

101986

APPLICATION FOR BUILDING PERMIT

25-5-65 Date

To the Building Inspector,
Rangitikei County Council,
P.O.Box 22, MARTON

I hereby apply under the Rangitikei County Council Building By-laws 1958 for a permit to carry out building work as described hereunder, and in accordance with the Locality Plan, and Plans and Specifications deposited herewith. At:-

Beach Rd Road Turakina Beach Town or District
For MR. O.W. SANDFORD Owner 40 DYER ST. LOWER HUTT. Address
DYER.

PARTICULARS OF LAND: (this must be completed)

Valuation No. sect 39 Area of Section 37.5
Kaitiaki Sub-division (New) Length of Frontage

PARTICULARS OF BUILDING:

Description of work to be carried out Erect Beach Cottage
Particulars of:- Foundations Concrete
Walls Concrete
Roof Corrug
Area of Ground Floor 450 Sq.ft. Outbuildings _____ Sq.ft.
Purpose for which building is to be used Residing
Nature of ground on which building to be placed Sand

PARTICULARS OF PLUMBING AND DRAINAGE:

Description of Plumbing and Drainage work Septic Tank - Drains & Household Plumbing

ESTIMATED VALUE OF WORK:

Building £1100-00
Plumbing & Drainage £200-00
Total Value: £1300-00

Builder self Registered Plumber _____
Address _____ Address _____
Signed: O.W. Sandford Applicant
40 Dyer St Lower Hutt Address

Permit Fee

Building 6 Table (1) Receipt No. 6529
Plumbing 2 Table (2) Permit No. 101986

Total Fees: £8-00

NOTE: Fees payable shown on back

PERMIT FEES

For the examination of plans and specifications of any building work, and for the inspection of such building work, the following fees shall be payable:-

Table (1)
BUILDING

Estimated Value of Building Work

		£	s	d
	Not exceeding £100	10	0	0
Over £100 and	" " £200	1	0	0
" £200	" " £300	1	10	0
" £300	" " £400	2	0	0
" £400	" " £500	2	10	0
" £500	" " £600	3	0	0
" £600	" " £700	3	10	0
" £700	" " £800	4	0	0
" £800	" " £900	4	10	0
" £900	" " £1000	5	0	0
" £1000	" " £1250	6	0	0
" £1250	" " £1500	7	0	0
" £1500	" " £1750	8	0	0
" £1750	" " £2000	9	0	0
" £2000	" " £2500	10	10	0
" £2500	" " £3000	12	0	0
" £3000	" " £3500	13	10	0
" £3500	" " £4000	15	0	0
" £4000	" " £4500	16	10	0
" £4500	" " £5000	18	0	0
" £5000	" " £6000	20	0	0
" £6000	" " £7000	22	0	0
" £7000	" " £8000	24	0	0
" £8000	" " £9000	26	0	0
" £9000	" " £10000	28	0	0

Value above £10,000 - Rates on Application

Table (2)

PLUMBING & DRAINAGE

Estimated Value of Plumbing & Drainage Work

If value of the proposed work does not exceed £25	5	0	0
If value of the proposed work exceeds £25 but does not exceed £50	10	0	0
If value exceeds £50 but does not exceed £100	1	0	0
If value exceeds £100 but does not exceed £150	1	10	0
If value exceeds £150 but does not exceed £200	2	0	0
If value exceeds £200 but does not exceed £300	2	10	0
If value exceeds £300 but does not exceed £400	3	0	0
Plus 10/- per £100 in excess of £400			

In any dispute the Engineer shall have the absolute determination of the value of such work.

PERMITS: Permits must be obtained before any work is commenced, and any application for a permit must be accompanied by all necessary fees.

PERMITS REQUIRED FOR THE FOLLOWING CLASS OF WORK:

1. The erection or re-erection of any building
2. All alterations, additions and structural repairs to any existing building, other than those exempted in the Bylaws.
3. The removal of a building from any place within or without the County to ^{any} land within the County.

PLANS & SPECIFICATIONS:

Plans and Specifications must accompany this application.

EXEMPTION:

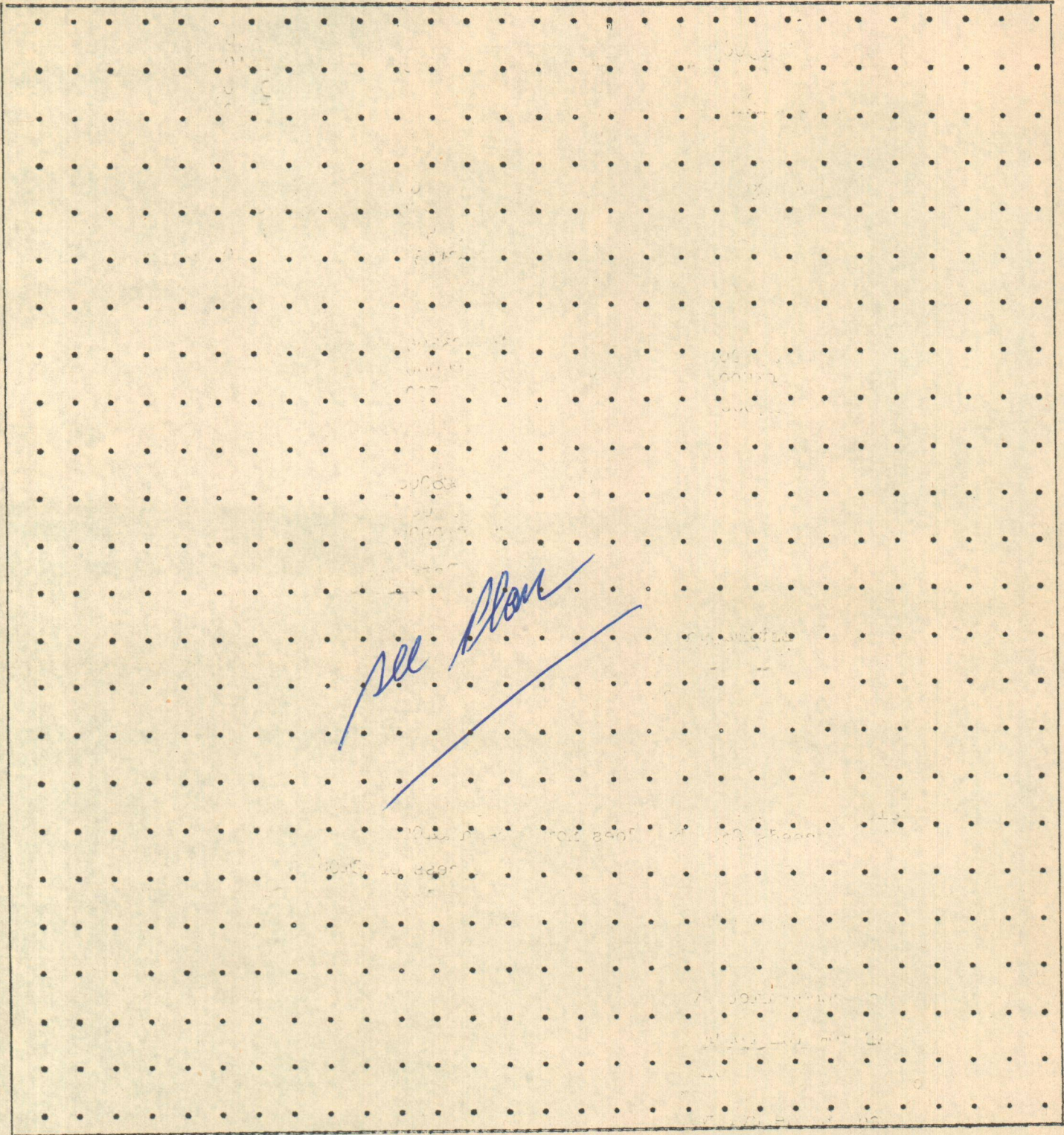
Farm and other buildings not intended for habitation and not exceeding 250 square ft. in area are exempted from Building Permits PROVIDED such buildings are situated more than 100 yds. from any public road. Permits are required in all other cases.

Mr. H. D. McLeod, Health and Building Inspector, may be contacted at the County Office, High Street, Marton 'Phone 2119

RANGITIKEI COUNTY COUNCIL

LOCALITY AND DRAINAGE PLAN:

To show position of proposed building and relation to any other buildings on section. Distance of building from boundaries to be shown.
 Position of any drains septic tank and outfall to be shown in red.
 (scale 1-inch = 16ft. Each square = 4ft.)



NOTE:

SITING OF BUILDINGS ON RESIDENTIAL SECTIONS

Type of Use	Front Yards Minimum Depth	Rear Yards Minimum Depth	Side Yards Minimum Width on each side
Dwellinghouse	15ft.	25ft.	4ft. one side 8ft. " "
Other Buildings	15ft.	25ft.	10ft.
Accessory Buildings (Car Sheds, etc.)	15ft.	18" X.Y.	18" X.Y.

Eaves may encroach side yards by not more than 2ft.
 X. Eaves may encroach side yard by not more than 1ft.
 Y. No side yard required if external wall of fire wall construction
N.B. Special side yard requirements apply to buildings over 12ft. in height.

SPECIFICATION OF MATERIALS TO BE USED IN THE
ERECTION OF A RESIDENCE AT KOITIATA DOMAIN,
TURAKINA BEACH, FOR MR. W. SANDFORD.

BUILDER:

CONCRETE - Concrete for chimney slab and inside porch to be 1st. Grade Builder's Mix, 6 to 1 proportions. Foundation Piles to be concrete 8" x 8".

REINFORCING - H.R.C. 665.

QUALITY AND KINDS OF TIMBER - All external timbers (unless otherwise specified) to be D.A. Ht. Rimu or D.A. Ht. Totara. All framing timber to be B.A. Radiata Pine (Boric Treated) and thickened. Stringers and Floor Joists, Tanalised B.A. Radiata Pine.

PAINTING PRIMER - The external face and laps of all exterior timbers, external faces, and rebates of window and door frames and the whole of the timber sashes to be primed before fixing.

DAMP-COURSE - Lay a Malthoid damp-course under any timber which bears directly on concrete.

SCHEDULE OF TIMBERS.

<u>Designation.</u>	<u>Size.</u>	<u>Quality.</u>	<u>Remarks.</u>
Stringers	4" x 3"	B.A. Radiata Pine (Tanalised.)	4' 9" Centres.
Floor Joists	4" x 2"	B.A. Radiata Pine (Tanalised.)	18" Centres.
Plates and Studs	4" x 2"	B.A. Radiata Pine (Boric Treated.)	Studs 18" Centres.
Opening Studs	4" x 3"	" "	Openings 3' to 8'.
Dwangs	4" x 2"	" "	3 in height.
Ceiling Joists	4" x 2"	" "	18" Centres.
Rafters	4" x 2"	" "	3' Centres.
Struts	4" x 2"	" "	
Under purlins	4" x 2"	" "	
Ridge	6" x 1"	" "	
Collar Ties	6" x 1"	" "	
Roof Purlins	3" x 2"	" "	2' 6" Centres Min.

CEILING RUNNERS - Over Kitchen - Living Room 8" x 2" B.A. Radiata Pine (Boric Treated.)
Over Bedroom, Bathroom & Porch 4" x 2" B.A. Radiata Pine (Boric Treated.)

BEAM SCHEDULE - Openings up to 3' 1" - 4" x 2".
Openings from 3' 1" to 4' 6" - 4" x 3".
Over 4' 6" - 5" x 4".

FRAMING - Generally to be spaced at not more than 18" Centres. Brace all walls with 4" x 2".

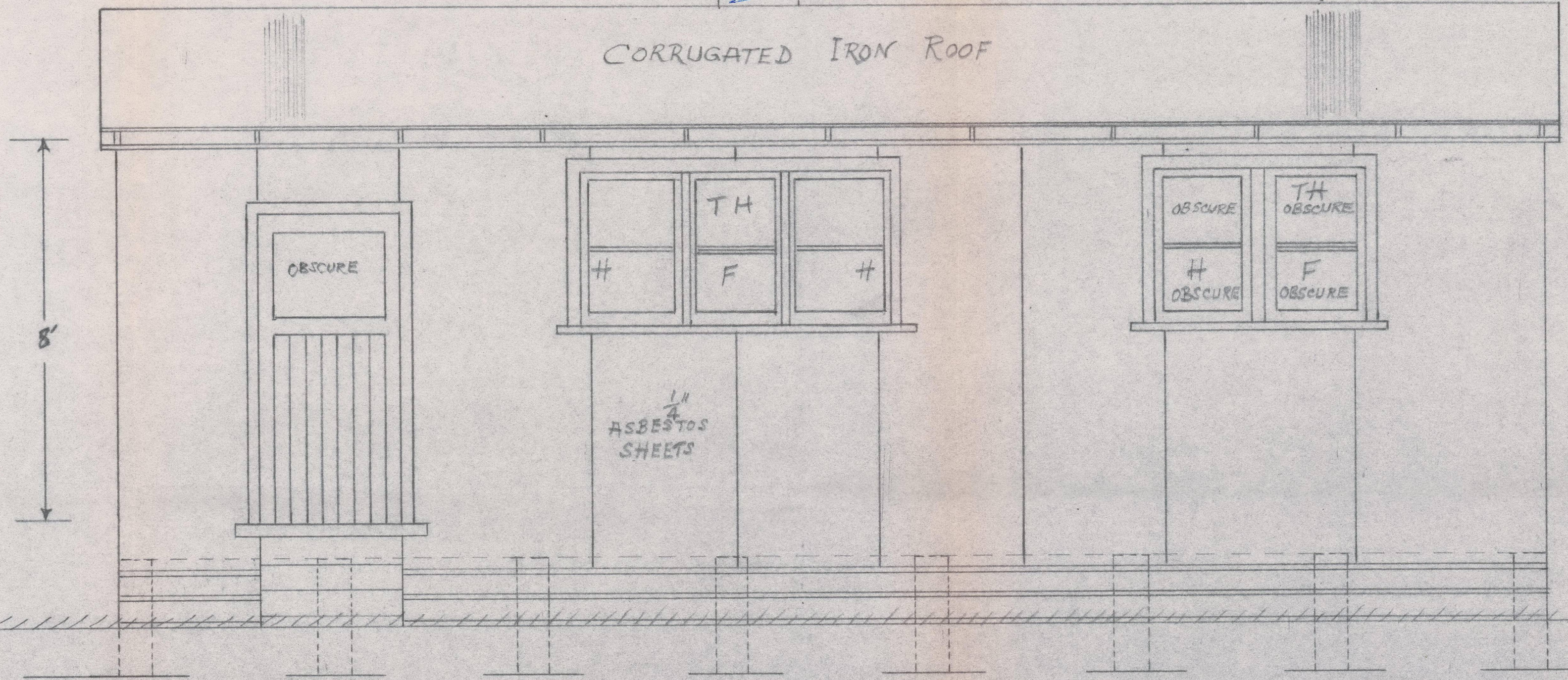
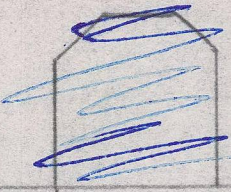
FLOORING - To be 1st. Grade $\frac{3}{4}$ " "Plycapine" Sheets.

WINDOWS - Sills out of D.A. Ht. Matai or Ht. Totara. Stiles, Mullions and Heads out of Ht. Rimu, Matai or Totara.

SASHES - To be Redwood, Cedar or Totara, with "Whitco" fasteners (Brass.)

<u>EXTERNAL WALL LININGS</u>	-	All timber walls to be lined with Hardie's $\frac{1}{4}$ " Fibrolite Asbestos Sheets. Building paper underneath (36lb. per roll minimum). Joints to be covered with Hardie's Fibrolite asbestos cover battens fixed with $1\frac{3}{4}$ " roundhead brass screws and washers.
<u>CORNER STOPS</u>	-	To be Hardie's standard type Fribrolite asbestos corner stops fixed with $1\frac{3}{4}$ " roundhead brass screws and washers.
<u>FASCIA BOARDS</u>	-	To be ex 6" x 1" D.A. Ht. Rimu. Back face to be grooved $\frac{1}{4}$ " x $\frac{1}{4}$ " $\frac{3}{4}$ " up.
<u>BARGE BOARDS</u>	-	To be ex 6" x 1" D.A. Ht. Rimu.
<u>DOOR FRAMES - EXTERIOR</u>	-	Porch door frame to be out of rebated D.A. Ht. Rimu. Sill to be D.A. Ht. Matai.
<u>INTERIOR DOOR FRAMES</u>	-	To be out of D.A. Rimu with planted on door stops.
<u>DOORS - EXTERIOR</u>	-	Porch door to be Frame and Ledge type with obscure glass panel at top. Galvanised hinges.
<u>DOORS - INTERIOR</u>	-	To be of 1st. Grade flush panelled Rimu plywood.
<u>SKIRTINGS AND ARCHITRAVES</u>	-	To be D.A. Rimu of the standard bull-nosed, bevelled type. (Ex 3" x 1".)
<u>SCOTIA AND CORNER BEADS</u>	-	To be D.A. Rimu $1\frac{1}{2}$ " Scotia - Standard type. Corner Beads - $\frac{3}{4}$ " quad.
<u>INTERIOR WALL LININGS</u>	-	All interior walls, except Bathroom to be lined with $\frac{1}{2}$ " Pinex sheet to Dado height with a 4' high Dado of $\frac{1}{4}$ " Pinex hardboard.
<u>BATHROOM</u>	-	To be lined with $\frac{1}{4}$ " Pinex hardboard.
<u>CEILING LININGS</u>	-	All ceilings to be lined with $\frac{1}{2}$ " Pinex Sheets.
<u>ROOF</u>	-	To be of 1st. Grade Galvanised Iron sheets (26 Gauge) fixed to 3" x 2" purlins nailed 2" wire netting and building paper underneath (mesh)
<u>SOFFITT LININGS</u>	-	$\frac{3}{16}$ " Hardie's Fibrolite asbestos. Finishing bead under Soffitt to be $\frac{3}{4}$ " quad. Ht. Rimu or Totara.
<u>PLUMBER:</u>		
<u>FLASHINGS</u>	-	All flashings (except roof) to be of Copper (26 gauge).
<u>RIDGING</u>	-	To be 16" lead edged. Chimney flashing to be galvanised flat iron (26 gauge.) Rolled iron coverboards at gable ends to be galvanised iron (26 gauge.) supplied and fixed by plumber. All vents to be flashed.
<u>SPOUTING AND DOWNPIPES</u>	-	To be of 24 gauge copper supplied and fixed by Plumber with stout brackets.
<u>WATER TANK</u>	-	600 Gallon galvanised iron tank to be supplied by Plumber with all necessary fittings.

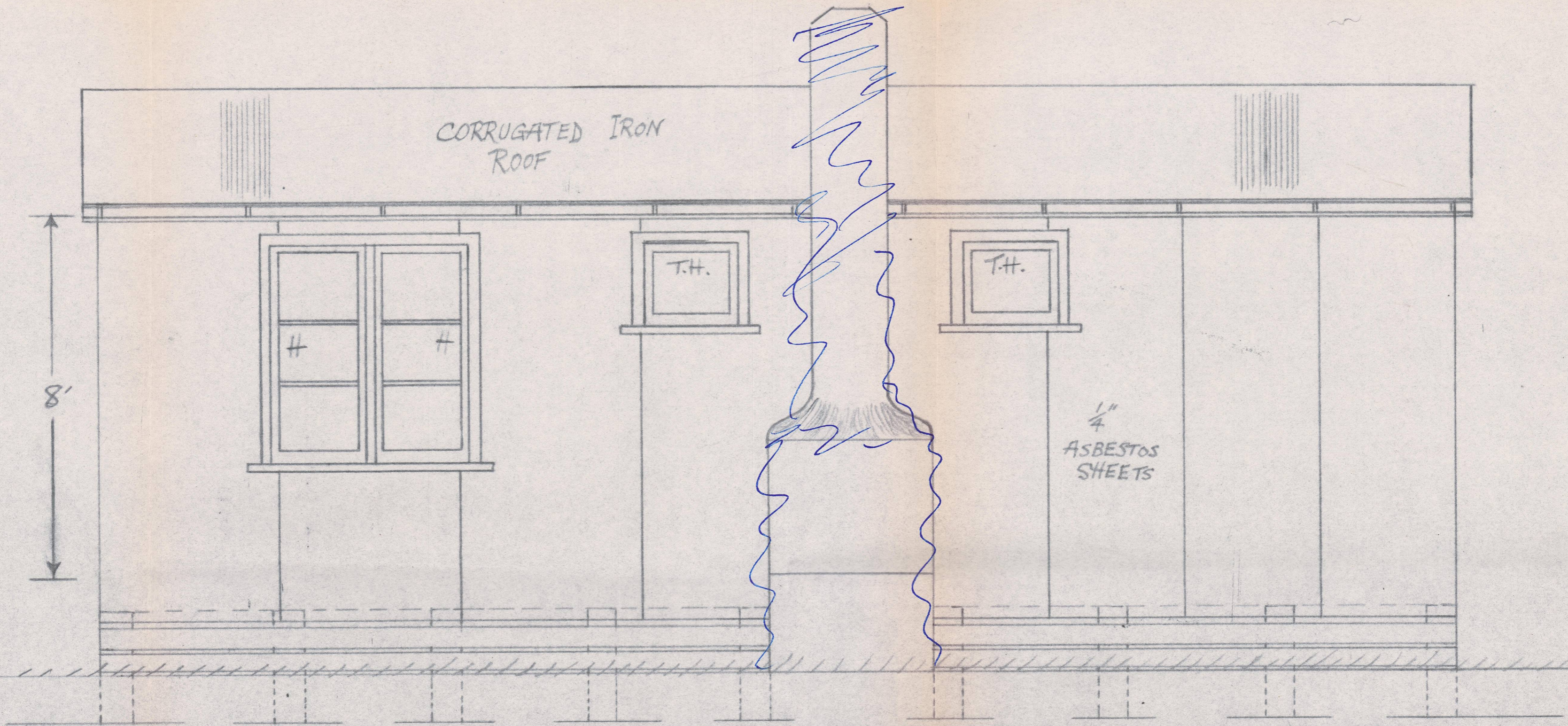
- COLD WATER SUPPLY - $\frac{3}{4}$ " Copper piping from water tank. (Note
 $\frac{3}{4}$ " copper piping throughout building.)
- HOT WATER SUPPLY - To be copper piping including exhaust
pipe to cylinder. Hot water piping to be lagged. Also cold water feed
- H.W.C. - To be 30 Gallon Copper H.W.C. lagged and
cased with thermostatically controlled
electric element (fitted by Plumber.)
- BATH - To be 5'6" pressed steel vitreous enamel
bath.
- COMBINATION TUB - HAND BASIN - To be decided upon later (See Plumber.)
- WASTES AND TRAPS - To be copper.
- W.C. - To be white glazed earthenware pan with
double plastic seat. Noiseless type of
cistern.
- DRAINAGE SYSTEM - Septic tank to be installed and all
connected to same. All plumbing and drainage to comply with local bylaws.
waste pipes including W.C. to be
- ELECTRICIAN - House to be completely installed, all
wiring regulations. Connect up H.W.C. in accordance with the latest electrical
- GLAZING - Obscure glass in Bathroom - Laundry
to be done prior to delivery. All rebates in windows and Porch door to be
primed before glazing. windows, also in Porch door. Glazing
- PAINTING - All painting to be done by Owner.
-



Proposed Residence
 at
 Kaitiata Domain
 Twakina Beach
 for
 Mr. W. Sandford.

North Elevation

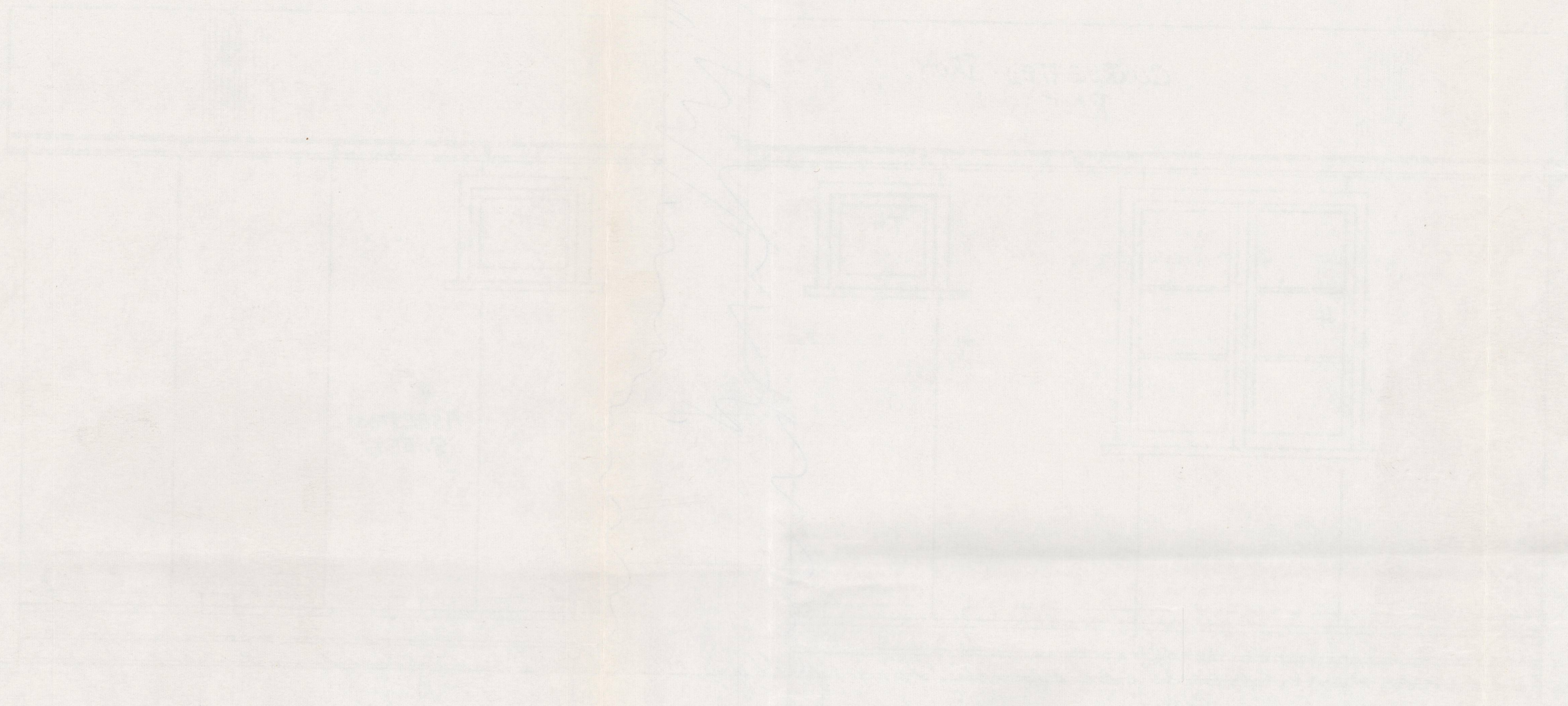
Scale - $\frac{1}{2}$ Inch = 1 Foot



South Elevation

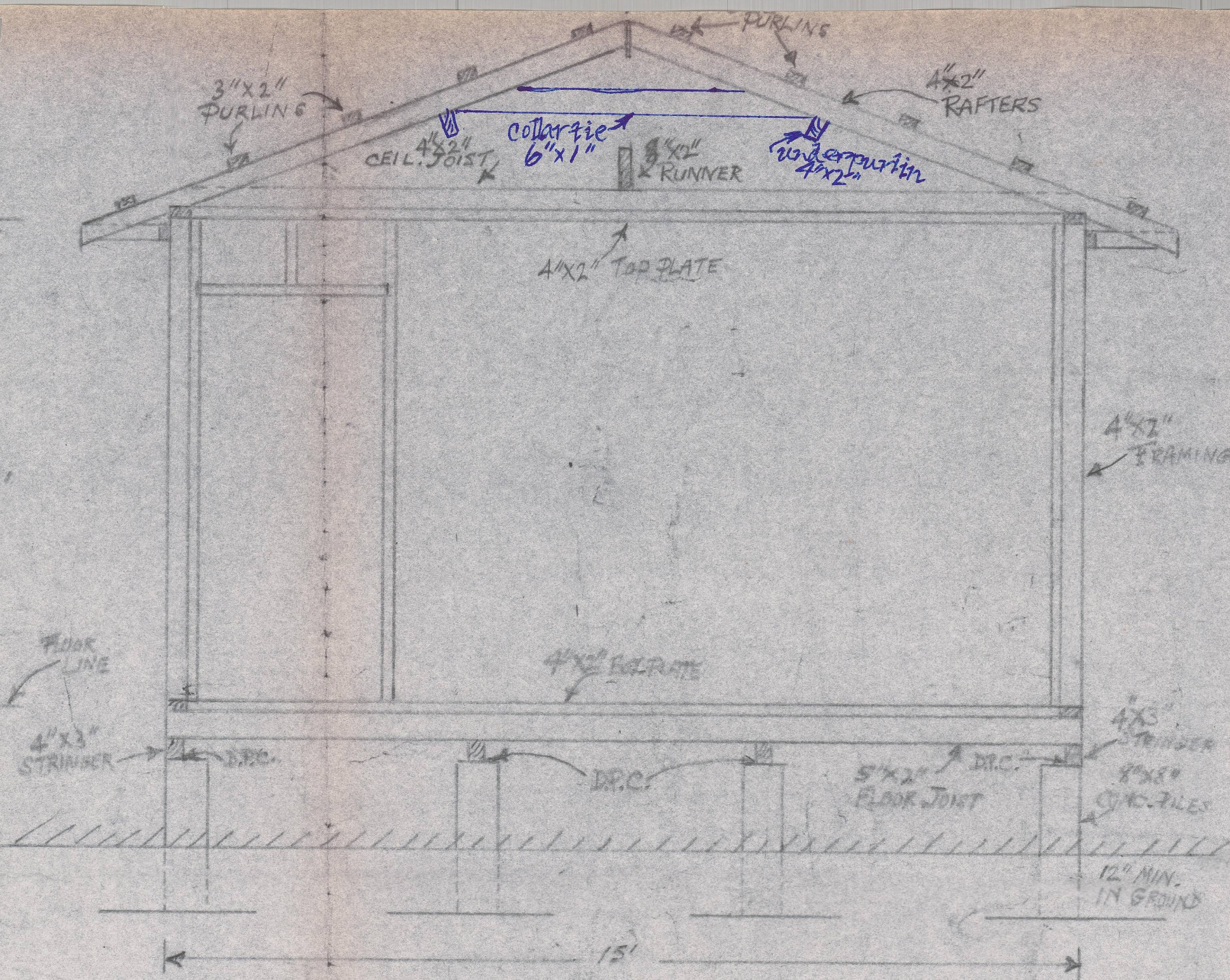
Scale - $\frac{1}{2}'' = 1\text{ Ft.}$

Proposed Residence
at
Koitiata Domain
Turakina Beach
for
Mr. W. Sandford

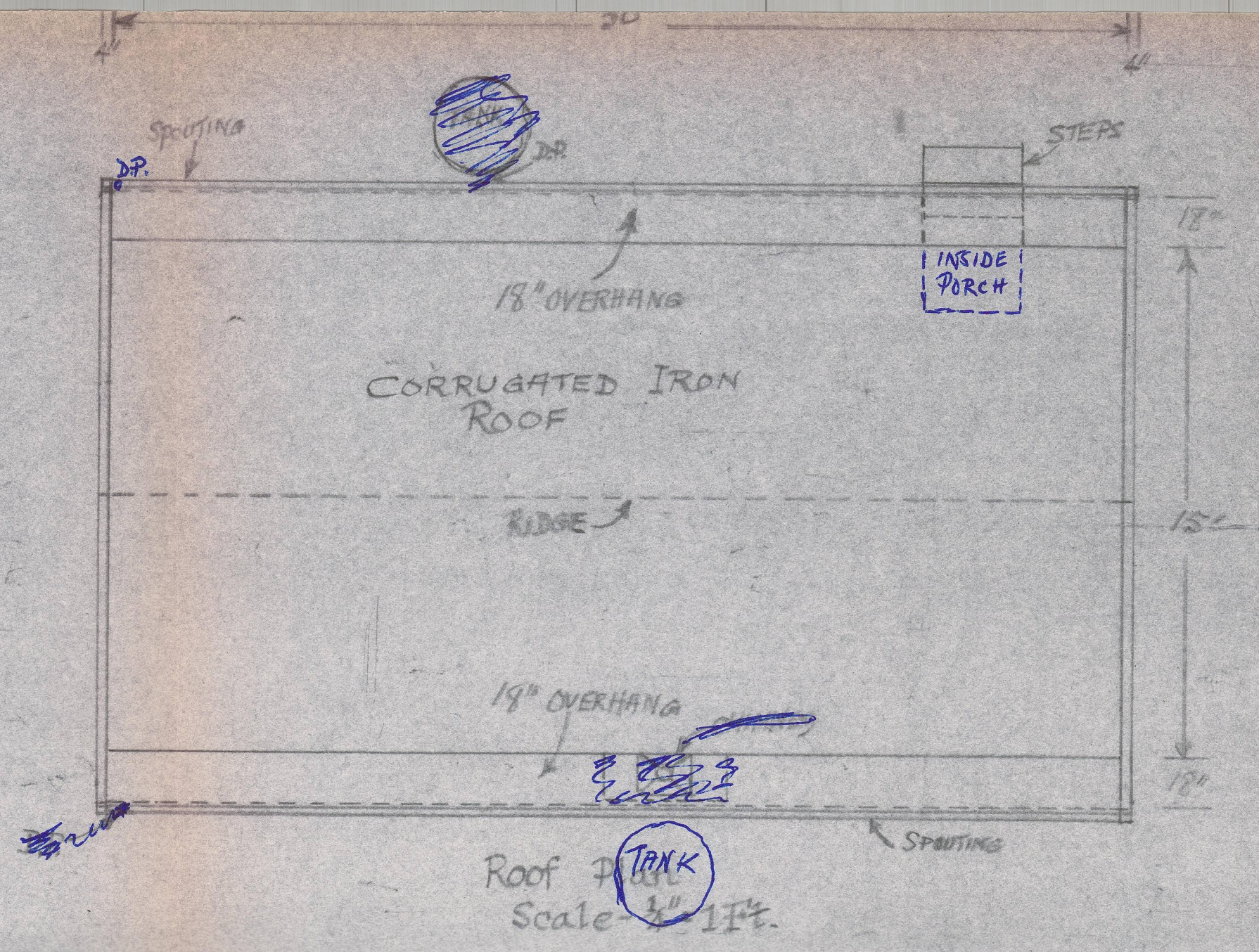


Handwritten notes in the left margin, possibly describing the drawing or providing specifications.

Faint handwritten notes in the bottom right corner, possibly a signature or date.



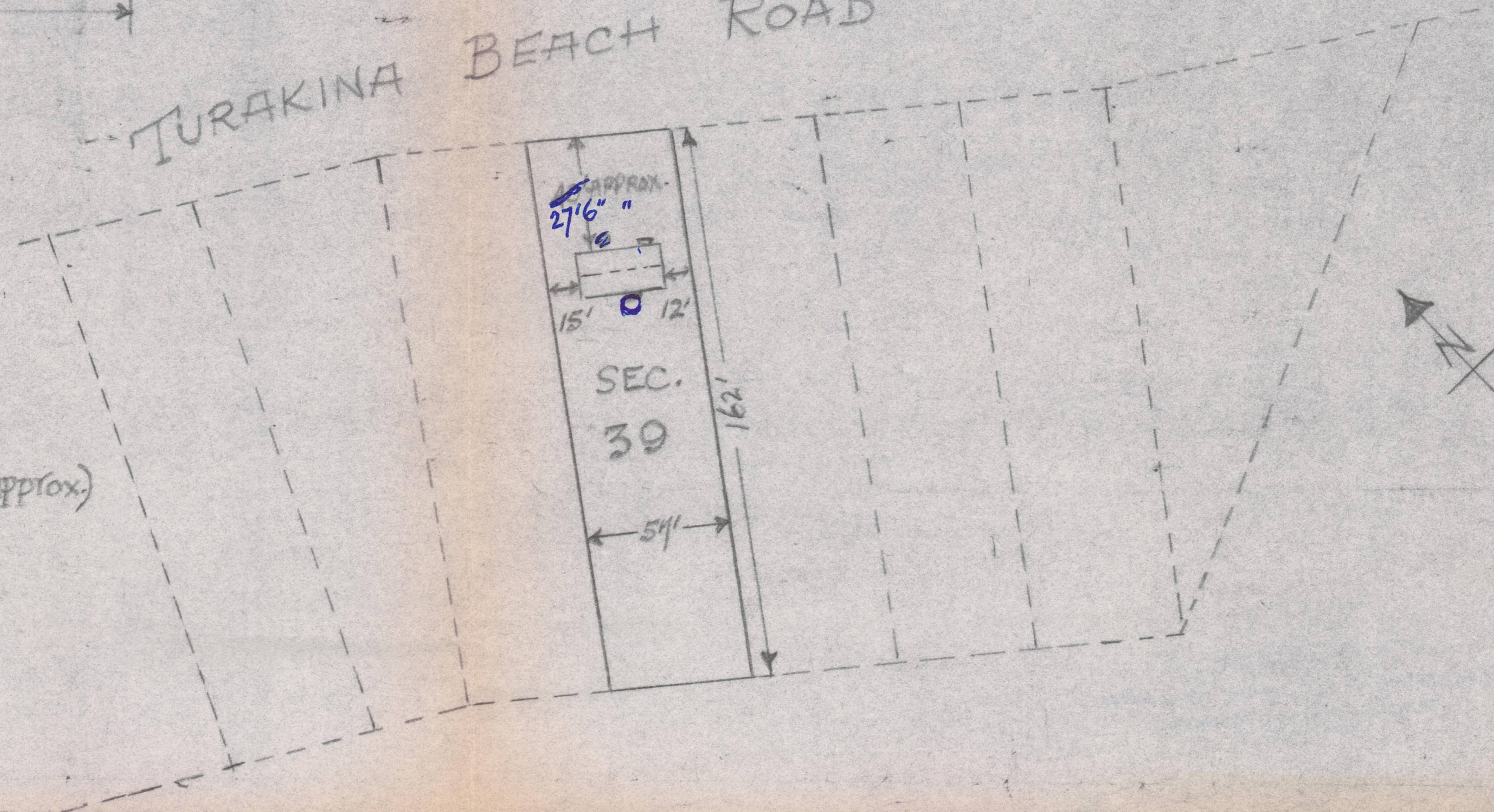
Section Thru' A-A
Scale - $\frac{1}{2}'' = 1' - 4''$



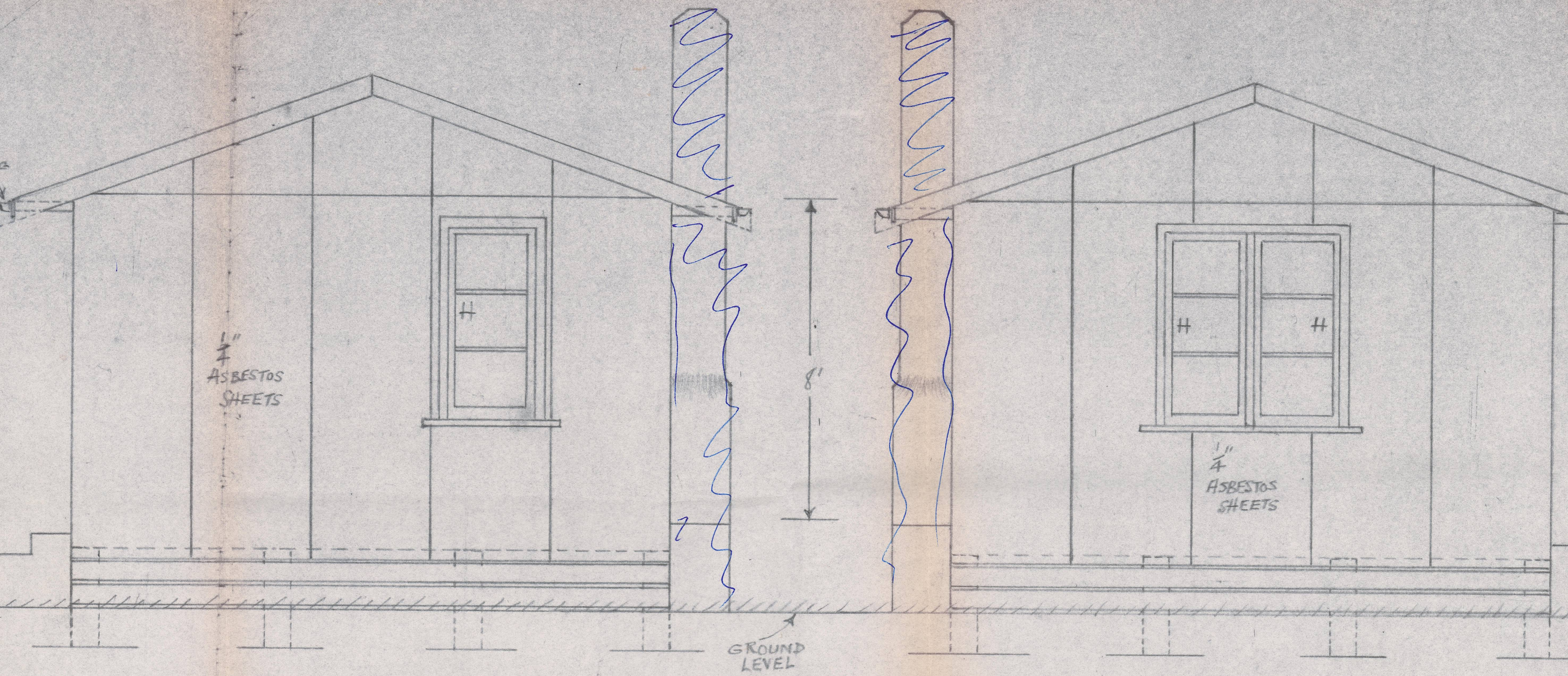
TURAKINA BEACH ROAD

Proposed Residence
at
Koitiata Domain
Turakina Beach
for
Mrs. W. Sandford.

Site Plan
Scale - 40 ft. = 1 Inch (Approx.)



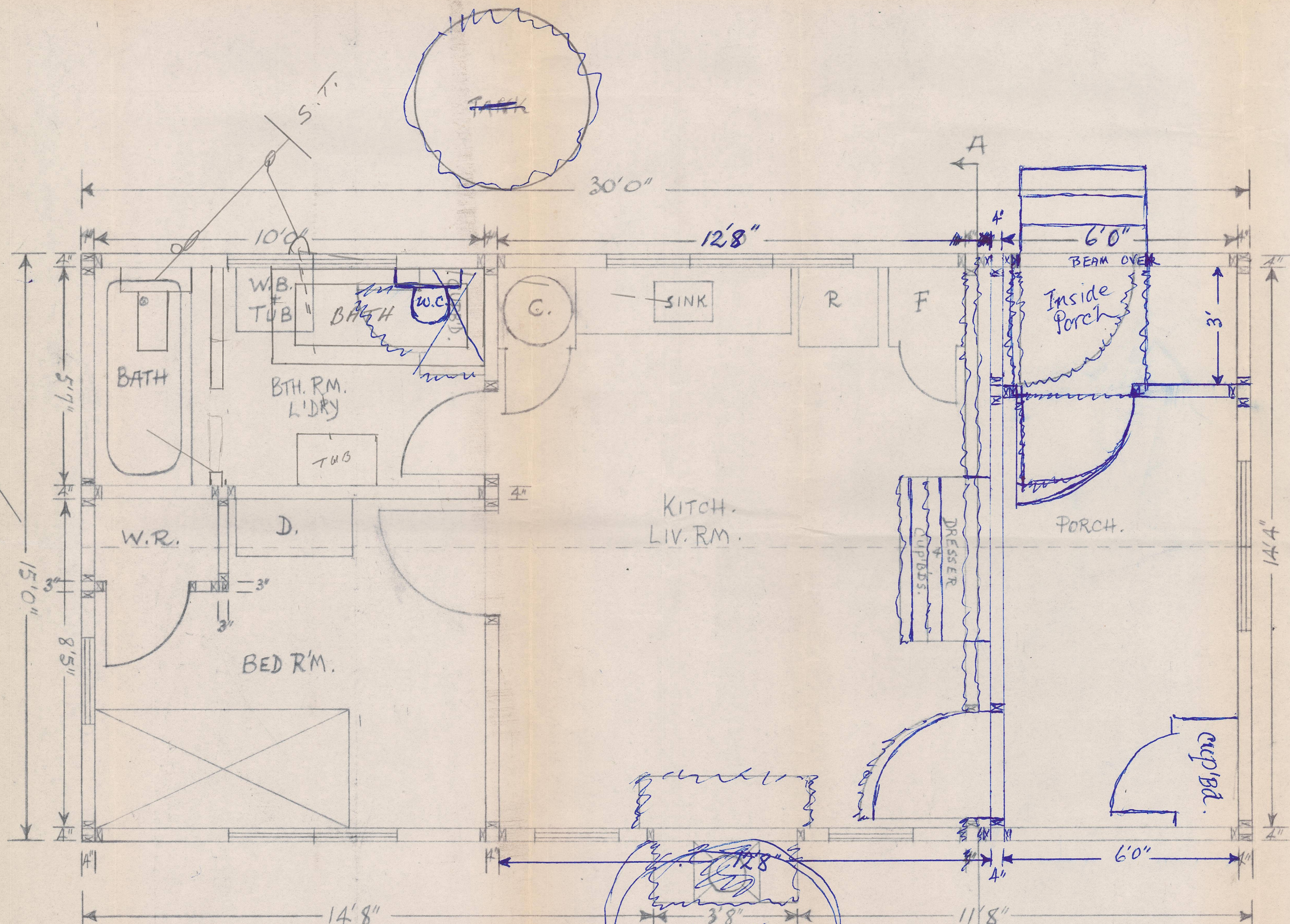
PLAN PRINTING CO.
Blueprints & Drawing Supplies
86-88 Wakefield Street Wellington
Telephone: 40-555



West Elevation
 Scale - $\frac{1}{2}'' = 1\text{Ft.}$

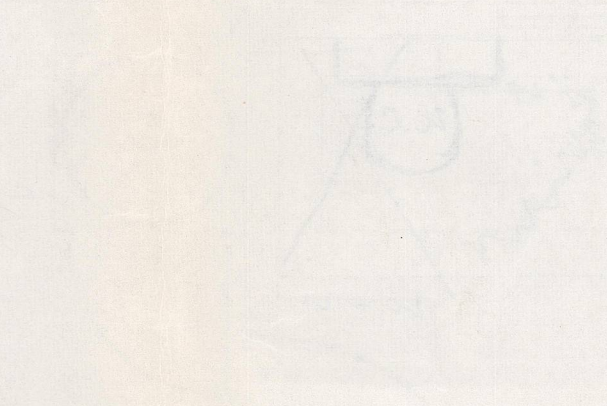
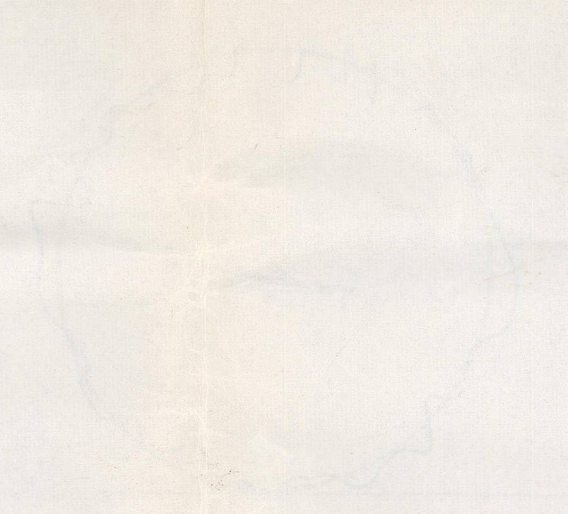
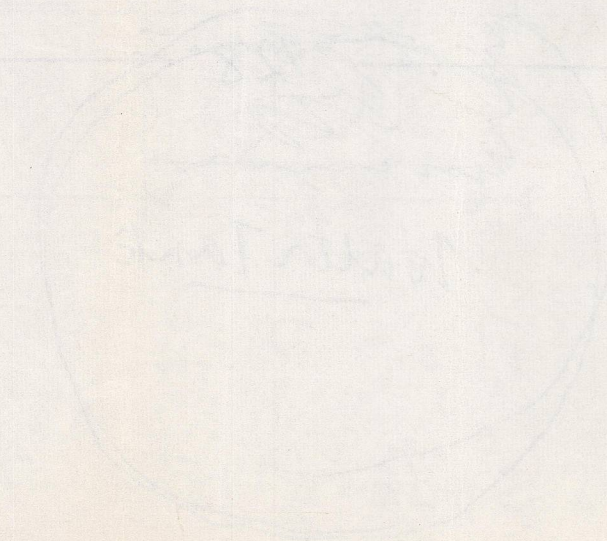
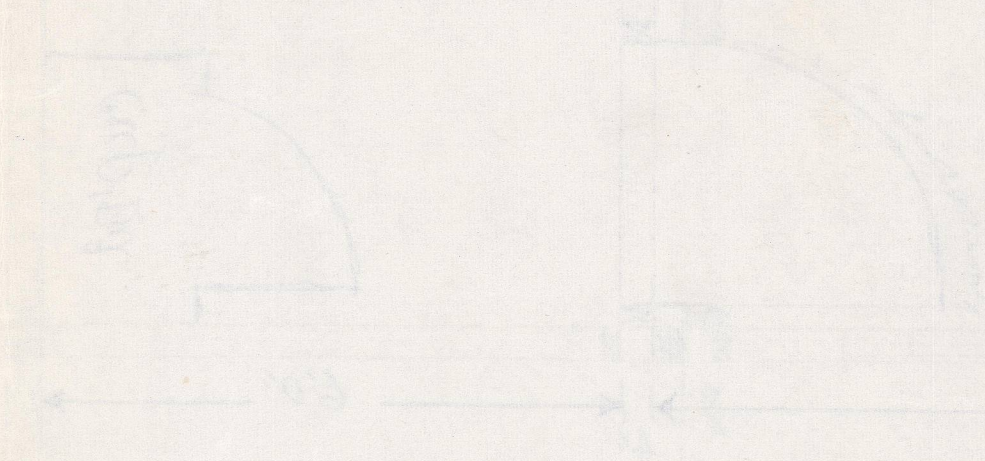
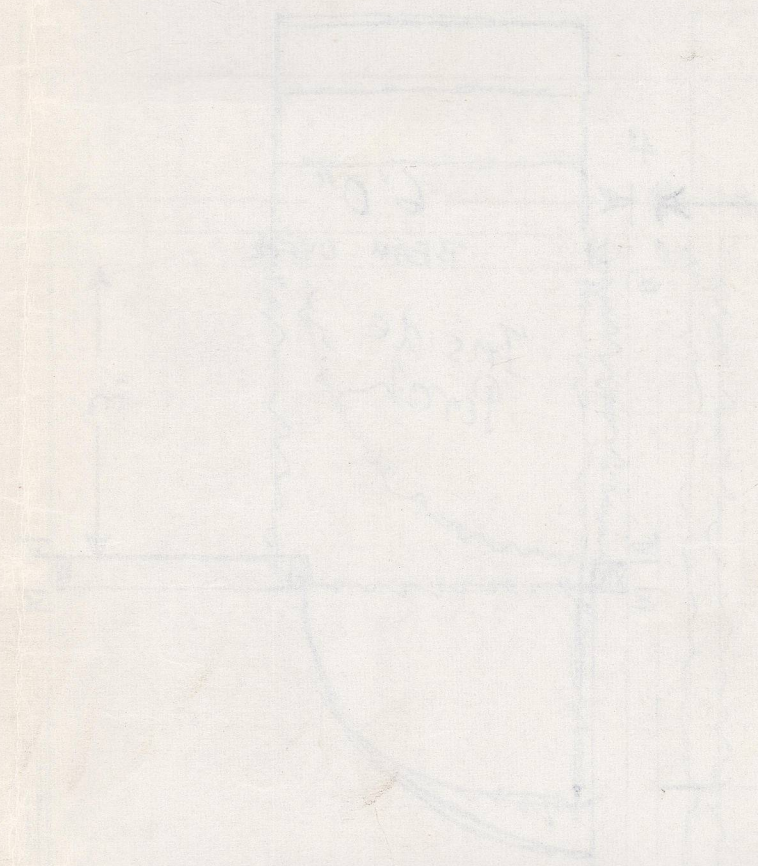
Proposed Residence
 at
 Keitiata Domain
 Turakina Beach
 for
 Mr. W. Sandford.

East Elevation
 Scale - $\frac{1}{2}'' = 1\text{Ft.}$

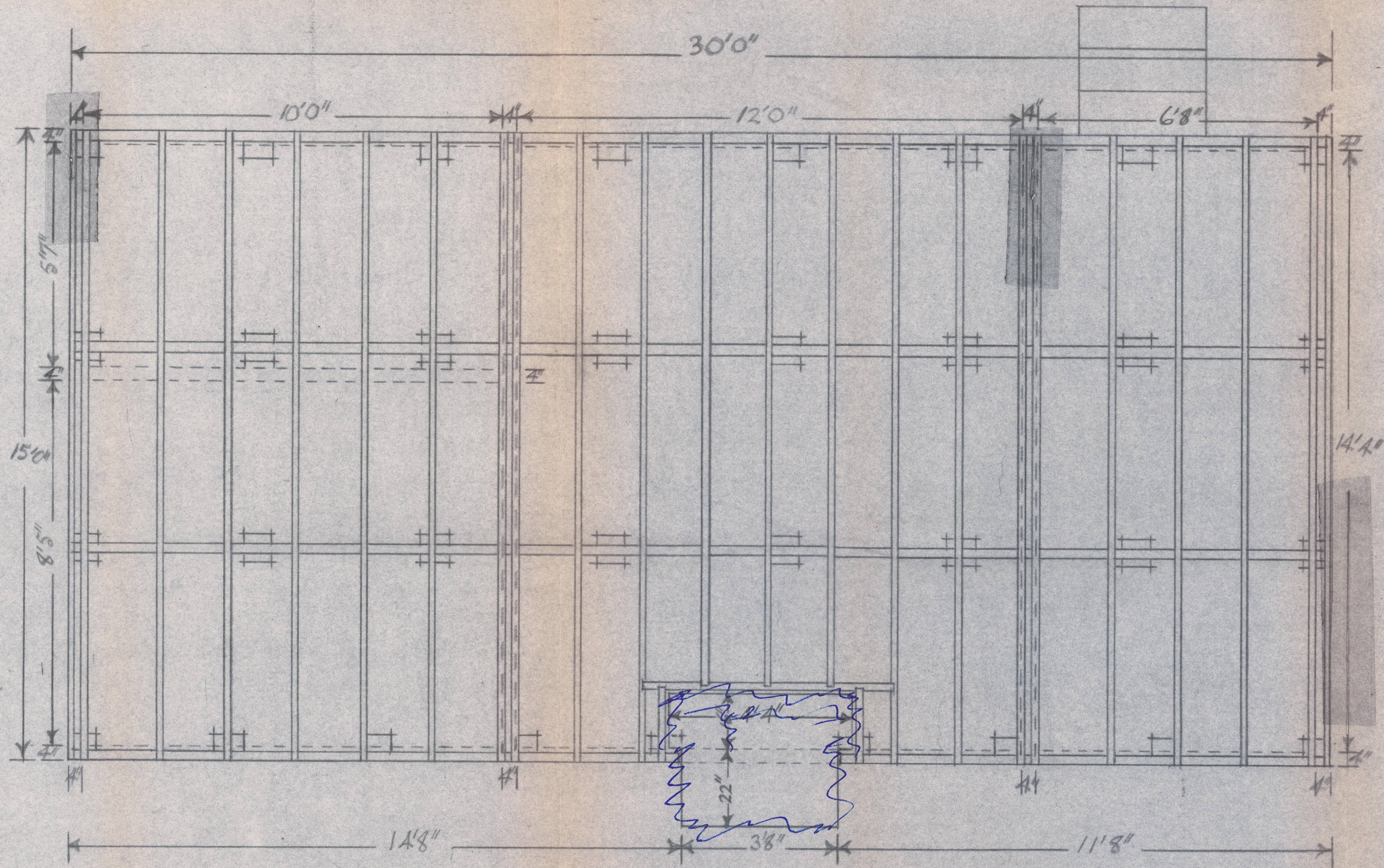


Proposed Residence
 at
 Koitiata Domain
 Turakina Beach
 Mr. W. Sandford.

Water Tank
 Floor Plan
 Scale = $\frac{1}{2} = 1$ Foot



Faint handwritten notes in blue ink, possibly describing the drawings or providing specifications.



Proposed Residence
 at
 Koitiata Domain
 Turakina Beach
 for
 Mr. W. Sandford.

Foundation- Stringer & Joist Plan

Scale - $\frac{1}{2}$ " = 1 Foot

