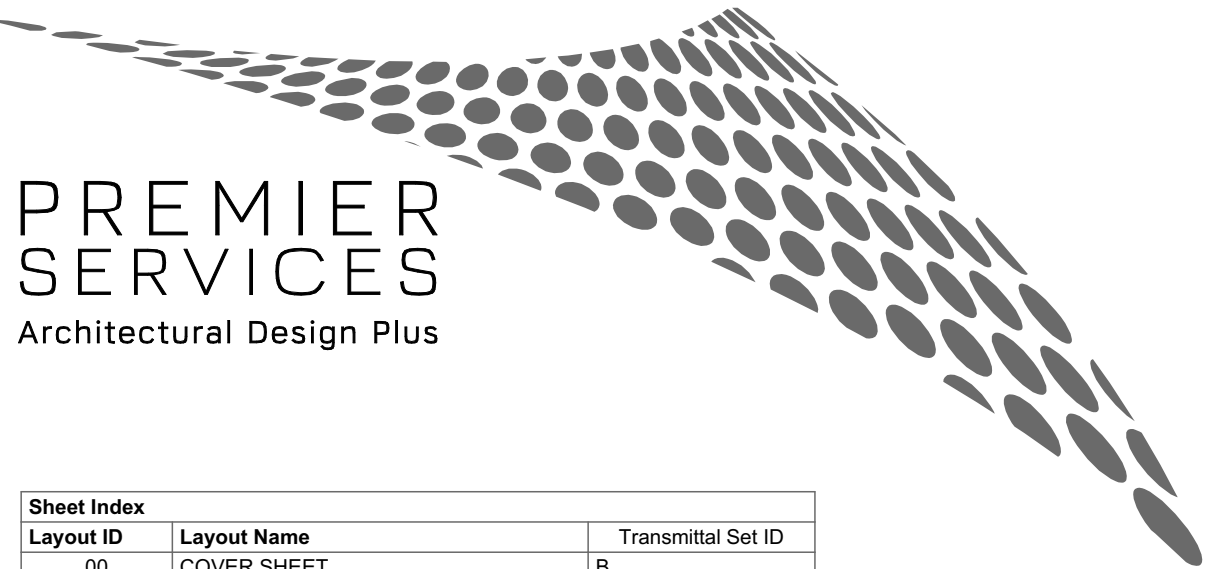




PREMIER
SERVICES
Architectural Design Plus

BUILDING CONSENT DRAWINGS

KAHIKATEA TOWNHOUSE FOR DAVID & SUSAN FORD.
AT 18 KAHIKATEA WAY, RICHMOND

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GENERAL NOTES

DIMENSIONS NOTED ON THESE DRAWINGS ARE FROM STRUCTURAL SURFACES UNLESS OTHERWISE INDICATED. ALL DIMENSIONS ARE GIVEN IN MILLIMETERS.

The Contractor is responsible for the correct setting out of the building on site. Boundary pegs are to be located, and setting out points are to be verified on site against information provided prior. All levels/dimensions are to be confirmed onsite before commencing any work and any discrepancies are to be brought to the attention of the Premier Services Limited.

Where available, Engineering drawings are to be read in conjunction with this documentation, any discrepancies to be reported to Premier Services Limited.

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NOTES

DOWNPIPE CALCULATIONS

85m² MAXIMUM ROOF PLAN AREA PER 80Ø DOWNPIPE
TO COMPLY WITH THE NEW ZEALAND BUILDING CODE
ACCEPTABLE SOLUTION E1/AS1 (SURFACE WATER) FOR
0-25° ROOF PITCH

REFER TO ROOF PLAN FOR CONTRIBUTORY HOUSE
PLAN ROOF AREAS.

HOT WATER CYLINDER

HOT WATER CYLINDER SHALL BE 250L ELECTRIC HOT WATER CYLINDER COMPLETE WITH PRESSURE REDUCING & RELIEF VALVES & TEMPERING VALVE 200 COPPER SLUDGE PIPE TO DISCHARGE OVER THE NEAREST GULLY TRAP. SECURE WITH SEISMIC RESTRAINTS AS PER ACCEPTABLE SOLUTION G12/AS1 (WATER SUPPLIES) FIGURE 14.

HOT WATER CYLINDER DISCHARGE PIPES

HWC TO HAVE 15mm COLDWATER LINE FEEDING FWG TO SAFETRAY & 15mm COPPER PIPE, CONNECTING TO 20mm COPPER PIPE AND BOTH DISCHARGING TO GT WITH 4 WAY RISER. REFER TO DETAILS FOR FURTHER GUIDANCE.

STORAGE WATER HEATER PIPE INSULATION

PIPING ASSOCIATED WITH STORAGE WATER HEATER SHALL BE THERMALLY INSULATED TO NZS4305. PROVIDE 25mm OF CLOSED CELL POLYMER (R.0.6) INSULATION TO THE VENT PIPE FOR 300mm ABOVE THE STANDING WATER LEVEL AND THE FIRST 2m OF THE DISTRIBUTION PIPE.

SAFE TRAYS

FREE WATER FROM ACCIDENTAL OVERFLOW FROM
SANITARY FIXTURES OR SANITARY APPLIANCES MUST
BE DISPOSED OF IN A WAY THAT AVOIDS LOSS OF
AMENITY OR DAMAGE TO HOUSEHOLD UNITS OR
OTHER PROPERTY. AN ACCEPTABLE METHOD OF
PREVENTING WATER DAMAGE IS TO LOCATE A SAFE
TRAY BELOW THE WATER TANK WITH AN
INCORPORATED DRAIN WITH A MINIMUM DIAMETER OF
40mm.

OVERFLOW PIPE TO DISCHARGE ANY OVERFLOW TO A
VISIBLE PLACE WITHIN THE SAME PROPERTY THAT
DOES NOT CREATE A NUISANCE OR DAMAGE TO
BUILDING ELEMENTS.

WATER SUPPLY

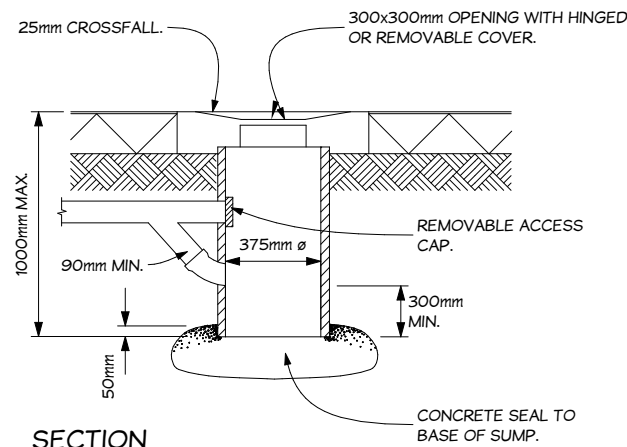
ALL COLD-WATER SUPPLY PIPEWORK SHALL BE MEDIUM/HIGH-DENSITY POLYETHYLENE (MDPE/HDPE), ARRANGED AND FIXED SO THAT ALL JOINTS ARE IN A FULLY 'RELAXED' CONDITION, WITHOUT ANY STRESS OR TENSION.

INSTALL CONVENIENTLY LOCATED ISOLATING VALVES TO TURN OFF EACH GROUP OF FITTINGS, AND INSTALL A SMALL ISOLATING VALVE ALONGSIDE EACH TOILET CISTERN NOT INTEGRALLY FITTED WITH ONE.

FOUL WATER/SANITARY PLUMBING

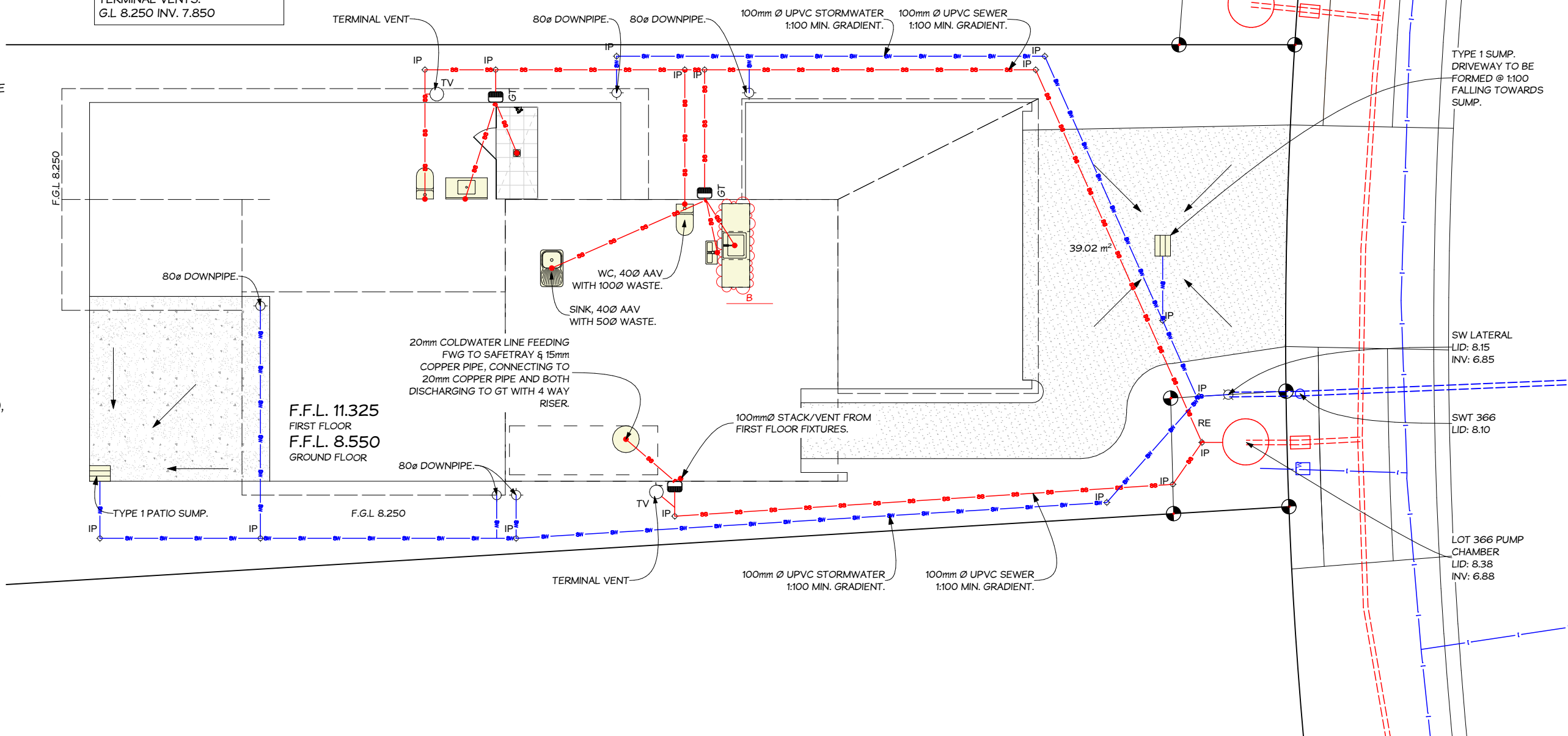
SANITARY DRAINAGE SYSTEM TO NEW ZEALAND
BUILDING CODE CLAUSE G13/AS1 (FOUL WATER)

FIXTURE DISCHARGE PIPE SIZES AND GRADIENT		
SANITARY FIXTURE OR APPLIANCE	DISCHARGE PIPE (mm)	MINIMUM GRADIENT
Basin/Vanity	40ø	1:40
Bathtub	40ø	1:40
Shower	40ø	1:40
Water Closet Pan	100ø	1:40
Kitchen Sink	50ø	1:40
Laundry Tub	50ø	1:40



1 TYPICAL TYPE 1 SUMP
1:10

NOTE: ALL 80ø DOWNPIPES &
TERMINAL VENTS.
G.L. 8.250 INV. 7.850



RevID	Rev. Name	Change Name	Date
A	Building Consent		19/11/2021
B	Individual Building Consent	Individual Building Consent	10/02/2022

KAHIKATEA TOWNHOUSE

DRAINAGE PLAN

Job No.

DAVID & SUSAN FORD.

145596

18 KAHIKATEA WAY, RICHMOND

SCALE :

1:100

G.J. Gardner. HOMES



**PREMIER
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SHEET : original A3

A01

SITE IDENTIFICATION	
Legal Description:	LOT 366 DP 561194
TA Zoning:	Residential
Topographic Class:	T1
Zones	
- Wind:	High
- Earthquake:	2
- Durability:	C
- Snow Loading:	0.0 kPa
Designed to:	NZS3604:2011

NOTES

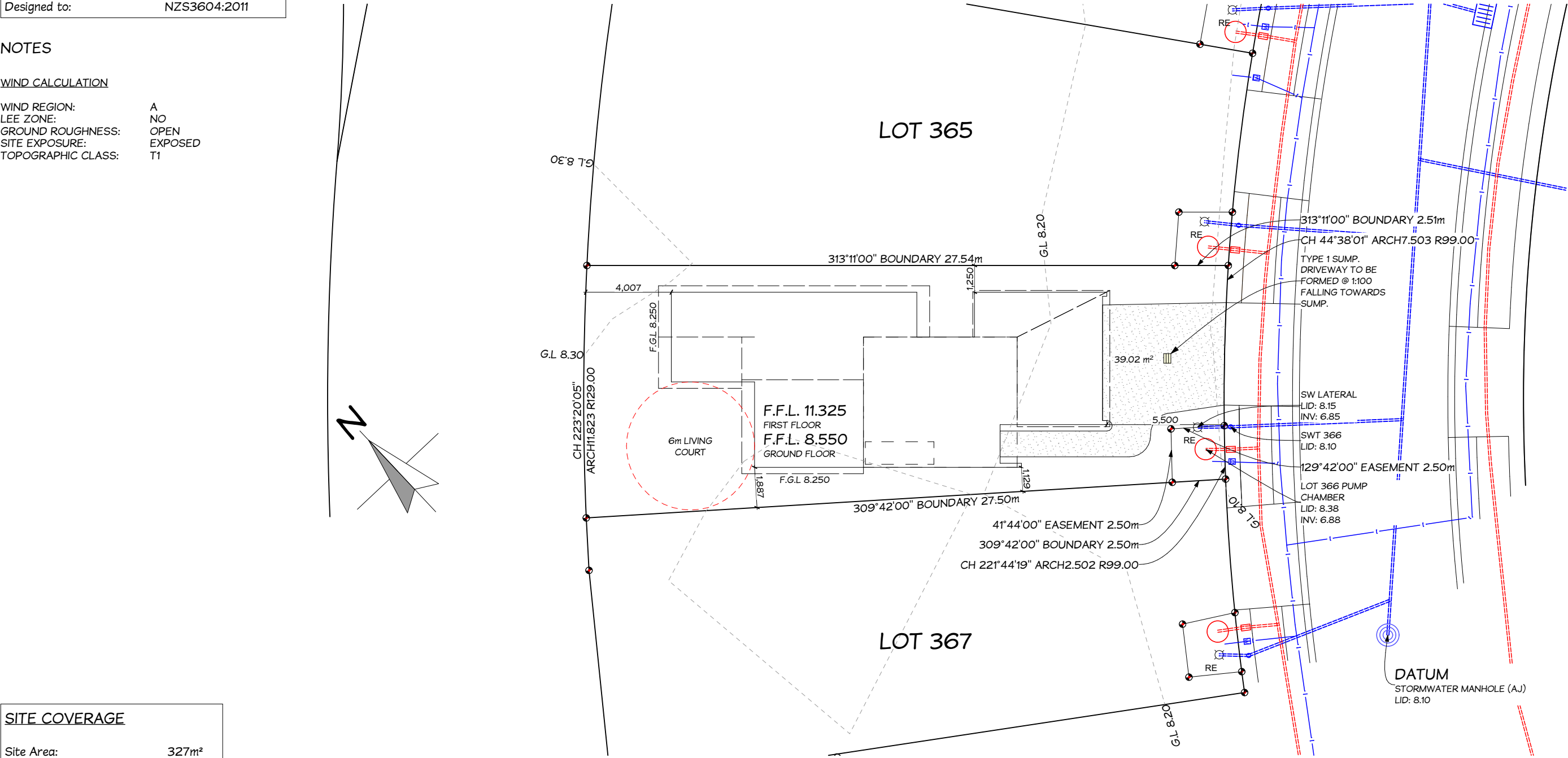
WIND CALCULATION	
WIND REGION:	A
LEE ZONE:	NO
GROUND ROUGHNESS:	OPEN
SITE EXPOSURE:	EXPOSED
TOPOGRAPHIC CLASS:	T1

TOWNHOUSE AS CONSENTED BY SH180022V2
APPROVED PLANS (APPENDIX A)

MECHANICAL VENTILATION

MECHANICAL VENTILATION TO BE INSTALLED AS
PER THE SPECIFICATIONS IN ACCORDANCE WITH
THE CONSENT NOTICE 11806549.12

RevID	Rev. Name	Charge Name	Date
B	Individual Building Consent		10/02/2022



SITE COVERAGE	
Site Area:	327m²
Building Coverage Area:	135.04m²
Building Coverage:	41.30%
COVERED BY RESOURCE CONSENT.	

SITE PLAN

Job No.	DAVID & SUSAN FORD.	SCALE :	G.J. Gardner. HOMES PREMIER SERVICES Architectural Design Plus		SHEET : original A3
145596	18 KAHIKATEA WAY, RICHMOND	1:200			A32

DIMENSIONS

ALL DIMENSIONS ARE TO FRAMING UNLESS OTHERWISE STATED.

SEDIMENT CONTROL

SEDIMENT CONTROL IN ACCORDANCE WITH "BUILDING SITE GUIDE FOR EROSION AND SEDIMENT CONTROL".

MAINTENANCE OF TEMPORARY WORKS

MAINTAIN ALTER, ADAPT AND MOVE TEMPORARY WORKS AND SERVICES AS NECESSARY. CLEAR AWAY WHEN NO LONGER REQUIRED AND MAKE GOOD.

CONCRETE RUN OFF PROTECTION

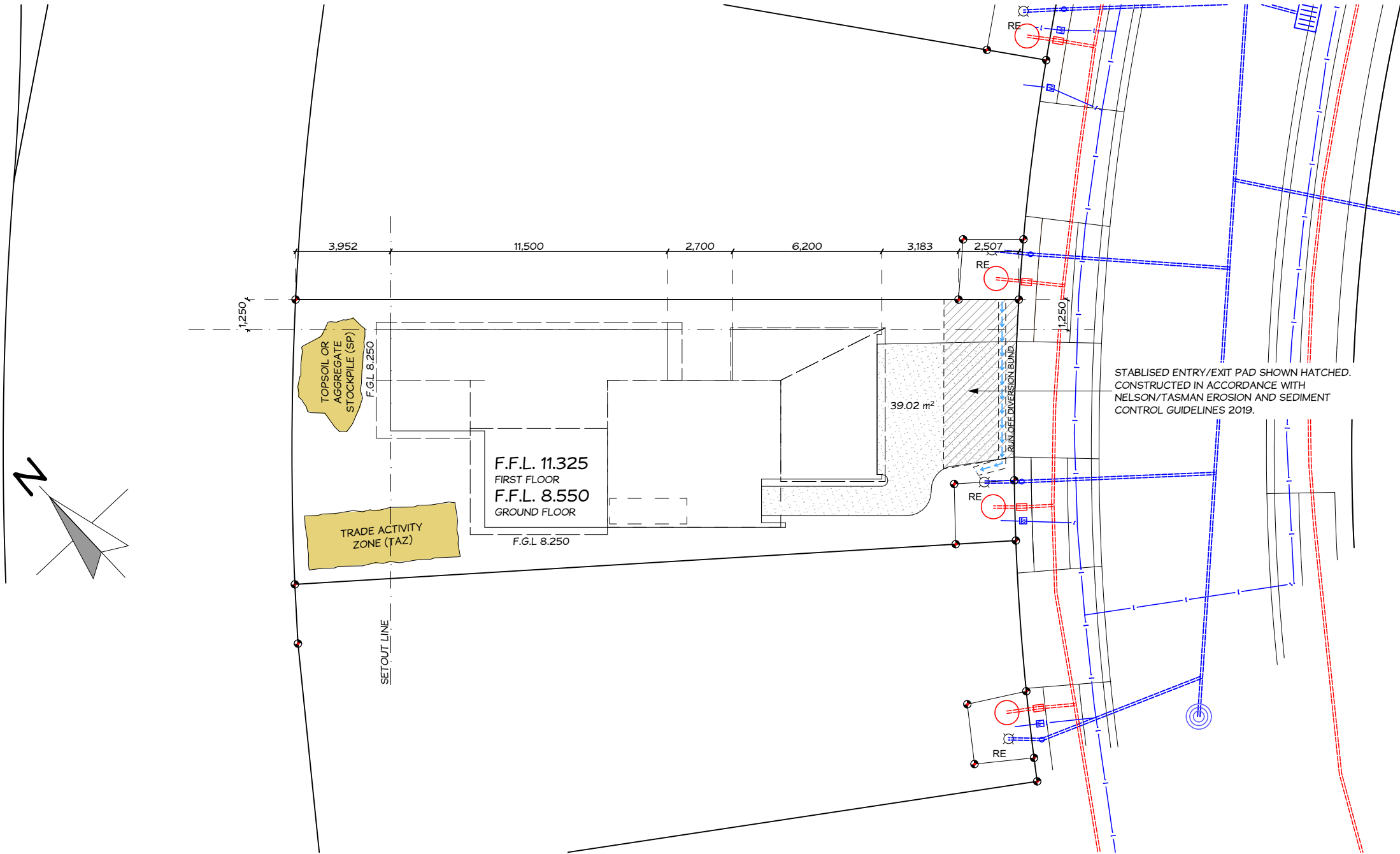
PROVIDE APPROPRIATE MEASURES TO PREVENT CEMENT/CONCRETE WASHWATER OR SLURRY RUN OFF TO; DRAINS OR WATERWAYS, LANDSCAPED AREAS NEW OR REMAINING AND ADJOINING PUBLIC OR PRIVATE PROPERTIES. COMPLY WITH TERRITORIAL AND OTHER AUTHORITY REQUIREMENTS RELATING TO CEMENT / CONCRETE WASHWATER. CONTROL RUN OFF FROM:

- (A) CEMENT/CONCRETE BASED MATERIAL PRODUCTION, PLACING AND FINISHING.
- (B) HOSING DOWN AND CLEANING OF, TOOLS AND EQUIPMENT, FRESH MATERIAL, AND SPILT OR SURPLUS MATERIAL, PUMPS AND MIXERS ETC.
- (C) WET CUTTING OR GRINDING.
- (D) SLAB WATERING ETC.
- (E) WATER CLEANING OF NEW CONCRETE ELEMENTS, FRESH USED FORMWORK ETC.

ADVISORY NOTE

PLEASE CONNECT DOWNPIPES AS SOON AS POSSIBLE OR USE TEMPORARY PIPES TO SW SYSTEM TO REDUCE WATER FLOW OVER BUILDING SITE TACKING SEDIMENT TO STORMWATER SYSTEMS. THE SEDIMENT CONTROLS SHOULD BE IN PLACE PRIOR TO ANY SITE LAND DISTURBANCE BEING UNDERTAKEN.

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B	Individual Building Consent		10/02/2022



SEDIMENT CONTROL & SETOUT PLAN

Job No.

145596

DAVID & SUSAN FORD.

18 KAHIKATEA WAY, RICHMOND

SCALE :

1:200

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SHEET : original A3

A33