

# Healthy Homes Reinspection Report



|                        |                                                      |
|------------------------|------------------------------------------------------|
| Client                 | [REDACTED] & [REDACTED] / - WorX Property Management |
| Property Address       | 6 Chadlington Avenue , Henderson, Auckland, 0612     |
| Date of Revised Report | 11/11/2021                                           |
| Inspection ID          | 90751                                                |

## REVISED INSPECTION REPORT

The purpose of this report is to update the previously issued Healthy Homes Inspection Report (Reference 90751) dated 30th July 2021.

This revised report is based on Information subsequently provided to us by the client/landlord/property manager/ other source OR a re-inspection of the property undertaken on 11th November 2021.

**Please read this report in conjunction with the previous report dated 30th July 2021.**

## INSPECTION DETAILS

David Stewart on behalf of R.P.I.S Ltd trading as Betta Property Compliance  
Admin Office: PO Box 11157, Hastings, 4158  
Free Phone: 0800 422 388  
info@bettagroup.co.nz

Invalid date

Chris S. [REDACTED] c/- WorX Property Management

RE: HEALTHY HOMES INSPECTION

|                               |                                                                             |
|-------------------------------|-----------------------------------------------------------------------------|
| Report Requested By           | Property Manager.                                                           |
| Date of Property Reinspection | 11/11/2021                                                                  |
| Date of Original Report       | 30/07/2021                                                                  |
| Reference Number              | 90751                                                                       |
| Property Address              | 6 Chadlington Avenue , Henderson, Auckland, 0612                            |
| Inspector                     | David Stewart on behalf of R.P.I.S Ltd trading as Betta Property Compliance |

### Methodology

This updated report is based on a re-inspection of the property undertaken on 11th November 2021 / information provided to us and a desktop update of this report based on this information.

### Limitations

- Limitations - Every care has been taken in compiling this amended Healthy Homes report to communicate an accurate record of the property's current level of compliance in accordance with the Residential Tenancies (Healthy Homes Standards) Regulations 2019.
- If the property was re-inspected, this Amended Healthy Homes report is a record of what was inspected on the day of the inspection. Compliance aspects of the house can change from time to time.
- Furniture, fixtures and fittings or any chattels in the property including the tenant's personal possessions will not be moved during the course of the inspection. This can make it difficult and at times impossible to make comment on areas of the property. If this is the case, this will be noted in the report.
- If the property was re-inspected, then this report is based on a VISUAL inspection only.
- This report is not a structural, electrical, building, asbestos or methamphetamine report, nor does it focus specifically on any other aspects of the property other than the six standards that make a healthy home (for the avoidance of doubt these are Heating, Insulation, Ventilation, Moisture, Drainage, Draught Stopping).
- The statements contained in this report are prepared solely for the purposes of determining the health of a building. It is not to be interpreted or utilized in any other manner whatsoever (including but not limited to soundness of the structure or defects)
- The report is prepared for the client to whom this report is addressed, and no liability will be accepted for any third party, incorrect use or omission.
- This report is to be read in conjunction with the Betta Property Compliance terms of trade.

### Other

- If the property was re-inspected, photographs showing changes in the property since the previous inspection were taken at the time of the re-inspection unless the client expressly requested otherwise.
- Areas that could not be accessed do not form part of this report.

If you have any questions regarding the scope of the inspection, please do not hesitate to call 0800 422 386 to discuss.

Thank you for choosing Betta Property Compliance to undertake your Healthy Homes inspection report.

Kind Regards

David Stewart on behalf of R.P.I.S Ltd trading as Betta Property Compliance

## AMENDMENTS TO PREVIOUS REPORT

The following changes have been made to the property since our previous report:

### HEATING

This section now complies as I have received a receipt from property manager that proves work has been completed. Please see appendix for receipt.

### INSULATION

This section of the report complies as per original report.

### VENTILATION

This section now complies as I have received a receipt from property manager that proves work has been completed. Please see appendix for receipt.

### DRAUGHTS

This section of the report complies as per original report.

### DRAINAGE & GUTTERING

This section now complies as I have received a receipt from property manager that proves work has been completed. Please see appendix for receipt.

### MOISTURE BARRIER

This section of the report complies as per original report.

## AMENDED SUMMARY OF COMPLIANCE as at 11th November 2021

Below is a summary of the ratings for each compliance component based on OUR RE-INSPECTION OF THE PROPERTY / THE INFORMATION PROVIDED TO US

|                                                                                     |                                                                                                                                                    |
|-------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------|
| HEATING                                                                             |                                                                                                                                                    |
|    | This section now complies as I have received a receipt from property manager that proves work has been completed. Please see appendix for receipt. |
| INSULATION                                                                          |                                                                                                                                                    |
|    | This section of the report complies as per original report.                                                                                        |
| VENTILATION                                                                         |                                                                                                                                                    |
|    | This section now complies as I have received a receipt from property manager that proves work has been completed. Please see appendix for receipt. |
| DRAUGHTS                                                                            |                                                                                                                                                    |
|    | This section of the report complies as per original report.                                                                                        |
| DRAINAGE & GUTTERING                                                                |                                                                                                                                                    |
|  | This section now complies as I have received a receipt from property manager that proves work has been completed. Please see appendix for receipt. |
| MOISTURE BARRIER                                                                    |                                                                                                                                                    |
|  | This section of the report complies as per original report.                                                                                        |

## APPENDIX - HEATING

Daikin 6.7kW heat pump installed

| ELECTRICAL CERTIFICATE OF COMPLIANCE & ELECTRICAL SAFETY CERTIFICATE                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|--|-------------------------------|--|------------------------|------------|-------------------|-----------|----------|----------|-----------------------|----------|------------------|--|
|  <b>REFERENCE/CERTIFICATE ID No.:</b> #551                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <small>This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under Part 1 or Part 2 of AS/NZS 3000 are safe to be connected to the specified system of electrical supply.</small>                  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Location Details:</b> 6 Chadlington Avenue, Henderson Heights,                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Contact Details:</b> Skyros Trust                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Name of Electrical worker:</b> Rhys Millington                                                                                                                                                                                                                      | <b>Registration/Practising licence number:</b> E264755                                                                                                                                                                                                                                                                                                                                                                                                                       |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Phone &amp; email:</b> 0202501732                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Name and registration number of person(s) supervised:</b> Gordon Vincent EST11143                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Certificate of Compliance</b>                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Type of work:</b> <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> New work<br><input checked="" type="checkbox"/> Low risk <input type="checkbox"/> General <input type="checkbox"/> High-risk (specify): |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>The prescribed electrical work is:</b>                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <small>(specify what appliance)</small>                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Means of compliance:</b> <input type="checkbox"/> Part 1 of AS/NZS 3000 <input checked="" type="checkbox"/> Part 2 of AS/NZS 3000                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Additional Standards or electrical code of practice were required:</b> <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (specify):                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Date or range of dates that prescribed electrical work undertaken:</b> 28/5/21                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Contains fittings that are safe to connect to a power supply?</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Specify type of supply system:</b> 240V                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>The installation has an earthing system that is correctly rated (where applicable)</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Parts of the installation to which this certificate relates that are safe to connect to a power supply?</b>                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <input checked="" type="checkbox"/> All <input type="checkbox"/> Parts (specify):                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>The work relies on manufacturers instructions:</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <small>If yes – identify the instruction manual including name, date and version. Also attach a copy of manufacturer's instructions to this certificate. (Or provide reference to readily accessible electronic format, eg. internet link.)</small>                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Identify:</b>                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Link:</b>                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>The work has been done in accordance with a certified design:</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <small>If yes – identify the certified design including name, date and version. Also attach a copy of the certified design to this certificate. (Or provide reference to readily accessible electronic format, eg. internet link.)</small>                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Identify:</b>                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Link:</b>                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>The work relies on a Supplier Declaration of Conformity (SDoC):</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <small>If yes – identify the SDoC including name, date and version OR EESS registration. Also attach a copy of the SDoC to this certificate. (Or provide reference to readily accessible electronic format, eg. internet link.)</small>                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Identify:</b>                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Link:</b>                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>The installation has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2018</b> <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Description of Work:</b><br>Installed 1x Daikin FVXM46 Heat Pump into living area.<br>Isolator beside outdoor unit. Power via supplied 16A room circuit.                                                                                                            | <table border="1"> <thead> <tr> <th colspan="2">Test Results (provide values)</th> </tr> </thead> <tbody> <tr> <td>Polarity (Independent earth):</td> <td></td> </tr> <tr> <td>Insulation resistance:</td> <td>&gt;200M Ohms</td> </tr> <tr> <td>Earth Continuity:</td> <td>0.45 Ohms</td> </tr> <tr> <td>Bonding:</td> <td>0.5 Ohms</td> </tr> <tr> <td>Fault Loop Impedance:</td> <td>0.8 Ohms</td> </tr> <tr> <td>Other (specify):</td> <td></td> </tr> </tbody> </table> | Test Results (provide values) |  | Polarity (Independent earth): |  | Insulation resistance: | >200M Ohms | Earth Continuity: | 0.45 Ohms | Bonding: | 0.5 Ohms | Fault Loop Impedance: | 0.8 Ohms | Other (specify): |  |
| Test Results (provide values)                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| Polarity (Independent earth):                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| Insulation resistance:                                                                                                                                                                                                                                                 | >200M Ohms                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| Earth Continuity:                                                                                                                                                                                                                                                      | 0.45 Ohms                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| Bonding:                                                                                                                                                                                                                                                               | 0.5 Ohms                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| Fault Loop Impedance:                                                                                                                                                                                                                                                  | 0.8 Ohms                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| Other (specify):                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>By signing this document I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct.</b>                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Certifier's signature:</b>                                                                                                                                                       | <b>Date:</b> 27/9/21                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Electrical Safety Certificate</b>                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>By signing this document I certify that the installation, or part of the installation, to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use.</b>                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Certifier's name:</b> Rhys Millington                                                                                                                                                                                                                               | <b>Registration/Practising licence number:</b> E264755                                                                                                                                                                                                                                                                                                                                                                                                                       |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <b>Certifier's signature:</b>                                                                                                                                                       | <b>Certificate Issue Date:</b> 29/7/21                                                                                                                                                                                                                                                                                                                                                                                                                                       |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
|                                                                                                                                                                                                                                                                        | <b>Connection Date:</b> 27/9/21                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <small>CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS</small>                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |
| <small>This Electrical Safety Certificate also confirms that the electrical work complies with the building code for the purposes of Section 11(3)(c) of the Building Act 2004.</small>                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                               |  |                               |  |                        |            |                   |           |          |          |                       |          |                  |  |

## APPENDIX - VENTILATION

Extract fans installed in both bathrooms

### TAX INVOICE

Site Address:  
6 Chadlington Avenue  
Henderson  
Auckland 0612  
NEW ZEALAND

Invoice Date  
26 Oct 2021

Account Number

Invoice Number  
INV-2884

Reference  
6 Chadlington Ave

GST Number  
081-636-613

Homefix Limited  
P.O. Box 20-397  
Glen Eden  
Auckland 0602  
NEW ZEALAND

| Description                                                             | Quantity | Unit Price | GST | Amount NZD |
|-------------------------------------------------------------------------|----------|------------|-----|------------|
| Supply and install x 2 VS3004 roof mounted extraction ventilation units | 2.00     | 686.08     | 15% | 1,372.16   |
| Subtotal                                                                |          |            |     | 1,372.16   |
| Total GST 15%                                                           |          |            |     | 205.82     |
| Invoice Total NZD                                                       |          |            |     | 1,577.98   |
| Total Net Payments NZD                                                  |          |            |     | 0.00       |
| Amount Due NZD                                                          |          |            |     | 1,577.98   |

### PAYMENT ADVICE

To: Homefix Limited  
P.O. Box 20-397  
Glen Eden  
Auckland 0602

Customer Chris Barrett

Invoice Number INV-2884

Amount Due 1,577.98

Due Date 02 Nov 2021

Bank account: 02 0185 0370 31 00

## APPENDIX - VENTILATION

It is not reasonably practical to vent an extraction fan above the cooking surface when it is not on the exterior wall and will require substantial building work to achieve the ventilation. It therefore exempt under the Healthy Homes Standards.

Chris Barrett, Chris@bettagroup.co.nz, 0214 41559



Wed 11/10/2021 8:26 PM

To: David Stewart

hi David

my electrician(he is an inspector) says there is no way to vent it as the main bedroom is right above and flooring joists run perpendicular to outside so we upgraded the motor of extractor and he advised that as there are no wall cupboards on that wall ie no where to run vent that we are legally compliant ie the Act says only if we can reasonably retrofit . We have a large sliding double window over kitchen and we upgraded the blinds to assist the opportunity to naturally vent also. There simply is no way to vent to outside other than building a box to the outside - which is unrealistic and would look stupid.

Hope that helps

We had same issue in lower bathroom but Homotech (my previous company) removed the roofing iron and were able to slide vent line far enough to work close to shower. Again my electrician said we were not mandated to do that but venting a bathroom is sensible and we were able to retrofit. The top ensuite was no issue.

Regards

Chris Barrett

Director

Betta Engineering / App Structural / All in Steel

0214 41559



## APPENDIX - DRAINAGE & GUTTERING

Leaf matter and debris removed from gutters



**EXT-WASH**  
EXTERIOR LOW PRESSURE WASH  
SPIDER/FLY TREATMENTS ★ ROOF TREATMENTS

**CLINT EDWARDS**  
Phone: 0508 EXTWASH  
(0508 398 9274)  
Mobile: 021 159 7315  
extwash@gmail.com  
www.ext-wash.co.nz  
www.fb.com/extwash

To: [REDACTED]  
Phone: [REDACTED]  
Address: G Chadling Ave  
Email: chris@damanengineering-co-nz  
Henderson

**Tax Invoice**  
**REFERENCE NO. 2808**  
**Date: 04-08-2021**

| Description                           | Rate                   |
|---------------------------------------|------------------------|
| House <u>Soft solution wash</u>       | \$ 260-                |
| Building <u>Retaining wall</u>        | \$ 60-                 |
| Garage                                |                        |
| Carport                               |                        |
| Paths                                 |                        |
| Pavers <u>Strong solution clean</u>   | \$ 200-                |
| Driveway <u>Strong solution clean</u> | \$ 60-                 |
| Patio                                 |                        |
| Fence                                 |                        |
| Roof <u>Moss solution wash</u>        | \$ 540-                |
| Internal Gutter <u>Flush House</u>    | \$ 180-                |
| Pergola                               |                        |
| Gazebo                                |                        |
| Umbrella                              |                        |
| Novalite                              |                        |
| Bbq Furniture                         |                        |
| Decks <u>Strong solution wash</u>     | \$ 60-                 |
| Fly and Spider treatment              |                        |
| <b>Direct Credit Payments to:</b>     |                        |
| ANZ                                   | Sub-Total: \$ 1360-    |
| 06 0317 0914660 02                    | G.S.T: \$ 204-         |
| GST No. 52 370 515                    | <b>TOTAL: \$ 1564-</b> |

Payment must be made within 7 days of receipt of invoice, unless otherwise arranged.  
If any portions of the money is not paid on time, interest will be charged and forwarded to Ext-Wash's debt collecting agency.

**Method of Payment**

☐ Cash    ☒ Direct Credit



# HEALTHY HOMES INSPECTION CERTIFICATE

**Report Identification Number:** 90751

**Property Address:** 6 Chadlington Avenue , Henderson, Auckland, 0612

**Client Name:** [REDACTED] C/- WorX Property Management

This certifies that the above property has been inspected and meets the compliance requirements of the Residential Tenancies (Healthy Homes Standards) Regulations 2019

**Issue Date:** 11/11/2021

**Expiry Date:** 11/11/2024

**Signed by the Inspector:**  
David Stewart



**Please see below for original healthy  
homes report completed on 30th July  
2021**

# Healthy Homes Inspection Report



|                  |                                                  |
|------------------|--------------------------------------------------|
| Client           | [REDACTED]                                       |
| Property Address | 6 Chadlington Avenue , Henderson, Auckland, 0612 |
| Date of Report   | 30/07/2021                                       |
| Inspection ID    | 85836                                            |

## INSPECTION DETAILS

David Stewart on behalf of R.P.I.S Ltd trading as Betta Property Compliance

Office: PO Box 11157, Hastings, 4158

Free Phone: 0800 422 388

info@bettagroup.co.nz

Sunday, 1st August 2021

RE: HEALTHY HOMES INSPECTION

|                      |                                                     |
|----------------------|-----------------------------------------------------|
| Report requested by: | Owner                                               |
| Inspection date:     | 30/07/2021                                          |
| Reference number:    | 85836                                               |
| Property address:    | 6 Chadlington Avenue , Henderson, Auckland, 0612    |
| Tenants details:     | The tenants were home at the time of the inspection |
| Inspector:           | David Stewart                                       |

### Purpose

The purpose of the Healthy Homes report is to establish whether the property complies with the Residential Tenancies (Healthy Homes Standards) Regulations 2019. The inspection report will document what is required to either confirm the PCBU is compliant with the current Healthy Homes regulations or provide enough information for the PCBU to understand what is required to make the property comply.

NOTE: the inspector is completely independent and is acting impartially at all times.

### Methodology

The inspector will systematically work their way around the interior and exterior of the property documenting the six key standards of a Healthy Home (Heating, Insulation, Ventilation, Moisture, Drainage, Draught Stopping).

### Limitations

- Every care has been taken in carrying out this inspection to communicate an accurate record of the property's current level of compliance with the Residential Tenancies (Healthy Homes Standards) Regulations 2019.
- The inspection is a record of what was inspected on the day of the inspection. Compliance aspects of the house can change from time to time.
- Furniture, fixtures and fittings or any chattels in the property including the tenant's personal possessions will not be moved during the course of the inspection. This can make it difficult and at times impossible to make comment on areas of the property. If this is the case, this will be noted in the report.
- The report is based on a VISUAL inspection only.
- This report is not a structural, electrical, building, asbestos or methamphetamine report, nor does it focus specifically on any other aspects of the property other than the six standards that make a healthy home (for the avoidance of doubt these are Heating, Insulation, Ventilation, Moisture, Drainage, Draught Stopping).
- The statements contained in this report are prepared solely for the purposes of determining the health of a building. It is not to be interpreted or utilized in any other manner whatsoever (including but not limited to soundness of the structure or defects)
- The report is prepared for the client to whom this report is addressed and no liability will be accepted for any third party, incorrect use or omission.
- This report is to be read in conjunction with the Betta Property Compliance terms of trade.

### Other

Photographs of the property were taken at the time of the inspection unless the client expressly requested otherwise.

Areas that could not be accessed do not form part of this report.

If you have any questions regarding the scope of the inspection, please do not hesitate to call 0800 422 386 to discuss.

Thank you for choosing Betta Property Compliance to undertake your Healthy Homes inspection report.

Kind Regards

David Stewart on behalf of R.P.I.S Ltd trading as Betta Property Compliance

## INSPECTION RESULTS INTERPRETATION

Within the report data sheets, the below color rating has been attributed to each of the Healthy Home elements.

### Compliance of an element

| Color Rating                                                                      | Rating                 | Definition                                                                                                                                                                                                            |
|-----------------------------------------------------------------------------------|------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  | Complies               | The inspector has determined that the Healthy Homes element complies (by meeting the minimum required standard) with the Residential Tenancies (HealthyHomes Standards) Regulations 2019.                             |
|  | Does <b>NOT</b> comply | The inspector has determined that the healthy homes element does not meet the minimum required standard of the Residential Tenancies (Healthy Homes Standards) Regulations 2019. Work is required to meet compliance. |

### Minimum Insulation Requirements

| INSULATION MINIMUM VALUES |      |            |      |
|---------------------------|------|------------|------|
| Zone 1 and 2              |      | Zone 3     |      |
| Ceiling                   | R2.9 | Ceiling    | R3.3 |
| Underfloor                | R1.3 | Underfloor | R1.3 |

### Map of climate zones



Definitions (as per the Residential Tenancies (Healthy Homes Standards) Regulations 2019).

#### Bathroom:

means a domestic living space in which a bath or shower is installed.

#### Domestic Living Space

means an interior space of a building that is a space for activities normally associated with domestic living.

#### Extractor Fan

means an extractor fan that vents extracted air to the outdoors.

#### Habitable Space

means a domestic living space excluding any bathroom, laundry, toilet, pantry, walk-in wardrobe, corridor, hallway, lobby, clothes-drying room, or other space of a specialised nature occupied neither frequently nor for extended periods.

#### Kitchen

means a domestic living space in which an indoor cooktop is installed.

#### Living Room

means a room that consists of, or includes, a habitable space that is for use, or could reasonably be expected to be used for general everyday living, whether as a lounge room, dining room, sitting room, family room, or other similar use.

#### Room

room means an area within residential premises that

- (a) consists of, or includes, 1 or more habitable spaces; and
- (b) is or can be fully enclosed by the floor, the ceiling, floor-to-ceiling walls, and closeable windows and doors.

#### Meaning of not reasonably practicable to install

It is not reasonably practicable to install something at any premises or tenancy building if, because of the way the premises or tenancy building is designed or built,

- (a) a professional installer cannot access the relevant area of the premises or tenancy building to install the thing without
  - (i) carrying out substantial building work; or
  - (ii) causing substantial damage to the premises or tenancy building; or
- (b) a professional installer cannot install the thing without creating greater risks to the health or safety of any person than are normally acceptable when something of that kind is being installed by a professional installer; or
- (c) it is otherwise not reasonably practicable for a professional installer to install the thing.

## SUMMARY

Below is a summary of the ratings for each compliance component.

|                                                                                                                                                 |                                                                                                                                           |
|-------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|
| <p>HEATING<br/><i>Refer to page 5</i></p>                      | <p>INSULATION<br/><i>Refer to page 7</i></p>           |
| <p>VENTILATION<br/><i>Refer to page 10</i></p>                 | <p>DRAUGHTS<br/><i>Refer to page 14</i></p>            |
| <p>DRAINAGE &amp; GUTTERING<br/><i>Refer to page 15</i></p>  | <p>MOISTURE BARRIER<br/><i>Refer to page 20</i></p>  |

## HEATING

*This section covers the heat source. Only the heat source in the main living area is assessed in this report. The functionality of the heat source was not inspected or commented on, nor was its efficiency. This report only comments on its compliance with the Residential Tenancies (Healthy Homes Standards) Regulations 2019. No heat sources were operated or tested as part of this inspection.*

*Where any technical knowledge or any specific tools or skills are required, the landlord is generally required to maintain the heating device including cleaning any filters. This comes under their obligation to keep the heater source in good working order. Eg. A flued gas heater must have its fixtures and fittings in good working order to ensure there is not gas leak. Additionally a wood burner must have its flue and chimney in good working order to ensure it is safe to operate. The inspector is unable to ascertain this information from the inspection and this is not reported on within this report.*

*In order to meet Healthy Homes compliance, gas heaters must be flued. † Approved gas heaters should have a compliance label on the side stating kW or BTU output. † If there is no label, then the landlord or property manager is required to check compliance / engage the services of a gas filter / heating specialist & ascertain safety.*

*Wood and pellet burners require a building consent for installation or modification and must meet council requirements, plus any National Environmental Standards for Air Quality. † This has been unable to be confirmed by the inspector, therefore this has not been commented on in this report.*

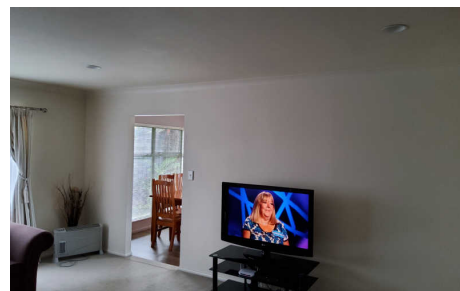
*Required heating capacity (calculations on Appendix One) are calculated using a custom-built calculator not the online calculator provided for the public. Results may vary slightly from online calculators.*

Restrictions: **None.**

Heat source type: **No Heating.**



Heat source type: **No Heating.**



Heat source make: **N/A.**

Heat source rating/capacity: **N/A.**

Required heating capacity (calculations on Appendix One): **6.50kW**

Is the heat source positioned to heat the main living room: **N/A.**

Does the heat source have thermostat: **N/A.**

Heat source condition: **N/A.**

Compliance: **●**



Additional comments:

A rental home must have a fixed heating device that can directly heat the main living room. A living room can be any habitable space that can be used for general everyday living eg. Lounge room, dining room, sitting room or family room.  
Heating device required minimum 6.5kW.

***Heating requirements as documented in the (as per the Residential Tenancies (Healthy Homes Standards) Regulations 2019)***

*8(1) The main living room of the premises must be heated by 1 or more qualifying heaters with a total heating capacity of at least the required heating capacity for the main living room.*

*9(1) A heater is a qualifying heater if*

*(a) it is installed as a fixture to the premises; and*

*(b) either*

*(i) the heater (or if it is a fixed heat pump, the indoor unit) is in the living room; or*

*(ii) the heater supplies heat directly into the living room (for example, through a duct or*

*(c) it has a heating capacity of at least 1.5 kW; and*

*(d) if it is an electric heater or a fixed heat pump, it has a thermostat; and*

*(e) it is not an unacceptable heater.*

*(2) Each of the following is an unacceptable heater:*

*(a) an open fire:*

*(b) an unflued combustion heater:*

*(c) if the required heating capacity for the living room is greater than 2.4 kW, an electric heater.*

*(3) In this regulation,*

*electric heater means an electric heater that is not a fixed heat pump*

*fixed heat pump means a heat pump that is permanently wired into the premises' electrical system.*

## INSULATION

*This section covers the roof and underfloor spaces. Due to Health & Safety requirements the subfloor and roof space is only inspected from the manholes, and therefore those areas which could not be viewed from the manholes could not be commented on.*

### Ceiling

Restrictions:

The roof space inspection was limited. We could not complete a full inspection of the roof space, Our visual inspection was made from the inspection hatch. Only areas visible from the inspection hatch were observed and comments included in this report.

Insulation type:

Glasswool



Insulation type:

Glasswool



What is the thickness of the insulation: **180mm includes existing**

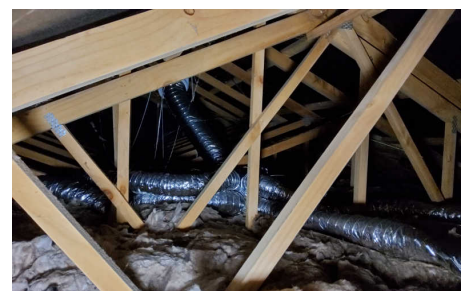


Estimated R-value: **R3.0.**

Insulation condition: **Good Condition.**



Insulation condition: **Good Condition.**



Insulation condition: **Good Condition.**



Compliance:



Additional comments: **The ceiling insulation complies due to the insulation exceeding the minimum R2.9 / 3.3 rating required for this climate zone.**

#### Underfloor

Restrictions: **Concrete slab (insulation is therefore not required)**

Insulation type: **N/A.**

What is the thickness of the insulation?: N/A.

Estimated R-value: R1.4

Insulation condition: N/A.

Compliance:



Additional comments: Areas of homes with concrete slab on ground floors are not required to be insulated and therefore comply.

#### General

Wall insulation details: Unknown

Installation date for ceiling: Unknown

Installation date for underfloor: Unknown

Installation date for walls: Unknown

#### ***Insulation requirements as documented in the (as per the Residential Tenancies (Healthy Homes Standards) Regulations 2019).***

##### **14 Qualifying ceiling insulation**

(1) Ceiling insulation is qualifying ceiling insulation if all of the following apply:

- (a) the insulation's R-value, when it was installed, was,
  - (i) if the premises are in zone 1 or zone 2, at least 2.9; or
  - (ii) if the premises are in zone 3, at least 3.3;

(b) the insulation was installed in accordance with NZS 4246:2016: (located on page 3 of this report)

(c) the insulation is in a reasonable condition (or better).

(2) If the ceiling insulation for an area of ceiling consists of 2 or more products installed on top of each other, the insulation's R-value for the purposes of subclause (1)(a) is to be determined by

- (a) determining the R-value of each product when it was installed; and
- (b) adding those R-values together

##### **16 Qualifying underfloor insulation**

(1) Underfloor insulation is qualifying underfloor insulation if all of the following apply:

- (a) the insulation's R-value, when it was installed, was at least 1.3;
- (b) the insulation was installed in accordance with NZS 4246:2016: (located on page 3 of this report)
- (c) the insulation is in a reasonable condition (or better).

(2) If the underfloor insulation for an area of floor consists of 2 or more products installed on top of each other, the insulation's R-value for the purposes of subclause (1)(a) is to be determined by

- (a) determining the R-value of each product when it was installed; and
- (b) adding those R-values together

##### **18 Determining whether insulation is in reasonable condition**

(1) In determining whether insulation is in reasonable condition (or better), the following matters must be taken into account:

(2) Without limiting subclause (1), ceiling insulation is not in reasonable condition if the minimum thickness of the insulation material is less than 120 mm.

(3) However, subclause (2) does not apply if the landlord proves that

- (a) the insulation's R-value, when it was installed, was the value specified in regulation 14(1)(a)(i) or (ii) (as applicable); and
- (b) the current thickness of the insulation material is 70% or more of its thickness when it was installed (even if its current thickness is less than 120 mm).

In addition

Ceiling insulation installed before 1 July 2016 is exempt from R-Values provided the minimum thickness of the insulation material is at least 120 mm. If records show it was installed post 2016, then it will need to be topped up to meet the R2.9 / R3.3 requirement for this climate zone.

## VENTILATION

*This section covers the ventilation of each habitable space. This report only comments on its compliance with the Residential Tenancies (Healthy Homes Standards) Regulations 2019. No mechanical ventilation was tested as part of this inspection.*

### Ventilation

Restrictions: **None.**

### Kitchen/s

Mechanical Ventilation Type: **Rangehood.**



Mechanical Ventilation Condition: **Good, however light not working.**



Is the size of the Mechanical Ventilation adequate: **Yes.**

Are all Mechanical Vents ventilating to the exterior: **No, recirculating into the kitchen.**



Compliance:



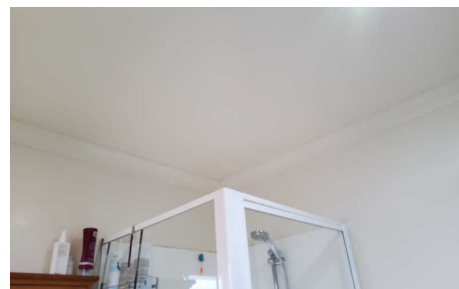
Additional comments: **Recirculating into the kitchen**

### Bathroom/s

Mechanical Ventilation Type: No mechanical extract in bathroom



Mechanical Ventilation Type: No mechanical extract in bathroom



Mechanical Ventilation Condition: N/A.

Is the size of the Mechanical Ventilation adequate: N/A.

Are all Mechanical Vents ventilating to the exterior: N/A.

Compliance:



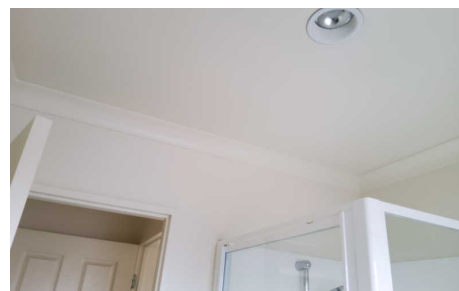
Additional comments: The bathroom requires a mechanical ventilation unit installed to comply with the Healthy Homes Standard. Bathrooms require an exhaust duct of a minimum of 120mm vented to the outside of the house to comply.

#### Bathroom upper

Mechanical Ventilation Type: No mechanical extract in bathroom



Mechanical Ventilation Type: No mechanical extract in bathroom



Mechanical Ventilation Condition: N/A.

Is the size of the Mechanical Ventilation adequate: N/A.



Are all Mechanical Vents ventilating to the exterior: N/A.

Compliance:



Additional comments:

The bathroom requires a mechanical ventilation unit installed to comply with the Healthy Homes Standard. Bathrooms require an exhaust duct of a minimum of 120mm vented to the outside of the house to comply.

## Windows

Does the area of the window meet the minimum 5% requirement of floor space in each room: Yes.

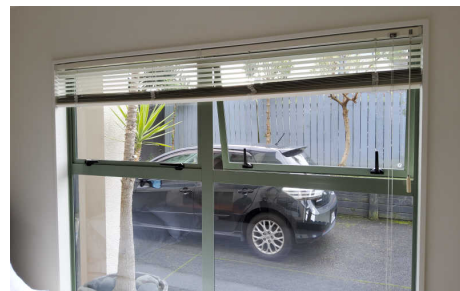
Is there one opening window or door in each habitable room: Yes bedroom.



Is there one opening window or door in each habitable room: Yes bedroom.



Is there one opening window or door in each habitable room: Yes bedroom.



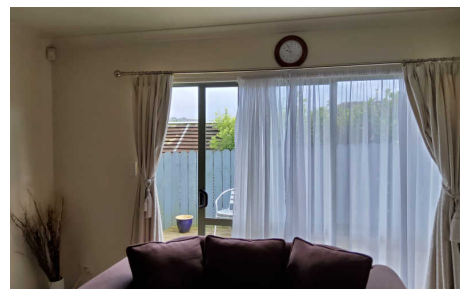
Is there one opening window or door in each habitable room: Yes kitchen.



Is there one opening window or door in each habitable room: **Yes dining.**



Is there one opening window or door in each habitable room: **Yes living**



Are all exterior opening windows and doors able to be fixed in position: **Yes.**

Compliance:



Additional comments:

**The window ventilation section of the Healthy Homes Standards is fully compliant.**

**Ventilation requirements as documented in the (as per the Residential Tenancies (Healthy Homes Standards) Regulations 2019).**

**21 Openable windows or external doors**

- (1) Each habitable space in the premises must have 1 or more qualifying windows or doors.
- (2) The total openable area of the qualifying windows or doors in the habitable space must be at least 5% of the floor area of the habitable space.
- (3) A window, skylight, or door is a qualifying window or door if it
  - (a) opens to the outdoors; and
  - (b) is designed and built in a way that allows it to remain fixed in the open position during normal occupation of the premises
- (4) The openable area of a qualifying window or door is its net openable area on the internal face of the building element in which it is located.

**23 Extractor fans for kitchens and bathrooms**

- (1) Each kitchen and bathroom in the premises must have an extractor fan installed in it.
- (2) For a kitchen,
  - (a) the fan and all exhaust ducting must have a diameter of at least 150 mm; or
  - (b) the fan and all exhaust ducting must have an exhaust capacity of at least 50 l/s.
- (3) For a bathroom,
  - (a) the fan and all exhaust ducting must have a diameter of at least 120 mm; or
  - (b) the fan and all exhaust ducting must have an exhaust capacity of at least 25 l/s.

*In addition (as per tenancy services release Aug 2019) :*

*Extractor fans installed BEFORE 1 July 2019: No minimum size or performance requirements but fans must be in good working order and ventilate to outdoors. This means that the range hood or extractor fan must not vent back into the kitchen or bathroom, into a roof space or other space. Any ducting must be connected, intact (i.e. without tears or holes) and installed so that extracted air can flow freely through it (e.g. no unnecessary kinks or compressions). Any grills or filters must be unclogged.*



## DRAUGHTS

*This section covers the draughts between the interior and exterior of the building. Draughts can vary in severity depending on building movement, and may be affected by thermal expansion. Only major draughts consisting of a gap of over 3mm will be commented on.*

### Draughts

Restrictions: **None.**

Are there any open fires located in the dwelling that are not adequately sealed: **No.**

Are there any gaps or cracks larger than 3mm which may cause draughts: **No.**

Compliance:



Additional comments: **This home is fully compliant with all aspects of the draughts section of the Healthy Homes Standards.**

### ***Draught Stopping requirements as documented in the (as per the Residential Tenancies (Healthy Homes Standards) Regulations 2019).***

#### **25 Open fireplaces to be blocked**

- (1) *If the premises have an open fireplace, it must be closed off, or its chimney must be blocked, in a way that prevents draughts into and out of the premises through the fireplace.*
- (2) *However, subclause (1) does not apply if*
  - (a) *the tenant requests in writing that the fireplace be available for use; and*
  - (b) *the landlord agrees to the request*
- (3) *If subclause (1) is disapplied under subclause (2), the fireplace and its chimney must be*
  - (a) *free from gaps or holes that allow draughts into or out of the premises and that are not necessary for the safe and efficient operation of the fireplace; and*
  - (b) *maintained in good working order.*

#### **26 Gaps and holes that allow draughts**

- (1) *The premises must be free from gaps between, and holes in, building elements that*
  - (a) *are not intentional parts of the construction of the premises (such as drainage and ventilation openings); and*
  - (b) *allow draughts into or out of the premises; and*
  - (c) *are unreasonable.*
- (2) *In determining whether a gap or hole is unreasonable for the purposes of subclause (1)(c), the following matters may be taken into account:*
  - (a) *the size and location of the gap or hole;*
  - (b) *the extent of the draught that is allowed through the gap or hole;*
  - (c) *if there is more than 1 gap or hole at the premises, the extent of the total draught that is allowed through those gaps and holes;*
  - (d) *the likely impact that a draught through the gap or hole will have on heat loss from the premises;*
  - (e) *any other relevant matters, subject to subclause (3).*
- (3) *In determining whether a gap or hole is unreasonable for the purposes of subclause (1)(c), the age and condition of the premises or tenancy building must not be taken into account.*

## DRAINAGE & GUTTERING

*This section covers site drainage and roof water management. It does not comment on the weathertightness of the property or any water ingress. The report only comments on its compliance with the Residential Tenancies (Healthy Homes Standards) Regulations 2019. Due to the nature of some sites inspection may be limited for both the site drainage and guttering systems due to factors such as planting, elevation and site contour. The efficiency of the drainage or guttering systems where not tested. The systems were visually inspected only.*

Restrictions:

There was limited access to the roof due to height, therefore all comments below are only based on what could be seen on the day of the inspection and do not comment fully on the efficiency or operation of the drainage and guttering systems.

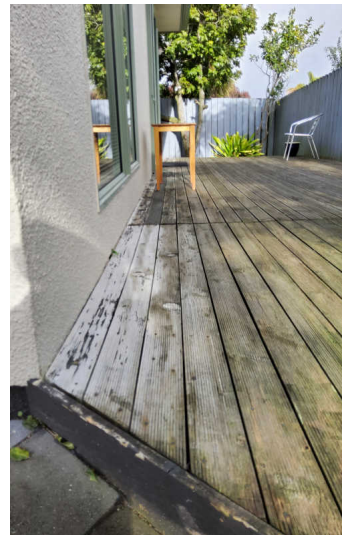
Is there any evidence of stormwater pooling/ponding around the site:

No.



Is there any evidence of stormwater pooling/ponding around the site:

No deck.



Is there any evidence of stormwater pooling/ponding around the site:

No.



Do all the roof areas have gutters & downpipes catching the roof water:

Yes.



Do all the roof areas have gutters & downpipes catching the roof water:

Yes.



Do all the roof areas have gutters & downpipes catching the roof water:

Yes.



Do all the roof areas have gutters & downpipes catching the roof water:

Yes.



Do all the roof areas have gutters & downpipes catching the roof water:

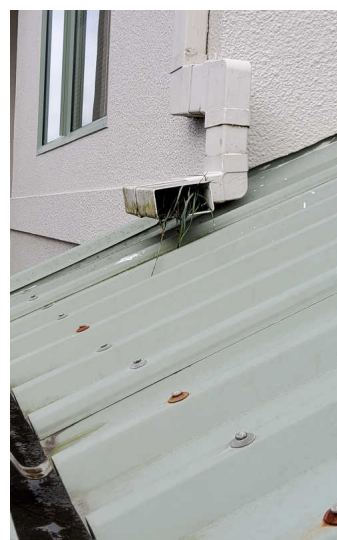
Yes.



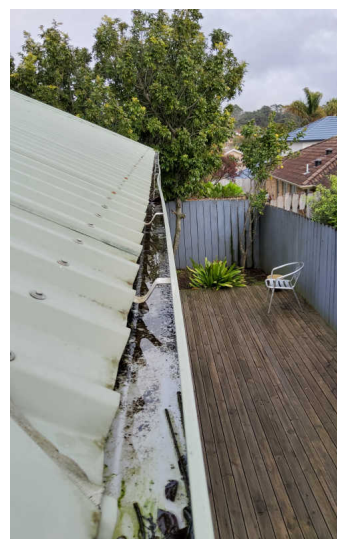
Gutter & Downpipe condition: **Poor.**



Gutter & Downpipe condition: **Poor.**

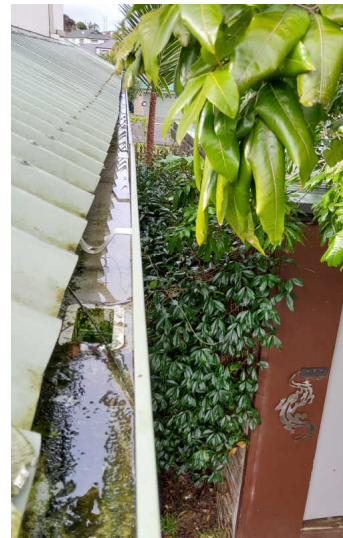


Gutter & Downpipe condition: **Good.**





Gutter & Downpipe condition: **Good.**



Gutter & Downpipe condition: **Poor.**



Do the downpipes discharge into a stormwater reticulation system: **Yes.**



Do the downpipes discharge into a stormwater reticulation system: **Yes.**



Do the downpipes discharge into a stormwater reticulation system: **Yes.**



Compliance:



Additional comments: **Healthy Homes requires all gutters to be free of leaf matter and debris.**

***Drainage System requirements as documented in the (as per the Residential Tenancies (Healthy Homes Standards) Regulations 2019).***

***27 Tenancy building to have efficient drainage system***

- (1) The tenancy building must have a drainage system that efficiently drains storm water, surface water, and ground water to an appropriate outfall.***
- (2) The drainage system must include appropriate gutters, downpipes, and drains for the removal of water from the roof.***

## MOISTURE BARRIER

*This section covers the moisture barrier in the subfloor. It does not comment on the weathertightness of the property or any water ingress. The report only comments on its compliance with the Residential Tenancies (Healthy Homes Standards) Regulations 2019. Due to Health & Safety requirements the subfloor is only inspected from the manhole, and therefore those areas which could not be viewed from the manholes could not be commented on.*

Restrictions: Concrete slab therefore not inspected.

Is the subfloor enclosed: N/A.

Is there an adequately installed ground vapour barrier: N/A.

Is the subfloor ventilated: N/A.

Compliance: 

Additional comments: This dwelling has a concrete floor slab. Therefore, a moisture barrier is not required.

### ***Drainage System requirements as documented in the (as per the Residential Tenancies (Healthy Homes Standards) Regulations 2019).***

#### **28 Suspended floors to have ground moisture barrier**

- (1) This regulation applies if
  - (a) the tenancy building has a suspended floor; and
  - (b) the subfloor space is enclosed.
- (2) The tenancy building's subfloor space must
  - (a) have a ground moisture barrier that
    - (i) is made of a material that meets the specifications for an onground vapour barrier set out in section 8 of NZS 4246:2016; and
    - (ii) was installed in accordance with section 8 of NZS 4246:2016; or
  - (b) have an alternative ground moisture barrier that
    - (i) has a vapour flow resistance of at least 50 MN s/g; and
    - (ii) was installed by an appropriate professional installer.
- 3) A subfloor space is enclosed if the airflow into and out of the space is significantly obstructed along at least 50% of the perimeter of the subfloor space by 1 or more of the following:
  - (a) a masonry foundation wall;
  - (b) cement boards, timber skirting, or other cladding;
  - (c) other parts of the building or any adjoining structure;
  - (d) any other permanent or semi-permanent structure that significantly obstructs airflow;
  - (e) rock, soil, or other similar material.



## HEATING CALCULATIONS - APPENDIX ONE

The required heating capacity for a living room is to be calculated using the following formula:

$$h = [t + v + (f \times 40)] / 1000$$

Where-

- h is the required heating capacity for the living room (kW)
- t is the transmission heat loss of the living room (W)
- v is the ventilation heat loss of the living room (W)
- f is the area of the floor of the living room (m<sup>2</sup>)

Calculations:

$$h = 6.50 = [4176.85 + 599.27 + (43.20 \times 40)] / 1000$$

## SUMMARY OF COMPLIANCE - APPENDIX TWO

Below is a summary of the ratings for each compliance component.

|                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|-------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| HEATING                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|    | A rental home must have a fixed heating device that can directly heat the main living room. A living room can be any habitable space that can be used for general everyday living eg. Lounge room, dining room, sitting room or family room.<br>Heating device required minimum 6.5kW.                                                                                                                                                                                                                                                                              |
| INSULATION                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|    | The ceiling insulation complies due to the insulation exceeding the minimum R2.9 / 3.3 rating required for this climate zone.<br><br>Areas of homes with concrete slab on ground floors are not required to be insulated and therefore comply.                                                                                                                                                                                                                                                                                                                      |
| VENTILATION                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|    | Recirculating into the kitchen<br><br>The bathroom requires a mechanical ventilation unit installed to comply with the Healthy Homes Standard. Bathrooms require an exhaust duct of a minimum of 120mm vented to the outside of the house to comply.<br><br>The bathroom requires a mechanical ventilation unit installed to comply with the Healthy Homes Standard. Bathrooms require an exhaust duct of a minimum of 120mm vented to the outside of the house to comply.<br><br>The window ventilation section of the Healthy Homes Standards is fully compliant. |
| DRAUGHTS                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|  | This home is fully compliant with all aspects of the draughts section of the Healthy Homes Standards.                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| DRAINAGE & GUTTERING                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|  | Healthy Homes requires all gutters to be free of leaf matter and debris.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| MOISTURE BARRIER                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|  | This dwelling has a concrete floor slab. Therefore, a moisture barrier is not required.                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |