

6000480
APPLICATION FOR BUILDING PERMIT
Wanganui City Council

Date: 19, 8, 70

THE CITY ENGINEER,

Nº 381

DEAR SIR,

I hereby apply for a Building Permit to erect/demolish Old to Dwelling and
non outbuilding

according to locality plan and detailed plans, elevation, cross sections and specifications of building deposited herewith, in duplicate at:

Street: 31 Halswell St Val. No.: 1317-344

Lot: 24-26 D.P. 936 Section: Block: 1

Owner: K. R. Caldwell M.D. & L.A. Trail

Address: 31 Halswell St

Type of Building: Dwelling & Garage

Purpose for which Building will be used: Bedroom Laundry - Garage

Total Floor Area: 192 sq. ft.

ESTIMATED VALUE:

Building \$ 2000-00
Plumbing & Drainage \$ 300-00
TOTAL \$ 2300-00

Name of Plumber:

IF WORK VALUED AT \$20,000 OR MORE —

Estimated date of commencement of work:

Month

Year:

Completion of Work:

Month

Year:

Building Fee	\$ 10-00	Rec. 92432
Plumbing & Drainage Fee	\$ 4-00	Rec.
Water Connection	\$	PWR
Drain Connection	\$	PWR
Inspection Fee	\$	Rec. 92433
Crossing Fee	\$ 22-00	PWR 94394
Footpath Damage Deposit	\$ 10-00	Rec. 92434
TOTAL CITY COUNCIL FEES	\$ 46-00	
Building Research Levy	\$	Rec.
TOTAL	\$ 46-00	

Builder or Owner: K. R. CALDWELL
(Block Letters)

Address: 92 KAITARA RD

Signature: K. R. Caldwell

INFORMATION REQUIRED FOR DEPARTMENT OF STATISTICS

1. NEW BUILDING ONLY

(a) Are other buildings on same site?
YES NO

(b) If flats state:

(1) No. of blocks:

(2) No. dwelling units:

2. ALTERATIONS AND/OR ADDITIONS

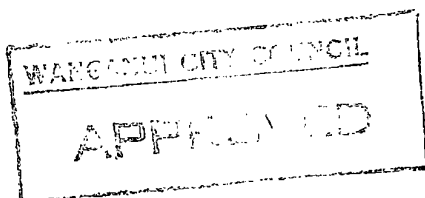
Dwelling units gained:
lost:

3. CONVERSIONS

(Type of Building)
Converted to
(Type of Building)

4. DEMOLITIONS

Dwelling units lost:



1317 MR. MAURICE D. TRAIL,
344 MRS. LOIS A. TRAIL,
31 HALSWELL ST,
WANGANUI.

LOTS 24, 26. BLK. 1 D.P. 936.
31 HALSWELL ST.,

2600

1800

4400

Permit may be issued subject to the following conditions:

[illegible]

GENERAL REMARKS

BUILDING INSPECTOR:

HEALTH INSPECTOR:

DRAINAGE ENGINEER:

DESIGNING ENGINEER:

TOWN PLANNING:

PLUMBER & DRAINLAYER

All work to be in accordance with the Health and Plumbing Regulations and to the satisfaction of the Sanitary Inspector.

FEEs: Pay water and drainage fees.

DRAINS: All drains to be laid with 4" glazed E.W. pipes with joints set in 2 to 1 cement mortar. Pipes to be laid with easy bends and even falls not less than 1 in 60. Connect the house drainage to the City sewer connections.

The Plumber to provide a drainage plan showing position of fittings, sewers, grades and depths.

FLASHING: Sill trays 26 gauge P.G. iron, window heads and chimney flashings. Do all flashing necessary to render the building weather-tight in all respects.

H.W. SUPPLY: Provide and install a 30 gal. copper circulating cylinder complete with feed pipe, sludge cock etc. Run $\frac{3}{4}$ " lead to bath and $\frac{1}{2}$ " to basin, sink and one tub. H.W. piping to be drawn copper tube with welded joints and all to be properly lagged with hair felt wired on.

SUPPLY TANK: ~~Install in roof 15 gal. precast concrete supply tank.~~

WASTES: Provide all wastes, inspections, vents, gullies etc., as required by the Bylaws. All gullies not under waste to be provided with a trap. Wastes to be $1\frac{1}{2}$ " clear from basin and others $1\frac{1}{2}$ " clear wrought iron galv. pipe. Fittings to be trapped to waste with copper traps. Gully at back door to be dished type and two levels inlet type.

Terminal vent to be 6ft of 3" C.I. pipe and rest in 3" copper pipe 24 gauge with brazed and gusseted joints.

DOWNPIPES: Fix 2 $\frac{1}{2}$ " 24g. galv. iron D pipes where necessary.

VALLEYS: Fix valleys 24g. P.G. iron.

COLD WATER SERVICE: Run in $\frac{1}{2}$ " copper pipe to the following points; BATH, BASIN, SINK, ONE TUB AND W.C.

STAND PIPES: Fix two stand pipes, one in front and one at back where directed.

BATH: 5'6" English white and waste.

BASIN: 22" x 16" white and chrome waste.

W.C.: White W.C. pan, wooden seat complete with low down siphonic flush and chrome flush pipe.

SINK: 5'6" Formica stainless steel bowl.

TUB: Fit waste only.

TAPS: Fit to BATH, BASIN, SINK COLD taps.

SPECIFICATION

All concrete to be standard grade mix ratio 6:1.

Footing walls continuous, 5" wide and reinforced with 1 No. $\frac{1}{2}$ "

dia. rod at top and upon a 9" x 4" pad reinforced with 2 No. $\frac{1}{2}$ " dia. rods.

Piles 8" x 8" upon 12" x 12" x 4" pad at 4'6" x 6'6" crs max.

Vents. 2'6" from corners and then at 6'6" crs max.

Floor joints	5" x 2"	at 18" crs.
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Bearers	4" x 3"	at 6'6" crs.
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Studs	4" x 2"	at 18" crs.
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Dwangs	4" x 2"	x 3 rows.
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Ceiling joints	4" x 2"	at 18" crs.
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Rafters	4" x 2"	at 36" crs.
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Purlins	3" x 2"	on edge at 30" crs.
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Diagonal bracing 6" x 1" x one to each wall

Lintels 1" depth for every foot of opening with 4" x 2" min.

and checked $\frac{1}{2}$ " into studs. Openings over 4'6" to have 4" x 3" studs.

Roofing 26g. G.C.I. upon 2" x 19g. wire mesh and approved paper

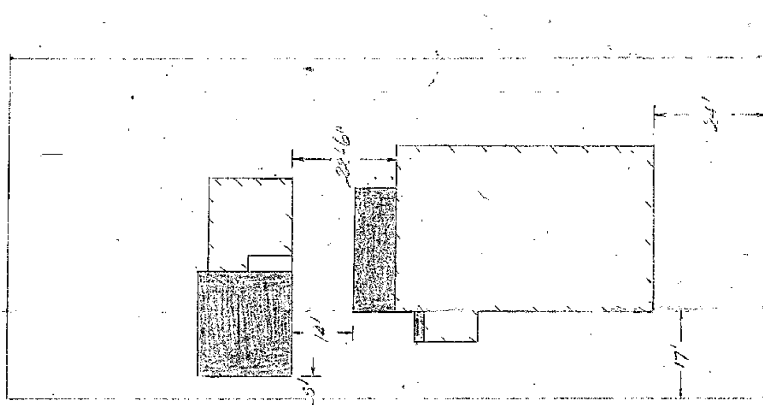
felt. Dispose of stormwater in accordance with the plumbing

and drainage regulations 1959.

Internal wall sheathing *5.5 Board*
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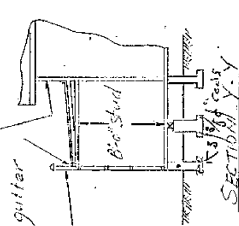
External wall sheathing *10.0 1/2" Board*
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~~Ventilate all framing covered with stucco.~~

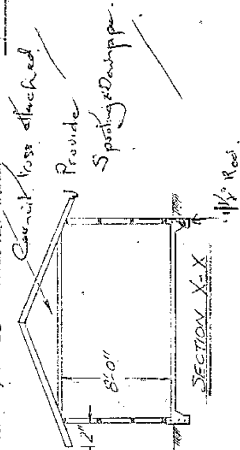


HALSWELL ST.
SITE # LOCALITY PLAN

Clear light windows at bathroom
5° pitch to box gutter
False parapet to
match existing structure



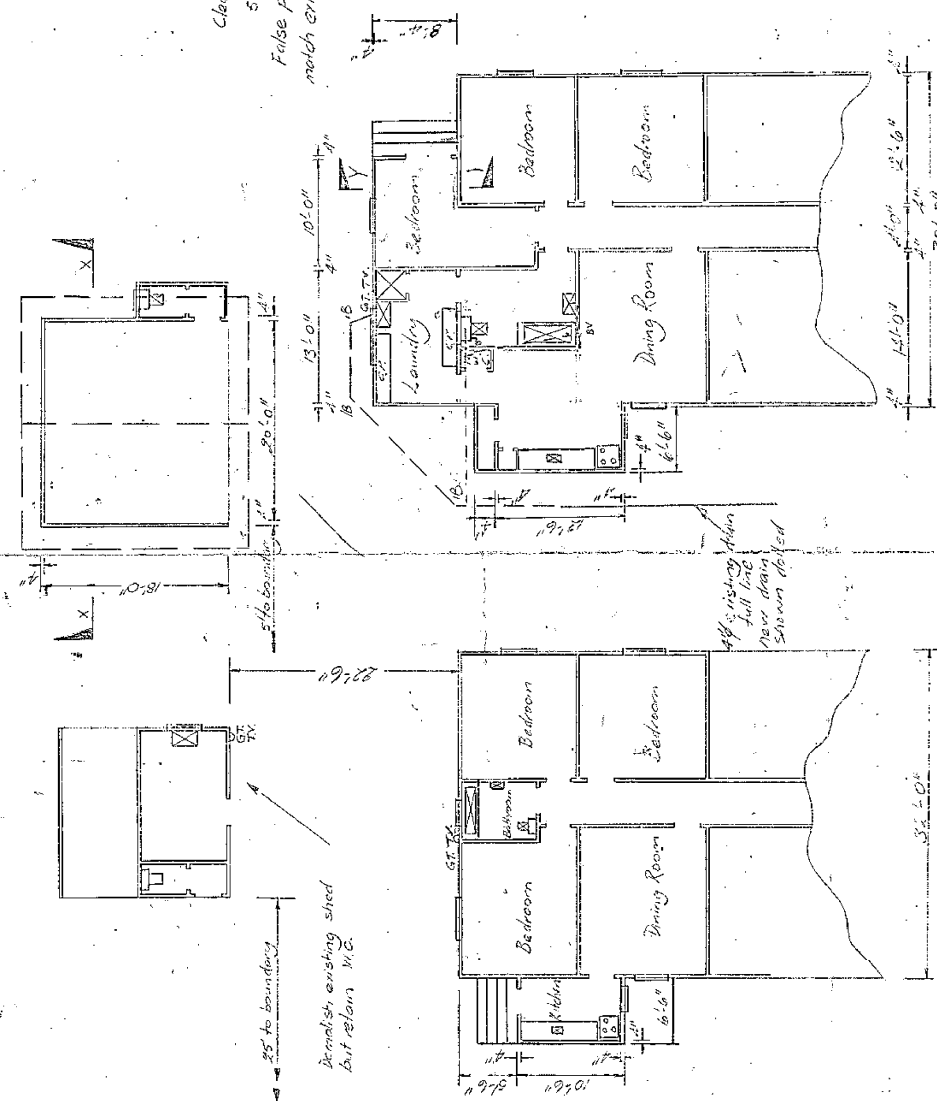
Construct roof truss to attached detail



NB Contractor to verify all dimensions on site

31 HALSWELL STREET, WAINMAN
PROPOSED ADDITIONS

SCALES: 1/8" = 1'0"
1/16" = 1'0"



PROPOSED PLAN

EXISTING PLAN

25' to boundary
Demolish existing shed
but retain WC

4 1/2" existing drain
full line
new drain
shown dotted

VALUATION ROLL No.						LEGAL DESCRIPTION							
1317/344						LOTS 24.26 BLK 1 D.P. 936							
DRAINAGE & PLUMBING PERMITS						BUILDING PERMITS							
Permit No.		Date		Permit No.		Date		Nature of Work					
				4831		7-12-53		GARAGE					
				C000480		19-8-70		GARAGE					
Dangerous Goods Licence				Fill Points				Housing File No.					
Underground Tank		Type		Capacity gals				Water Connection		Reg. No.		Amt. Paid.	
Water Meter		Water Bore						Drainage Connection		Reg. No.		Amt. Pd.	
Pool		Filtered		Back Flow Preventer				Stormwater Connection		Reg. No.		Amt. Pd.	
Unfiltered								Kerb Crossing		Reg. No.		Amt. Pd.	
Heating		Gas		Oil-fired		Coal-Wood		Electric		Other			

Processed
26-11-92

Subdivision Conditions	Yes —	No —	Easements —	See above —	None —
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SCALE: