



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
UNIT TITLE**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier 1172122
Land Registration District North Auckland
Date Issued 31 May 2024

Prior References
1087618

Supplementary Record Sheet
1177193

Estate Stratum in Freehold
Legal Description Principal Unit 61 Deposited Plan 601302
and Accessory Unit 61A, 61B Deposited
Plan 601302

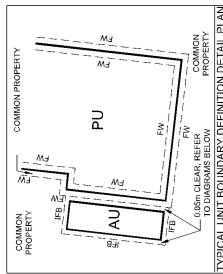
Registered Owners
Ross David Dawson

**The above estates are subject to the reservations, restrictions, encumbrances, liens and interests noted below and
on the relevant unit plan and supplementary record sheet**

12969996.4 Encumbrance to Milldale Infrastructure LP - 31.5.2024 at 3:25 pm



SHEET 1 OF 9



9.1

COMMON PROPERTY
 --- EXTERNAL FACE OF
 --- INTERNAL FACE OF
 --- GP --- ACCESSORY UNIT #
 0.06m CLEAR
 AU (BALCONY)

TYPICAL DIAGRAM - PU & AU

$$\frac{AU_{(BAL)}}{0.05m \text{ CLEAR}} \leftarrow GP \leftarrow \frac{4d}{-}$$

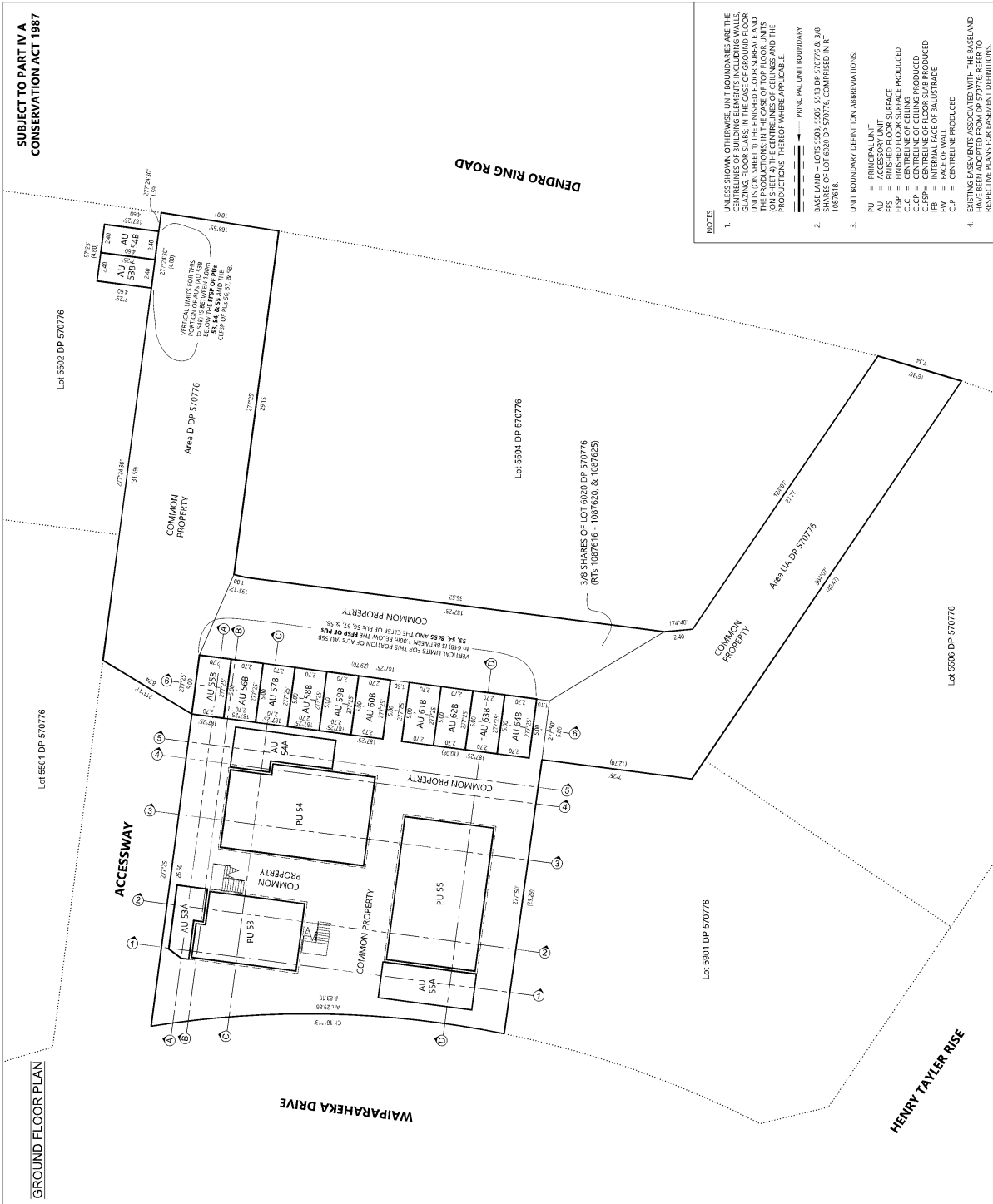
REVISION DETAILS		BY	DATE
1	ISSUED FOR INFORMATION	EY	19/02/24
2	ISSUED FOR E-SURVEY	EY	18/04/24

SURVEYED	WOODS	WOODS Ltd LEVEL 1 BUILDING B 8 NUGENT STREET, GRAFTON AUCKLAND 1023 09 308 9229
DESIGNED	-	
DRAWN	EY	
CHECKED	WC	



UNITS ON LOTS 5503,
5505, 5513 AND 3/8 SHARE
OF LOT 6020 DP 570776
PLAN GRAPHIC

STATUS	ISSUED FOR E-SURVEY	REV
SCALE	1 : 300 @ A3	2
COUNCIL	AUCKLAND COUNCIL	
DWG NO	DP 601302-PG-001	

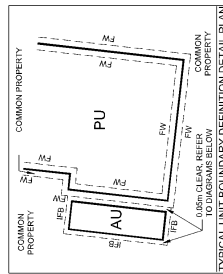


NOTES

1. UNITS SHOW OTHERWISE UNIT BOUNDARIES ARE THE SAME AS THE BASELINE. UNITS ARE BASED ON GLAZING, FLOOR SLABS IN THE CASE OF GROUND FLOOR UNITS, AND ON THE CEILING OF THE UNIT BOUNDARY PRODUCTIONS. IN THE CASE OF TOP FLOOR UNITS (ON SHEET 4) THE CENTRINES OF CEILINGS AND THE PRODUCTIONS THEREIN WERE APPLICABLE.
 2. BASE LAND - LOTS 505, 506, 508, 513 B/D 570776 & 3/8 SHARVES OF LOT 6030 B/D 570776, COMPRISED IN RT.
 3. UNIT BOUNDARY DEFINITION ABBREVIATIONS:
- | | | |
|------|---|---------------------------------|
| PU | = | PRINCIPAL UNIT |
| PS | = | FINISHED FLOOR SURFACE |
| FLSP | = | FINISHED FLOOR SURFACE PRODUCED |
| CLC | = | CENTRINE OF CEILING PRODUCED |
| CLCP | = | CENTRINE OF CEILING PRODUCED |
| FL | = | FLOOR SURFACE |
| FW | = | FACE OF WALL |
| CP | = | CENTRINE PRODUCED |
4. EXISTING EASEMENTS ASSOCIATED WITH THE BASELAND ARE SHOWN ON THE BASELINE. THE BASELINE IS THE RESPECTIVE PLANS FOR EASEMENT DEFINITIONS.



SHEET 2 OF 9



TYPICAL DIAGRAM - AU & CP

COMMON PROPERTY

EXTERNAL FACE OF BALUSTRADE
INTERNAL FACE OF BALUSTRADE (IFB)
ACCESSORY UNIT BOUNDARY

0.05m CLEAR

CP

AU (BALCONY)

TYPICAL DIAGRAM - PU & AU

AU (BALCONY)

0.05% CLEAR

ACCESSORY UNIT BOUNDARY
EXTERNAL FACE OF WALLS
PRINCIPAL UNIT BOUNDARY
INTERNAL FACE OF WALLS

GP

PT

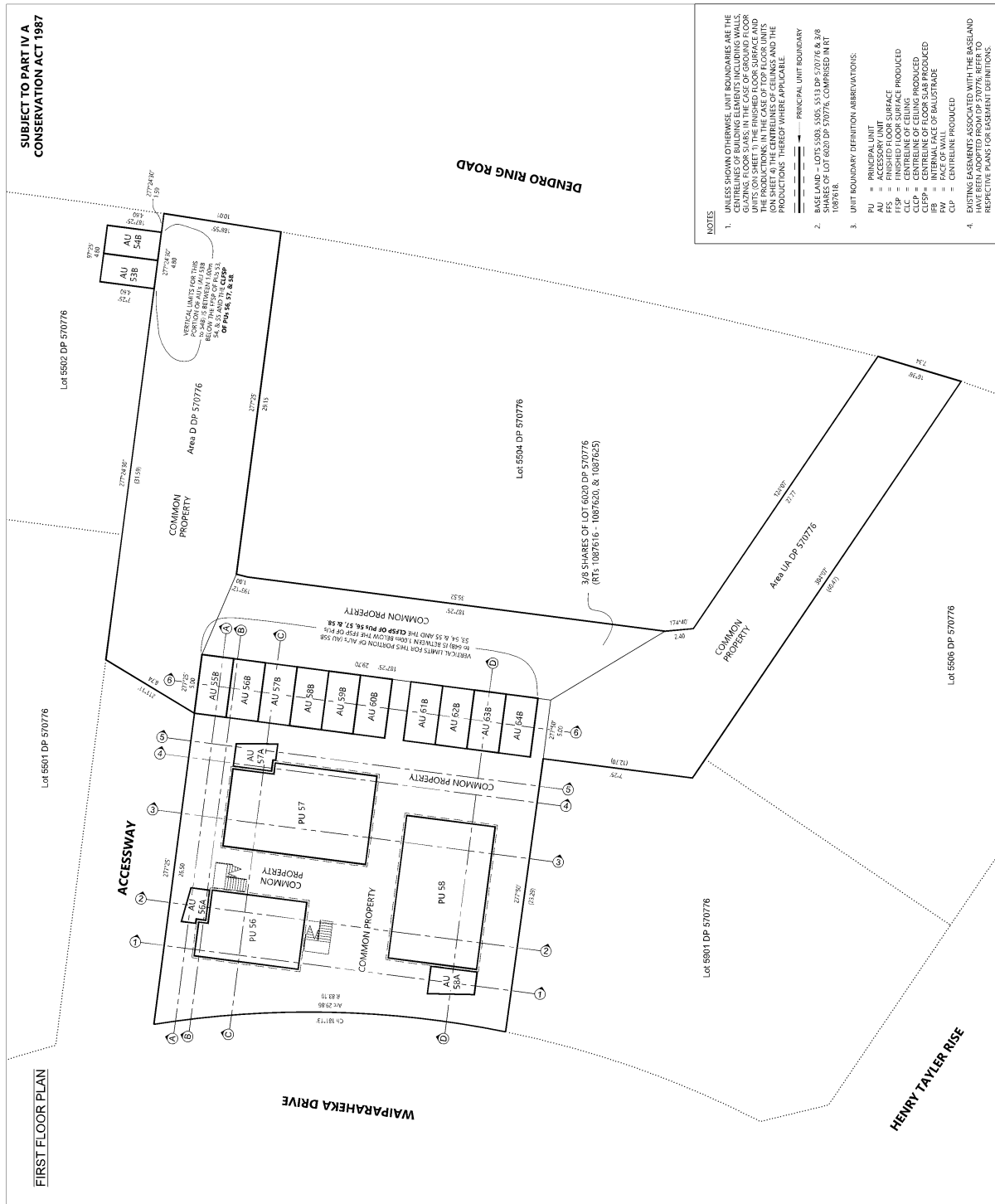
REVISION DETAILS		BY	DATE
1	ISSUED FOR INFORMATION	EY	19/02/24
2	ISSUED FOR E-SURVEY	EY	18/04/24

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DESIGNED	-	
DRAWN	EY	
CHECKED	WC	
APPROVED	WC	



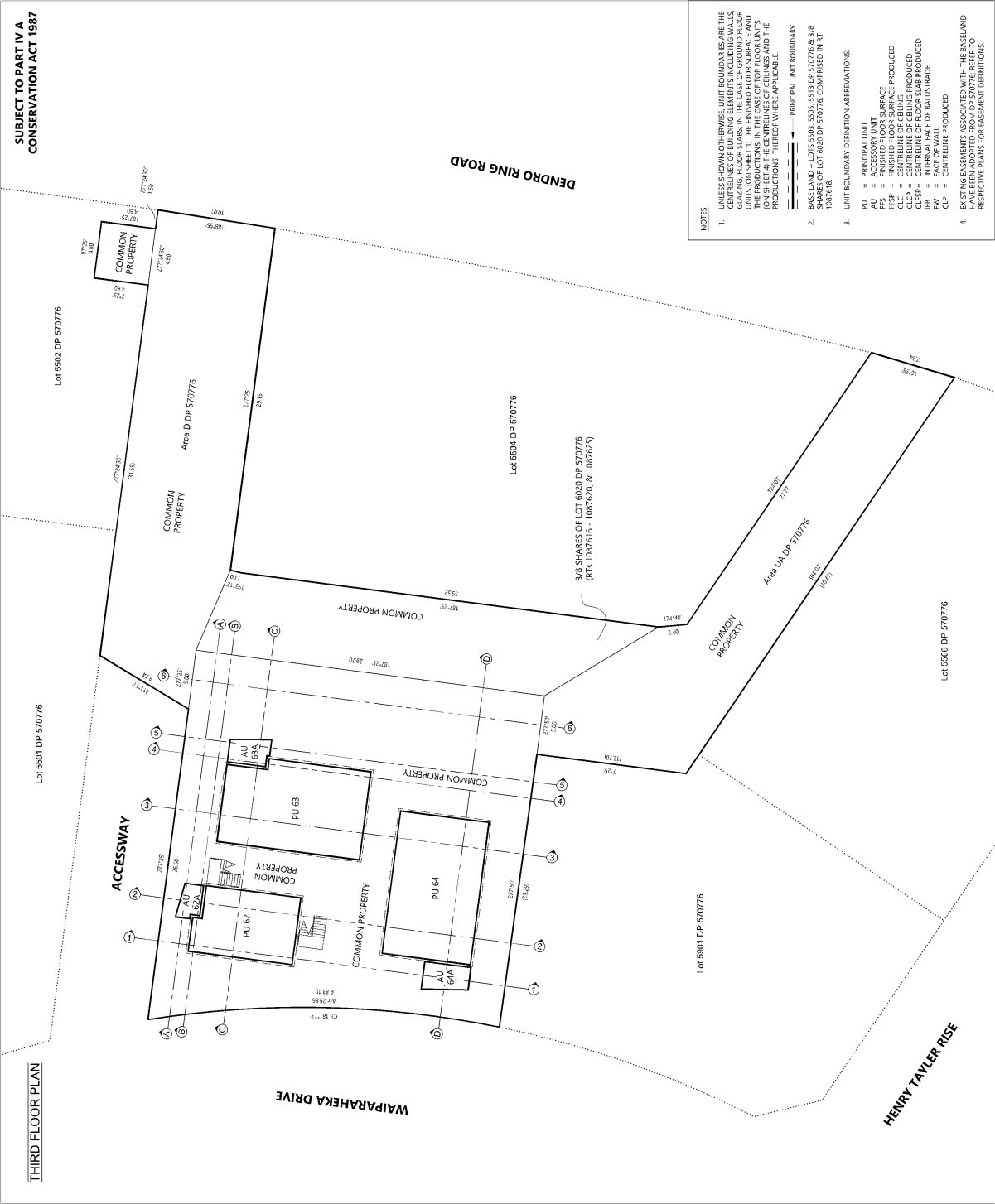
UNITS ON LOTS 5503,
5505, 5513 AND 3/8 SHARE
OF LOT 6020 DP 570776
PLAN GRAPHIC

STATUS	ISSUED FOR E-SURVEY	REV
SCALE	1: 300 @ A3	2
COUNCIL	AUCKLAND COUNCIL	
DWG NO	DP 601302-PG-002	



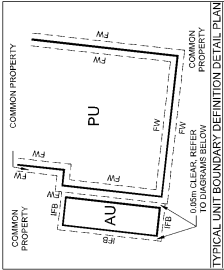


SHEET 4 OF 9





SHEET 5 OF 9



REVISION DETAILS		BY	DATE
1	ISSUED FOR INFORMATION	EY	19/02/24
2	ISSUED FOR E-SURVEY	EY	18/04/24

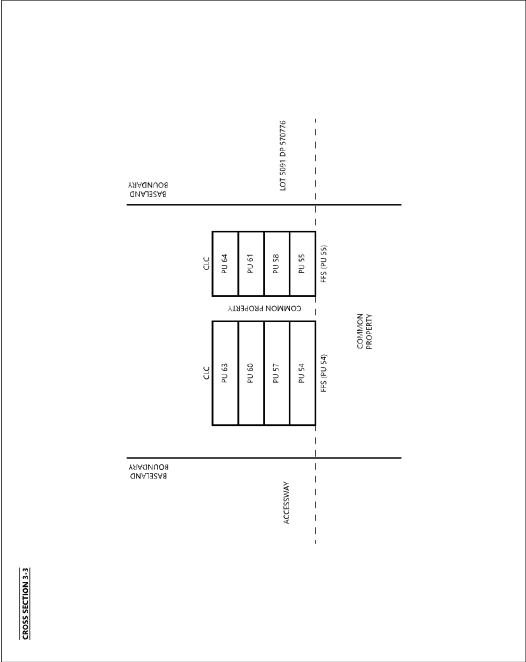
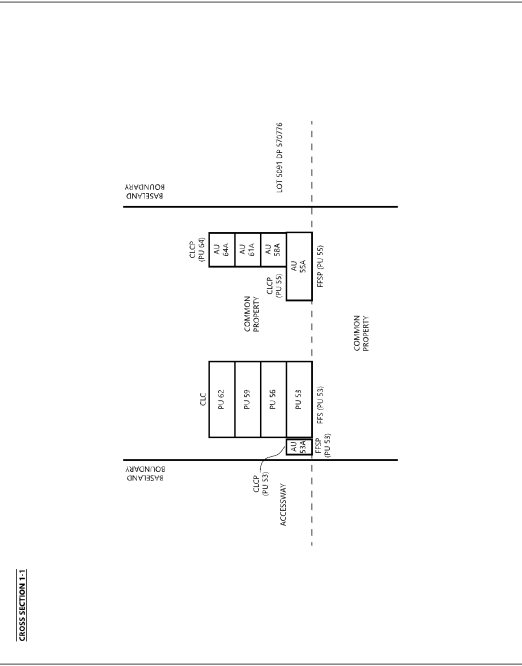
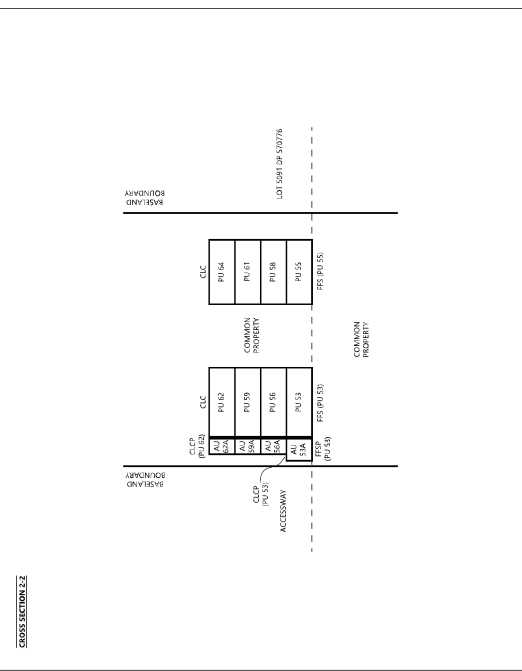
SURVEYED		WOODS
DESIGNED	-	WOODS 141
DRAWN	EY	LEVEL 1 BUILDING & 8 FLOOR SURFACE PRODUCTION
CHECKED	WC	AUCKLAND 1023
APPROVED	WC	09 358 9339

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UNITS ON LOTS 5503, 5505, 5513 AND 3/8 SHARE OF LOT 6020 DP 570776 PLAN GRAPHIC

STATUS		ISSUED FOR E-SURVEY	REV
SCALE	1: 500 @ A3		
COUNCIL	AUCKLAND COUNCIL		2
DWG NO	DP 601302-PG-005		

ALL BOUNDARY TO CENTRELINE OF FLOOR SLAB UNLESS OTHERWISE SHOWN

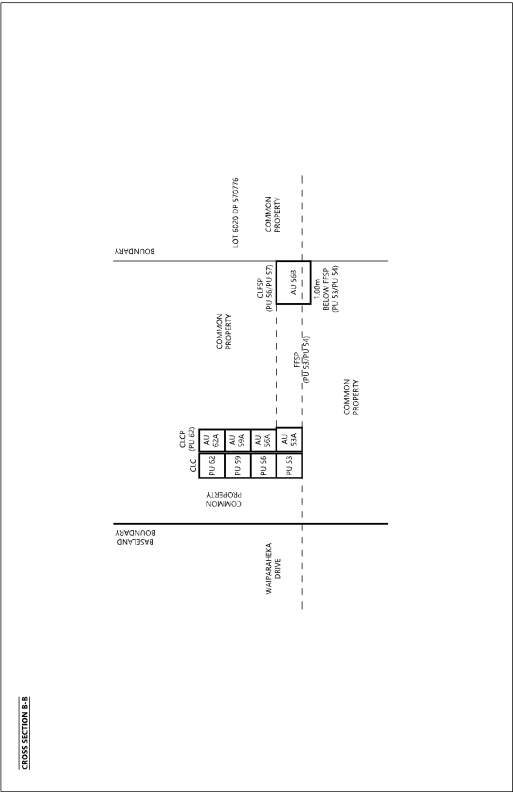
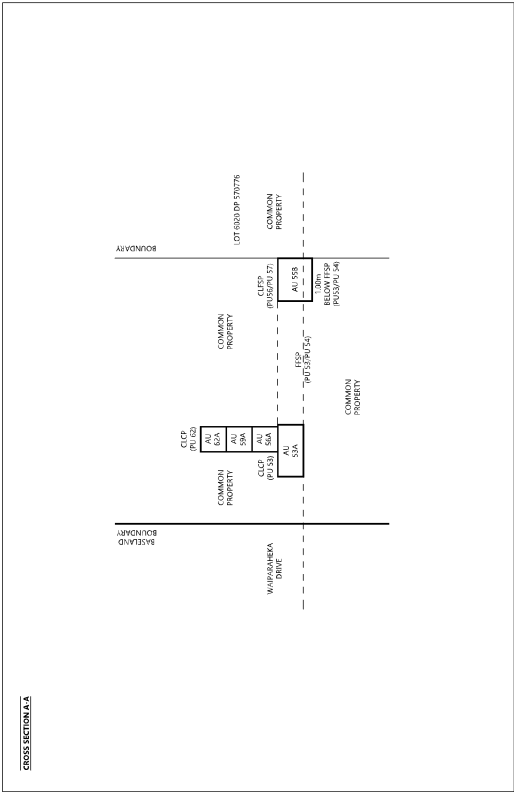


- NOTES
- UNLESS SHOWN OTHERWISE UNIT BOUNDARIES ARE THE CENTRELINES OF BUILDING ELEMENTS INCLUDING WALLS, GLAZING FLOOR SLABS, IN THE CASE OF GROUND FLOOR PRODUCTIONS, IN THE CASE OF TOP FLOOR UNITS (ON SHEET 4) THE CENTRELINES OF CEILINGS AND THE PRODUCTIONS THEREOF WHERE APPLICABLE.
 - BASE LAND — LOTS 5503, 5505, 5513 DP 570776 & 3/8 SHARES OF LOT 6020 DP 570776 COMPRISED IN RT 1087618.
 - UNIT BOUNDARY DEFINITION ABBREVIATIONS:
PU = PRINCIPAL UNIT
AU = ACCESSORY UNIT
FESP = FINISHED FLOOR SURFACE
CLC = CENTRELINE OF CEILING
CLCP = CENTRELINE OF CEILING PRODUCTION
IFB = CENTRELINE OF FLOOR SLAB PRODUCTION
FW = FACE OF WALL
CLP = CENTRELINE PRODUCED
 - EXISTING EASEMENTS ASSOCIATED WITH THE BASELAND RESPECTIVE PLANS FOR EASEMENT DEFINITIONS.



SHEET 7 OF 9

ALL BOUNDARY TO CENTRELINE OF FLOOR SLAB UNLESS OTHERWISE SHOWN



NOTES

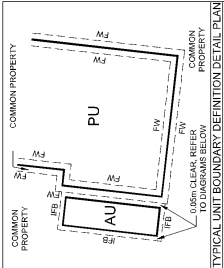
1. UNLESS SHOWN OTHERWISE UNIT BOUNDARIES ARE THE CENTRELINES OF BUILDING ELEMENTS INCLUDING WALLS, GLAZING FLOOR SLABS, IN THE CASE OF GROUND FLOOR UNITS, AND THE CENTRELINES OF CEILING AND FLOOR SLABS IN THE CASE OF TOP FLOOR UNITS (ON SHEET 4) THE CENTRELINES OF CEILING AND THE PRODUCTIONS THEREOF WHERE APPLICABLE.

2. BASE LAND — LOTS 5503, 5505, 5513 DP 570776 & 3/8 SHARES OF LOT 6020 DP 570776 COMPRISED IN RT 1087616.

3. UNIT BOUNDARY DEFINITION ABBREVIATIONS.

PU = PRINCIPAL UNIT
AU = ACCESSORY UNIT
CLCP = COMMON PROPERTY
FFSP = FINISHED FLOOR SURFACE
CLC = CENTRELINE OF CEILING
CLFP = CENTRELINE OF FLOOR PRODUCE
CLFP = CENTRELINE OF FLOOR PRODUCE
IFB = INTERNAL FACE OF BALUSTRADE
FW = FACE OF WALL
CLP = COMMON PROPERTY

4. EXISTING EASEMENTS ASSOCIATED WITH THE BASELAND AND COMMON PROPERTY ARE SHOWN ON THE RESPECTIVE PLANS FOR EASEMENT DEFINITIONS.



COMMON PROPERTY

0.00m CLEAR REFERENCE TO DIAGRAM BELOW

0.00m CLEAR REFERENCE TO DIAGRAM BELOW

0.00m CLEAR REFERENCE TO DIAGRAM BELOW

TYPICAL DIAGRAM - PU (AU)

AU (AU/CLCP)

0.00m CLEAR REFERENCE TO DIAGRAM BELOW

0.00m CLEAR REFERENCE TO DIAGRAM BELOW

0.00m CLEAR REFERENCE TO DIAGRAM BELOW

REVISION DETAILS	BY	DATE
1. ISSUED FOR INFORMATION	EY	19/02/24
2. ISSUED FOR E-SURVEY	EY	18/04/24

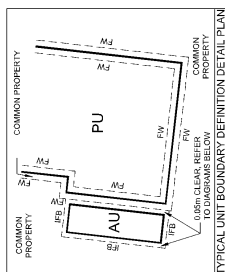
SURVEYED	WOODS
DESIGNED	WOODS 141
DRAWN	LEVEL 1 BUILDING & 8 FINISHED FLOOR SURFACES
CHECKED	W.C.
APPROVED	W.C.

WOODS 141	WOODS 141
LEVEL 1 BUILDING & 8 FINISHED FLOOR SURFACES	WOODS 141
AUCKLAND 1023	WOODS 141
09.108.0330	WOODS 141
WOODS.CO.NZ	WOODS.CO.NZ

UNITS ON LOTS 5503, 5505, 5513 AND 3/8 SHARE OF LOT 6020 DP 570776

PLAN GRAPHIC

STATUS	ISSUED FOR E-SURVEY	REV
SCALE	1: 500 @ A3	2
COUNCIL	AUCKLAND COUNCIL	
DWG NO	DP 601302-PG-007	



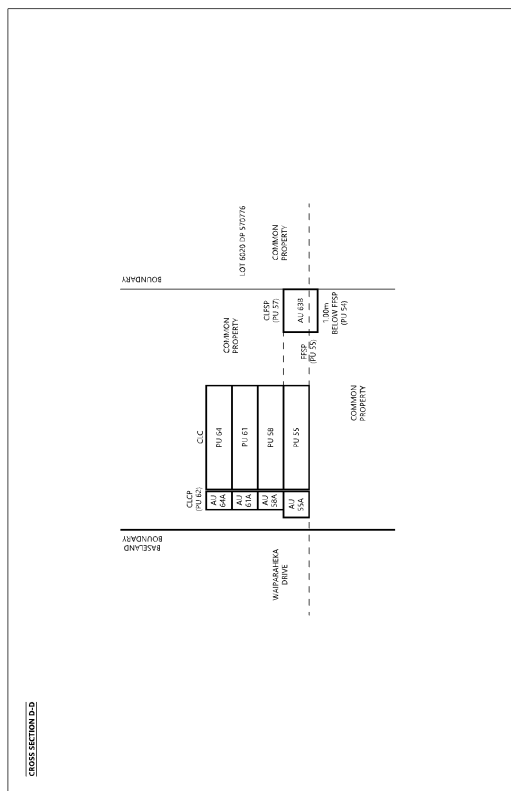
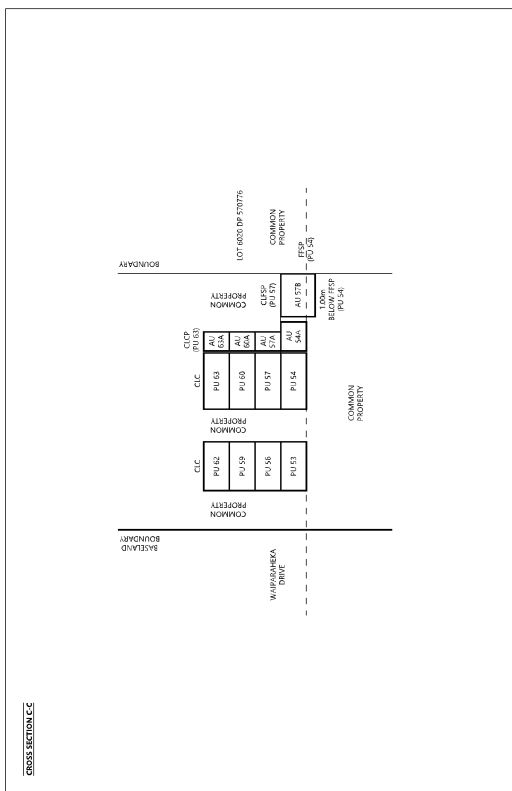
REVISION DETAILS		BY	DATE
1	ISSUED FOR INFORMATION	EY	19/02/24
2	ISSUED FOR E-SURVEY	EY	18/04/24

SURVEYED	WOODS	WOODS Ltd LEVEL 1 BUILDING 8 8 NUGENT STREET, GRAFTON AUCKLAND 1023 09 308 9229 WOODS.CO.NZ
DESIGNED	-	
DRAWN	EY	
CHECKED	WC	
APPROVED	WC	

UNITS ON LOTS 5503,
5505, 5513 AND 3/8 SHARE
OF LOT 6020 DP 570776
PLAN GRAPHIC

STATUS	ISSUED FOR E-SURVEY	REV
SCALE	1: 500 @ A3	2
COUNCIL	AUCKLAND COUNCIL	
DWG NO	DP 601302-PG-008	

ALL BOUNDARY TO CENTRELINE OF FLOOR
SLAB UNLESS OTHERWISE SHOWN



NOTES

1. UNLESS SHOWN OTHERWISE, UNIT BOUNDARIES ARE THE CENTRELINES OF BUILDING ELEMENTS INCLUDING WALLS, GLAZING, FLOOR SLABS IN THE CASE OF GROUND FLOOR PRODUCTIONS, AND THE CENTRELINES OF CEILINGS AND ROOF SHEETS IN THE CASE OF TOP FLOOR UNITS (SEE SHEET 4). THE CENTRELINES OF CEILINGS AND ROOF SHEETS WERE ASSUMED TO BE THE CENTRELINES OF THE WALLS AND FLOORS.
2. BASE LAND - LOTS 5503, 5513 D/E 5/07/67 & 3/6 10/9/78, LOT 6020 D/E 5/07/78, COMPRISED IN HT 10/9/78.
3. UNIT BOUNDARY DEFINITION ABBREVIATIONS:
- | | |
|------|-----------------------------------|
| PU | = PRINCIPAL UNIT |
| FFS | = FINISHED FLOOR SURFACE |
| FFSP | = FINISHED FLOOR SURFACE PRODUCED |
| CLP | = CENTRELINE OF CEILING PRODUCED |
| CLPS | = CENTRELINE OF CEILING PRODUCED |
| FW | = METALLIC WALL OF WALL/TRADE |
| FW | = FACE OF WALL |
| CP | = CENTRELINE PRODUCED |
4. EXISTING ELEMENTS ASSOCIATED WITH THE BASELAND AND THE BASELAND UNITS ARE IDENTIFIED BY THE FOLLOWING EXPLOSIVE PLANS FOR ORIENTATION DEFINITIONS.



SHEET 9 OF 9

BASELAND BOUNDARY & EXISTING EASEMENT LAYOUT PLAN

LEGEND

BASELAND BOUNDARY

EASEMENT BOUNDARY

BUILDING EXTENTS

ADJUTAL

NOTE

• NO BUILDING WITHIN 1M OF BOUNDARY

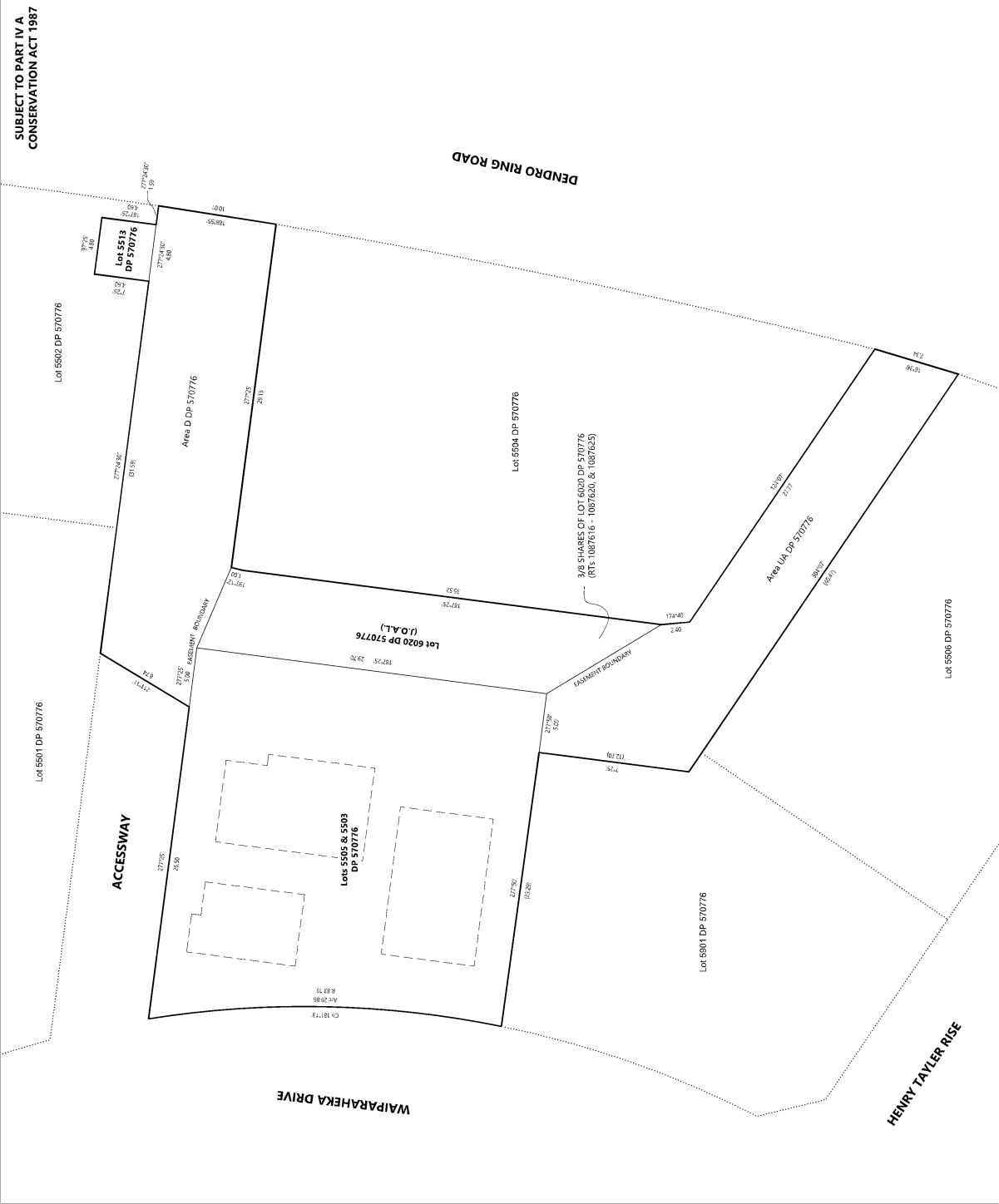
REVISION DETAILS		BY	DATE
1	ISSUED FOR INFORMATION	EY	19/02/24
2	ISSUED FOR E-SURVEY	EY	18/04/24

SURVEYED	WOODS
DESIGNED	WOODS Ltd
DRAWN	LEVEL 1 BUILDING & 8 FINISHED FLOOR POSITION
CHECKED	WC
APPROVED	WC
	WOODS.CO.NZ

N

UNITS ON LOTS 5503, 5505, 5513 AND 3/8 SHARE OF LOT 6020 DP 570776
PLAN GRAPHIC

STATUS	ISSUED FOR E-SURVEY	REV
SCALE	1: 300 @ A3	2
COUNCIL	AUCKLAND COUNCIL	
DWG NO	DP 601302-PG-009	





SUPPLEMENTARY RECORD SHEET UNDER UNIT TITLES ACT 2010

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**

Identifier

1177193

Land Registration District **North Auckland**

Date Issued 31 May 2024

Plan Number DP 601302

Subdivision of

Lot 5503, 5505, 5513, 6020 Deposited Plan 570776

Prior References

1087618

Unit Titles Issued

1172114	1172115	1172116	1172117
1172118	1172119	1172120	1172121
1172122	1172123	1172124	1172125

Interests**OWNERSHIP OF COMMON PROPERTY**

Pursuant to Section 47 Unit Titles Act 2010 -

(a) the body corporate owns the common property and

(b) the owners of all the units are beneficially entitled to the common property as tenants in common in shares proportional to the ownership interest (or proposed ownership interest) in respect of their respective units.

Lot 6020 DP 570776 is held as to a 3/8 share

Subject to Part IVA Conservation Act 1987

Subject to Section 11 Crown Minerals Act 1991

12429027.5 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 4.7.2022 at 11:17 am

Subject to Section 241(2) Resource Management Act 1991 (affects DP 570776)

12567976.5 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 27.2.2023 at 11:47 am

Subject to a right (in gross) to convey electricity over part Lot 6020 DP 570776 marked UA on DP 570776 in favour of Vector Limited created by Easement Instrument 12567976.6 - 27.2.2023 at 11:47 am

Subject to a right (in gross) to convey gas over part Lot 6020 DP 570776 marked UA on DP 570776 in favour of Vector Limited created by Easement Instrument 12567976.7 - 27.2.2023 at 11:47 am

Subject to a right (in gross) to convey telecommunications over part Lot 6020 DP 570776 marked UA on DP 570776 in favour of Chorus New Zealand Limited created by Easement Instrument 12567976.8 - 27.2.2023 at 11:47 am

Subject to a right (in gross) of way (pedestrian) over part Lot 6020 DP 570776 marked D on DP 570776 in favour of Auckland Council created by Easement Instrument 12567976.9 - 27.2.2023 at 11:47 am

The easements created by Easement Instrument 12567976.9 are subject to Section 243 (a) Resource Management Act 1991

Land Covenant in Covenant Instrument 12567976.11 - 27.2.2023 at 11:47 am (Limited as to duration) (affects Lot 5503 and Lot 5513 DP 570776)

Land Covenant (in gross) in favour of Fulton Hogan Land Development Limited created by Covenant Instrument 12567976.11 - 27.2.2023 at 11:47 am (Limited as to duration) (affects Lot 5503, 5505 and 5513 DP 570776)

Land Covenant in Covenant Instrument 12567976.13 - 27.2.2023 at 11:47 am

Fencing Covenant in Transfer 12907836.1 - 9.2.2024 at 11:38 am

12969996.2 Notice of body corporate operational rules pursuant to Section 105 Unit Titles Act 2010 - 31.5.2024 at 3:25 pm

12969996.3 Certificate of assessment of ownership interest pursuant to Section 32 Unit Titles Act 2010 - 31.5.2024 at 3:25 pm

Subject to a right (in gross) to convey telecommunications over part marked A on DP 604984 in favour of Chorus New Zealand Limited created by Easement Instrument 13030368.2 - 19.6.2024 at 12:29 pm

Land Covenant (in gross) in favour of JAL Developments Limited created by Covenant Instrument 13056103.2 - 9.7.2024 at 11:10 am

13441459.1 Notice of change of body corporate operational rules pursuant to Section 106 Unit Titles Act 2010 - 24.10.2025 at 5:20 pm