

Argusson

STREET
ROAD

67

HOUSE
No.

Permit No. *G-126131*

LOT

7

D.P.

9070

Date Approved

10-5-76

FRONTAGE

Date Issued

17-5-76

OWNER

BUILDER

WORK

Spicer & Davis

Revised

End 2070

Subject to

Designation of
Household Unit

Maximum Number
of Occupants

040.

207 040

6

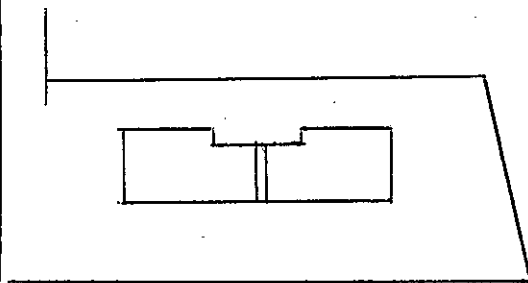
6.

Area 240 m² Value 23,000

Foundation C. Walls Shuro Roof Sh

Remarks

Site Plan



Inspections

Date	Instructions to Builder
	<i>Stand ok.</i>
	<i>ling ok.</i>
<i>28-4-77</i>	<i>Completed</i>
	<i>No oc.</i>

Date of Final Inspection 28-4-77

Enterprise Print

Inspector

Exterior Lining

Interior Lining

Completed

Excavation

Foundations

Framework

Nelson City Council

PERMIT No. C126131

BUILDING APPLICATION FORM

Date 27/4/76

To the City Engineer,
NELSON,

Sir,
I hereby apply for permission to

erect
alter
convert 2 units (owner)
reinstate
demolish

for Mr. SQUIRE & DAUER LTD of Box 205 NELSON
(Owner) (Owner's Address)

according to locality plans, detailed plans, elevations, cross sections and specifications of building deposited herewith, IN DUPLICATE.

PARTICULARS OF LAND:—

Valuation Roll No. _____
Lot 7 D.P. 9070 Section _____ Blk. _____
Street No. 67, T. ELGESSON Street.
(If allotted)
Frontage _____, Area _____

PARTICULARS OF BUILDING:—

Foundations CONTIN CONC. Walls STUCCO Roof CGT
Area of Ground Floor 2400 square feet.
Total Area of Existing Outbuildings _____ square feet.
Total Area of Proposed Outbuildings _____ square feet.

CONCERNING THIS APPLICATION:

Dispensations, Conditional Use, or Specified Departures granted, or preliminary check prior to this application.

APPROVAL DATE: _____

NAME OF APPLICANT: _____

ESTIMATED COST:—

Building 24,500
\$ 22,000
Plumbing and Drainage 2,500
\$ 2,500
Total \$ 24,500
\$ 32,000

Use of Building: e.g. Flats—Rental or Ownership
Commercial or Industrial—Specify exact uses _____

Builder SQUIRE & DAUER LTD
Postal Address Box 205 NELSON

Telephone No. 86759 Signature of Builder [Signature]

For Office Use Only

Builder's Plan & Specifications _____
Subdivision Plan _____
Block Plan _____
Notified owner of advisability of submitting a proposal to:—
Waimea Elect. P.B. ☐ Labour Dept. ☐

FEES:

Building 72.00
B.R. Levy 16.00
Plumbing and Drainage \$
Sewer Connection \$
Water Fee \$
Water Connection \$100.00
Crossing \$
Damage Deposit 40.00
Access Deposit \$
Special Deposit \$

Total \$228.00

Receipt No. 688415
Date Paid 14/5/76

PRELIM. CHECK N^o ☐ NELSON CITY COUNCIL

Dates: Rec'd; 28.4.76 Notific. by; 18.5.76

2nd copy plans detached ☐

BUILDING INSPECTION SHEET

Locality 67 FERGUSON St

Lot: 7. D.P. 9070

Application for; ERECT 2 OWNER SHIP FLATS

Owner; SQUIRE & DAVIDS LTD Builder; OWNERS.

NON/COMPLIANCE		APPROVED	
DATE	DATE	INITIALS	
FORM & DATA.		1	
29/4	1/5	RHW	
ELECTRICITY DEPT.		2	
29/4		H.G.	
LEGAL.		3	
30/4		D	
TOWN PLANNING.		4	
30/4		D	
BYLAWS (General)		5	
30/4		D	
HEALTH, PLUMBING and DRAINAGE.		6	
3/5		R	
FIRE REQUIREMENTS		7	
16/5		MB	
EGRESS		8	
10/5		MB	
CHIEF FIRE OFFICER		9	
NA			
BUILDING BYLAWS.		10	
14/5		MB	
1/76		*	
		11	
		12	
A Building Registration Certificate is an application for a 20 m flat.		Amendments Required	
Is this required?		Tel; ✓	
Boundary of this lot extends to include 2.03m strip of ROW. This should be shown on site plan and correct distance to boundary dimensioned accordingly.		Letter;	
		Date; 30/4	
		initials	
		PERMIT MAY BE ISSUED.	
		G. B. B. B.	
		10.5.76	

SPECIFICATIONS FOR 2/3 Bedroom units TO BE ERECTED FOR
BY SQUIRE & DAVIES LIMITED, BUILDERS ON LOT 7 D.P. 9070

SCOPE

These specifications are to be read in conjunction with plan and brief specifications thereon and are subject to them.

GENERAL

The house, as per accompanying plan, is to be constructed by the builders and sub-contractors in a thoroughly tradesmanlike manner conforming to the By-Laws of the Local Body concerned and to the reasonable requirements of any lending institution which may be involved.

MATERIALS

Work or materials shown on the drawings and not specified, or specified and not shown shall be supplied and fitted as though both shown and specified. Materials shown and not particularly specified shall be of the kinds commonly employed and adequate for the services they are intended to perform. All figured dimensions shall be taken in preference to scale readings.

INSURANCE

The builders and subcontractors shall each take out and maintain E/L insurance for their workers as required by the Workers' Compensation Act and its amendments and shall each be covered by adequate Public Liability policies, all such policies to be enacted with a Company authorised to conduct such business in N.Z. The Builder shall, at all stages of construction, keep the building fully insured against damage by fire. Builder's responsibility for insurance shall terminate upon final payment by owner, or upon the owner commencing occupation of the building, or 14 days following written advice from the builder that the contract has been completed; whichever event shall first occur.

P.C. (PROVISIONAL COST) SUMS

The customer may, before such items are fitted, select own range, cupboard handles, door locks, wallpapers etc., and where the cost of these varies from the stated P.C. sums, adjustment up or down shall be made accordingly. The "P.C. sum" shall be interpreted to mean the normal retail price of the article in Nelson or Richmond without any allowance for cartage, delivery or Trade discount.

ACCESS

The owner or his accredited representative shall have access to any part of the building during working hours. Nevertheless the Builder and/or sub-contractors shall not be held liable for injury or accident to the owner or his representative occurring in the course of visits or inspection.

PERMITS

It shall be the responsibility of the builder and the sub-contractors to obtain and pay for all permits required for their

respective portions of the work.

IDENTIFICATION OF LAND

Where the owner points out to the builder boundaries of the owner's land he warrants that he holds good title to that land and no responsibility shall rest with the Builder to search the Title or otherwise check the owner's warranty.

CONNECTIONS

Where water is not already connected to the section the Builder shall be responsible for payment of the required fee to obtain connection to the public water supply. Where such supply is not available it shall be the responsibility of the owner to provide an adequate supply of clean water during the building operations. The Plumber shall be responsible for any fees payable in connection with sewerage disposal. The electrician shall pay any fees that may be required for obtaining a permanent connection to the power supply. However, where by reason of distance from the existing lines or underground mains the Power Supply Authority levies an additional charge, this shall be met by the owner.

MAINTENANCE

The Builder shall, for 90 days after giving possession, rectify any defects in material or workmanship or make any necessary adjustment to fittings at their own expense provided that such replacement or adjustment is not occasioned by the mis-use or improper action of the Owner.

EXCAVATION

Unless otherwise stipulated in their quotation, the Builders shall be responsible for the excavation of any basement shown on the plan and for the disposal of the material removed. All walls, retaining walls, piles, pillars, steps and chimney foundations shall be poured into excavations which have uncovered solid sub-soil, such excavation being sufficiently wide to provide adequate footing.

BOXING

Except where curving is required all boxing shall be at least 25 mm thickness and securely braced, wired and strutted to maintain its form during filling.

CONCRETE

All concrete used in foundations, piles, steps, terrace etc., shall be composed of one part of Portland cement to six parts of sand and gravel aggregate as free as practicable from vegetable and other organic material.

FOUNDATIONS

Foundations shall be of thickness shown on cross section of plan and in no case less than 125 mm and shall project a min. of 300 mm above surface of adjoining ground at all points.

PILES

Piles shall be of concrete, 200 mm in diameter, cast in situ.,

to be in rows not exceeding 2100 mm between centres where 125 x 50 mm joists are employed. Wider spacings only where joist depth is increased and then only to the extent permitted under N.Z.S.S. 1900 (see timer schedule below). In any case, distance between piles in the same row shall not exceed 1350 mm. Piles having a greater height than 750 mm shall be reinforced with one steel rod of at least 8 mm diameter. No concrete piles shall exceed 1350 mm in height.

REINFORCING

All wall foundations shall have two bars of 12 mm M.S. in footing and one 8 mm bar near the top. Where vertical height exceeds 900 mm 8 mm horizontal and vertical steel shall be placed at 450 mm crs. H.R.C. 665 lapped 150 mm may be substituted for 8 mm steel both ways. Any detailed reinforcing shown on plan shall take precedence over the above specifications and shall substitute for them. In all cases M/S rods shall be lapped a min. of 40 diameters if unhooked and 28 if hooked. Horizontal and vertical steel shall be wired together with 16g. black wire.

TERRACE

Terrace top shall be of 125 mm concrete reinforced as above. On flat sections may be solid filled with boulders or other suitable material and decked with 125 mm concrete reinforced with 665 H.R.C.

CHIMNEY

~~Chimney to be constructed of approved concrete/pumice pre cast on concrete foundation. Precast chimney blocks to be firmly bedded on the one below with sand/cement plaster 3:1 and smoothed to a flush surface on the inner face of the chimney. Place four 12 mm M/S rods vertically through the corner holes of the chimney blocks and fill with 3:1 concrete grout around steel.~~

CENTRAL HEATING

Where this is installed all requirements of the Fire Underwriters Assn. re flues, valves etc. to be observed by the sub-contractor fitting.

VENTILATORS

Where foundation height is under 1800 mm mouse proof ventilators to be built into foundation and spaced not more than 1800 mm apart nor 750 mm from any corner.

STEPS

Construct where shown on plan sufficient steps to give reasonable access from ground level. Unless otherwise specified, steps to be 150 x 300 mm.

PLATES

Plates shall be fixed to foundations with 8 mm steel bar firmly embedded in the concrete and passing through holes (not exceeding 12 mm diam.) in the 100x50 mm or 75x50 mm plate and bent over closely to plate surface. Plates on piles to be secured either as for foundations or by two strands of No.8 galv. wire ast into concrete pile and drawn over the top of the 100x75 mm plate and stapled into its side.

DAMP PROOF COURSE

All upper faces of concrete in contact with timber to be covered with one layer of damp-proof course with minimum end lap of 75 mm.

TIMBER

Framing timber in general to be of N.Z. Douglas Fir or treated building grade Radiata and in the case of 100x50 mm wall framing to be planer gauged. Native timbers of approved grades may be used other than for wall framing. All radiata to be treated. Finishing timbers to be Rimu Clears, machine or hand sanded.

FLOORING

Particle board flooring to be used in the grade and manner stipulated by the manufacturer. All wooden floors to be machine sanded to "builders" finish.

SCHEDULE OF TIMBERS

Bed plates (on piles)	100x75 mm	Radiata 125x50 mm joists max 1800 mm centres Native 125x50 mm joists max 2100 mm centres
Bed plates (on foundation)	100x50 mm or 75x50 mm B.H.R. or treated Native or Rad.	
Floor joists (to 2100 mm span)	125x50 mm B.H.R. or treated Native max 450 mm centres	
(to 1800 mm span)	125x50 mm Treated Rad. max 450 mm centres	
Floor joists (to span)	over basement R.B.A. max 450 mm centres	
Basement jackstuds	100x50 mm HT. or treated max 450 mm centres or 100x75 mm " " " " 600 mm "	
Framing plates, roof struts, underpurlins	100x50 mm " " "	
Studs	100x50 mm (or 75x50 mm for minor part) max 450 mm centres (if shown on plan)	
Ceiling joists	100x50 mm max 500 mm centres	
Rafters (Iron)	100x50 mm " 750 " "	
Rafters (Concrete tiles)	100x50 mm " 450 " "	
Purlins (Iron only)	75x50 mm or " 750 " "	
	100x36 mm	
Dwangs (walls)	100x50 mm interior. May be 75x36mm ext. 3 rows	
Dwangs (ceilings)	75x36 mm for Pinex not reqd. for wadded plaster	
(50x25 mm or 75x25 mm thickened battens may be used for pinex instead of dwangs).		
Ceiling stiffeners, upto 300 mm	100x50 mm Max joist length between stiffeners, 2250 mm	
" "	over 3600 mm 150x50mm.	
Ridges and hips	150x25 mm	
Eave frame	75x36 mm	
Valley boards	200x25 mm	
Diagonal sarking (stucco)	75x25, 100x25 or 150x25 Ht. treated. 25 mm spacing between.	
Door trimmers (to 1200 mm)	100x50 mm	
Window trimmers to 1200 mm span	100x75 mm	
Window trimmers to 1800 mm span	100x100 mm 100 mm trimmers to be formed by laminating two or more	
" " " 2250 mm span	125x100 mm thicknesses of timber and	
" " " 2700 mm " 150x100 mm	spiking together with 100 mm	
" " " 3600 mm " 200x100 mm	nails.	
" " over 3600 mm	" 250x100 mm	
Scotia	ex 50x25 standard profile	
Architraves & skirting	ex 75x25 mm " "	
Fascia board	150x25 mm grooved DA Native, treated or Ht.	
Sill boards	125x25 mm DAR	

Shelving ex 25 mm dressing grade Radiata
Flooring (Part. Bd. if spec.) 75x25 mm, 100x25 T & G (150x25 only
if kiln dried)
Weatherboards 150x25 B.L. Native, Treated or Ht.
Scribers (W.B. only) ex 50x12 mm
Herringbone, basement joists 50x36 mm or 50 mm solid and within
50 mm of joist depth
Door jambs ex 36 mm timber width of frame ± linings

BRACINGS

Diagonal bracing of 100x50 mm cut between studs at as near 45 deg. as practicable. Alternatively, 100x25 mm or 150x25 checked into studs. For Stucco construction the diagonal backing shall constitute the bracing on the external walls.

INTERIOR LININGS

3 mm hardboard vee jointed and fixed with cadmium plated nails, Gibraltar board fixed with 30 mm galv. flat heads at 225 mm spacing on every stud and stopped to a smooth surface, or such other lining as may be shown on the plan.

CEILING LININGS

TO BE EITHER: Pinex sheets fitted with button mould or Panels 600x300 mm in Lounge.

ROOF

Cover all purlins with a layer of 19g. galv. netting on top of which lay a complete layer of water-impervious paper lapped at least 100 mm over adjoining sheet with horizontal laps arranged so that moisture will shed towards eaves. Cover the whole with sheets of 26g. galv. corrugated iron, laps painted with suitable paint. Minimum side lap to be 36 mm corrugations and min. 150 mm at ends. Fasten to every purlin with lead head nails and project lower sheet 36 mm over fascia into spouting. The ridges and hips to be covered with galvanised, lead-edge ridging such leaden edge to be moulded into the iron corrugations.

CUPBOARDS

Cupboards to be built in position and to pattern and dimensions shown on plan. Solid shelving ex 25 mm dressing or factory grade Radiata and where exact spacing not specified to be in accordance with generally accepted practice. Doors of coreboard or hardboard securely glued to inner framing of 50x15 mm timber.

SINK BENCH

Cupboards, drawers, chop-board etc., as per plan details and fitted with specified top of laminated plastic or Stainless Steel. P.C. for top: \$...60.....

BUFFET

If and where shown on plan, fit buffet as per detailed drawings. Formica/laminex top to match sink unit if same be laminate.

DOORS

Hang main doors on 1½ pairs of 88 mm loose pin butts. Wardrobe, cupboard and other minor doors to have one pair of butts of adequate size. Outward opening exterior doors to have galvanised butts. Door sizes and type as shown on plan. If unspecified, fig 2 flush panel type are to be assumed.

HOT WATER CUPBOARD

Fit 75x25 mm dressed Radiata battens with approx. 25 mm spaces as shelves with approx. 450 mm between shelves.

SHAVING CABINET

Fit between studs in bathroom wall. If not otherwise specified to be 600x500 mm with 400x300 mm mirror fitted to door.

FINISHING HARDWARE

Allow a P.C. sum of \$⁴⁰..... for total finishing hardware including lock and latch sets, half sets, cupboard handles and catches, window fasteners, drawer pulls, cabin hooks, tower bolts, soap recesses, hat and coat hooks and stair handrail brackets.

EAVES

Eaves to be boxed with 75x36 mm framing and lined with 3 mm asbestos/cement sheets of width shown on plan. Outer edge to fit snugly into groove in fascia.

MANHOLES

Provide manhole in suitable location for access to ceiling. Make removable cover of same material as ceiling. Provide access into foundation with exterior door which is to be fitted with hinges and padbolt.

EXTERIOR JOINERY

All exterior to be Aluminium Rolls with grooved jamb liners. Window dimensions on plan shall be recognised as actual glass sizes. Weight of glass shall be that in common use for the dimension of any sash in question.

SHOWER

If plan call for shower stall, the same to be fitted with Stainless Steel tray and stall to be lined with Rio Tone unless otherwise specified.

PLUMBER

Flash all roof openings to make a waterproof job. Provide and fit galv. iron valleys where required. Flashing to be provided around all doors, window frames and sills. Supply and fit 26g. galv. spouting of standard profile, fixed to fascia board at 75 mm intervals with galv. brackets of approved design. Spouting to fall towards downpipes, a minimum of two of which shall be provided at locations convenient for water disposal. Drains, vents, gulley-traps, wastes, and etc., to be fitted in accordance with Regulations and good Trade practice. Supply, fit and connect to water system and drainage:-
Steel bath, Plix basin, S/S tub, lavatory pan with plastic seat and standard flusher cistern. Fit 15 gal. polythene supply tank in ceiling with galv. tray under and exterior overflow. Water piping inside house to be of copper brazed at joints or PVC fitted to maker's instructions. External water supply may be in PVC, Polythene, copper or galv. piping buried at least 300 mm below ground surface. Diameter of supply shall be not less than 12 mm internally. Where applicable on gable ends and porches fit trays, flashings, caps etc. Fit and supply hot water cylinder (40 gal. unless otherwise specified) lagged and with provision

for electrician to fit element and thermostat. Fit extra hot tap in laundry for washing machine. Provide two external brass hose taps. Internal taps to be chrome plated. Where a shower is fitted, taps (or mixer unit if specified) shall not be directly below rose but off-set towards shower entrance.

PAINTER

Exterior surfaces to receive one coat of priming and two coats of lead & oil, latex or acrylic paint from a reputable manufacturer and in colours selected by owner. All nail holes and other blemishes in the surface being treated are to be puttied or otherwise filled. Internal woodwork shall be given two coats of sealer such as Dulux satin clear and one coat of varnish. Walls not requiring to be papered shall be treated with one coat of size, one of undercoat and one of enamel. Interior woodwork:- 2 coats of undercoat and one of enamel. Ceilings:- 1 coat of size, 1 of undercoat and a finishing coat of flat paint. Walls to be papered must be lightly rubbed down with fine sandpaper to remove roughness and irregularity of stopping. Walls to be painted with size before papering. Papers as selected by owner to be accurately trimmed and butt jointed. Average P.C. for papers \$.4.50 per standard roll.

PLASTERER AND BRICKLAYER

Plaster all steps and terrace with sand/cement compo 3:1. Straighten and finish with steel float to a smooth and true surface. Plaster exposed walls and foundations also chimney and finish as for Stucco below. Stucco walls:- Completely cover solid backing with saturated felt, upper courses lapping the lower by at least 75 mm. Fasten with galv. clouts. Cover with 17 gauge netting, max 30 mm mesh, loose stapled to backing with 30 mm galv. staples. Netting must be properly embedded in the first layer of plaster. Apply sand cement/lime plaster in two coats and follow second coat immediately with a splash of roughcast plaster. At least seven days should elapse between the application of the first and second coats of Stucco and another seven before the final coat of colour is applied. Finish exterior stucco work and base of building with one coat of cement based paint and one of plastic or acrylic colour selected by owner.

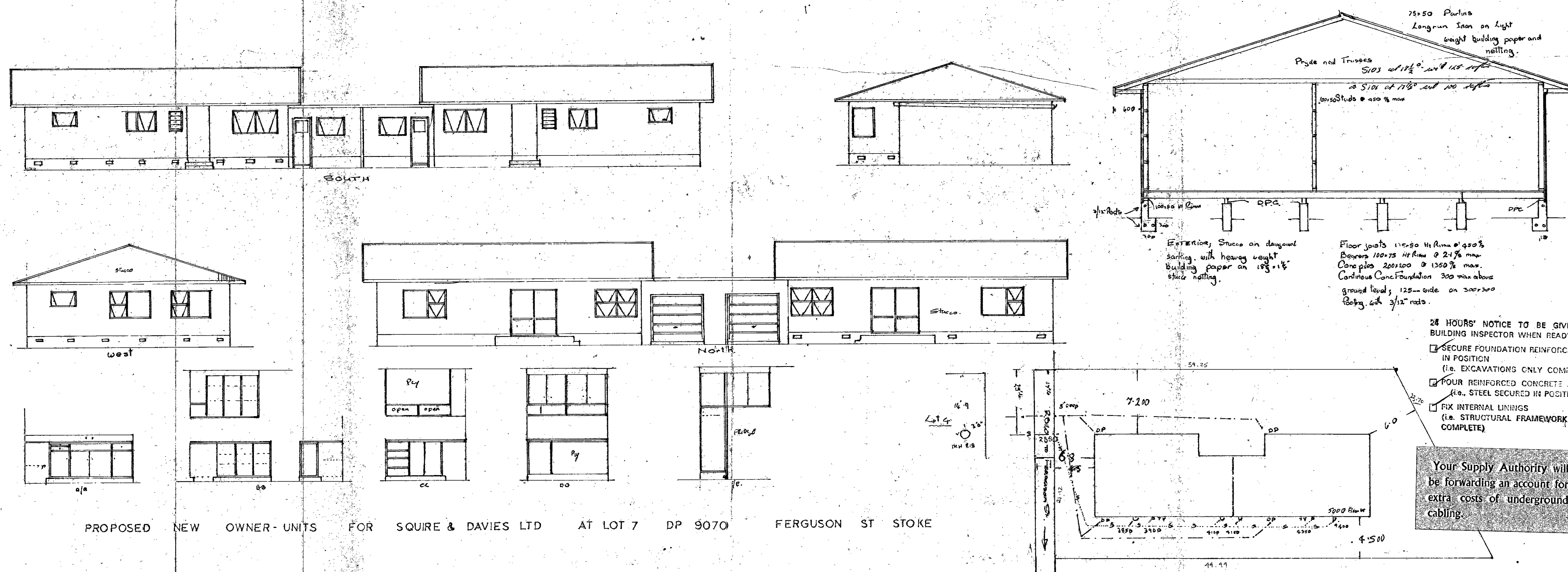
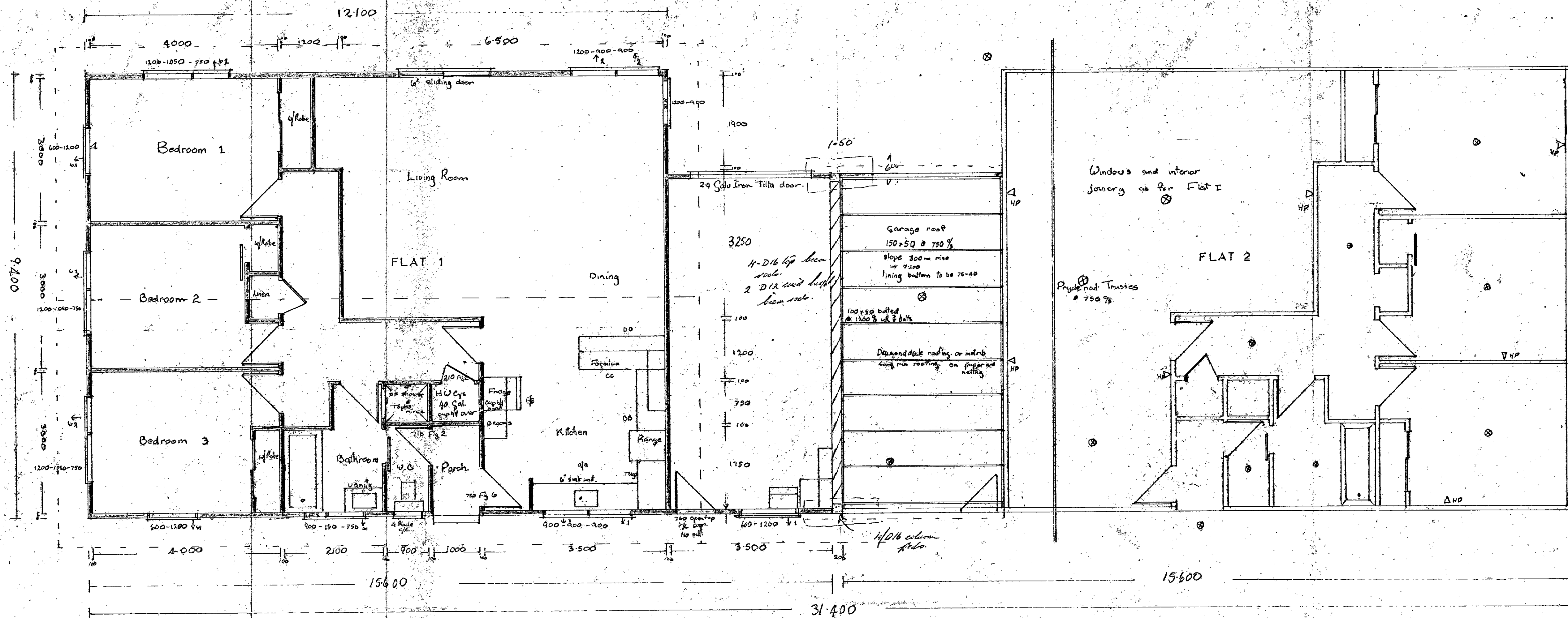
Where brick or blockwork is involved, all work is to comply with the appropriate sections of N.Z. Standard Specifications, 1900 and in conformity with good, standard Trade practice.

Supply and fit fireplace and hearth if and where shown on plan. Where a P.C. Sum is stated in respect of the fireplace this shall refer only to the supply of the front and hearth and does not include labour fitting these items nor the supply and fitting of firebricks and grate which are to be included in the Bricklayer's contract. Where no P.C. Sum is stated, the fireplace as shown and described on the plan shall be supplied and fitted by the Bricklayer and included in his overall price.

ELECTRICIAN

Supply and fit9... hotpoints ...14... lights, T.V. lead
in etc. Supply and connect element and thermostat in hwc..
Supply all internal mains, wiring, metal switchbox and board,
earthing etc. Range P.C. \$..2.90...

Heating A.P.C. Sum of \$...190... allowed.



PROPOSED NEW OWNER-UNITS FOR SQUIRE & DAVIES LTD AT LOT 7 DP 9070 FERGUSON ST STOKE