers' Compensation Act 1922 or any amendment thereto and no progress payments shall be made until the premium receipts are produced.

Progress payments shall be made as the work proceeds on the basis of ~~two-thirds~~ of the value of work done and material on the job as at the 16th day of the month but the first payment shall not be due until the job is roofed in and shall be made up to 85% of the contract price on the completion of the job to the proprietor's satisfaction. 10% of the balance of contract price shall be paid over thirty-one days later and the remaining 5% two months later on the contractor going over the job, easing doors and windows and making good any faults or flaws in either workmanship or material that may have become apparent.

Should there be any doubt or question or anything herein contained this specification must be read in conjunction with the Standard Institute specification on Dwelling House construction.

In this specification and the accompanying drawings each and every class, item, or particular work indicated or described shall, unless otherwise set forth, mean the providing, installing and finishing in every detail and leaving same in good order according to the best practice of the building trade.

Where a specific value is provided for any article the proprietor to have the right to select and purchase same from any warehouse in Wellington and charge the same to the contractor at the figure mentioned.

Where figures are given they are to be followed in preference to measurements by scale.

EXCAVATOR

On that part of the site to be built upon clear the grass and vegetation and deposit same where directed. Excavate a further nine inches for foundations.

Should the area to be covered by the building not be level excavate the higher part to a depth of one third the difference between the higher part and lower part. The line of excavation to be three feet away from the building line.

CONCRETOR

Foundations to be of concrete composed of one part Portland Cement and five parts of good clean sharp gravel or broken metal to pass a 1" mesh. If a mechanical mixer is not used it is then to be turned over twice dry and twice wet.

Outside foundation walls to be 6" in width, stepped out to 18" at base and taken to a height above ground level as shown on plan. 9" x 12" air vents to be built in all outside walls 2'6" from corners and angles and every ten feet or part thereof. 8 x 8 concrete piles through the centre of all rooms spaced not more than four feet six inch centres.

The rear and front entry to have concrete floors 3" in thickness reinforced with 1/4" mild steel rods spaced every 12" both ways and laid on well rammed base.

Construct hearth base in similar manner.

The top of all concrete foundations and piles to be at least 12" above the ground line.

Build in top of all piles No.8 galvanised wire for fixing plates. On top of all piles lay damp course of "Repello" or other approved dampcourse.

~~Four~~ 1 1/2" mild steel rods are to be bedded in the foundation wall continuous round the building lapped three feet at joints and bent round the corners. The outside walls, centre hall and roofs are to be constructed and reinforced to detail drawing.

For further details see plan.

BRICKLAYER

~~BRICKLAYER~~

Chimney and fireplace to be built to further detail and the flue to have 9" glazed earthenware liner extending six inches above the chimney head.

Build in four 3" reinforcing rods bedded in the concrete foundation and extending to the top of chimney stack. Fill in the four corners between the liners and the brickwork with concrete.

The hearths are to be cement plastered coloured with Spanish Brown and allow the sum of £3.0.0. for the purchase of tile surrounds.

Provide cast iron colonial grate for open fireplace together with firebrick hobbs and backing laid with fireclay and pointed with fire cement.

Carry all fireplace headings over with 2 1/2 x 1/2" wrought iron bars.

CARPENTER & JOINER

All timber must stand up to its grade and size specified and free from knots shakes or any other imperfection likely to impair its appearance or durability.

All timber below the floor and including floor must be either Heart Matai or Rimu and unless otherwise specified to be B.A. for framing and finishing. All timber touching either concrete or brickwork must be protected by approved dampproof course. No timber to be within 12" of the ground.

All dressed timber to be well seasoned and should shrinking occur it is to be taken out and replaced.

The various timbers are to be securely nailed in position and the heads punched in on all dressed faces.

Unless otherwise specified all framing timbers, studs, floor and ceiling joists shall be spaced at not more than 18" centres, plates and sleepers halved at joints. All walls to be dwanged with 4 x 2 three times in the height.

Floor joists Heart Rimu 18" centres or less laid as shown on plan. Floors to be laid before any partitions are erected. On top of ceiling joists and across the centre of each room fix stiffener of 4 x 2 securely nailed to each joist. Put in 3 x 2 noffring as required to carry ceiling boards and cornices.

SCHEDULE OF TIMBER UNLESS OTHERWISE SPECIFIED

Stringers under joists	4 x 3
Floor joists	5 x 2
Top and bottom plates	4 x 2
Studs (below floor line 4 x 3	4 x 2
Ceiling joists	4 x 2
Flooring T. & G. (machine sanded finish)	
Heart 4 x 1 or	6 x 1
Facings 4 x 1 and	5 x 1
Architraves	4 x 1

Windows to be as shown on plan and of casement construction and approved standard running of Heart Totara or Redwood with Heart Matai sills. All sashes and fans to open in single light windows and two sashes and fans to open in frames carrying more than that number unless later specified otherwise. Sizes given are sash sizes only. All sashes to be glazed with 24 oz. clear glass and fans with approved obscure glass unless otherwise specified. Bathroom sashes to be glazed White Arctic. All sashes are to be made on the straight.

SIZES WINDOWS:

The nine windows in the two bay are to be 3'6" x 2' with 1'6" fastlights. Two sashes and two fans made to open. The four two-light windows are to have 4 x 5 mullions with heads and sills at angle to follow the curve of walls. The meals and two bedroom sashes to be 3'6" x 2'0" and the Kitchen and bathroom sashes to be 2'6" x 2'0" with 1'6" fans in all cases. All sashes and fans made to open.

Sash in Laundry to be 3'0" x 1'10", no fan. 18" x 12" glass louvre to go in Lavatory.

Use 3" galvanised butts for sashes and 2" for fans and provide openers to the value of 3/- in each case.

DOORS & FRAMES: All timber to be Rimu or Totara dressing A, quality and thoroughly seasoned.

Outside door and window framing to be 2" and inside frames 1½" in thickness, the full width of walls and run out of the solid. Outside door frames to have 2" Heart Matai sills.

The back and front doors to be 6'8" x 2'8" x 2". The front door as shown with 6" styles and glazed with Brown Rolled glass. The back door frame ledge. Laundry door 6'6" x 2'6" frame ledge.

The Bathroom and Lavatory doors are only to be 2'2" in width.

~~The pair of doors between the Meals and Lounge to be 6'6" x 4'6" No. 7 standard specification glazed with 24oz glass.~~

All inside doors to be 6'6" x 2'6" solid core plywood faced with clashing strip on outside edge (see Fig. 1 Standard Specification) unless otherwise specified. The bathroom and Lavatory doors are to be 2'2" in width with top panels glazed White Arctic.

Wardrobe and cupboard doors to be 6'0" x 2'0" with the bottom of framing made up to keep the heading in line with other doors.

Hang all 1 $\frac{3}{4}$ " doors on three 4" loose pin antique butts and 1 $\frac{1}{4}$ " doors to have two 3" butts.

Provide locks to the value of 24/- each for 1 $\frac{3}{4}$ " doors and 7/6d for 1 $\frac{1}{4}$ " doors. All doors to be neatly fitted and out of winding.

LINING: All cupboards to be lined throughout with 4 x 5/8 T. & G. All other walls and ceilings to be covered with Fibrous Plaster, and have rounded fillet on external edges one inch in width by the thickness of the material. No lining.

SKIRTING- To be 3 x 1 bevelled throughout.

CORNICE: 2" scotia with T. & G. and Fibrous Plaster in other rooms.

WARDROBES: Provide and fix two 1" dowels for hangers in each wardrobe. They are to run cross-ways and not the length way placed ten inches from the side walls and 2" below the shelf. Provide one 10" shelf and four coat hooks in each case. Hat and coat rail to be provided in passage with six hooks.

MANTLESHELVES To be Heart Rimu. Allow the sum of £2 for same.

MEAT SAFE: To be constructed where shown. Provide panel door hung on 2 $\frac{1}{2}$ " brass butts and fitted with spring catch. Small wood louver to go in outside wall covered with fly-proof netting.

Provide and erect 10ft. of shelving in Laundry.

SHAVING CABINET: To be shop made to detail. Door to have 14 x 10 bevelled mirror. Bottom of glass to be 4'6" above floor.

SINK BENCH: To be constructed as shown on plan with 3 x 2 dressed framing and have two shelves below. The bottom shelf is to be 4" above the floor and the 3 x 2 front bearer is to be set back 3" for toe room. The top is to be 34" above floor. The front is to be faced with 3 ply and two doors made of 1" framing and 3 ply faced to be fitted hung on brass butts and provided with wood handles and spring catches. Allow the sum of £15 for Terazzo top. The top is to be of 18 x $\frac{5}{8}$ coreboard with 6 x 1 backing grooved in top and set in white lead and putty. Neatly cut opening for sink which is to be put in from the top and set in white lead. The top is to be 34" above floor. The front is to be faced with 3 ply and two doors made of 1" framing and 3 ply faced to be fitted hung on brass butts and provided with wood handles and spring catches.

KITCHEN CUPBOARD: To be constructed to detail drawing. The doors to be of $\frac{3}{8}$ " coreboard hung on 3" brass butts on butterfly hinges as chosen by the proprietor. The drawers are to be dovetailed together and have three ply bottoms glue blocked underneath. Provide small chain at bread bin door to keep it from falling out and also crumb tray at bottom. Allow 2/- each for drawer pulls and spring catches.

COATS: Form recess for coats as shown on plan and provide eight hat and coat hooks to approval. Trim opening as for doorway. Provide small door at Hot-water cylinder cupboard.

P L U M B E R

All work must strictly comply with Local Body and Health Authorities By-laws and Regulations though they may not be particularly mentioned.

All vent pipes and chimneys are to be properly flashed and the building made impervious to the weather, using 26 gauge galvanised iron or 4 lb. sheet lead whichever is the most efficient for

the particular work.

Provide all necessary pipes, taps and fittings as required and leave same in good working order. Allow the sum of £40 for the purchase of bath, basin, W.C. pan, cistern, copper and tubs, but this sum is not to include pipes, taps, waste or extra flue for copper.

All pipes to be hidden in the walls and securely fixed to the framing. All taps are to be $\frac{3}{4}$ " chromium plated excepting those for the bath which are to be 3.4" with extension pieces. Outside taps and those in the washhouse need not be plated. The exposed waste pipe below the basin is to be $1\frac{1}{2}$ " chromium plated.

All waste pipes are to be $1\frac{1}{2}$ " galvanised wrought iron and curved into gully traps.

A 50 gallon supply tank and lid to be provided and fixed on roof. The tank is to be made of concrete and having approved ball-valve. The hot water cylinder is to be provided and made of copper and tested to a pressure of 20 lb. to the square inch. It is to have a capacity of not less than 30 gallons. The cylinder is to be lagged with at least 2" of cow-hair, woolflock or other approved non-inflammable material encased in 26 gauge galvanised iron and all piping and fittings conveying hot water, including the exhaust and sludge pipes for a distance of three feet shall be lagged with No. 2 cow-hair felt 32 oz to the sheet. Tightly wrap lagging around pipes and secure with 3 ply marlin. Hot water to be taken to bath, hand-basin, sink and one tub.

Fit element and thermostat provided by the electrician.

All piping conveying hot water including exhaust pipe from hot water cylinder and the cold water feed pipe to the cylinder shall be of copper.

Lay on the cold water supply from the point provided by the Local Authority in screwed galvanised W.I. piping $\frac{3}{4}$ " in diameter and then with $1\frac{1}{2}$ " piping to the bath, sink, handbasin, supply tank, lavatory, supply tank, copper and two tubs.

All piping outside of the building is to be sunk 18" into the ground. Take $3\frac{1}{4}$ " branch to bath and $1\frac{1}{2}$ " to all other fittings including supply tank and tubs (2). Provide two garden taps where directed fitted with hose taps.

Connect W.C. with 4" glazed earthenware pipes to the sewer, providing teaps, vents and inspection chambers to the satisfaction of the Local Authorities Inspector and in no case must they be covered over until passed by him. Length of drain will be given later.

Separate storm water drain to be laid down to public service. Gully traps to be set into concrete sumps.

E L E C T R I C I A N

Give all necessary notices to the Electrical Supply Authority and obtain all necessary permits and all work must comply to their regulations and be passed by their inspector. The power is to be taken to 14 lighting points and 3 power points. Provide switch-board and connect up with public supply lines.

Provide pendants, lamp-holders, shades and lamps in every case three of which are to be 100 watt and the remainder 60 watt. All switches to be of the flush type with box and plate complete excepting Wash-house which may be of the ordinary tumbler type.

Provide element and thermostat for hot water service.

The Proprietor will direct where all lighting and heating points together with switches, are to go.

Allow the sum of £3 for special shades that will be chosen by the proprietor.

P L A S T E R E R

EXTERIOR WALLS

The base, hearths, steps, verandah and porch floors, surrounds of gully traps and chimney tops are to be plastered. Rendering coat to be composed of one part cement to four parts sand with 10% hydrated lime added. All surfaces to be left straight and true and all arrises plumb and square. The nosing of steps slightly rounded and treads weathered 1/2" to the foot.

All walls and ceilings unless otherwise specified to be covered with Fibrous Plaster and have small cornices. Outside walls to have two coats of "Boncoat" and finished to approval.

The ceiling and walls of Laundry to be Limewashed.

INTERIOR PLASTERING

All walls and ceilings unless otherwise specified are to be covered with Fibrous Plaster sheets. All Fibrous Plaster sheets must be free from stins and blemishes and thoroughly dry. Sheets must be securely nailed to the studs and dwangs with suitable galvanised clouts not more than 12" apart. All sheets must be of an even thickness and not less than 3/8" thick.

WALLS. Joints on all walls must be flushed and sheets scraped and left clean for papering or distempering. All sheets must go right down to flooring.

P A I N T E R.

Prime all internal and external wood and metal unless otherwise specified with one coat of red and white lead priming composed of 75% white lead and 25% red lead mixed in pure boiled and turps and then apply two more coats of N.Z. manufactured white lead and zinc paint of approved brand and to tints chosen by the proprietor. All nail holes and defects to be stopped with putty before applying the second coat of paint.

Allow for picking out in a different colour all sashes, doors, facings and sills as required.

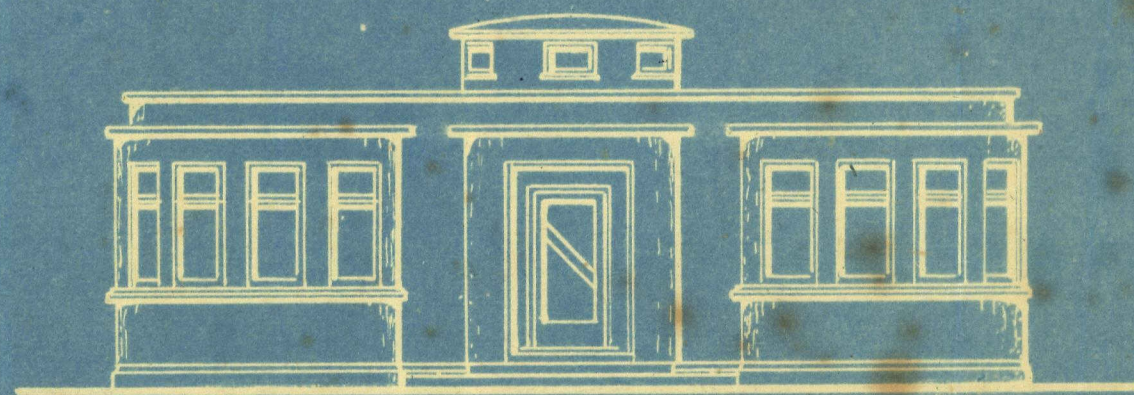
The Kitchen, Lavatory, Bathroom and Meat Safe to be painted and have one coat of enamel in addition.

All Fibrous Plaster ceilings to have one coat of Dusseal and one coat of distemper.

All other rooms and passage are to be papered with paper valued on an average of 7/- per standard piece;

Before papering proper all surfaces to have a strong lining paper covering.

Fresh flour paste with approved fungicide to be used. All papers are to be trimmed, butt jointed and hung true and plumb. Patterns neatly matched and left free from all defects and ~~at~~ disfiguraments.



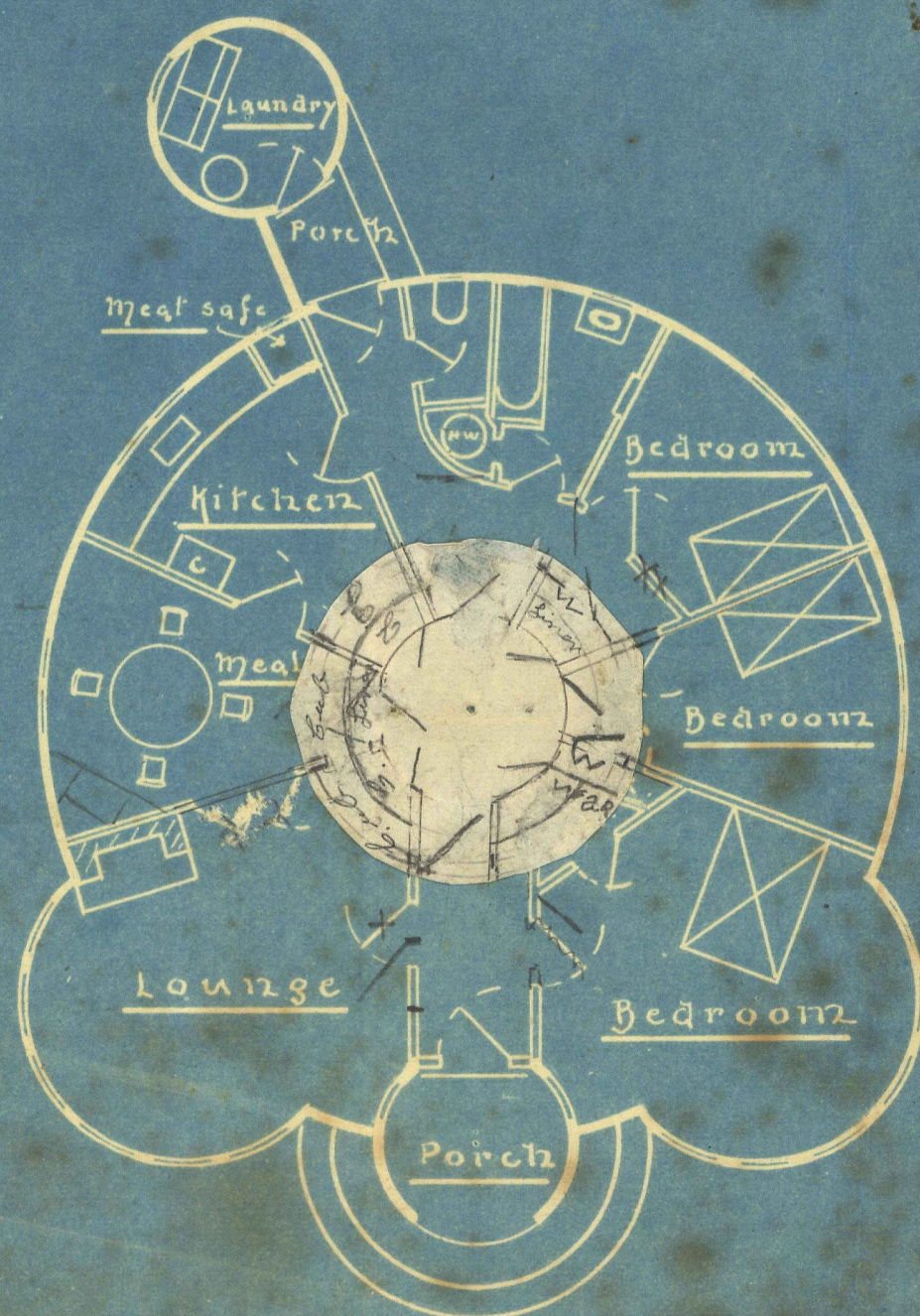
Front Elevation



Section



Plan of Lantern



Ground Plan

215.

Ex. 4 drain.

Design of Reinforced Concrete

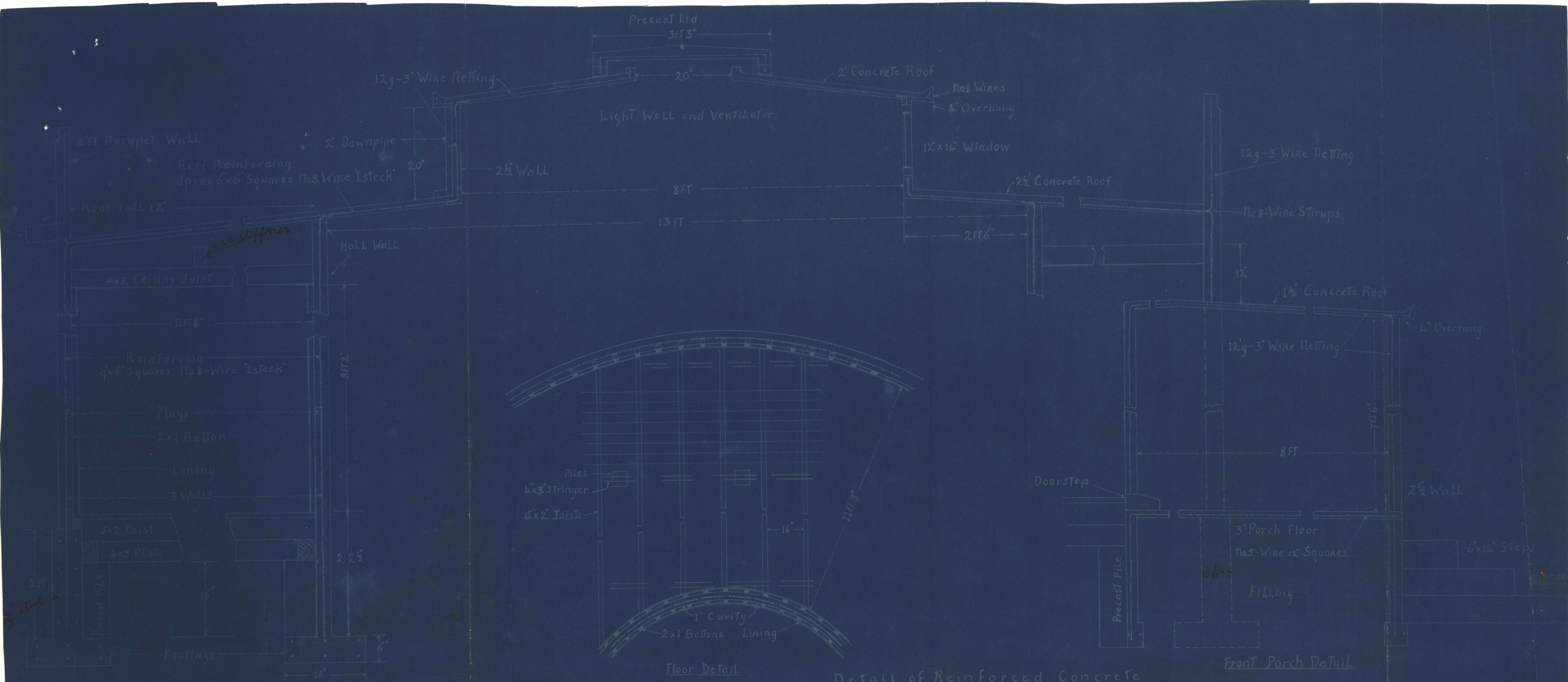
Circular Residence 36'6" Diameter

Outside Measurement. 1138' Floor Space

Plus 50' for Laundry. Scale 8' to 1".

Walter Larsen and Sons Ltd.

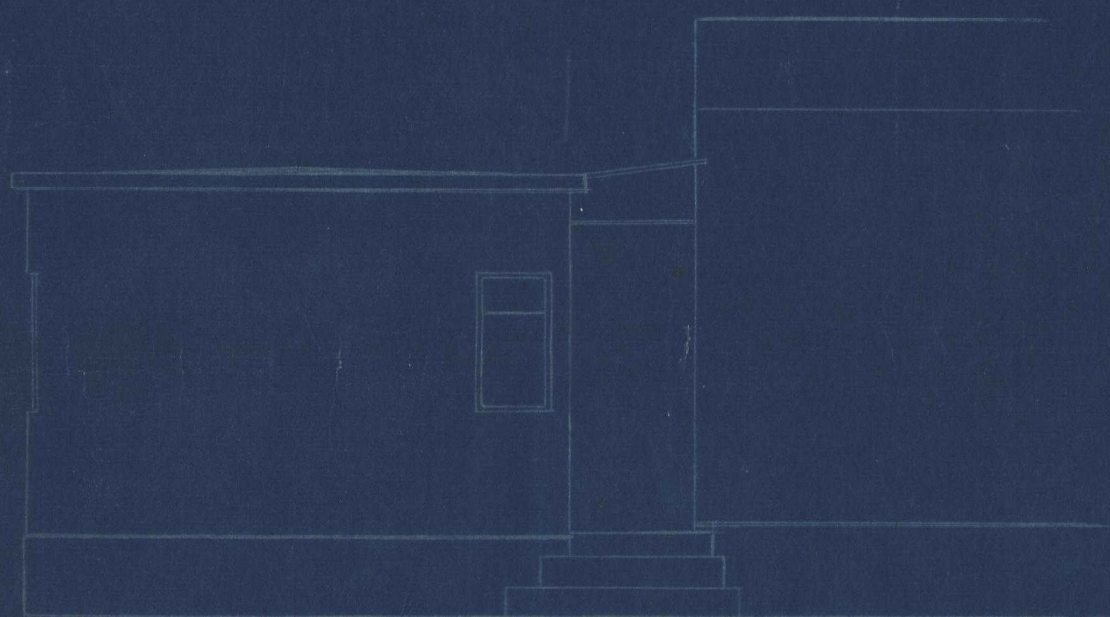
Wanzanui.



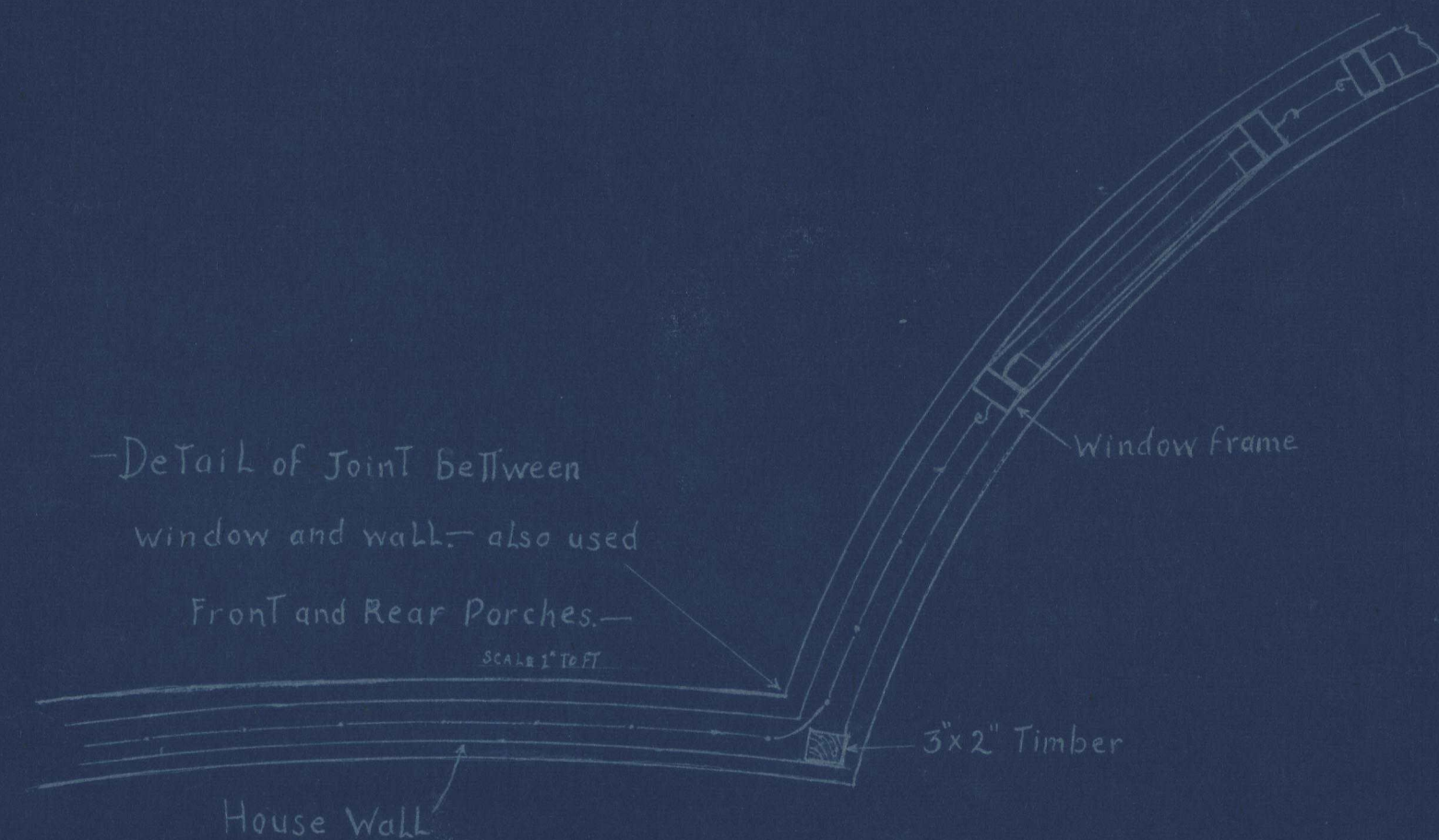
Detail of Reinforced Concrete

Circular House Scale 1" = 1'0"

W. Larsen & Sons Wanganui



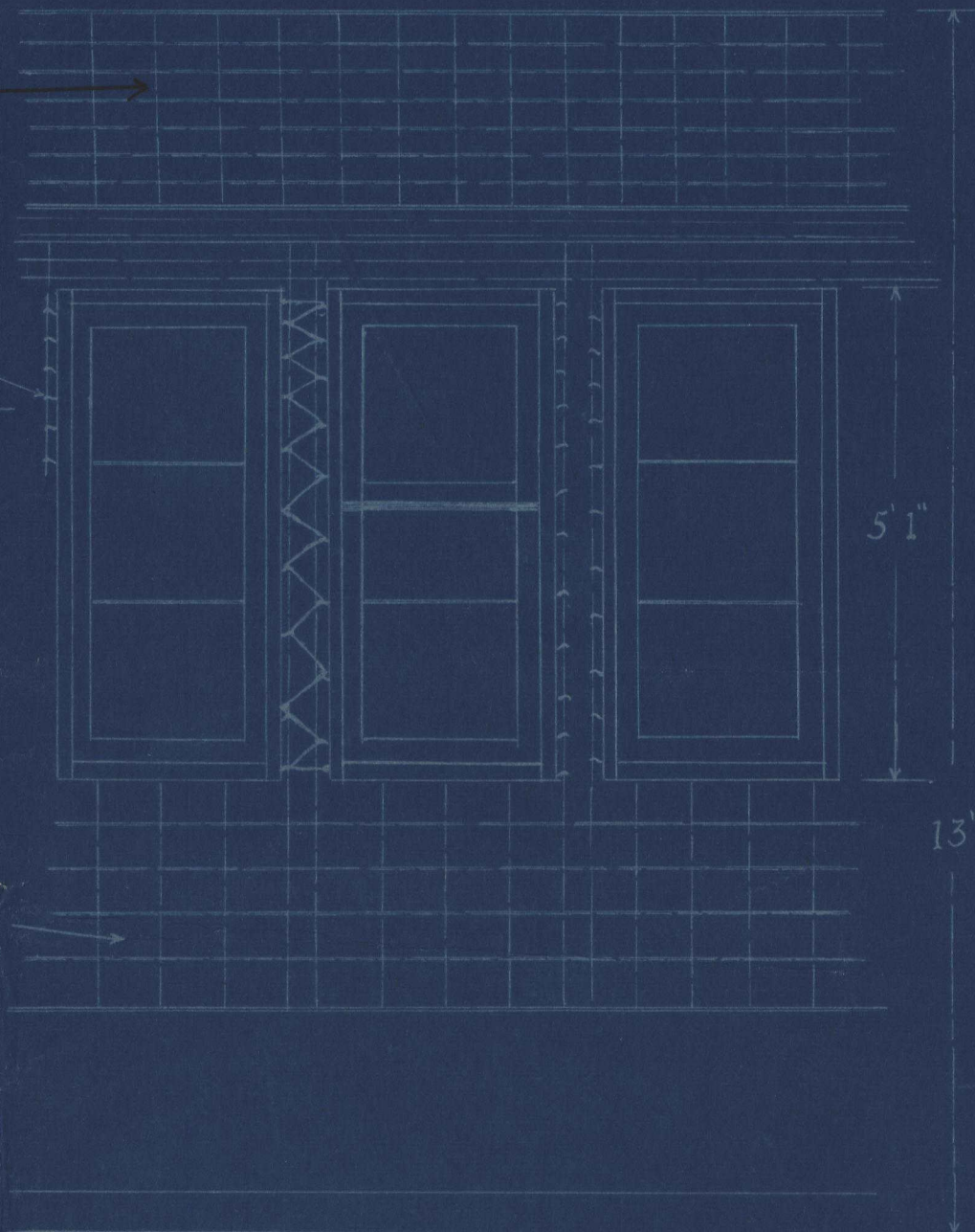
ELEVATION



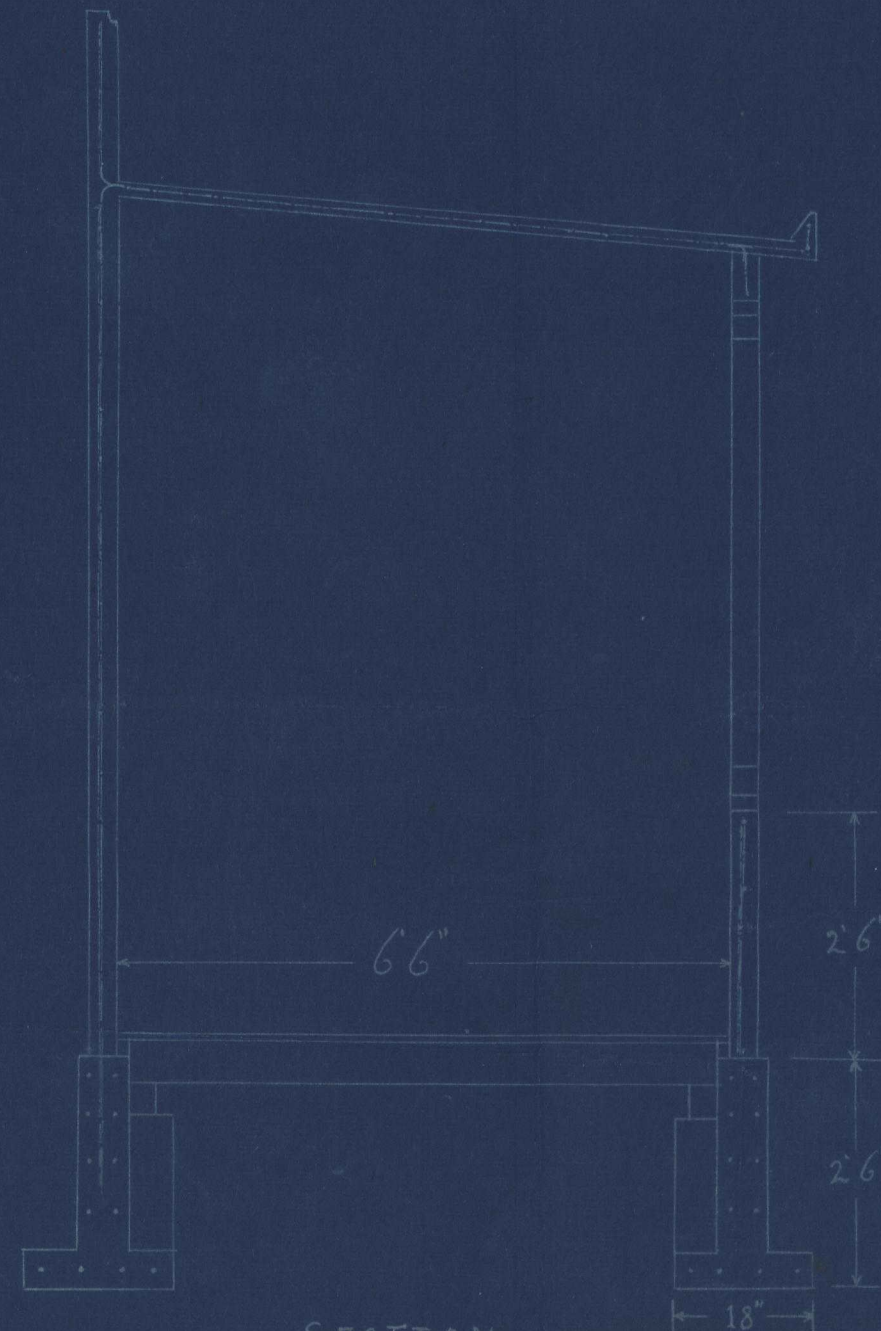
*Mo & wire lath
9x4" squares*

- Reinforcing Fixed To
Nails in Sash
and Door Frames -

Reinforcing
No 8 Wire "IsTeck"
9x6" Squares



ELEVATION



SECTION

VALUATION ROLL No.

LEGAL DESCRIPTION

1313/48

LOT 1 D.P. 14942

95 GONVILLE AVENUE

DRAINAGE & PLUMBING PERMITS

BUILDING PERMITS

Existing Use

Permit No.

Date

Permit No.

Date

Nature of Work

Designation

Zoning

Undersize Section

Building Line Restriction

Proposed Street

Proposed Service Lane

Proposed Access Way

Dangerous

Goods Licence

Fill Points

Housing File No.

Underground Tank

Type

Capacity
gals

Water Connection

Reg. No.

Amt. Paid.

Water Meter

Water Bore

Drainage Connection

Reg. No.

Amt. Pd.

Pool

Filtered

Unfiltered

Back Flow
PreventerStormwater
Connection

Reg. No.

Amt. Pd.

Heating

Gas

Oil-fired

Coal-
Wood

Electric

Other

Kerb Crossing

Reg. No.

Amt. Pd.

Conditional Use

File:

Specified Departure

File:

Dispensations

Reference

Date

Subdivision Conditions	Yes		Easements	See above	
	No			None	

SCALE: