

# 60 DUNCAN ST

Wanganui District Council

20 DEC 2012

10:35am

Wanganui District Council  
BCA QM System

Building Consent File - Front Cover

BCA T-330 pgs 1 of 1  
v6 12/11/08

**ACCEPTED**

## Building Consent File Content/Checklist

DBH Building Category

# R1

Consent number: 12/077

(Type 1, 2 or 3)

	Description	Added to file	Comment & Reference
1.	Consent Application	20-12-12	
2.	Pre-Vet Checksheet	20-12-12	
3.	Plans & Specifications	20-12-12	
4.	Bracing Calculations	20-12-12	
5.	PIM : C/T : Consent Notes	20-12-12	(CT)
6.	Regional Authority Consent (Dams)		
7.	Fire Design		
8.	DRU - NZFS		
9.	Consultant Reports		
10.	Producer Statements PS1, PS2, PS4	20-12-12	(PS1)
11.	Engineering Calculations		
12.	Peer Review		
13.	Relocate: Condition Reports		
14.	Truss Layouts	20-12-12	
15.	FIR		
16.	Correspondence	20-12-12	LBP memo
17.	Copy of Invoice(s)	20-12-12	(DEP)
18.	Compliance Assessment Checksheets		
19.	Photos		
20.	Notice to Fix / Enforcement Action		
21.	DBH Notification (Warnings etc)		
22.	Amendments/Alterations to Existing		
23.	Historic Places Trust Approval letter		
24.	Request for Further Information letter(s)		
25.			
26.			
27.	Building Consent (signed copy) Including Conditions		
28.			
29.			
30.	Inspection Checksheets		
31.	Supporting As-Built documentation		
32.	Energy Work Certificates - Electrical		
33.	Energy Work Certificates - Gas		
34.	Vehicle Crossing Producer Statement		
35.			
36.			
37.			
38.	Application for C.C.C.		
39.	C.C.C. Assessment Checklist		
40.	Code Compliance Certificate		

#RESTRICTED BUILDING WORK # FROM ENGINEERING DEPARTMENT #

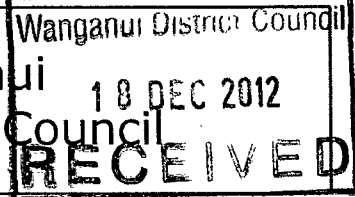
LARGE PLANS HELD IN: (PLAN TUBE or FILE BOX?)

LARGE PLANS LOCATED IN: G18 FILE ROOM  or BASEMENT

NEW 127.2m<sup>2</sup> ATTACHED TOWNHOUSE UNIT WITH ATTACHED GARAGE (REAR UNIT).

**Building Consent Application**  
Section 32 or 45, Building Act 2004  
FORM 2

Wanganui  
District Council



**1. Application type**  
(Please tick appropriate box)

- Project Information Memorandum and/or  
 Building Consent or  
 Alteration to Existing Building Consent

Building Consent/PIM No.  
12/0771

Note: Shaded areas for office use only

**2. The building**

2a. Site address: 60 Duncan St, Wanganui

2b. Current lawfully established use: [Blank]

2c. Legal description: Lot 3, DP 2351

2d. Council property no.: 67990 13462. (WN313/20)

2e. Number of levels: 1

2f. Level/Unit number: 1

2g. Floor area: Existing [Blank] m<sup>2</sup>, New 127.2 m<sup>2</sup>, Total 127.2 m<sup>2</sup>

2h. Year building first constructed (If applicable/or approx. year): [Blank]

**3. The owner**

3a. Name: Mrs DL Gordon

Postal address: 24 Turere Place, Wanganui

Contact numbers: [Blank] [Blank] [Blank]  
Phone Mobile Fax

Email: [Blank]

**4. Evidence of ownership**

- 4A. Evidence of ownership attached:  Certificate of Title (copy)  Sale and purchase agreement  
 Lease agreement  Other document showing full name of legal owner(s), such as a rate instalment notice

**5. Applicant's details (if not the owner)**

5A. Name of Agent: GJ Gardner Homes Wanganui

Postal address: PO Box 695, Wanganui

Contact numbers: 063453563, 0212766360, 063453564  
Phone Mobile Fax

Email: wanganui@gjgardner.co.nz

Relationship to owner: Builder

Details of authorisation:  Evidence attached  Other—please specify [Blank]

**6. Applicants's declaration**

*[Signature]* 17/12/12  
Signature of Owner/Agent Date

Heath Fitzgerald  
Name (print clearly)

Consent fees to be paid by (Please tick appropriate box)  
 Owner  Builder  Plumber  
 Designer  Agent

The information provided will be included in a Public Register of Consents which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising.  
The person signing the Building Consent application form is the person responsible for the debt.

**7. The project**

7a. Description of the building work  
New dwelling with attached garage

7b. Will the building work result in a change of use of the building?  Yes  No

7c. If yes, please provide details of the new use

7d. Intended life of the building  
 Indefinite but not less than 50 years  
 Less than 50 years—please specify \_\_\_\_\_ years

7e. Have any PIM and/or Building Consents been issued previously for this project?  
 Yes  No  
Provide details below

Date of consent	Consent number

7f. Restricted Building Work  Yes  No  N/A

7g. Estimated value of the building work \$ 183,080.00 including GST  
7h. Category R1.  
*Office use only*

**8. Project Information Memorandum**

The following matters are involved in the project (please tick the appropriate project)

- Subdivision
- Alterations to land contours
- New or altered connections to public utilities
- New or altered locations and/or external dimensions of buildings
- New or altered access for vehicles
- Building work over, or adjacent to, any road or public place
- Disposal of stormwater and wastewater
- Building work over existing drains or sewers, or in close proximity to wells or water mains
- Other matters known to the applicant that may require authorisations for the council—please specify


## 9. Supporting documentation

The following plans and specifications are attached to this application:

- Two sets of plans drawn to a recognised metric scale; include two sets of specifications and other documentation
- Project Information Memorandum
- Producer Statements
- Truss Layout Plan
- Memoranda (Certificates of Design work)
- Certificate attached to Project Information Memorandum
- Details/Calculations
- Fire Design Analysis
- Development Contribution Notice
- Copies of other Authorisations—please specify
- Other—please specify

## 10. Building practitioners involved in this project (continue on another sheet of paper if needed)

Designer—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Full Design/Plans for Council  
 Mike O'Leary BP118443 ✓ DESIGN 2  
 PO Box 695 Wanganui (GH 20.12.12)  
 063453563 | taylor-made-designs@xtra.co.nz

Builders—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Full construction - GJ Gardner Homes ✓  
 Callum McCarter Construction BP102591  
 CARPENTER ✓  
 021683311 | (GH 20.12.12)  
 (SC)

Certifying plumber—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Full house plumbing  
 A+ Plumbing  
 0508427587 | aplus2010td@gmail.com

Certifying drainlayer—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Full Drainage - Install Septic + Water Tank  
 Robs Contracting Services Ltd  
 0275882344 | r.c.s@clear.net.nz

Electrician—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Full house Electricity work  
 Phillips Electrical  
 6 Indus St Wanganui  
 063480506 | jette@phillipselect.co.nz

Other—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

**11. Waiver or modification required**

Waiver or modification  
(Please circle and detail below)

B1	B2	C1	C2	C3	C4	D1	D2
E1	E2	E3	F1	F2	F3	F4	F5
F6	F7	F8	G1	G2	G3	G4	G5
G6	G7	G8	G9	G10	G11	G12	G13
G14	G15	H1					

Additional Information


Alternative Solution  
(Please circle and detail below)

<b>B1</b>	B2	C1	C2	C3	C4	D1	D2
E1	E2	E3	F1	F2	F3	F4	F5
F6	F7	F8	G1	G2	G3	G4	G5
G6	G7	G8	G9	G10	G11	G12	G13
G14	G15	H1					

Additional Information

(PSI PRUSS)

## 12. Compliance with the New Zealand Building Code

### NZBC Clause

Tick relevant building code clauses

B1  
 B2  
 C1-C2-C3-C4  
 D1  
 D2  
 E1  
 E2  
 E3  
 F1  
 F2  
 F3  
 F4  
 F5  
 F6  
 F7  
 F8  
 G1  
 G2  
 G3  
 G4  
 G5  
 G6  
 G7  
 G8  
 G9  
 G10  
 G11  
 G12  
 G13  
 G14  
 G15  
 H1  
 Backcountry Huts  
 Simple House

### Means of compliance

Please circle or add means of compliance

### Proposed inspections

Please circle as appropriate—see key below

NZBC Clause	Means of compliance	Proposed inspections	1	2	3
B1	B1/AS1 P/S1 NZS 4229 NZS 3604-2011 AS/NZS 1170	1	2	3	
B2	B2/AS1 NZS 3604 NZS 3101 NZS 3602	1	2	3	
C1-C2-C3-C4	C/AS1 SED	1	2	3	
D1	D1/AS1 NZS 4121	1	2	3	
D2	D2/AS1 NZS 4322 EN/81	1	2	3	
E1	E1/AS1 AS/NZS 3500	1	2	3	
E2	E2/AS1 Specific Design	1	2	3	
E3	E3/AS1	1	2	3	
F1	F1/AS1	1	2	3	
F2	F2/AS1 NZS 4223	1	2	3	
F3	F3/AS1	1	2	3	
F4	F4/AS1 Fencing of Swimming Pools Act	1	2	3	
F5	F5/AS1	1	2	3	
F6	F6/AS1 AS/NZS 1668 NZS 4512 NZS 4515	1	2	3	
F7	F7/AS1 AS/NZS 1668 NZS 4512 NZS 4515	1	2	3	
F8	F8/AS1	1	2	3	
G1	G1/AS1	1	2	3	
G2	G2/AS1	1	2	3	
G3	G3/AS1	1	2	3	
G4	G4/AS1	1	2	3	
G5	G5/AS1	1	2	3	
G6	G6/AS1	1	2	3	
G7	G7/AS1	1	2	3	
G8	G8/AS1 NZS 6703	1	2	3	
G9	G9/AS1	1	2	3	
G10	G10/AS1 NZS 5261	1	2	3	
G11	G11/AS1	1	2	3	
G12	G12/AS1 AS/NZS 3500	1	2	3	
G13	G13/AS1 AS/NZS 3500	1	2	3	
G14	G14/AS1	1	2	3	
G15	G15/AS1	1	2	3	
H1	H1/AS1 NZS 4218 NZS 4218 NZS 4243 ALF design manual	1	2	3	
Backcountry Huts	Acceptable solution	1	2	3	
Simple House	Acceptable solution	1	2	3	

Key to proposed inspection: 1. Council Building Control Officer 2. Approved Consultant e.g. Engineer 3. Other—Please specify below


### Important

The Building Act requires the applicant to state, for each relevant building code clause, what the means of compliance is. Alternative solutions may also be proposed, and must be accompanied with documentation demonstrating compliance. Please refer to Alternative Solution box previous page and provide additional information.

### 13. Compliance schedule

**Do not proceed further if**

- this is an application for a PIM only (Project Information Memorandum)
- this application is for Residential work only (except for a cable car after 31 March 2008)

The following specified systems are new, existing, being altered, added to, or removed in the course of building work

There are no specified systems in the building

	New	Existing	Altered	Added	Removed
Cable Car (including to individual dwelling) (to be implemented 31 March 2008)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Building Act 2004 (implemented 31 March 2005)</b> (listed below are the systems and features from the 'new' Act)					
1. Automatic systems for fire suppression (for example, sprinkler systems)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Automatic or manual emergency warning systems for fire or other dangers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Electromagnetic or automatic doors or windows (for example, ones that close on fire alarm activation)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Emergency lighting systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Escape route pressurisation systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Riser mains for Fire Service's use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Any automatic back-flow preventers connected to a potable water supply	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Lifts, escalators, travelators, or other systems for moving people or goods within buildings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Mechanical ventilation or air conditioning systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Building maintenance units providing access to exterior and interior walls of buildings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Laboratory fume cupboards	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. Audio loops or other assistive listening systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. Smoke control systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Emergency power systems for, or signs relation to, a system or feature specified in any of the above	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15. Means of escape with systems and features, signs (1 to 6, 9 and 13) Fire and smoke separations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**OFFICE USE ONLY**

**BCA**

Date application received **18-12-12**  
 Receiving Officer **GH**  
 Application Fee Receipt No. **452518**  
 Date of application Fee Rec. **18-12-12**  
 Infrastructure Bond No. **#N/A.**

Comments:  
**# BOND ALREADY ON PROPERTY (1ST STAGE) GH.**  
**Paid 16/4/13**  
**ROCT# 460922**

**Fees (incl. GST)**

Building Consent Application Fee (Prepaid)	<b>AC</b>	<b>\$ 1125.00</b>
Building Consent Issue		\$
PIM		\$
Building Levy (DBH)		\$
BRANZ Levy		\$
Stormwater Connection		\$
Vehicle Crossing		\$
Sewer Connection		\$
Water Connection		\$
Fordell Connection (Application charge)		\$
Development Contribution Levy		\$
NZFS Alternative Solution		\$
Waiver/Modification		\$
Resource Consent		\$
Relocation Bond		\$
Infrastructure Fee (non-refundable)		\$
Infrastructure Bond		\$
Certificate of Title	<b>TBP #</b>	<b>\$10.00</b>
Rural Rapid Number		\$
Photocopying/Plan printing		\$
Other		\$
<b>Total</b>		<b>\$</b>

Processing Unit	Checks				Inspections No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	<b>AC</b>	<b>20/12/12</b>	<b>29-1-13</b>				
Planning	<b>PR</b>	<b>21/12/12</b>				<b>PR</b>	<b>29/1/13</b>
Fire Design (Referred to NZFS)							
Building	<b>PL</b>	<b>7-1-13</b>				<b>PL</b>	<b>28-1-13</b>
Drainage (Infrastructure)							
Water (Infrastructure)							
Fordell Water Scheme (Infrastructure)							
Structural							
Plumbing/Drainage						<b>PL</b>	<b>7-1-13</b>
Roading							
Health							
Dangerous Goods							
Parks & Property / Mainstreet							

Approved for issue of PIM/Building Consent

Approving Officer

*[Signature]*  
 Peer reviewed *[Signature]*

Date

**30 JAN 2013**

Notes

**7 JAN 2013**

**Building Consent Application  
Prelodgement Vetting  
New residential dwellings,  
additions/alterations and  
habitable garages**



**Wanganui  
District Council**

**Application details**

(Additional information will need to be supplied if a resource consent is required)  
This is a preliminary vetting sheet only to establish if there is sufficient information of an acceptable quality before it is received for lodgement and processing. This prelodgement form is designed to reduce processing time and save you on processing costs.

Plans are required to a suitable drafting standard.

**Note: If you do not have the appropriate skills to prepare drawings, please engage a professional.**

**2 copies of all documentation is required (4 if resource consent required).**

Date Received	17/12/12		
Site Address	60 Duncan St		
Description of building work	New Dwelling with attached garage		
Restricted building work	<input checked="" type="radio"/> YES	<input type="radio"/> NO	<input type="radio"/> N/A
LBP memorandum	<input checked="" type="radio"/> YES	<input type="radio"/> NO	<input type="radio"/> N/A
WDC Building Category (Circle where applicable)	<input checked="" type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3

**Application type**

**Property information**

Tick where applicable under Yes or Not applicable	Yes	N/A	WDC
New Building	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Alterations	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Additions	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Demolition	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Relocation	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Change of use	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Stage of	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>

Tick where applicable under Yes or Not applicable	Yes	N/A	WDC
Cert. of title (less than 3 months old)	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Legal description checked	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Street address	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Number of floors ( / )	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Building history—listed	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Rapid Number required	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Current lawful use WDC	RESIDENTIAL		

**Building classification**

**Floor area**

	Yes	N/A	WDC
Housing—Detached	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
- Multi-unit	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
- Group Dwelling	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Garage—	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
- Habitable	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
- Non-habitable	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>

Ground floor	127.2	M <sup>2</sup>
Basement		M <sup>2</sup>
1st floor		M <sup>2</sup>
2nd floor		M <sup>2</sup>
Outbuildings		M <sup>2</sup>
Decks/balconies		M <sup>2</sup>
Other		M <sup>2</sup>
Total existing buildings on site		M <sup>2</sup>
Total new work	127.2	M <sup>2</sup>

<b>Contact details, address, phone etc.</b>				<b>Compliance</b>					
Tick where applicable under Yes or Not applicable		Yes	N/A	WDC	Tick where applicable under Yes or Not applicable		Yes	N/A	WDC
Owner's details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Means of compliance completed (as per application form)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Agent's details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Standards—Current version specified	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Designer's details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Alternative solution	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Engineer's details	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>					

<b>Site Information</b>						<b>Site features</b>				
Circle where applicable						Tick where applicable under Yes or Not applicable				
Wind Zone	Low	<input checked="" type="checkbox"/> Medium	High	Very High	Extra High	Is the site subject to natural hazards i.e.: flooding, subsidence, slipping etc.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Corrosion Zone as defined NZS3604 4.2.3		B	<input checked="" type="checkbox"/> C	D	Specific Design	Do the plans show how you are mitigating the risk i.e.: finished floor level etc.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Earthquake Zones		1	<input checked="" type="checkbox"/> 2	3	4					

<b>Plans</b>				<b>Site plan</b>						
Tick where applicable under Yes or Not applicable		Yes	N/A	WDC	Tick where applicable under Yes or Not applicable		Yes	N/A	WDC	
Number of sets required (2/3 set required)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Scale 1:100 1:200 1:500	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<b>Specifications: Project Specific</b>				Site area & coverage						
Number of sets required (2/3 set required)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fully dimensioned					
<b>Bracing calculations</b>				North point & Building Orientation						
Subfloor/Deck (2 sets required)		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Existing & Proposed building					
Wall (per floor)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Finished floor level					
<b>Structural Engineering</b>				Contours, Datum						
Number of sets supplied (2 required)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Extent of cut and fill					
Current Producer statement/Calc.		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Retaining walls/engineer or standard					
Beam layout plan		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Septic Tank/Water Tank/Soak Hole					
Connection details/truss/lintel/post		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drainage Plan (S/water & sewer)					

<b>Geotechnical Engineering</b>				<b>Infrastructure</b>					
Number of sets supplied (2 required)		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Water connection position (new/existing)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site plan		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Sanitary sewer connection position (new/existing)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Soils analysis/report		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Stormwater connection position (new/existing)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Producer statement		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Level & depths of connections		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>H1 Energy efficiency</b>				Stormwater secondary flow path					
Design—Schedule		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sump lid & kerb top levels at outlet		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Calculation		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Crown of road level		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Modelling		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Vehicle crossing application form		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Risk Matrix</b>				Position of vehicle crossing on site plan					
Calculations supplied		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Infrastructure bond application		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<b>Cross sections</b>				<b>Foundation plan</b>			
Tick where applicable under Yes or Not applicable	Yes	N/A	WDC	Tick where applicable under Yes or Not applicable	Yes	N/A	WDC
Minimum of one along the length	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Timber floor</b> — Pile size, centres, treatment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Minimum of one across the width	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Footing size	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Clear ground levels	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Bracing layout type and position	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Footing size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Joists and bearers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Subfloor ventilation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Concrete Floor</b> —Dimensions, bays, mesh size, point load pads, slab thickenings, control joints, supplementary bars	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Foundation steel—size and centres	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Specific design (raft)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Masonry and slab/hardfill/dpm	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Roof framing plan</b>			
Wall framing—sizes, centres, treatment, height, stress grade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Pitched roof</b> —Ridge beam, rafters, purlins, building paper, insulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wall/ceiling/floor insulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Eaves	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Cladding	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pergola/Verandah	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Cavity and battens	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Trussed roof</b> —Truss type	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Building paper	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Point loads identified	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Stairs—tread, rise, pitch, height	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Roof bracing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Decks and balconies/balustrades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Truss layout/design certificate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Linings and finishes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Elevations</b>			
Wet area waterproofing/tanking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	• North	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Elevations</b>				• South	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• North	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	• East	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• South	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	• West	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• East	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Height recession plane	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• West	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wall cladding(s)/control joints	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Height recession plane	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Roof cladding(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wall cladding(s)/control joints	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Finished floor levels	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Roof cladding(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Maximum building height	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Finished floor levels	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Weathertightness—Flashing details</b>			
Maximum building height	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Windows/doors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Floor plans</b>				Balconies	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
To scale, fully dimensioned, rooms named	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parapets/apron/change of pitch	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Window/door sizes and position	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Decks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Fixtures and fittings, smoke detectors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Roof and wall junctions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Full plumbing layout, pipe sizes etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	More than one cladding	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Solid fuel heating/heat pump/solar	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Pergola	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
HWC, position, tempering valve	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other penetrations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wall bracing—height, position, type	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Deck construction</b>			
<b>Electrical Plan</b>				Foundation plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Electrical layout	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Pile size, centres, treatment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Mechanical and ventilation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Bearer & joint, size, span, treatment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Solid Fuel Heating</b>				Stair, balustrade details	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Manufacturers specifications	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Detail at junction of house	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Construction details/flashings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Electrical Plan</b>			
Floor plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Electrical layout	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Wetback details/Tempering valve	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Mechanical and ventilation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Smoke Detectors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Solid Fuel Heating</b>			
NESR compliance (Clean Air Act)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Manufacturers specifications	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Designers Signature

Mike O'Leary

17/12/12

Name of Designer signing: (please print clearly)

Dated

Comments

Plans OK to accept for

Date received

18-12-12

Received by

GH

(print name)

Processing

(please circle whichever is applicable)

Recheck

Application fee:

YES

(please circle whichever is applicable)

N/A

WDC Vetting Officer:

GH 20-12-12

(print name)

# Wanganui District Council

PO Box 637, Wanganui

Phone (06) 349-0001

Visit our Web Site [www.wanganui.govt.nz](http://www.wanganui.govt.nz)

## Official Receipt

GST Reg No 51-668-324

18/12/2012

Receipt No: 452518

To: Castle Homes

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<u>Description</u>	<u>Amount</u>
GL Receipt	
NOGPRECONSENT	\$1,125.00
New Dwelling 60 Duncan Street	
<b>Transaction Total:</b>	<b>\$1,125.00</b>
<hr/>	
<b>Amounts Tendered</b>	
Cheque	\$1,125.00
<b>Total</b>	<b>\$1,125.00</b>

Printed 18/12/2012 1:10:47p.m.



## PREPAID - TAX INVOICE

GST Number 51-668-324

**Payers Name:**  
 CASTLE HOMES  
 WANGANUI LTD

**For Building Consent:**

**Reference No:**

**Date:** 18.12.12.

**YOUR APPLICATION WILL NOT BE PROCESSED UNLESS THE FEE IS PAID**

Location of project	Description of project	Amount (Incl GST)
60 DUNSTON ST	NEW DWELLING (UNIT)	
<b>Reference</b>	<b>Details</b>	

1. Building Consent Project Type – application fee (refer to 'Fees and Charges' Form) **AC \$ 1125.00**
2. Resource Consent - deposit
  - Land use - Non-Notified \$
  - Subdivision - Notified \$
3. Infrastructure Bond
  - Non-Refundable Charge \$
4. Other - Aerial photographs
  - Plan pack Searches \$
  - Rural Rapid Numbers (New) \$
  - Large Plan photocopying A2 \$
  - A0 – A1 \$
5. Certificate of Title \$ \_\_\_\_\_

**Total Payable** \$ 1,125.00.

WHEN PAID THIS FORM WILL BE PART OF YOUR CONSENT APPLICATION AND MUST BE ATTACHED TO THE CONSENT APPLICATION BEFORE IT WILL BE PROCESSED.

**PLEASE RETURN TO CUSTOMER SERVICES**



## INSPECTION TIME REPORT

Building Consent Number BCon12/0771

<i>Consent or Alteration Number</i>	<i>Estimated Inspection Time</i>	<i>Actual Inspection Time</i>	<i>Inspection Time Difference</i>
BCon12/0771	655	0	655
<b><i>Inspection Time Difference</i></b>			
<b>At BC Issue</b>	<i>Time to be charged.</i>		<b>655</b>
<b>At Completion</b>	Positive amount = time to be credited Negative amount = time to be charged		

Signed for and on behalf of the Wanganui District Council

*Processing  
395*



## INSPECTION RECORD

**This record, together with the Building Consent and approved plans, is to remain on the construction site at all times.**

<b>Project Location</b>	<b>TO BOOK AN INSPECTION PLEASE PHONE WDC BUILDING CONTROL</b>	<b>BCon12/0771</b>
60 Duncan St WANGANUI	<b>ON 349 0001</b> <b>AND QUOTE THE FOLLOWING APPLICATION NUMBER:</b>	
<b>Description of Work</b>	<b>New 127.2m2 Attached Town house Unit with Attached Garage (Rear Unit) **RESTRICTED BUILDING WORK**</b>	

<b>Applicant</b>	G J Gardner Homes Ltd PO Box 695, Wanganui Mail Centre, Wanganui 4540
<b>Designer (LBP)</b>	Mr MA O'Leary 454 Heads Road, Castlecliff, Wanganui 4501
<b>Builder</b>	G J Gardner Homes Ltd PO Box 695, Wanganui Mail Centre, Wanganui 4540
<b>Construction (LBP)</b>	Mr CP McCarten 68 Parkdale Drive, Aramoho, Wanganui 4500
<b>Plumber</b>	A + Plumbing Ltd 34 Stewart St, WANGANUI

## SUMMARY OF CONDITIONS

Building Consent Number BCon12/0771

### PIM Conditions

Code	Condition
	All work on the project must comply with the requirements of the NZ Building Code.
	A PIM only document is not an approval to build. A Building Consent is required before building work commences.
	W.D.C will follow up on building work not completed within two years of building consent issue.
	A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
	If the building is public premises it may not be occupied until either a code compliance certificate or certificate for public use has been issued.
	Please note [Electrical, and Gasfitting subtrades do not form part of the building consent inspection process. However, Council is required to receive 'Energy Certificates' from both of these trades before issue of a Code Compliance Certificate].

### Building Consent Conditions

Code	Condition

**Your project's inspections are listed on the next page...**



**Please Note:** A minimum of 24 hours notice is required for the booking of an inspection. The inspection record sheet and accompanying building consent documentation must be on site for use by the inspector at the time of the inspection.

All inspections are to be carried out by BCA Building Inspectors unless prior arrangements have been made by the BCA to have an approved qualified person inspect specific items (eg. Engineer). Inspections shall be carried out in accordance with the attached schedule of inspection types. It is the owner's responsibility to ensure all necessary inspections are carried out as required. Please contact WDC if you are unsure what requires inspection – do not cover or enclose any building work without inspection.

Note: Further inspections may incur additional cost at time of Code Compliance Certificate issue.

<b>Inspections Record For Building Consent Number BCon12/0771</b>						
<i>Inspection</i>	<i>When to Request</i>	<i>Date</i>	<i>Inspector</i>	<i>Complies with Code</i>	<i>Reinspect</i>	<i>Notes</i>
<b>PILE AND/OR POST INSPECTION</b>	Prior to placing Concrete					
<b>CONCRETE SLAB INSPECTION</b>	Prior to placing Concrete					
<b>FRAMING INSPECTION</b>	When all framing is complete.					
<b>Cladding Cavity Inspection</b>						
<b>BUILDING PRELINE INSPECTION</b>	Before Internal linings are fixed.					
<b>FIRE LININGS INSPECTION</b>	Before covering up					
<b>POST LINE INSPECTION</b>	To inspect fixings. Prior to covering up.					
<b>PLUMBING SUBFLOOR INSPECTION</b>	Before covering up					



<b>PLUMBING PRELINE INSPECTION</b>	Before Internal linings are fixed.							
<b>SANITARY DRAINS INSPECTION</b>	Before backfilling drains							
<b>STORMWATER DISPOSAL INSPECTION</b>	Before backfilling drains							
<b>FINAL BUILDING AND PLUMBING COMBINED INSPECTION</b>	On Completion							
<b>CONSTRUCTION REVIEWS (NO INSPECTION)</b>	On Completion					Before requesting final inspection please forward to Council: Code Compliance Certificate application form. All RBW memorandums from LBPs All energy certs. All As Built Drainage plans as requested.		



## BUILDING CONSENT NUMBER BCon12/0771

Section 51, Building Act 2004

### The building:

<b>Street address of building:</b>	<b>Legal description of land where building is located:</b>
60 Duncan St WANGANUI	LOT 3 BLK VIII DP 2351 0.0675 Ha
<b>Building name:</b>	<b>Location of building within site/block number:</b>
<b>Level/unit number:</b>	

### The owner:

<b>Name of Owner:</b>	
Mrs DL Gordon	
<b>Mailing address:</b>	<b>Street Address/registered Office:</b>
11 Holdsworth Drive Otamatea Wanganui 4500	11 Holdsworth Drive Otamatea Wanganui 4500

### Phone numbers:

<b>Landline:</b>	3476559	<b>Mobile:</b>	
<b>Daytime:</b>		<b>After hours:</b>	
<b>Facsimile number:</b>			
<b>Email address:</b>		<b>Website:</b>	

### First point of contact for communications with the building consent authority:

<b>Contact Person:</b>	
G J Gardner Homes Ltd	
<b>Mailing address:</b>	<b>Street Address/registered Office:</b>
PO Box 695, Wanganui Mail Centre, Wanganui 4540	PO Box 695, Wanganui Mail Centre, Wanganui 4540

### Phone number:

<b>Landline:</b>		<b>Mobile:</b>	
<b>Daytime:</b>	3453563	<b>After hours:</b>	
<b>Facsimile number:</b>			
<b>Email address:</b>	alex.sigley@gjgardner.co.nz	<b>Website:</b>	

### Building Work

The following building work is authorised by this consent

<b>Project</b>
New 127.2m2 Attached Town house Unit with Attached Garage (Rear Unit) <b>**RESTRICTED BUILDING WORK**</b>

<b><i>Intended Use</i></b>	<b><i>Intended Life</i></b>
Single Detached Residential	50 Years
<b><i>Estimated Value (\$)</i></b>	
\$183000.00	

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty of responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition or removal would be in breach of any other Act.



## CONDITIONS OF BUILDING CONSENT NUMBER BCon12/0771

Section 51, Building Act 2004

***This Building Consent is issued Subject to the following conditions:***

### ***Building Act 2004, Section 90:***

#### ***Inspections by Building Consent Authorities***

Agents authorised by the building consent authority for the purposes of this section are entitled, at all times during normal working hours or while building work is being done, to inspect

- (a) land on which building work is being or is proposed to be carried out; and
- (b) building work that has been or is being carried out on or off the building site; and
- (c) any building.

#### ***Informative notes:***

- [Informative note: The Building Consent, conditions, inspection sheet, and approved plans must be kept on site at all times until completion of the project.]
- [Informative note: Failure to request inspections will risk the non-issuing of a code compliance certificate and the structure may be deemed non-complying.]
- [Informative note: Any inspection time required over and above that allowed may incur a further charge.]
- [Informative note: Under Section 52, a building consent lapses and is of no effect if the building work to which it relates is not commenced within 12 months after the date of issue.]
- [Informative note: Under Section 93, if the owner has not made application within 24 months, the BCA (Building Control Authority), must decide whether or not to issue a CCC (Code Compliance Certificate).]

#### ***Compliance Schedule:***

A compliance schedule (CS) is not required for this building.

#### ***#Attachments***

#Copies of the following documents are attached to this building consent:  
#Project information memorandum number BCon12/0771'

Signed for and on behalf of the Wanganui District Council

A handwritten signature in black ink, appearing to read 'D M Hall'.

D M Hall  
**Senior Building Control Officer**

**Date:** 30 January, 2013



## PROJECT INFORMATION MEMORANDUM NUMBER BCon12/0771

Section 34, Building Act 2004

**G J Gardner Homes Ltd**  
**PO Box 695**  
**Wanganui Mail Centre**  
**Wanganui 4540**

**Issue Date:**

<b>Project Location</b>	<b>Assessment Number/Legal Description</b>
60 Duncan St WANGANUI	LOT 3 BLK VIII DP 2351 0.0675 Ha
<b>Category</b>	<b>Description of Work</b>
New Residential Dwelling - \$100001 - \$200000	New 127.2m2 Attached Town house Unit with Attached Garage (Rear Unit) <b>**RESTRICTED BUILDING WORK**</b>
<b>Intended Life</b>	<b>Estimated Value (\$)</b>
50 Years	183000.00

This Project Information Memorandum is confirmation that the proposed work may be undertaken, subject to the provisions of the Building Act 2004 and any requirements of the Building Consent (number BCon12/0771 ), which has been granted.

***This Project Information Memorandum is subject to the following conditions:***

- **All work on the project must comply with the requirements of the NZ Building Code.**

Signed for and on behalf of the Wanganui District Council

D M Hall  
**Senior Building Control Officer**

**Date:** 30 January, 2013

**FILE NOTE:  
ASSESSMENT OF BUILDING CONSENT**

<b>Applicants Name</b>	G J Gardner Homes Wanganui
<b>Activity/Use</b>	New house & garage
<b>Date</b>	21 December 2012
<b>BC#</b>	BCen/2/0771
<b>Address</b>	60 Duncan Street
<b>Subject</b>	Activities in Residential zones

THIS NOTE RECORDS THE INITIAL ASSESSMENT MADE OF THE CONSENT APPLICATION. IT ASSESSES WHETHER THE APPLICATION INCLUDES ALL OF THE INFORMATION REQUIRED TO PROCESS THE RESOURCE CONSENT FURTHER.

<b>Zone:</b>	Residential	Residential use
<b>Road Classification:</b>		arterial route
<b>Site Area:</b>	675m <sup>2</sup> $\rightarrow$ 347 - easement B = 6.2 x 3.1 = 19.22	327.78 with sub = 38.8' / without = 36.2' /
<b>Site Coverage:</b>	40%	
<b>Maximum Height:</b>	10 metres	3.7m ✓
<b>Structures (Height Recession Plane):</b>	Front Boundary 1m from boundary side	= max height 3m actual = 2.8m ✓
<i>Separate Properties (CSB finished)</i>	Front Side Boundary 0m from boundary party wall	Approved as part of subdivision. ✓
	Side Boundary 0m from boundary 0.5m from boundary	= max height 2.5m actual 2.9m X
	Rear Boundary 4.8m from boundary	= max height = 6.8m actual = 3.2m ✓
	(plus exemptions) 3.6m long, 3.2m high garage, exempt	
<b>Multi Unit Development (detached):</b>	Height recession plane applies from a notational boundary	/
<b>Accessory Building</b>	Garage or accessory building located in front of principal building	attached.
<b>Conjoined multi unit developments and residential care facilities</b>	D = L * 3H/10 i. Site amenity 30m <sup>2</sup> ii. Upper story units iii. Storage space	* no walls set back more than 1.5m = $\frac{3.9 \times 3 \times 2.9}{10}$ min distance = 4.77m actual = 0 - 1.55m

*Current site*

X near -

Noise:		
Light:		
Advertising		
Access:	Minimum 1 access to be provided 3.5 metres maximum for single dwelling Check for landscaping (i.e. street trees), street furniture, and services in road reserve.	as per Sub .12/041
Parking:		2 garages + turning space
Easements		not at moment - see sub.
Building Over Boundary?	If YES, tell Greg and put a post-it on file	no.
Development Contribution		<del>yes</del> no. \$ 3417.80 - sub.
Archaeological site?		n/a

Decision and any other matters not contained in table above including further information for building consent purposes:

Sub 12/041

Measurements on plan don't match title or survey plan.

Further Information Received? Yes/No

Decision:

Resource Consent required  
for breach of HRP.

APU  
21/12/12.

Is resource consent required? Yes/No

Letter sent out? Yes/No

Date:

(Flat site) rear boundary = 1.2m from boundary = 3.2m high permitted

actual = 3m

complies  
(as separate sites)

JB has confirmed that we should  
treat this as two separate sites (Sub almost  
finished).

Therefore complies.

APU  
29/11/13.

101 Guyton Street  
P O Box 637, Wanganui  
Phone: (06) 349 0001  
Fax: (06) 349 0000  
Email: wdc@wanganui.govt.nz  
Web: www.wanganui.govt.nz



**Application No: Sub12/041**  
Property No: 12462

6 November 2012

Mrs D Gordon  
C/- Harrison & O'Sullivan Limited  
PO Box 4136  
Wanganui 4541

Dear Sir

**Resource Consent Application: Mrs D Gordon Subdivision 60 Duncan Street, WANGANUI**

I am pleased to inform you that pursuant to Sections 9, 104, 104A, 108 and 220 of the Resource Management Act 1991, the Wanganui District Council grants its consent to an application for preliminary plan Sub12/041 being a subdivision of Lot 3 BLK VIII DP 2351 at 60 Duncan Street, Wanganui subject to the following conditions:

1. The proposed subdivision shall be in accordance with the information and plans prepared by Harrison & O'Sullivan Limited titled "Proposed Subdivision of Lot 3 BLK VIII DP 2351 60 Duncan Street, Wanganui" dated October 2012, and approved by Council on 6<sup>th</sup> November 2012.
2. All services shall be contained entirely within their respective lots or be protected by easements where they cross lot boundaries as shown on the site plan.
3. A new concrete vehicle crossing shall be constructed to serve the proposed right-of-way to replace the existing crossing which does not comply with Council standards. This shall be a right-of-way vehicle crossing complying with NZS 4404 Land Development and Subdivision Engineering and Council's Supplement Document Drawing RD-WDC-003 and RD-WDC-004.
4. A 3.8m right of way is required to serve the two lots. The ROW access shall be formed and constructed in accordance with NZS 4404 Land Development and Subdivision Engineering, in particular clauses, 3.3.17 and 3.3.18.
5. The existing water connection shall serve Lot 1. A new 20mm diameter NB water connection shall be installed to serve Lot 2.  
All pipelines crossing lot boundaries shall be terminated or covered by easement.
6. The existing Wastewater connection is too shallow to connect to the proposed lots. A new connection shall be installed to the boundary and constructed as per Building Consent 12/0539. The wastewater line shall be extended along the right of way to the boundary of Lot 2.
7. Lot 1 and Lot 2 shall have separate stormwater connections. The stormwater connections shall be to kerb. The kerb connections shall comply with Council's Supplement Document Drawings CM-WDC-003 or CM-WDC-004 or CM-WDC-006.
8. Power and Telecommunications shall be provided to the boundaries of Lot 1 and 2 prior to S224.

101 Guyton Street  
P O Box 637, Wanganui  
Phone: (06) 349 0001  
Fax: (06) 349 0000  
Email: wdc@wanganui.govt.nz  
Web: www.wanganui.govt.nz



9. Charges set in accordance with Section 36(1)(c) of the Resource Management Act 1991 shall be paid to the consent authority for the carrying out of its functions in relation to the administration, monitoring and supervision of this resource consent and for the carrying out of its functions under Section 35 of the Act. Section 36(1)(c) of the Act provides that the Council may from time to time fix charges payable by the holders of resource consents.

**Advice Notes:**

1. Pursuant to Section 198 of the Local Government Act 2002 a Development Contribution Levy of \$3417.80 including GST is payable for each additional lot created by the subdivision. Pursuant to Section 208 of the Act the Development Contribution Levy is payable by the subdivider prior to the release of the Section 224 Certificate.
2. The crossing shall be constructed by a Council Approved Contractor and a vehicle crossing permit must be applied for through WDC.

After considering Part II of the Resource Management Act 1991, the following are the reasons for this decision:

1. The proposed subdivision complies with the relevant objectives and policies of the Wanganui District Plan.
2. The proposal meets the requirements of the Resource Management Act 1991.

The full planning report is available from Council on request. Please note that under section 125 of the Resource Management Act 1991; your consent will lapse in five years unless you give effect to it before then.

It is very important that you understand and comply with all the conditions of your consent. If you have any questions or concerns about any aspect of your consent or its conditions, I would be happy to discuss them with you.

Please feel free to contact me on (06) 349 - 0001, if you have any questions or concerns.

Yours faithfully

A handwritten signature in black ink, appearing to read "S. Harvey".

Shaun Harvey  
Resource Management Planner

Building Consent  
Process check sheet – New Dwelling/Additions



New Dwelling/Additions		
Approved = ✓	More information required = X	Not Applicable = N/A If a sub element is not relevant choose N/A
Address:	60 Duncan st	
Building Consent No:	12/0771	Date: 7-1-13
Consent Officers:	B1	
Description:	New 127.2m <sup>2</sup> Dwelling	
Change of use BA(04)115(a)	Yes	<u>No</u>

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer review
Site - Features	Positioning	Siting	Significant damage was built on	✓		
		Hazard Maps		✓		
		Subdivision Conditions – 224 & 221		✓		
		Wind zone L (M) / VH / EH / SED		✓		
		Durability zone B (C) / D		✓		
		Earthquake zone 2/3		✓		
B1. Structure	Foundation	Engineers design on architectural plans	360c 10/14	✓		
		Load paths addressed / pads indicated		✓		
		Depth / width		✓		
		Reinforcement		✓		
	Slab on ground / concrete floor	Engineers design on architectural plans	“ “	✓		
		Load paths addressed / pads indicated		✓		
		Hard fill		✓		
		Reinforcing – mesh cover, supplementary bars		✓		
		Control joints	shrinkage	✓		
		Timber subfloor	Subfloor bracing & layout provided		✓	
	Fixing / Connection		✓			
	Height above ground level (550mm for particle board / 450mm crawl space)		✓			
	Ventilation		✓			
Timber flooring	Member sizing and loading (size / spacing / span)		✓			
	End support / fixing / bearing		✓			

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer Review
		Flooring material		✓		
		Lateral support, blocking		✓		
	Wall	Member sizing height / size / spacing		✓		
		Lintels – engineering design req	1600 + desy IT 5	✓		
		Beams – engineering design req	“ “	✓		
		Fixing / connection		✓		
		Wall bracing & calculation		✓		
	Roof	Roof framing		✓		
		Truss certificate & layout provided	Truss minor design of PREV 107 - now larger	✓		X
		Member sizing (size / spacing)	“	✓		X
		Fixing / connection – uplift resistance	“	X		X
		Roof bracing		✓		
		Ceiling framing – battens <del>400 x 50</del>	400 x 50	✓		
	External structure	Post footing / connection detailed		✓		
		Post / beam connection		✓		
		Retaining wall		n/a		
		Swimming Pool		n/a		
		Other		n/a		
	Barriers	Timber barrier (B1/AS2)		✓		
		Other approved barrier design		✓		
	Chimney	Masonry / concrete chimney (B1/ AS3) SED		✓		
B2. Durability	Concrete	Concrete strength & cover		✓		
	Timber treatment	Wall / fixings / compatibility / brace & fixings		✓		
		Roof / fixings / compatibility		✓		
		Subfloor / fixings / compatibility		n/a		
	Metal / Steel member	Material and coating system		✓		
	Cladding material	Wall		✓		
C. Fire Safety	Outbreak of fire	Solid fuel fire/ fireplace location shown		✓		
		Proprietary fires - Manufacturer's specifications provided		✓		
		Open fire - construction material		✓		

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer review
		Firebox opening size		/		
		Surround / hearth size		/		
		Chimney size		/		
	Means of escape from fire	Dead end travel distance (24m max)		✓		
	Spread of fire	Distance from boundary > 6501m)		✓		
		Fire rated construction	need boundary detail	X		X
	Stability during fire	Collapsing away from other property		X		X
D1. Access route		Slip resistance		✓		
		Landing		/		
		Handrail		/		
		Tread & riser		/		
		Stair dimension		/		
		Clear height		/		
		Lighting		/		
D2. Mechanical installation for access	Lift / Escalator / moving walkway	Documentation for compliance with the code		n/a		
E2. External moisture	Floor	Floor height above ground		✓		
		DPM under slab		✓		
		Waterproofing / tanking of retaining wall		n/a		
		Subsoil drainage		n/a		
		Step / threshold with deck		✓		
	Wall	E2 Risk matrix assessed		✓		
		Wind Barrier / Rigid underlay / Building wrap		✓		
		Cladding system specified		✓		
		Cavity system		✓		
		Head, jamb & sill details		✓		
		External & Internal corners		✓		
		Junctions – dissimilar materials		✓		
		Clearance of wall cladding		✓		

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer review
	Roof	Roofing underlay		C		
		Profiled metal roof		C		
		Concrete or clay tiles		N/A		
		Flat roofs / roof decks / substrate		N/A		
		Flashings – Apron / Parapet / etc	+ reverse soffit	C		
	Deck / Balcony	Sill details at balcony threshold				
		Overflow relief				
		Top flashing / intersection with wall				
E3. Internal moisture	Internal wet area	Wall / floor impervious lining		C		
		Shower – Proprietary – yes / no		C		
		Waterproofing method specified		C		
F1. Hazardous agent on site		Site investigation / report		N/A		
F2. Hazardous Building material		Glazing – Glass, safety glass – NZS 4223		C		
F3. Hazardous substances and processes		Others (Toxic gases / asbestos)		N/A		
F4. Safety from falling	Barrier	Height / opening / unclimbable				
		Base fixing and stability				
	Opening / window	760 mm from floor level				
		Restrictors required where fall hazard potential				
	Swimming pool	Fencing of Swimming Pool Act		C		
F5. Construction and demolition hazards		Required if more than 2 storey (refer to F5 / AS1)				
F7. Warning systems	Smoke alarm / fire alarm	Location & type		C		
G4. Ventilation		Living space – opening 5% of floor area		C		
		Mechanical ventilation		N/A		
		Natural ventilation to existing space		C		
G7 Natural light		Natural lighting to existing space		C		
		Habitable space – 10% of floor area		C		

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer review
		Outside visual awareness		✓		
G8. Artificial light			Not applicable for residential (SH)	N/A	N/A	
G11. Gas as an energy source		Gas hobs (combustible surfaces 200mm clearance)	check on site	n/k		
G12. Water supply		Source		✓		
		Tempered water / tempering valve	not d	✓		
	Sanitary plumbing	Schematic provided / layout provided in relation to floor joists		n/k		
		Pipe size / length / gradient		✓		
		Venting requirements	80 mm TV	✓		
		Pipe under / within floor framing		n/a		
H1. Energy efficiency		Timber frame (wall / roof / floor insulation)		n/a		
		Solid construction (wall / roof / floor insulation)		<del>n/a</del>		
		Specific design		<del>n/a</del>		
		Protection of subfloor insulation (if req)		<del>n/a</del>		
		Glazing		✓		
E1. Surface water	Site drainage	Floor level above crown road or lowest point		✓		
		Secondary flow path		<del>n/a</del>		
		Drain pipe size and gradient		<del>n/a</del>		
		Sump / chamber		<del>n/a</del>		
		Soakhole / approved outfall		<del>n/a</del>		
		Stormwater design calculation (hydrological neutrality)		<del>n/a</del>		
	Roof water	Sufficient downpipe		✓		
		Internal / External gutter		✓		
		Overflow relief		n/a		
G1. Hygiene		Fixture layout		✓		
		Number of doors to kitchen, basin in wc - yes / no		✓		
G2. Laundering		Sufficient laundry facility and space		✓		
G3. Food preparation and prevention of contamination		Sink and cooking facility		✓		

*[Handwritten signature]*

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer review
G12. Water supply		Water heating system, location		✓		
		Schematic provided (if applicable)		n/c		
G13. Foul water	Drainage	System specified		✓		
		Connection shown (layout provided)		✓		
		Drain size / material / gradient		✓		
		Main drain vent (tv)		✓		
		Gully trap / ORG shown		✓		
		Drain under building		✓		
		Discharge stack / relief valve		n/c		
G14. Industrial liquid waste	On-site liquid waste	Engineer / other suitable qualified professional design		/		
		Systems – Property size				
		Soil type, profile / loading rate				
		Tank size / effluent area				
		Clearance from waterway, ground water				
Misc		Specifications		✓		
		Structural calculations		n/a		
		Foundation report		n/c		
		Producer statement design	Truss only	✓		
		Producer statement design – review		n/c		
		Has PIM been issued		no		
		Historic places check		n/c		
Engineering	Engineering comments			n/c		

Important note: This checklist is a guide for use by authorized WDC Officer only, for establishing compliance with the Building Code as part of the vetting and Building Consent application.

	Tick
<b>Peer Review</b>	
<b>Application Suspended:</b> I confirm that I have evaluated the proposed project against all items in the checklist	✓
<b>Application Approved:</b> I confirm that I have evaluated the proposed project against all items in the checklist. Based on the information provided by the applicant, the project complies with the Building Code.	

101 Guyton Street  
P O Box 637, Wanganui  
Phone: (06) 349 0001  
Fax: (06) 349 0536  
Email: [wdc@wanganui.govt.nz](mailto:wdc@wanganui.govt.nz)  
Web: [www.wanganui.govt.nz](http://www.wanganui.govt.nz)



26 March 2013

**Reminder Letter**

G J Gardner Homes Ltd  
PO Box 695  
Wanganui Mail Centre  
Wanganui 4540

Dear Sir or Madam

**RAMS DEBTORS ACCOUNT NO: BCon12/0771 (60 Duncan Street)**

The above building consent was issued on the 30 Jan 2013 and was due for payment on the 03 Mar 2013. The overdue amount is \$1933.26

In accordance with the Wanganui District Council's Terms of Trade, this invoice is now overdue. The Wanganui District Council's Terms of Trade document can be obtained from our website [www.wanganui.govt.nz](http://www.wanganui.govt.nz)

If there is any reason why this invoice is not being paid can you please contact me on 06 349-0001.

I look forward to this matter being resolved.

Yours sincerely

Kim Glentworth  
**Customer Services Tech**

28/01/13

Wanganui District Council  
P O Box 637  
Wanganui

RE: 1<sup>st</sup> Request for further information on BCon12/0771

Project Number: BCon12/0707  
Project Location: 60 DUNCAN, WANGANUI  
Project Description: New 127.2m2 Attached town house unit with attached garage (rear unit).

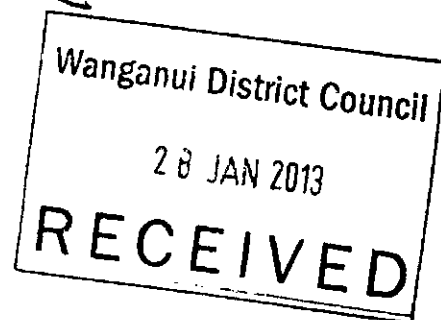
We would like to provide the following answers to your questions regarding this application.

1. Please see sheet A01.
2. Please see sheet A01 & A08.
3. Please see attached gib details.
4. Please see attached truss layout & PS1.
5. Please see sheet A07.

Thank you for you're time and assistance, I look forward to you're response.

Kind Regards

  
Mike O'Leary  
Cad Technician



101 Guyton Street  
P O Box 637, Wanganui  
Phone: (06) 349 0001  
Fax: (06) 349 0000  
Email: wdc@wanganui.govt.nz  
Web: www.wanganui.govt.nz



8 January 2013

**Mrs Denise L Gordon**  
**11 Holdsworth Drive**  
**Otamatea**  
**Wanganui 4500**

Dear Sir or Madam:

**BCon12/0771 for the property at 60 Duncan St WANGANUI - Request for Further Information**

The Wanganui District Council is currently processing your building consent which was recently submitted by G J Gardner Homes Ltd.

This letter is to notify you that further information is needed in order to process the building consent. We have written to G J Gardner Homes Ltd and asked them for this extra information.

You don't need to do anything, but you may wish to liaise with G J Gardner Homes Ltd to ensure that they respond fully and promptly to minimise the delay (and cost) for approval. The building consent has been put on hold until we get this further information.

Yours sincerely

Anne Couper  
**Customer Services Advocate**



8 January 2013

**Mrs DL Gordon, G J Gardner Homes Ltd**  
**11 Holdsworth Drive**  
**Otamatea**  
**Wanganui 4500**

Dear Sir or Madam:

**1st Request for further information on Application.**

Project Number: **BCon12/0771**  
Project Location: **60 Duncan St WANGANUI**  
Project Description: **New 127.2m2 Attached Town house Unit with Attached Garage (Rear Unit) \*\*RESTRICTED BUILDING WORK\*\***

The building consent application is currently being assessed. The questions below have been raised by our assessors. Please supply the answers in a specific covering letter clearly cross-referencing our questions, and ensuring that the altered drawings are also cross-referenced and with appropriate 'clouding' or highlighting etc. to clearly identify changes. Please ensure that you quote this Project Number BCon12/0771 on all changes made to the documents.

1. **Please re-draw the plans to show the boundaries as stated on the Certificate of Title. Your plans have shown the site too small. (Rachael Pull - Resource Management Planner)**
2. **Based on the plans provided, the proposed dwelling does not comply with the Distance to boundary rule (if assessed as one site) or the Height Recession Plane rule (if assessed as two sites). If you wish to continue with this design, a Resource Consent will be required. (Rachael Pull - Resource Management Planner)**
3. **Please also include the Gib 30 minute domestic on boundary fire rated wall detail, your detail supplied is ok but only for between the two units, there are differences. (Bill Leslie - Building Control Officer)**
4. **Please include the truss design cert and layout plan, the mirrored plan supplied of the existing has a slightly different overall size. (Bill Leslie - Building Control Officer)**
5. **The internal gutter to the garage requires an overflow. -- Please detail. (Bill Leslie - Building Control Officer\*)**

We appreciate the importance of your application and on receipt of the requested information we will endeavour to process your application without delay.  
This information requires to be supplied within 3 months from the date of this letter or this consent maybe cancelled without further notice.  
If you have any further enquiries please contact this office and quote your Project Number **BCon12/0771**.

Yours sincerely

Anne Couper  
**Customer Services Advocate**

18 DEC 2012

# Memorandum from licensed building practitioner: Certificate of design work

## Section 45 and section 30c, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING	
Street address:	60 DANCAN ST
Suburb:	WANGANUI EAST
Town/City:	WANGANUI
	Postcode:

THE OWNER(S)	
Name(s):	Mrs. DL Gordon
Mailing address:	24 Turere Place
Suburb:	PO Box/Private Bag:
Town/City:	Wanganui
	Postcode:
Phone number:	Email address:

Wanganui District Council  
18 DEC 2012  
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## IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK

I MIKE O'LEARY carried out/supervised the following design work that is restricted building work

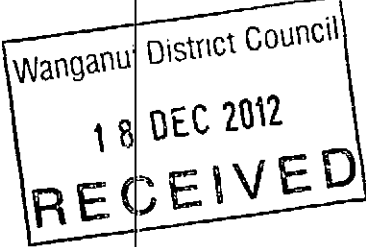
### PRIMARY STRUCTURE

Design work that is restricted building work	Description of restricted building work	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/>	If appropriate, provide details of the restricted building work	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
Foundations and subfloor framing	<input checked="" type="checkbox"/> CONCRETE SLAB, RING FOUNDATION	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	<div style="border: 2px solid black; padding: 10px; transform: rotate(-5deg); display: inline-block;"> <p style="margin: 0;">Wanganui District Council</p> <p style="margin: 0; font-size: 1.2em;">18 DEC 2012</p> <p style="margin: 0; font-size: 1.5em; font-weight: bold;">RECEIVED</p> </div>
Walls	<input checked="" type="checkbox"/> EXT, INT TIMBER FRAMED WALLS	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Roof	<input checked="" type="checkbox"/> TRUSS LAYOUT	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Columns and beams	<input checked="" type="checkbox"/> ENTRY PORCH	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Bracing	<input checked="" type="checkbox"/> SHEET BRACING	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Other	<input type="checkbox"/>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	

**EXTERNAL MOISTURE MANAGEMENT SYSTEMS**

Design work that is restricted building work	Description of restricted building work	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/>	If appropriate, provide details of the restricted building work	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
Damp proofing	<input checked="" type="checkbox"/> D.P.M. TO UNDERSIDE OF SLAB	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Roof cladding or roof cladding system	<input checked="" type="checkbox"/> LONG RUN CLADDING ON UNDERSLAY	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Ventilation system (for example, subfloor or cavity)	<input checked="" type="checkbox"/> LINSA ON CAVITY	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	<div style="border: 1px solid black; padding: 5px; transform: rotate(-5deg); display: inline-block;">                     Wanganui District Council                      18 DEC 2012  <b>RECEIVED</b> </div>
Wall cladding or wall cladding system	<input checked="" type="checkbox"/> TITAN ON CAVITY	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Waterproofing	<input type="checkbox"/>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Other	<input type="checkbox"/>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	

**FIRE SAFETY SYSTEMS**

Design work that is restricted building work	Description of restricted building work	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if appropriate	If appropriate, provide details of the restricted building work	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
Emergency warning systems <input checked="" type="checkbox"/>  Evacuation and fire-service operation systems  Suppression or control systems  Other	DOMESTIC SMOKE ALARMS	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	

**Note:** The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

**WAIVERS AND MODIFICATIONS**

Waivers or modifications of the Building Code are required.  Yes  No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
List relevant clause numbers of building code	Specify nature of waiver or modification of building code required

Wanganui District Council  
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**ISSUED BY**

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise design work that is restricted building work.

Name: MICHAEL O'LEARY LBP or Registration number: 118443 (GHBCO 2012-12)

The practitioner is a:  Design LBP  Registered architect  Chartered professional engineer

Mailing address (if different from below):

Street address/Registered office: 126 GUYTON ST

Suburb: CITY Town/City: WANGANUI

PO Box/Private Bag: 695 Postcode: 4501

Phone number: 3453563 Mobile: 0273582808

After hours: 3444044 Fax: 3453564

Email address: Website:

taylor-made-designs@extra.co.nz

**DECLARATION**

I MICHAEL O'LEARY certify that the design work that is restricted building work identified on this form:

- Complies with the building code, or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form

Signature: [Signature]

Date: 17/12/12



# G.J. Gardner. HOMES

Wanganui District Council  
18 DEC 2012  
**RECEIVED**

## **BUILDING SPECIFICATION**

for

60 Duncan Street, WANGANUI EAST

Between

Denise Gordon & Mike Sigley  
(the Proprietor)

and

Castle Homes Wanganui Ltd  
(the Builder)

**RESTRICTED  
Building Work**

**18 DEC 2012**

Job Number: 270171

**APPROVED**

**12 / 0771**

Consent No.

**Building Specification**

**PROPRIETOR** : Denise Gordon & Mike Sigley  
**SITE ADDRESS** : 60 Duncan Street, WANGANUI EAST  
**TERRITORIAL AUTHORITY:** \_\_\_\_\_

Wanganui District Council

18 DEC 2012

**RECEIVED**

**PLEASE READ CAREFULLY BEFORE COMPLETING THE SPECIFICATION**


**INTERPRETATION AND USE OF SPECIFICATION**

- 1 This specification forms part of the contract for the proposed work when executed and initialed by both parties.
- 2 Where multiple choices are available, only one choice is permitted. If choice/s is/are not clarified by the Purchaser at the time of signing the choice/s is/are to be at the Builder's sole discretion.
- 3 All items are to be selected within the range as determined by the Builder as allowable for this style of building.
- 4 The Proprietor acknowledges that the Builder [Castle Homes Wanganui Ltd] is the independent owner and operator of a GJ Gardner Homes franchise and agrees this building contract is exclusively between the Proprietor and the Builder [Castle Homes Wanganui Ltd].

**ITEM DESCRIPTION INITIAL ALTERATIONS**

**1. GENERAL**

- a) Unless otherwise specified, the works shall be constructed in accordance with the Building Act 2004 (as amended) in conjunction with the New Zealand Building Code.
- b) Unless otherwise specified, the proprietor is responsible to provide a house site clear of any obstructions to building including removal of long grass, shrubs and trees where necessary.
- c) It is acknowledged by the proprietor that it is the proprietor's responsibility to engage a licensed surveyor to peg the boundary corners of the allotment prior to commencement of site works if the survey pegs are not in place.
- d) The Purchaser acknowledges that it is their responsibility to provide all weather access suitable to allow vehicles and machinery, as normally used in the building industry, to drive in and out of the property.
- e) Unless otherwise specified, the contract price allows that town water supply will be available from an existing main of the Local Authority prior to commencement of construction. Where no such water supply exists, the proprietor is to arrange at their expense, a temporary fresh water supply for building purposes by means satisfactory to The Builder, and to be available prior to commencement of construction.
- f) This contract allows for 240 Volt single phase power being available prior to and during the construction of the dwelling. Where no such power is available the proprietor is to arrange temporary power to the satisfaction of The Builder at the proprietor's expense.
- g) (i) Complying with statutory obligations and any notices and obtaining relevant approvals is the responsibility of The Builder.  
(ii) The Builder and the proprietor acknowledge that notwithstanding proper requests by the Builder the Local Authority does not on all occasions carry out final inspections in relation to the works. The proprietor further acknowledges and irrevocable agrees that they will not make any objection to the lack of provision of a final inspection report subsequent to practical completion and further will not withhold or cause to be withheld any progress payments due to The Builder, either directly or through their financier that are due to be paid to The Builder on practical completion of the works.

  
Purchaser's Initials

**APPROVED**

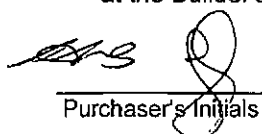
**12 / 07 7 1**

  
Builder's Initials

Wanganui District Council  
 18 DEC 2012  
**RECEIVED**

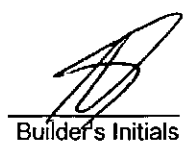
ITEM	DESCRIPTION	INITIAL ALTERATIONS
------	-------------	---------------------

- (iii) The proprietor acknowledges and agrees that should their financier refuse to advance all or any funds until the provision of a final inspection report from the Local Authority which may not be available, The Builder will at the proprietor's cost obtain a final inspection report suitable to the financier from a qualified engineer/registered Builder.
- h) Unless otherwise specified, all council building fees are paid for by The Builder. Any Bonds called for or development application fees requested by any Local or Other Authority or statutory body are to be arranged and paid for by the proprietor.
  - (i) It is the responsibility of the Proprietor to obtain any necessary building consents from relevant developer or land corporation where a covenant applies.
- i) An Engineer's soil report, footing and slab designs are to be provided by The Builder. The cost of which is taken from the initial deposit.
- j) Should this Contract not proceed for any reason whatsoever all moneys expended by The Builder on Local Authority fees, obtaining soil reports and footing and slab designs, engineers fees and an administration fee of \$250.00 for the costs of preparation of contracts and plans shall be deducted forthwith from any deposit paid by the proprietor. If the deposit paid by the proprietor is insufficient to cover such costs then the proprietor shall pay such extra costs to The Builder within fourteen days after receiving notification that the same are due and payable.
- k) Colour selection must be completed before council approval has been received to enable the proprietor's home to be built within the construction period stated in this contract. The colour selection forms part of this contract and any item at a cost above standard allowance will be charged as an extra.
- l)
  - (i) Any valuations required by the lending body (other than Council final inspection) are to be the responsibility of the Proprietor to organise.
  - (ii) The Builder takes no responsibility for any colour variation in the roof tile, brick, ceramic wall and floor tile, between those shown in displays or brochures to those delivered by the manufacturer. These products may vary slightly in colour from time to time and any discrepancy is the responsibility of the manufacturer.
  - (iii) Electrical plan is to be completed and returned to this office within seven days from the date the proprietor signs the contract, failing which the standard electrical plan will apply.
  - (iv) The Proprietor and The Builder hereby agree that any extension of time claimed for practical completion due to wet or inclement weather shall be based on notification pursuant to the relevant clause of the Contract and shall be claimed as per the logged days by the nearest post office or weather bureau.
  - (v) The proprietor acknowledges that it is their responsibility to pay a deposit to the electrical authority to connect power. Any delay by the electrical authority in connecting power shall not on its own delay practical completion or final payment to The Builder.
  - (vii) Where due to soil conditions, Local or Other Authority requirements, pump out tanks, submersible pumps and irrigation systems are needed over and above the normal septic system, the proprietor agrees to bear the costs thereof and proceed by way of variation pursuant to the relevant clause of the Contract.
- m) The Builder reserves the right to charge a \$200.00 fee for each variation requested by the proprietor subsequent to execution of the contract. Variations are deemed to be changes, additions, deletions and alterations to contract, colour selection, allowances or prior variations. Each variation may add one week to the contract time.
- n) The Builder accepts no responsibility to contact the owners of adjoining properties in relation to fencing. It is the Proprietor's responsibility to contact the adjoining neighbours to arrange rebates. Should the Proprietor not arrange rebates, The Builder will install the fence(s) as per the contract at the Builder's discretion.

  
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ITEM	DESCRIPTION	INITIAL ALTERATIONS
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- o) The proprietor acknowledges that they have not relied upon any representations made by The Builder, its agents, employees or workmen in entering into this contract other than those representations as are included in and form part of this contract.
- q) Provisional cost or prime sum items (to the value of items) in this contract will be adjusted with a margin of 20% for recovery of profit and administration as per the building contract. Adjustments will be made on receipt of final invoice and credited off the final progress claim. These allowances are non-transferable and will be subject to a 5% retention if deleted.

**2. EXCAVATION**

The Owner acknowledges that after breaking the surface of the ground, if variations are required by the Engineer, or Territorial or Other Authorities, or due to the nature of site access or due to extra excavations or footings required if rock or other obstacles are encountered, then the Builder will notify the Owner as provided for in Clause 4 of the contract and the cost of such variation together with a reasonable allowance for overheads and profits shall be adjusted against the contract sum.

- a) Site scrape to house area only.
- b) No compact and bulk fill is required.
- c) Excavated material, spoil, etc., to be spread over site by Builder. No allowance has been made to remove any excavated material offsite.
- d) Trees, HOUSE etc. to be removed by the Owner. *included in description*
- e) The Proprietor and Builder agree that all retaining walls are to be completed by Owner, after contract is completed.

**3. CONCRETOR**

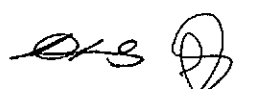
there has been an allowance as per plans for concrete drive and patios for the front house only

- a) Floor slab to be Allied Super slab as per attached details with 20 mpa concrete floated off to a smooth finish. Finished floor height to be approx 225mm above existing ground level.
- b) Extra piers, beams, steel etc., if required by Engineer or Territorial Authority after Territorial Authority approval are at the Owner's expense.
- c) Concrete Pumping is included
- d) Double driveway is included.
- e) Driveway finish is to be plain concrete, smooth trowel finish.
- f) There are no Paving, Patio or Paths.
- g) Paving, Patio or Paths are to be concreted. Finish is to be broomed concrete.


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**4. DRAINLAYER**

- a) Sewerage installation to be in accordance with the Territorial Authority Approved Plan
- b) Water is on town supply.
- c) Stormwater is to be piped in accordance with the Territorial Approved plan.

  
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ITEM	DESCRIPTION	INITIAL ALTERATIONS
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**5. BRICKLAYER**

N/A JAMES HARDIES CLADDING SYSTEMS AS PER PLAN

- a)

**6. CARPENTER/JOINER**

- a) Builder is to do all framing and fixing.
- b) External frames are to be stress graded, Kiln dried with H3 bottom plates built to Manufacturers design or NZ3604  
External frames are to be stress graded, Kiln dried built to Manufacturers design or NZ3604
- c) Roof Trusses to be to manufacturer's design.
- d) All ceiling batons to be Steel Rhondo at 400 crs

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**7. INTERNAL LININGS**

- a) All walls to be lined with 10mm Gib Board with the exception of the bathrooms which will be 10mm Aqualine finished off to a level 4
- b) All ceilings to be lined with 10mm Gib Board with the exception of the bathrooms which will be 10mm Aqualine finished off to a level 4
- c) Cornice to be standard cove pattern 55mm.

**8. EXTERNAL WALL CLADDING**

JAMES HARDIES CLADDING SYSTEMS AS PER PLAN

- a) Soffits to be 4.5mm Fibre Cement sheeting.


**9. DOORS (INCLUDING TYPE, FINISH, FURNITURE)**

- a) Front entrance door to be Cedia
- b) Exterior laundry door to be swing aluminium glass door.
- c) Garage Doors are to be Pressed Panel Sectional Door(s) as per plan. Electric Opener with Remote Control is included.
- d) Internal Doors to be Flush Hollow Core Paint Finish.
- e) Internal Door Handles to be from Schlage
- f) External Door Handles to be from Schlage

**10. INTERNAL FINISHING TIMBERS**

- a) Architraves to be nominal 40 x 12mm MDF.
- b) Skirting to be nominal 60 x 12mm MDF.
- c) Jambs to be nominal 93 x 19mm FJ Pine.
- d) Profile to be bevelled.

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ITEM	DESCRIPTION	INITIAL ALTERATIONS
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**11. ENTRANCE DOOR FRAMES AND GLAZING**

- a) Front Door Side Lights are not included.

**12. ALUMINIUM WINDOWS AND DOORS**

- a) Frame finish to be powder coated aluminium (from standard range).
- b) Reveals to be pre-primed finger-jointed Pine.
- c) Flashings for plaster finish to be PVC.

**13. ROOF COVERING**

- a) Roof covering to be longrun iron, corrugated profile, colorsteel finish G2Z.
- b) Self Supporting Building Paper is included.

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**14. PLUMBER/STEEL FASCIA OPERATOR**

- a) Fascia and gutters to be pre-coated Steel.
- b) Downpipes to be 80 mm round PVC.
- c) The work will be a NZ Acceptable Solution to comply with the NZ Building Code.
- d) The material to be installed will be :
  - UPVC under slab - to have a minimum life of 50 years.
  - Butaline in the walls - to have a minimum life of 15 years.
  - Polyethylene in the ground outside building line, for water supply - to have a minimum life of 15 years.

**15. FIXTURES AND FITTINGS**

- a) Bath to be nominal 1672 Engfield Sorrento
- b) Kitchen sink to be 1½ bowl, single drainer with single hole for mixer.
- c) Laundry tub to be Supertub Robinhood ST3500.
- d) Shower bases to be Athena Seville 900x900 square
- e) Vanity basins to be Athena Panache 900mm wall hung or full height
- f) W.C. to be Chroma Finders close cupled
- g) Hot water cylinder to be mains pressure 180 litre Rheems.
- h) One hose tap to front of house and one to rear as positioned by the Builder.

**16. TAPWARE**

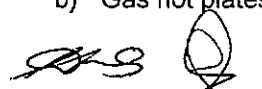
- a) Kitchen sink taps/mixer to be Laska single lever
- b) Bathroom, Ensuite, taps/mixer to be Laska Single lever


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**17. GAS SERVICE**

- a) Gas tanks and connections are not applicable.
- b) Gas hot plates are not applicable.

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- c) Gas wall oven is not applicable.

**18. ELECTRICIAN**

- a) Builder to supply & install all electrical wiring and fittings to New Zealand statutory requirements.
- b) Single Phase Connection to be provided by Owner.

**19. WHITE GOODS**

- ~~Owner to supply and Builder to install all White Goods.~~
- ✓ Owner to do nothing. Builder to supply and install all White Goods.
  - a) Wall Oven to be Fisher & Paykel 600R.
  - b) Hot plates to be Fisher & Paykel CT5F Ceramic Top.
  - c) Rangehood to be Fisher & Paykel RH600.
  - d) Dishwasher to be not included.
  - e) Microwave to be not included.
  - f) Garbage Disposal to be not included.
  - g) Upright Stove to be not included.

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**20. CABINETMAKER**

Builder to supply and install all Kitchen and Bathroom cabinets.

Owner to supply and install all Kitchen and Bathroom cabinets, tops, sinks & bowls.

- a) Kitchen and vanity cupboards are generally 600mm wide with Plastic Laminate Benchtops. Layout as per kitchen plan.

**21. PAINTER**


- ✓ Owner to do no painting. Builder to do all painting
- ~~Owner to do all painting~~


- a) Refer to Colour Scheme for Selections.
- b) External painting by Builder.
  - 1. External AC sheeting two coats of acrylic paint.
  - 2. Any external metal one coat of primer one coat enamel.
  - 3. Other external surfaces according to manufacturer's specifications.
- c) External brick walls to be unpainted.
- d) Internal Painting by Builder. (Walls and ceilings to be of two colours.)
  - 1. Ceilings to be one coat sealer and two coats of acrylic paint to Manufacturer's Specification (white base).
  - 2. Walls to be one coat sealer and two coats acrylic paint to Manufacturer's Specification (white base).
  - 3. Inside cupboards wall colour.
  - 4. Wall-paper is not included.
- e) Doors, door jambs, architraves, reveals and skirtings to be painted wall colour in low sheen enamel in one colour (skirtings to be acrylic).

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22. MISCELLANEOUS

- a) Shower screen(s) are glass in aluminium frame with fixed panel and pivot door.
- b) Mirrors are 1000mm high by (maximum) length of vanity.
- c) Prewire and telephone cable installation is the responsibility of the Builder.

23. ALLOWANCES

- a) QUOTED floor coverings to the value of \$5,396.00 are included.
- b) not included.
- c) not included.
- d) not included.
- e) not included.
- f) not included.
- g) not included.
- h) not included.

Dated this.....day of ..... 200.....

SIGNED by the Owner.....

SIGNED by the Builder.....

In the presence of.....

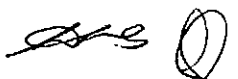
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# GIB EzyBrace® 2011 Software



## SINGLE OR UPPER STOREY WALLS ALONG

V06/11

Lines		Bracing Elements							
1	2	3	4	5	6	7	8	9	10
Line Total Check	Line Label	Bracing Element No.	Available Wall Length L (m)	Angle to Bracing line (degrees)	Element Height H (m)	Bracing Type	Supplier	Bracing Units Achieved	
								W	E
119	A	1	0.6		2.4	BL1-H	GIB®	59	61
		2	0.6		2.4	BL1-H	GIB®	59	61
210	B	1	0.67		2.4	GS1-N	GIB®	39	39
		2	0.5		2.4	GS1-N	GIB®	28	29
		3	0.9		2.4	GS1-N	GIB®	57	53
		4	0.6		2.4	GS1-N	GIB®	34	35
		5	0.9		2.4	GS1-N	GIB®	57	53
300	C	1	2.5		2.4	GS1-N	GIB®	173	150
		2	2.5		2.4	GS1-N	GIB®	173	150
201	D	1	0.7		2.4	GS1-N	GIB®	41	41
		2	0.7		2.4	GS1-N	GIB®	41	41
		3	0.8		2.4	GS1-N	GIB®	49	47
		4	1.2		2.4	GS1-N	GIB®	83	72
107	E	1	0.6		2.4	GS1-N	GIB®	34	35
		2	1.2		2.4	GS1-N	GIB®	83	72

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	W	243%	EQ	196%	Wind	Earthq.
Totals Achieved					1009	940
Concrete Slab					OK	OK
Totals Required (from Demand)					415	480

# GIB EzyBrace® 2011 Software



## SINGLE OR UPPER STOREY WALLS ACROSS

V06/11

Lines		Bracing Elements							
1	2	3	4	5	6	7	8	9	10
Line Total Check	Line Label	Bracing Element No.	Available Wall Length L (m)	Angle to Bracing line (degrees)	Element Height H (m)	Bracing Type	Supplier	Bracing Units Achieved	
								W	E
144	M	1	1.2		2.4	GS1-N	GIB®	83	72
		2	1.2		2.4	GS1-N	GIB®	83	72
282	N	1	2.2		2.4	GS1-N	GIB®	152	132
		2	2.5		2.4	GS1-N	GIB®	173	150
198	O	1	1.7		2.4	GS1-N	GIB®	117	102
		2	1.6		2.4	GS1-N	GIB®	110	96
330	P	1	2.6		2.4	GS1-N	GIB®	179	156
		2	2.9		2.4	GS1-N	GIB®	200	174
138	Q	1	2.3		2.4	GS1-N	GIB®	159	138
174	R	1	1.45		2.4	GS1-N	GIB®	100	87
		2	1.45		2.4	GS1-N	GIB®	100	87

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							Wind	Earthq.
Totals Achieved	W	245%	EQ	264%	1456	1266		
Concrete Slab					OK	OK		
Totals Required (from Demand)					594	480		

## GIB® Residential Garage Boundary Walls: Supplement to 'GIB® Fire Rated Systems'

### Version Notes

This bulletin replaces the "GIB® Residential Garage Boundary Walls Bulletin August 2006" with the following noted changes:

1. Simplification of the wall top detail eliminating mineral or ceramic fibre and increasing reliance on timber blocking
2. Incorporation of the GIB Handibrac® as the preferred stud hold-down option
3. Specification of two 8kN anchors in preference of a single 16 kN anchor

### Scope of Use

The construction offered in this bulletin is intended for use when NZBC Acceptable Solution C/AS1 requires a Fire Resistance Rating (FRR) for a single storey residential garage boundary wall within 1m from a property boundary. The garage or carport must have a Fire Hazard Category not more than 1 as defined in table 2.1 of C/AS1. This includes a standard single household garage for use by the household occupants only (SH purpose group).

For boundary walls outside this scope the designer must ensure that structural stability is maintained for the specified time of fire resistance. The solution will require project specific considerations and could involve fire rated return walls, a fire rated ceiling or a detail similar to the one presented in this Bulletin.

### Compliance with the NZBC

- Under normal conditions of dry internal use GIB® Fire Rated Systems have a serviceable life in excess of 50 years and satisfy the requirements of NZBC Clause B2 — Durability.
- GIB® Fire Rated Systems provide passive fire protection in accordance with the requirements of NZBC Clause C3 — Spread of Fire.
- GIB® Residential Garage Boundary Walls satisfy the requirements of NZBC Clause C4 — Structural Stability during Fire and have been designed to fall inwards and away from the adjacent property boundary when collapse conditions are reached during a fire.

### Selecting the FRR

If the garage meets the following conditions, the FRR of the boundary walls can be assessed from this Technical Bulletin. For situations outside these conditions Part 5 and 7 of NZBC Acceptable Solution C/AS1 must be followed with respect to establishing the required FRR and distance to the boundary.

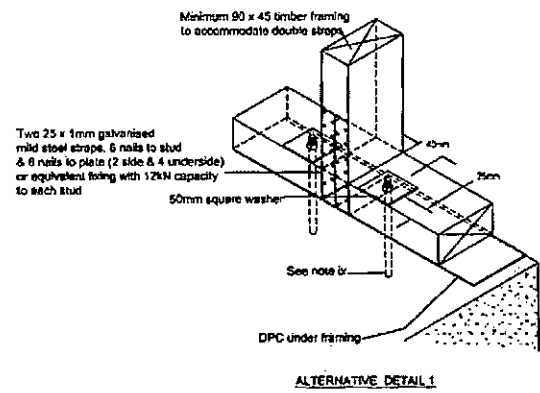
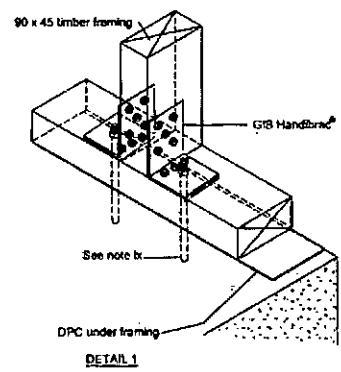
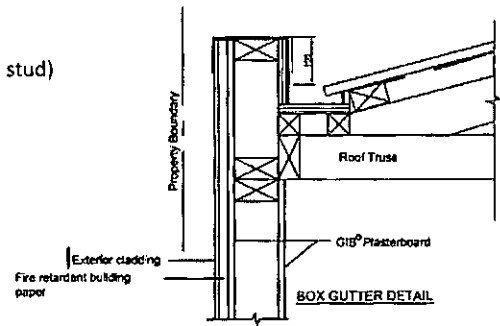
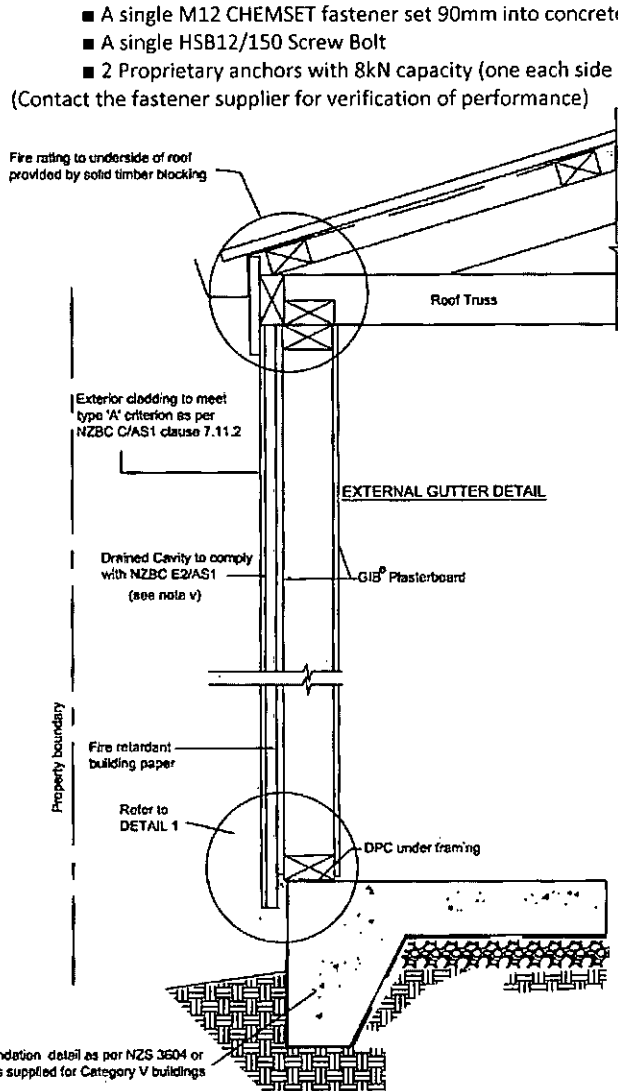
- i) For attached and detached garages less than 1m from the boundary, a 30/30/30 2-way FRR is required
- ii) For garages 1m or more from the boundary no FRR is required
- iii) A carport can have 100% unprotected walls and roof if 2 perimeter sides are open, and:
  - a) the roof plan is less than 40m<sup>2</sup> and no part of the roof is closer than 0.3m to the boundary
  - b) the roof plan is greater than 40m<sup>2</sup> and no part of the roof is closer than 1m to the boundary

If these conditions are not met, comply with the requirements of C/AS1 clause 7.8.10. A garage or carport can be connected to a house without the need for a FRR (between the garage and house) provided that the house is under the same ownership as the garage/carport and solely for the use of the occupants of the household.

For further information please contact the GIB® Helpline on 0800 100 442.

**Notes**

- i) A wall less than 1m from the boundary requires a 2-way FRR. Select the appropriate system and construct in accordance with 'GIB® Fire Rated Systems, 2006
- ii) When less than 0.2m from the boundary, end return walls at 90° to the boundary must be fire rated within this 0.2m. The FRR is the same as for the boundary wall. Alternatively a fire rated wing wall complying with table 7.3 of NZBC C/AS1 could be constructed.
- iii) Timber grade and treatment must be in accordance with NZS3604:1999 including Amendment 2 (2006), and NZS3602:2003.
- iv) Sheet joints in GIB® plasterboard under external claddings do not require taping and stopping.
- v) Cladding materials must be separated from GIB® plasterboard by means of a fire retardant building paper over the GIB® plasterboard and vertical battens with a nominal depth of 20mm. Follow the requirements of NZBC E2/AS1.
- vi) Cladding materials must comply with NZBC C/AS1 clause 7.11.2. This requires a 'Type A' cladding when the wall is within 1m of the property boundary. 'Non-combustible' claddings, such as concrete, brick and steel, meet the Type A criterion. Cellulose fibre cement coating less than 1mm is also classed Type A. Products such as plywood and timber or PVC weatherboards do not meet the Type A requirement and cannot be used within 1m of the boundary.
- vii) The drawings below assume a standard wall height of 2.4m, minimum stud size of nominally 90x45mm and a stud spacing no more than 600mm. Walls from 2.4 to 3m require studs at 400mm.
- viii) Construct finished floor levels and foundation edge in accordance with NZS3604 clause 7.5.2. Generally requirements are relaxed for Category V buildings. Contact your local Building Consent Authority.
- ix) Suitable proprietary 16kN bottom plate fastenings include:
  - A single M12 CHEMSET fastener set 90mm into concrete
  - A single HSB12/150 Screw Bolt
  - 2 Proprietary anchors with 8kN capacity (one each side of the stud)
 (Contact the fastener supplier for verification of performance)



Single storey foundation detail as per NZS 3604 or specific design as supplied for Category V buildings

The cladding is tested to AS/NZS3837 at an irradiance of 50kW/m2 for duration of 15 minutes and also is required to meet the requirements of C9.1 of the NZBC Acceptable Solution C/AS1.

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# GIB FIRE RATED WALL SYSTEMS

## TWO WAY FRR - TIMBER FRAME

SPECIFICATION NUMBER	LOADBEARING CAPACITY	FIRE RESISTANCE RATING	LINING REQUIREMENTS	SOUND TRANSMISSION CLASS	SYSTEM WEIGHT APPROX
GBT 30a	NLB	-/30/30	1 layer 10mm GIB Fyrelime® each side	STC 36	22kg/m <sup>2</sup>
GBTL 30	LB	30/30/30			

### FRAMING

GBT30a Non Loadbearing and GBTL30 Loadbearing

Framing to comply with;

- NZBC B1 – Structure: AS1 Clause 3 – Timber (NZS 3604) or VM1 Clause 6 – Timber (NZS 3603)
- NZBC B2 – Durability: AS1 Clause 3.2 – Timber (NZS 3602)
- Studs at 600mm centres maximum
- Nogs at 1200mm centres for Horizontal fixing

### WALL HEIGHTS AND FRAMING DIMENSIONS

GBT30a Non Loadbearing – Framing dimensions and height as determined by NZS 3604 stud tables for non loadbearing partitions.

GBTL30 Loadbearing – Framing dimensions and height as determined by NZS 3604 stud and top plate tables for loadbearing walls.

### LINING

1 layer of 10mm GIB Fyrelime® each side of the frame.

Vertical or Horizontal fixing permitted.

Sheets shall be touch fitted.

When fixing vertically, full height sheets shall be used where possible.

All sheet joints must be formed over solid timber framing.

### FASTENING THE LINING

#### Fasteners

41mm x 6g GIB® Grabber® High Thread Drywall Screws or 40mm x 2.8mm GIB® Nails.

#### Fastener Centres

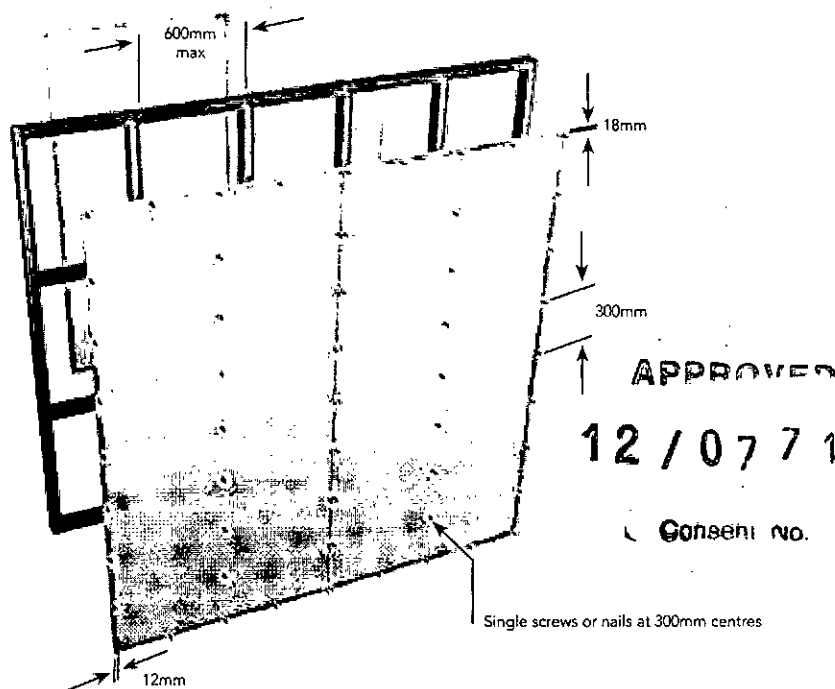
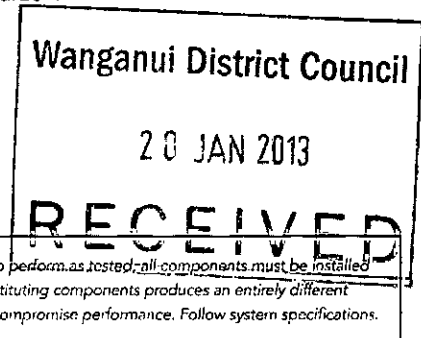
300mm centres around the sheet perimeter.

Place fasteners 12mm from bound sheet edges and 18mm from sheet ends.

Single screws or nails at 300mm centres to intermediate studs.

### JOINTING

All fastener heads stopped and all sheet joints tape reinforced and stopped in accordance with the publication entitled "GIB® Site Guide".



**Fire Rated Wall Systems  
Two Way FRR – Timber Frame**

Specification Number	Loadbearing Capability	Fire Resistance Rating	Lining Requirements	Sound Transmission Class	System Weight Approx
GBT 30b	NLB	-/30/30	1 x 13mm Gib® Standard each side	STC 36	26kg/m <sup>2</sup>
GBTL 30b	LB	30/30/30			

**Framing**

**GBT30b Non Loadbearing and GBTL30b Loadbearing**

F5 stress grade or No.1 visually graded kiln dried Radiata Pine actual dimensions 70 x 35mm minimum. Alternatively, No.1 framing grade H1 treated Radiata Pine nominal dimensions 75 x 50mm minimum. Studs at 600mm centres maximum. Nogs at 800mm centres maximum for Vertical fixing. Nogs at 1200mm centres for Horizontal fixing.

**Wall Heights and Framing Dimensions**

**GBT30b Non Loadbearing** - Framing dimensions and height as determined by NZS3604 stud tables for non loadbearing partitions.  
**GBTL30b Loadbearing** - Framing dimensions and height as determined by NZS3604 stud and top plate tables for loadbearing walls.

**Lining**

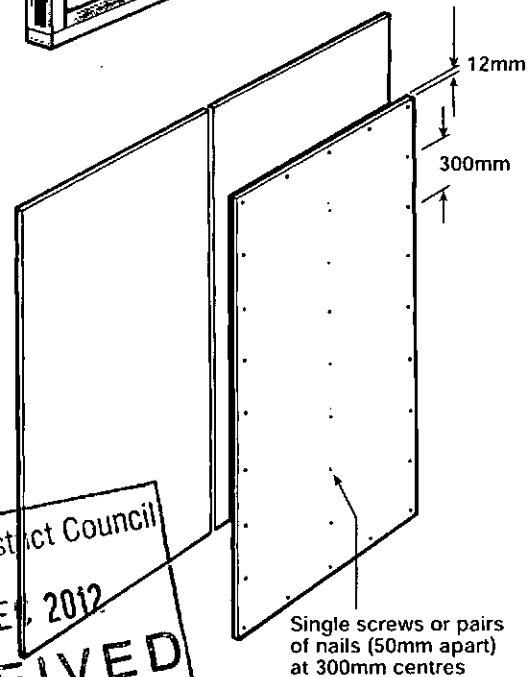
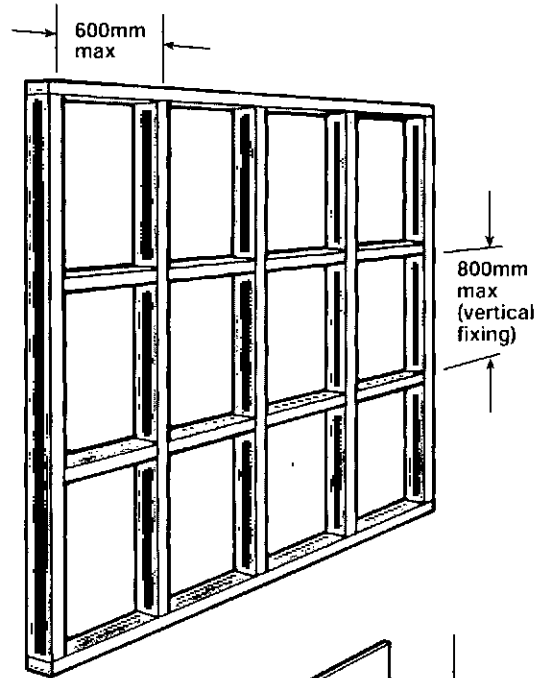
1 layer of 13mm Gib® Standard plasterboard each side of the frame. Vertical or Horizontal fixing permitted. Sheets shall be touch fitted. When fixing vertically, full height sheets shall be used where possible. All sheet joints must be formed over solid timber framing.

**Fastening the Lining**

**Fasteners**  
41mm x 6g Gib® Grabber Scavenger Head High Thread Drywall screws or 40mm x 2.8mm Gib® nails.  
**Fastener Centres**  
300mm centres around the sheet perimeter, 12mm from the sheet edge. Single screws or pairs of nails (50mm apart) at 300mm centres to intermediate studs.

**Jointing**

All fastener heads stopped and all sheet joints tape reinforced and stopped in accordance with the publication entitled "Gib Living Solutions® Site Guide".



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**Design Certificate** – Technical basis for structural design methodology contained in designIT for houses - New Zealand.

designIT for houses, New Zealand has been developed by experienced timber engineers to assist designers in selecting appropriate sizes of structural laminated veneer lumber products manufactured by Carter Holt Harvey (including hySPAN, hy90, hyONE and hyJOIST) and other generic stress grades of timber, to be used as structural elements for the construction of buildings that fall within the scope of NZS 3604.

The design methodology used for the software complies with the loading and general design requirements contained within AS/NZS 1170 and with timber structural design in accordance with NZS 3603:1993 including Amendment 4 (Verification method B1/VM1, 6.1).

designIT relies on the accurate input of span and loading information by the user. Where accurate inputs are submitted the product and/or stress grade and the size given will comply with the structural requirements of the New Zealand Building Code, provided the installation is in accordance with the installation requirements provided by designIT and/or in product literature and/or NZS 3604, or specific engineering design, as appropriate.

**References:**

NZS 3603:1993 Timber Structures Standard. AS/NZS 1170:2002 Structural design actions, Parts 0 and 1.  
 NZS 3604:2011 Timber-framed buildings. AS/NZS 1170:2011 Structural design actions, Part 2: Wind actions.  
 AS 1720.1 – 2010 Timber structures. Part 1: Design methods. AS/NZS 1170:2003 Structural design actions, Part 3: Snow and ice actions.  
 AS 1684.1 – 1999 Residential timber framed construction. Part 1: Design criteria.

This Design Certificate, and any associated warranty/certification, is void where there has been substitution of alternate products not detailed within the Member Specification.

Version date: 22 August 2011

For further information or advice please contact: Carter Holt Harvey Woodproducts New Zealand  
 173 Captain Springs Road, Onehunga, Auckland  
 Telephone 0800 808 131  
 Facsimile 0800 808 132  
 Email: designit@chhwoodproducts.co.nz



**Specifier details:**

<b>Specifier:</b>	M.O.		
<b>Business name:</b>	G.J.GARDNER HOMES WANGANUI		
<b>Address:</b>	P.O.BOX 695 WANGANUI		
<b>Email:</b>			
<b>Phone: (06) 345 3563</b>	<b>Mobile: 027 358 2808</b>	<b>Facsimile: (06) 345 3564</b>	

**Project & Site details:**

<b>Project:</b>	NEW RESIDENCE	<b>Ref. no.:</b>
<b>At (address):</b>	60 DUNCAN STREET	
<b>For (owner/s):</b>	SIGLEY / GORDON	
<b>Wind zone:</b>	High	
<b>Snow loading</b>	Snow region: N0, snow loading not applicable	

**MEMBER DESIGN DETAILS**

**Member 1**

- 1) Member code and description RB1 - Intermediate beam
- 2) Date prepared 20/07/2012
- 3) Serviceability criteria AS 1720.1-2010 and AS 1684.1-1999
- 4) Design inputs
  - Span 3.6 m - single
  - Roof Load Width 'RLW' 6.5 m
  - Roof type and mass Light roof & ceiling - 40 kg/m<sup>2</sup>

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 12 / 07 / 11  
 Carter Holt Harvey

**5) Member specification**

Size, stress grade/product Use 2/240 x 45 hySPAN  
 Material type Structural Laminated Veneer Lumber to AS/NZS 4357

6) Serviceability

Load case	Limit <sup>3</sup> on average deflection <sup>2</sup>	Estimated average deflection <sup>2</sup>	Rigidity ratio <sup>4</sup>
Long term load - $G + \psi_L Q$ *	12.0 mm	11.4 mm (long term)	$\frac{12.0}{11.4} = 1.05$

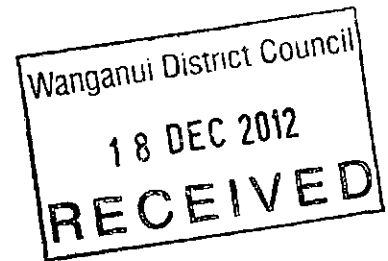
\*Critical serviceability load case

See 'Notes for interpretation of serviceability data' at the end of this report

7) Reactions

Load case	$k_1$ <sup>1</sup>	Limit states design reaction <sup>2,3</sup>	
		End <sup>4</sup>	kN
1.35G	0.60	-8.7	
1.2G + 1.5Q	0.80	-12.1	
1.2G + $W_U$ + $\Psi_C Q$	1.00	-15.3	
0.9G + $W_U$	1.00	9.2	

See 'Notes for interpretation of reaction data' at the end of this report



8) Installation requirements

Provide at least 30 mm bearing at end supports  
Nail lamination in accordance with Detail H1.

Notes for interpretation of serviceability data

- "average deflection" is an engineering concept based upon a notional estimated load, notional member rigidity and, in some cases, an approximate model of material response to environmental conditions. These parameters are, 'standardised' in AS/NZS 1170, AS 1684.1 and AS 1720. Deflections calculated using this methodology cannot therefore be usefully compared with deflections calculated using other methods, eg GLTAA design methodology.
- Deflection is the flexural response to load – 'out-of-level' measurements of installations are not necessarily deflections and can incorporate 'initial out-of-straightness', whether intended or not. Furthermore, loads can be higher/lower than the notional estimate and in any comparison with measured levels, material variability needs to also be considered. AS 1720 gives the following basis for estimation of upper bound deflections for various materials.
 

No 1 Framing – visually graded to NZS 3631	Average + 100%
SG grades - mechanically graded to AS/NZS 1748	Average + 43%
GL grades for glulam to AS/NZS 1328	Average + 33%
LVL to AS/NZS 4357 (includes hySPAN and hyJOIST)	Average +18%

As can be seen, comparison of the 'average deflection' for different materials, even if calculated on the same basis, does not give the whole picture!
- The limits referred are those specified in AS 1684.1 for the stated load case.
- 'Rigidity ratio' expresses the rigidity of the specified beam relative to the rigidity of a notional beam just meeting the serviceability requirements of AS 1684.1

Notes for interpretation of reaction data

- Duration of load factor ' $k_1$ ' for strength as per NZ 3603:1993
- Negative (-) reactions relate to the 'gravity' or 'downwards' force on the support
- Positive reactions relate to the 'upwards' forces or 'tie-down' requirement on the support
- End reaction includes allowance for overhang/cantilever where one has been designed

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12 / 0771

Consent No.



Correspondence from : AUCKLAND
40 Neales Road, East Tamaki 2013
PO Box 58-014, Botany 2163
Phone: 09 274 7109
Fax: 09 274 7100

CHRISTCHURCH
14 Pilkington Way, Wigram 8042
PO Box 8387, Riccarton 8440
Phone: 03 348 8691
Fax: 03 348 0314

www.mitek.nz.co.nz

MiTek 20/20 Engineering 4.6.6.145

Printed: 11:48:47 24 Jan 2013

PRODUCER STATEMENT for MiTek 20/20 TRUSS DESIGN - Version 4.6

ISSUED BY: MiTek New Zealand Limited

TO: PlaceMakers Taupo

IN RESPECT OF: MiTek Truss Designs

This producer statement covers the MiTek 20/20 truss design and the structural performance of the GANG-NAIL connector plate for the job reference WG092 and may be used by a Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

The MiTek 20/20 truss design program has been developed by MiTek New Zealand Limited for the design of MiTek timber roof, floor and attic trusses in New Zealand. The truss designs computed by MiTek 20/20 are prepared using sound and widely accepted engineering principles, and in accordance with compliance documents of the New Zealand Building Code and Verification Method B1/VM1; and internationally accepted standard ANSI/TPI 1 - 2002 as an alternative solution to satisfy the requirements of Clause B1 of the New Zealand Building Code.

On behalf of MiTek New Zealand Limited, and subject to:

- i) All proprietary products meeting their performance specification requirements
ii) The provision of adequate roof bracing and overall building stability
iii) Correct selection and placement of GANG-NAIL connector plates
iv) Correct input of Truss Design Data as shown in the Fabricator Design Statement for this job
v) The design being undertaken by the accredited fabricator under the terms of the software licence

I believe on reasonable grounds that the trusses, if constructed in accordance with the MiTek 20/20 truss design and shop drawings, will comply with the relevant provisions of the New Zealand Building Code.

MiTek New Zealand Limited holds a current policy of Professional Indemnity Insurance no less than \$500,000.

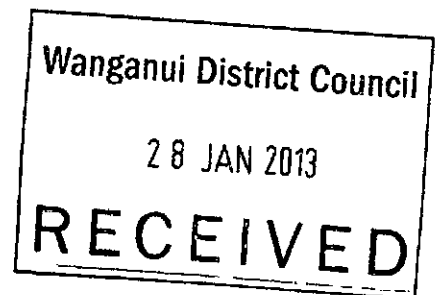
On behalf of MiTek New Zealand Limited,

Date: Thursday, 24 January 2013

Handwritten signature of In Ling Ng

In Ling Ng, BE (Hons), CPEng, IntPE, MIPENZ (ID: 146585)
TECHNICAL SERVICES MANAGER, MiTek New Zealand Limited

APPROVED
12 / 0771
Consent No.



Job: WG092

Client: PLACEMAKERS TAUPO  
Phone:

Site: SIGLEY/GORDON  
UNIT 2, 80 DUNCAN ST  
WANGANUI

Phone: Printed: 11:48:47 24 Jan 2013

Description:  
Building Consent No.:  
MITek 20/20 Engineering 4 & B.145

MITek New Zealand Limited

**MITEK FABRICATOR DESIGN STATEMENT**

This statement is issued by MITek accredited fabricator PlaceMakers Taupo, being licensed to use the MITek 20/20<sup>®</sup> software, to the client listed above and may be used by the Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

**MITek 20/20<sup>®</sup> TRUSS DESIGN DATA**

The MITek 20/20<sup>®</sup> computer design for this job is based on the following design parameters entered into the program. The Fabricator shall ensure that these job details are current and relevant to the project for the design of the MITek<sup>®</sup> trusses.

<b>Job Details</b>	Importance Level : 2	Design Working Life : 50 years
<b>Roof Truss</b>	Pitch: 5.000 deg	Nominal Overhang: 450 mm
Timber Group: PT Truss x 45 1007	Ceiling	Wind
Roof	Material: Gib Board 12mm	Area: High (44.0 m/s )
Material: Galv Iron .5mm	Dead Load: 0.200 kPa	Pressure Coeff: Cpe = varies; Cpi = -0.30, 0.20
Dead Load: 0.210 kPa	Restraints: 1800 mm centres	
Restraints: 900 mm centres	Live Load: Qc = 1.400 kN	
Live Load: Qur = 0.250 kPa		
Qc = 1.100 kN		

The timber for these MITek<sup>®</sup> trusses shall be treated to the requirements of NZS 3602:2003 and shall be graded to the requirements of NZS 3603:1993. Unless otherwise noted, this design assumes that the steel fixings and timber connectors proposed are located in a "closed environment", as defined by NZS3604:2011 Section 4.

**MITek<sup>®</sup> Truss List**

Legend: \* = detail only, ? = input only, ✕ = failed design, Ø = non certified, Unmarked trusses = designed successfully, LB = lateral bracing required  
GB = gable brace required

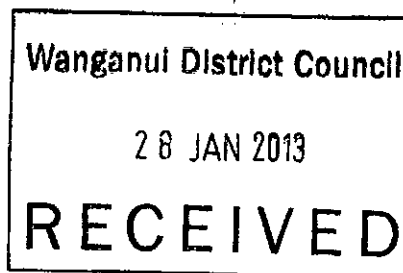
Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
T2	4	8815	5.000	900	ET6	1	5205	5.000	900	*R2	1	5160	5.000	900
T3	8	7115	5.000	900	ET7	1	2145	5.000	900	*R3	1	2100	5.000	900
T3A	1	7115	5.000	900	ET8	1	1480	5.000	900	*R4	1	1480	5.000	900
ET1	1	2000	0.000	900	T1	2	3655	5.000	900					
ET2	1	4180	0.000	900	T1A	1	3655	5.000	900					
ET3	1	8070	0.000	900	T4	4	5545	5.000	900					
ET4	1	3660	0.000	900	T5	1	5635	5.000	900					
ET5	1	3655	5.000	900	*R1	1	4600	5.000	900					

Total quantity : 33

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12 / 0771

Consent No.



The computer design input has been carried out by:

Signed: \_\_\_\_\_

Date: ...Thursday, 24 January 2013....

Name of Detailer: \_\_\_\_\_

Qualifications and Title:

On behalf of: PlaceMakers Taupo



Job: WG092

Client: PLACEMAKERS TAUPO  
Phone:

Site: SIGLEY/GORDON  
UNIT 2, 60 DUNCAN ST  
WANGANUI

Phone:

Description  
Building Consent No.:  
MITek 2020 Engineering J 6.0.145

MITek New Zealand Limited

Printed: 11:50:43 24 Jan 2013

**TRUSS FIXING SELECTION REPORT - Characteristic Loads**

Fixings are selected from the LUMBERLOK Brochure 03/4 (Timber Connectors Characteristic Loadings Data)

**MITek® Truss List**

Legend: \* = detail only, ? = input only, ~~xxx~~ = failed design, Ø = non certified, Unmarked trusses = designed successfully

Truss	Qty	Span (mm)	Joint	Down (kN)	Uplift (kN)	Bearing	Fixing	
							Qty	Selected
T2	4	8815	T	5.439	4.325	Cross	4	CT400
			L	5.003	4.479	Cross	4	CT400
T3	8	7115	J	3.865	3.560	Cross	8	CT400
			P	4.479	3.492	Cross	8	CT400
T3A	1	7115	I	3.459	3.818	Cross	1	CT400
			P	3.732	2.974	Cross	1	Pair of Wire Dog Staples
			J	7.747	7.480	Cross	1	CT400
ET1	1	2000	F			Wide		No fixing selected
ET2	1	4180	I			Wide		No fixing selected
ET3	1	8070	P			Wide		No fixing selected
ET4	1	3660	H			Wide		No fixing selected
ET5	1	3655	O			Wide		No fixing selected
ET6	1	5205	K			Wide		No fixing selected
ET7	1	2145	F			Wide		No fixing selected
ET8	1	1480	E			Wide		No fixing selected
T1	2	3655	G	2.746	1.836	Cross	2	Pair of Wire Dog Staples
			J	2.871	1.782	Cross	2	Pair of Wire Dog Staples
T1A	1	3655	F	2.756	1.842	Cross	1	Pair of Wire Dog Staples
			I	2.249	1.719	Cross	1	Pair of Wire Dog Staples
T4	4	5545	I	3.051	2.756	Cross	4	Pair of Wire Dog Staples
			O	3.596	2.718	Cross	4	Pair of Wire Dog Staples
T5	1	5635	H	3.105	2.808	Cross	1	Pair of Wire Dog Staples
			N	3.367	2.703	Cross	1	Pair of Wire Dog Staples
*R1	1	4600						Refer NZS3604:2011 Tables 10.1 & 10.14
*R2	1	5160						Refer NZS3604:2011 Tables 10.1 & 10.14
*R3	1	2100						Refer NZS3604:2011 Tables 10.1 & 10.14
*R4	1	1480						Refer NZS3604:2011 Tables 10.1 & 10.14

**Fixing List**

Qty	Selected Fixing
26	CT400
17	Pair of Wire Dog Staples
8	No fixing selected

Wanganui District Council  
28 JAN 2013  
**RECEIVED**

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12/0771

Consent NB:

**Note:**

- 1) Fixings have been selected based on loading only. Please check that selected fixings are practical for each situation and that appropriate nailing can be applied on site.
- 2) Fixings are selected from the LUMBERLOK Brochure 03/4 (Timber Connectors Characteristic Loadings Data) with down and uplift characteristic loads of at least the values shown for each joint.

**NOTES**

**BUILDING CONSENT INFORMATION**

These layouts and associated design statements are provided as a means of showing compliance with NZBC and may be used for Building Consent Application purposes only.

This is a Buildable layout which may have some dimensional changes completed at time of truss manufacture.

As built roof truss layouts, truss fixing details, and a Producer Statement for the design of the roof trusses will be provided at the time of manufacture.

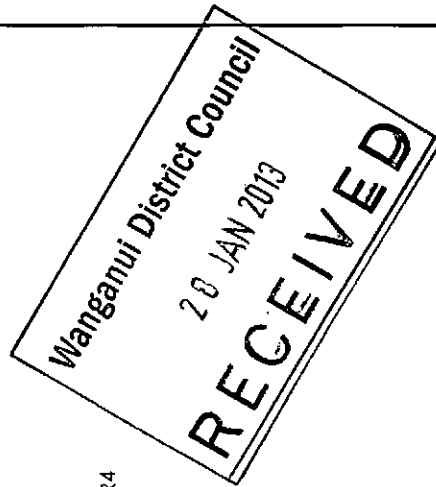
All walls shown on this layout are considered to be load bearing.

All point loads over 10kN as shown will require slab thickening or pad.

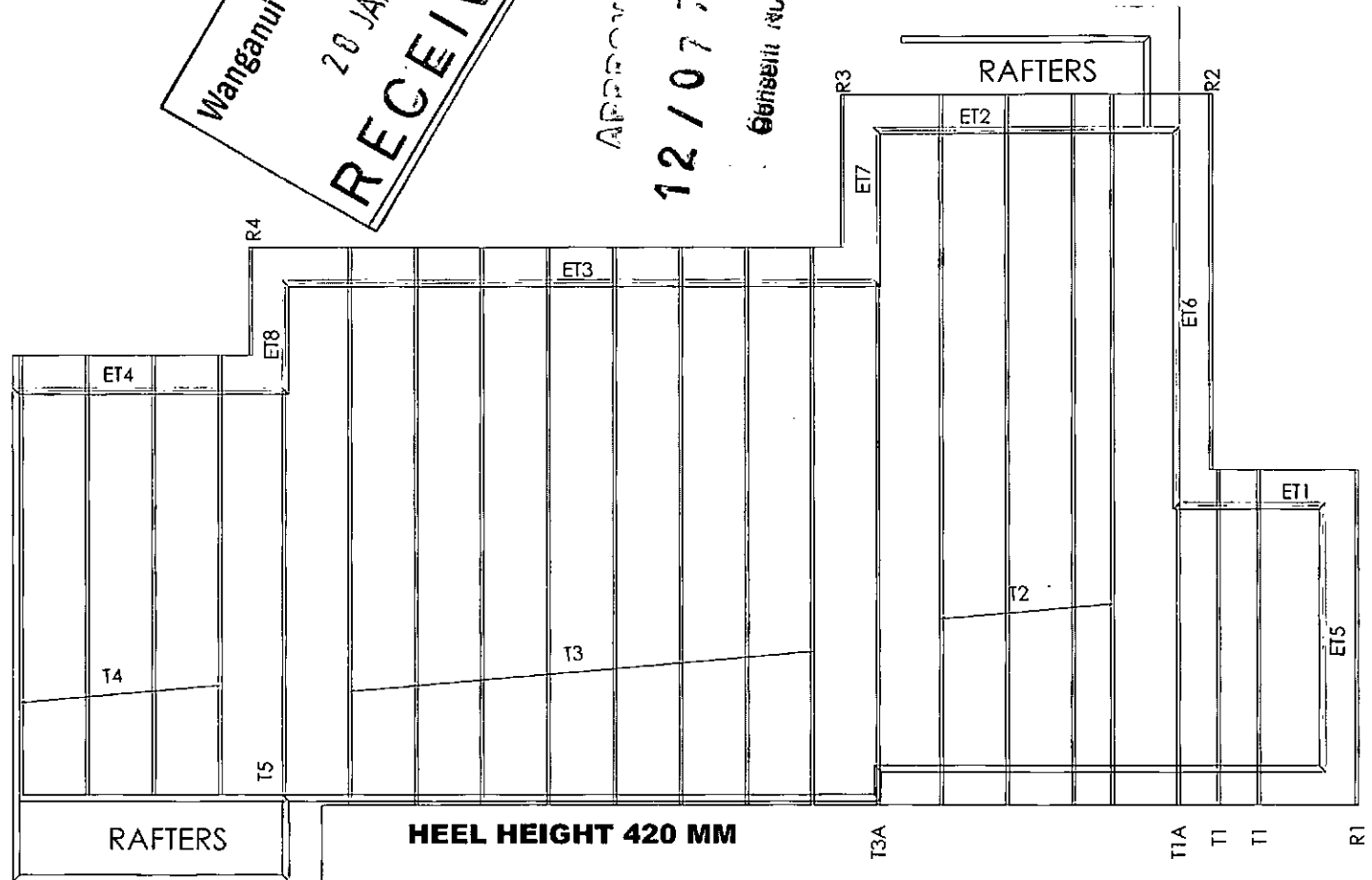
Lintels under girder trusses as noted.

These Lintels have been designed using the relevant selection manuals and/or software programs.

As per NZS3604:2011, Lintels are SG8 and may be substituted for GL8 or higher at time of manufacture.



APPROVED  
12/07/11  
Ginsell W.



**PlaceMakers**  
TAUPO Ph. (07) 376-5893 Fax. (07) 376-5894

**TRUSSTEK**  
PRENAILS LTD

Job Name : SIGLEY/GORDON  
Site Address : UNIT 2, 60 DUNCAN ST  
WANGANUI

Sheet Title : For Building Consent  
Truss Layout

Date : 24 Jan 2013 Drawn : Fay Woodburn  
Scale : 1:100

Job Details:

Roof Pitch - deg	: 5.000
Wind Zone	: High
Wind Speed - m/s	: 44.0
Roof Material	: Galv Iron 5mm
Ceiling Material	: GIB Board 12mm
Roof Live Load - kPa	: 0.250
Floor Live Load - kPa	: 0.000
Basic Roof Snow Load - kPa	: 0.000
Truss Centres - mm	: 900

Job Number : WG092  
Sheet : 1  
Consent Number :



# Plumbing Inspection

Nº PLU 02583

Address

60A Duncan St

Consent No	Date	Inspector	Re Inspect	Compliance
12/0771	23/5/13	C.G.	NO	OK
Subfloor Plumbing	Comment		Plumbing Final	Comment
Plumbing method used	<input type="checkbox"/> ANZS 3500	<input checked="" type="checkbox"/> NZBC G13	Isolating Valve/Toby	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Waste Pipe Locations	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	HWC - Type	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Fall to Waste Pipes	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	Non Return Valve	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Water Supply Pipes	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	Pressure Reducing Valve	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Floor Waste Gully	<input type="checkbox"/> OK	<input checked="" type="checkbox"/> N/A	Cold Water Expansion Valve	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Stack Base Bends	<input type="checkbox"/> OK	<input checked="" type="checkbox"/> N/A	Temp Pressure Relief Valve	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Underslab Heating	<input type="checkbox"/> OK	<input checked="" type="checkbox"/> N/A	Hotwater Temp. Control	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Pipework Lagged Thru Slab	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	Tempering Valve	<input type="checkbox"/> OK <input type="checkbox"/> N/A
	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	Cylinder Relief Drain	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Plumbing Preline	Comment		Earthquake Resistant	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Pipe Type/Location	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	Fittings & Taps	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Pipe Restraint	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	Trap, Seals & AAV's	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Pipe Insulation	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	WC's	<input type="checkbox"/> OK <input type="checkbox"/> N/A
HWC Drain Discharge	<input type="checkbox"/> OK	<input checked="" type="checkbox"/> N/A	Wall Surfaces Sealed	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Waste Pipes Size/Location	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	Floor Surfaces Sealed	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Fixtures per Waste	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	Safety Glazing	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Gradient - Wastes/Stacks	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	Extractor Fan Vented to Outside	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Stack Size/Type	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	Gully Dish Seal/Height	<input type="checkbox"/> OK <input type="checkbox"/> N/A
No Connection Zone on Stack	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	Wastepipes/Drainage Supported	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Vent Pipe Size/Termination	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	Vent Pipe Termination	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Pressure Test	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	Water Storage Tank & pump	<input type="checkbox"/> OK <input type="checkbox"/> N/A
	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	Backflow Protection	<input type="checkbox"/> OK <input type="checkbox"/> N/A
	<input type="checkbox"/> OK	<input type="checkbox"/> N/A		<input type="checkbox"/> OK <input type="checkbox"/> N/A

Comments

inspect subfloor plumbing work by At Plumbing - Dan McKechnie. Asked Dan to increase waste pipe grades while on site now 1:40. Pipes wrapped thru slab - all appears OK. **ENTERED**  
 Note there was already s/w & s/sweat drains laid under slab by another contractor - laser plumbing?



# Concrete Slab/Footing & Pile Post Inspection N° SFP 3200

Address <i>60 Duncan St Unit B</i>					
Consent No <i>12/0771</i>		Date <i>24/5/13</i>		Inspector <i>[Signature]</i>	
Re Check <i>No</i>		Compliance <i>Yes</i>			
Concrete Slab/Footing		Comments		Pile/Post	
Siting/Boundaries	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	<i>1250 x 200 RH 2700 x 200 LH</i>		Siting/Boundaries	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Site wind zone	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	<i>Medium</i>		Site wind zone	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Contours	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	<i>Flat</i>		Contours	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Soil Type	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	<i>Clay/Sand</i>		Soil Type	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Ground Bearing	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	<i>OK</i>		Ground Bearing	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Ground Levels	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	<i>OK</i>		Ground Levels	<input type="checkbox"/> YES <input type="checkbox"/> NO
Footing Size	<input type="checkbox"/> OK <input type="checkbox"/> N/A	<i>550 x 200</i>		Pile/Post Layout	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Footing Steel	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	<i>3 x 12's 1000</i>		Footing Size	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Slab Steel	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	<i>5E62E</i>		Anchor/Braced Piles	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Concrete Cover	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	<i>75mm</i>		Pile/Post Treatment	<input type="checkbox"/> OK <input type="checkbox"/> N/A
Pile/Post Treatment	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	<div style="text-align: center; font-size: 2em; font-weight: bold;">ENTERED</div>			
Waste Pipe Locations	<input type="checkbox"/> OK <input type="checkbox"/> N/A				
Fall to Waste Pipes	<input type="checkbox"/> OK <input type="checkbox"/> N/A				
Water Supply Pipes	<input type="checkbox"/> OK <input type="checkbox"/> N/A				
Gully Traps	<input type="checkbox"/> OK <input type="checkbox"/> N/A				
Stack Base Bends	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A				
Underslab Heating	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A				
Comments					



# Cavity & Stucco Inspection

N° CSI 0876

**Address**  
 60A DUNNAN ST (2nd unit)

Consent No	Date	Inspector
12/0771	10/2/13	<i>[Signature]</i>

Re Check	Compliance
NB <input type="checkbox"/> YES <input type="checkbox"/> NO	Yes

Cavity	Comments
Framing <input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	AD-45 #12 SLE @ 600c
Building Wrap <input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	Thermax Brack
Treatment of Battens <input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	H3.2
Nailing (size & spacing) <input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	20mm @ 200c
Cavity Closure <input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	PVC.
Window/Door Flashing <input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	OK
Roof/Wall Flashing <input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	N/A
Parapet Design <input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	N/A

Stucco	Comments
Backing <input type="checkbox"/> OK <input type="checkbox"/> N/A	<b>ENTERED</b>
Netting Gauge <input type="checkbox"/> OK <input type="checkbox"/> N/A	
Netting Lap <input type="checkbox"/> OK <input type="checkbox"/> N/A	
Netting Fixings <input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	
Flashings <input type="checkbox"/> OK <input type="checkbox"/> N/A	
Secondary Reinforcing <input type="checkbox"/> OK <input type="checkbox"/> N/A	
Paper <input type="checkbox"/> OK <input type="checkbox"/> N/A	
J Mould or Similar <input type="checkbox"/> OK <input type="checkbox"/> N/A	
Control Joints <input type="checkbox"/> OK <input type="checkbox"/> N/A	

**Comments**

OK to live



# Plumbing Inspection

Nº PLU 01989

<b>Address</b>			
60 A Duncan St			
<b>Consent No</b>	<b>Date</b>	<b>Inspector</b>	
12/0771	11/7/13	<i>[Signature]</i>	
<b>Subfloor Plumbing</b>		<b>Comment</b>	
Plumbing method used	<input type="checkbox"/> ANZS 3500 <input type="checkbox"/> NZBC G13	/	
Waste Pipe Locations	<input type="checkbox"/> OK <input type="checkbox"/> N/A		
Fall to Waste Pipes	<input type="checkbox"/> OK <input type="checkbox"/> N/A		
Waste Supply Pipes	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		
Floor Waste Gulley	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		
Stack Base Bends	<input type="checkbox"/> OK <input type="checkbox"/> N/A		
Underslab Heating	<input type="checkbox"/> OK <input type="checkbox"/> N/A		
Pipework Lagged Thru Slab	<input type="checkbox"/> OK <input type="checkbox"/> N/A		
	<input type="checkbox"/> OK <input type="checkbox"/> N/A		
<b>Plumbing Preline</b>			
Pipe Type/Location	<input type="checkbox"/> OK <input type="checkbox"/> N/A	Dux 12 SERURA	
Pipe Restraint	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	OK	
Pipe Insulation	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	To be done	
HWC Drain Discharge	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	Copper	
Waste Pipes Size/Location	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	40mm	
Fixtures per Waste	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	One	
Gradient - Wastes/Stacks	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	/	
Stack Size/Type	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	/ N/A	
No Connection Zone on Stack	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	/	
Vent Pipe Size/Termination	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	80mm	
Pressure Test	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	1500 Kpa	
	<input type="checkbox"/> OK <input type="checkbox"/> N/A		
	<input type="checkbox"/> OK <input type="checkbox"/> N/A		
<b>Comments</b>			
MICE PRAT # 18514 (13/12) 25m into main tank and 12m A + PLUMBING			
ENTERED			

101 Guyton Street  
 PO Box 637, Wanganui 4540  
 Phone: 06-349 0001  
 Fax: 06-349 0000  
 Email: wdc@wanganui.govt.nz  
 Web: www.wanganui.govt.nz



# Inspection Checksheet

IC 01661

Description: FIREWORKS

Consent No: 12/0771 Date: 19/7/13 Inspector: [Signature]

Address: 60A Duncan St

Recheck:  Yes  No

Complies:  Yes  No

Description	OK	N/A	Comments
Fire Linings	1		10 m Fyrite G4 offered 1/2 sheet under Hardier 6 m sheet over
			<b>ENTERED</b>

Comments:



# Framing & Pre-Line Inspection

Nº FPL 04516

Address								
60 <sup>th</sup> Duncan St								
Consent No		Date		Inspector		Re Check		
12/0771		25/7/13				No		
Compliance								
Yes								
Framing		Comments			Pre-line		Comments	
Wind zone/Corrosion zone	<input type="checkbox"/> OK <input type="checkbox"/> N/A	/			Framing	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	90x45 H12 59 8/260	
DPC	<input type="checkbox"/> OK <input type="checkbox"/> N/A				Wind/Corrosion zone	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	Medium	
Studs; spacing & treatment	<input type="checkbox"/> OK <input type="checkbox"/> N/A				Timber	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	Radiata	
Framing Straight	<input type="checkbox"/> OK <input type="checkbox"/> N/A				Moisture Content	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	AS Delox	
Lintel/Beam size, treatment & Fixing	<input type="checkbox"/> OK <input type="checkbox"/> N/A				Wall Bracings	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	Checked previous	
Top plate fixings	<input type="checkbox"/> OK <input type="checkbox"/> N/A				Is modified Bracing schedule Required?	<input type="checkbox"/> OK <input checked="" type="checkbox"/> NO	N/A	
Rafter size, treatment & spacing	<input type="checkbox"/> OK <input type="checkbox"/> N/A				Insulation	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	R2-4 batts with R3-6 " ceiling	
Valley sizes/Internal gutter sizes	<input type="checkbox"/> OK <input type="checkbox"/> N/A				Ceilings	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	75 x 35 batts 17" batts	
Truss Layout	<input type="checkbox"/> OK <input type="checkbox"/> N/A				Roof Framing	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	OK	
Truss Fixing	<input type="checkbox"/> OK <input type="checkbox"/> N/A				2nd Storey Floor Framing	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	N/A	
Truss Plan	<input type="checkbox"/> OK <input type="checkbox"/> N/A				External Window Joinery	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	This sealed in place	
Roof Bracing	<input type="checkbox"/> OK <input type="checkbox"/> N/A				Fire Separations	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	OK	
Fixings	<input type="checkbox"/> OK <input type="checkbox"/> N/A				Ventilation	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	OK	
Floor joist size, treatment & spacing	<input type="checkbox"/> OK <input type="checkbox"/> N/A	Comments						
Structural Steel	<input type="checkbox"/> OK <input type="checkbox"/> N/A	Bottom plates - 30-42 Studs - 23-30%						
Structural Brackets	<input type="checkbox"/> OK <input type="checkbox"/> N/A							
Services Accommodation	<input type="checkbox"/> OK <input type="checkbox"/> N/A							
Decks-beams, posts, joists & decking	<input type="checkbox"/> OK <input type="checkbox"/> N/A							
Subfloor Bracing - Types & Location	<input type="checkbox"/> OK <input type="checkbox"/> N/A							
Fixings (durability)	<input type="checkbox"/> OK <input type="checkbox"/> N/A							
Comments								
ENTERED								



RE-  
**Inspection Checksheet**

IC 01713

Description: MOISTURE IN PLATES/STUDS

Consent No: 12/0771 Date: 2/8/13 Inspector: [Signature]

Address: 60 Duncan St.

Recheck:  Yes  No

Complies:  Yes  No

Description	OK	N/A	Comments
Boards/plates	/		20 - 23%
Studs	/		17 - 19%
<b>ENTERED</b>			
THEY HAVE BEEN USING A COMMERCIAL			
DEHUMIDIFIER ONLY TO GET MOISTURE DOWN			
<b>Comments:</b>			
TOLD KEIRIN (Builder) TO REMOVE BATTES IN			
BOTTOM ROW, USE A DIESEL HEAT BLOWER AND			
A DEHUMIDIFIER OTHERWISE HE WILL BE WAITING			
FOREVER TO ACHIEVE COMPLIANCE			



# Framing & Pre-Line Inspection

Nº FPL 04518

Address						
60A DUNCAN ST						
Consent No		Date	Inspector	Re Check	Compliance	
12/0771		8/8/13	<i>[Signature]</i>	No	Yes	
Framing		Comments		Pre-line		Comments
Wind zone/Corrosion zone	<input type="checkbox"/> OK <input type="checkbox"/> N/A	/		Framing	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	OK as per
DPC	<input type="checkbox"/> OK <input type="checkbox"/> N/A			Wind/Corrosion zone	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	Medu
Stud size, spacing & treatment	<input type="checkbox"/> OK <input type="checkbox"/> N/A			Timber	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	Rachate
Framing Straight	<input type="checkbox"/> OK <input type="checkbox"/> N/A			Moisture Content	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	18%
Lintel/Beam size, treatment & Fixing	<input type="checkbox"/> OK <input type="checkbox"/> N/A			Wall Bracings	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	OK
Top plate fixings	<input type="checkbox"/> OK <input type="checkbox"/> N/A			Is modified Bracing schedule Required?	<input type="checkbox"/> OK <input checked="" type="checkbox"/> NO	
Rafter size, treatment & spacing	<input type="checkbox"/> OK <input type="checkbox"/> N/A			Insulation	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	R 3.2 ceiling R 2.4 walls
Valley sizes/Internal gutter sizes	<input type="checkbox"/> OK <input type="checkbox"/> N/A			Ceilings	<input type="checkbox"/> OK <input type="checkbox"/> N/A	OK Both
Truss Layout	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A			Roof Framing	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	OK
Truss Fixing	<input type="checkbox"/> OK <input type="checkbox"/> N/A			2nd Storey Floor Framing	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	N/A
Truss Plan	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A			External Window Joinery	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	As per plan
Roof Bracing	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A			Fire Separations	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	Done
Purlin Fixings	<input type="checkbox"/> OK <input type="checkbox"/> N/A			Ventilation	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	OK
Floor joist size, treatment & spacing	<input type="checkbox"/> OK <input type="checkbox"/> N/A			Comments		ENTERED
Structural Steel	<input type="checkbox"/> OK <input type="checkbox"/> N/A					
Structural Brackets	<input type="checkbox"/> OK <input type="checkbox"/> N/A					
Services Accommodation	<input type="checkbox"/> OK <input type="checkbox"/> N/A					
Decks-beams, posts, joists & decking	<input type="checkbox"/> OK <input type="checkbox"/> N/A					
Subfloor Bracing - Types & Location	<input type="checkbox"/> OK <input type="checkbox"/> N/A					
Fixings (durability)						
Comments						



N° POL

520

# Post Line Inspection

<b>Address</b>				
60 St Duncan St				
<b>Consent No</b>	<b>Date</b>	<b>Inspector</b>	<b>Re Check</b>	<b>Compliance</b>
Bla 12/077	12/8/13	ETE	<input type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Final</b>		<b>Comment</b>		
<b>Brace Types/Location</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	As per approved plan.	
<b>Nailing</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	Screwed in 20/2 pattern	
<b>Element Lengths</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	As per approved plan	
<b>Altered Bracing Design Received</b>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A	N/A	
<b>Comments</b>				
<div style="border: 2px solid black; padding: 20px; font-size: 48px; font-weight: bold; letter-spacing: 5px;">ENTERED</div>				

ENTERED

SCANNED



**Drainage Inspection**

N° DRA 02050

<b>Address</b>					
60A Duncan St					
<b>Consent No</b>	<b>Date</b>	<b>Inspector</b>	<b>Re Inspect</b>	<b>Compliance</b>	
12/0771	10/9/13	C.G	Yes	No	
<b>Foul Water Drainage</b>		<b>Comment</b>	<b>Septic Tank</b>		<b>Comment</b>
<b>System Used</b>	<input type="checkbox"/> ANZS 3500 <input checked="" type="checkbox"/> NZBC G13		<b>Tank Size</b>	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
<b>Drainage Material/Size</b>	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	100 Ø PVC	<b>Tank Location</b>	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
<b>Gradient</b>	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	> 1:60	<b>Tank Venting/Filter</b>	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
<b>Binding Material</b>	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		<b>Effluent Disposal Field Location</b>	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
<b>Drainage Depth/Cover</b>	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		<b>Type of Effluent Field</b>	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
<b>Inspection Fittings</b>	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		<b>Length of Disposal Field</b>	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
<b>Gulley Traps Seal/Height</b>	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	to comp.	<b>Material in Disposal Field</b>	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
<b>Vents</b>	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		<b>Geo Tech Cloth</b>	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
<b>Manholes Haunched</b>	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A		<b>Stormwater</b>		
<b>Pump Stations Alarmed/Vented</b>	<input type="checkbox"/> OK <input type="checkbox"/> N/A		<b>Drainage Material Size</b>	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	90 Ø PVC
<b>Retention Tanks</b>	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A		<b>Connected to Downpipes</b>	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	to Comp.
<b>Sumps</b>	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A		<b>Sumps/Manholes</b>	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	
<b>Roof &amp; Wall Penetrations</b>	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A		<b>Discharging to Approved System</b>	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
<b>Pressure Test</b>	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	Water	<input type="checkbox"/> OK <input type="checkbox"/> N/A		

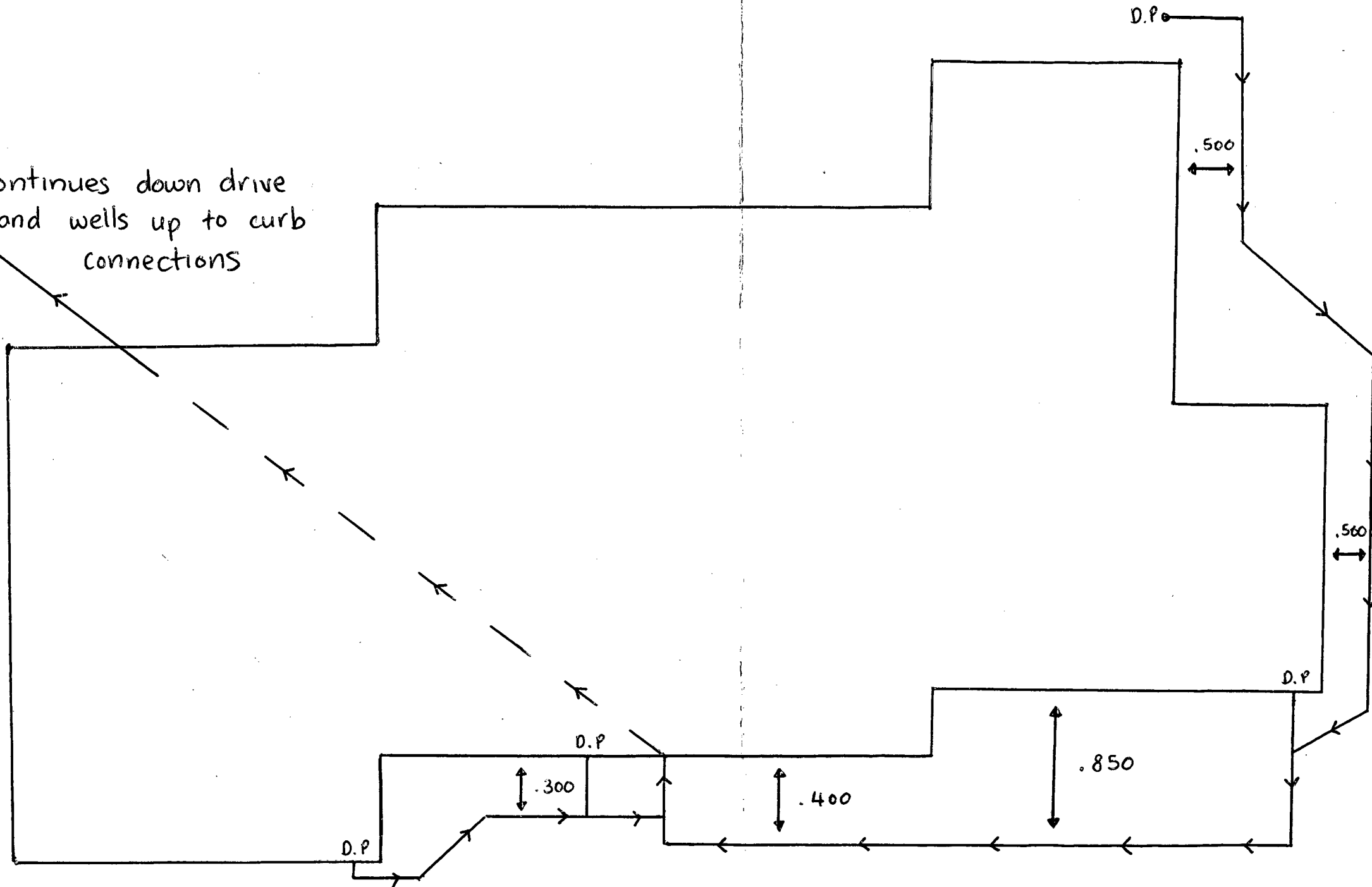
**Comments**

100% PVC system laid by local Plumbing for Abbott & Dan Collins. Drain grade > 1:60 into test holding ok. complete, gts & vent. provide as-built plan.

90 Ø PVC was 90% complete. sumps are d/c and lounge to be installed. all ok

- provide as-built plan.

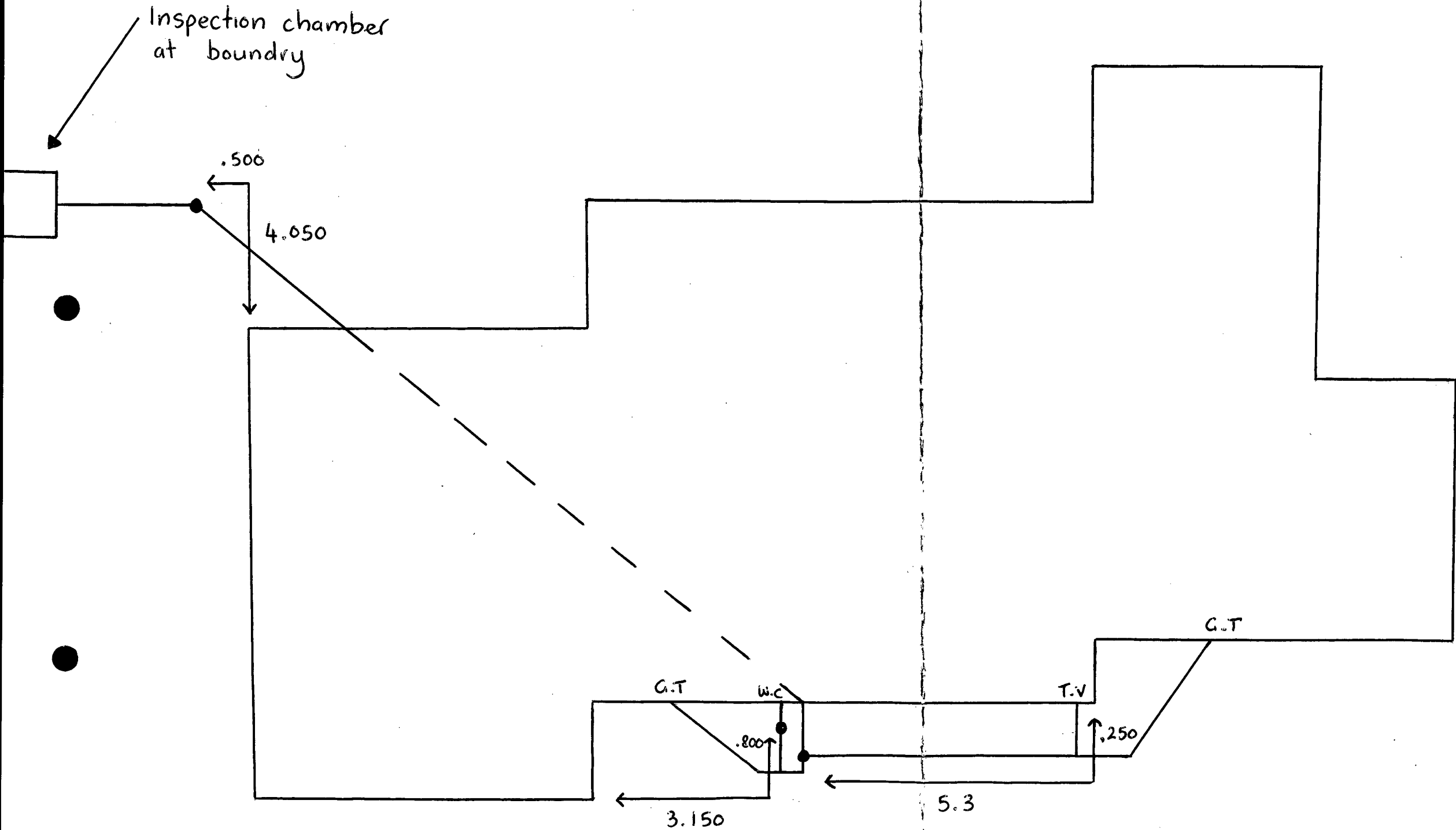
Stormwater continues down drive  
and wells up to curb  
connections



Stormwater plan  
60 Duncan st  
Rear unit

stormwater drains laid by LASER Plumbers 16.1.2013.

<b>AS BUILT</b>
12 / 0771
<b>Consent No.</b>
Wanganui District Council
18 SEP 2013
<b>RECEIVED</b>



Sewer plan  
60 Duncan st  
Rear unit

100mm PVC S.Sewer drain laid by LASER PLUMBING  
16-1-2013

AS BUILT  
12 / 0771  
Consent No.

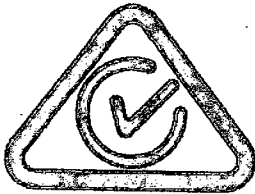
Wanganui District Council  
18 SEP 2013  
RECEIVED



# Residential Final Inspection

N° RES 2609

<b>Address</b>			60 A DUNCAN ST		
<b>Consent No</b>	<b>Date</b>	<b>Inspector</b>	<b>Re Check</b>	<b>Compliance</b>	
12/0770	14/11/13	<i>[Signature]</i>	Yes	No	
<b>Exterior</b>			<b>Interior</b>		
<b>Comments</b>			<b>Comments</b>		
Subfloor Ventilation	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A	Service Area Sealing	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
Ground Clearance	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	Shower Seals	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
Cladding	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	Safety Glass	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
Photograph	<input checked="" type="checkbox"/>	<input type="checkbox"/> No	Stair Design	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Brick Work	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A	Handrails	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Joinery	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	Barriers	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Meter Box	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
Roofing and Fixings	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A	Cooking Facilities	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
Roof Flashings - Penetrations	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A	Food Storage	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
- Hips	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A	Laundrying & Tub fixings	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
- Valleys	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A	Natural Ventilation	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
- Gables	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	Mech Ventilation	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
- Apron Flashings	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	HWC - Flues	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
Decks - Structure	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A	- Valving	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
Balustrades	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A	- Installation	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
Steps/Stairs	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A	Hot Water Temp Control	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
Gully Dishes	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	Header Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Wastes to Gulleys	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	Trap Seals and AAVs	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
Drain Vents	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	WCs	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
Spouting-downpipes	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	Smoke Alarms	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
Septic Tank	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A	Solid Fuel Heater - Type	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Water Storage Tank & Pump	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A	- Clearances	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Surface Water Drainage	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	- Installation	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Sumps	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	- Flue	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Footpath/Crossing Damaged	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A		<input type="checkbox"/>	<input type="checkbox"/> N/A
	<input type="checkbox"/>	<input type="checkbox"/> N/A		<input type="checkbox"/>	<input type="checkbox"/> N/A
<b>Roof Space</b>			<b>Miscellaneous</b>		
<b>Comments</b>			<b>Comments</b>		
Vent Ducts	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	Vehicle Crossing Prod Stmt.	<input type="checkbox"/>	<input type="checkbox"/> N/A
Bracing	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	Energy Certificate Electric	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
Building Paper	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	Energy Certificate Gas	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Insulation	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	Spray Coat Prod Stmt.	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Clearances	<input type="checkbox"/>	<input type="checkbox"/> N/A	CCC Application Supplied	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A
	<input type="checkbox"/>	<input type="checkbox"/> N/A	Other	<input type="checkbox"/>	<input type="checkbox"/> N/A
<b>Comments</b>					
<p>* Bottom board of knee wall to be painted. Rain head requires forming.</p> <p>* Hot water to be tested for temperature.</p> <p>* Stormwater as - build plan reqd - recd.</p> <p>LBP's Builder: Kieran O'Donnell. BP 111891</p> <p>Roofers: John Broad. BP 104512</p>					



# Compliance and Electrical Safety Certificate



This form has been issued by the Electrical Workers Registration Board

Unique ID: 6046

This form has been designed to be used by licensed electrical workers to certify low voltage installations that comply with part 2 of AS/NZS 3000 and are safe to be connected to a 230/400 volt multiple earth neutral (MEN) system of electrical supply.

### 1. Location of Installation

Address: 60B Duncan Street, Wanganui

### 2. Customer Information

Name: Denise Gordon and Mike Sigley

Postal Address: 60B Duncan Street, Wanganui

Phone and Email: \_\_\_\_\_

### 3. Electrical Worker Information

Name: Latham Berry Registration/Practising Licence Number: E260606

Organisation: Laser Electrical Wanganui Telephone Number: 0274 533 042

Email: \_\_\_\_\_

Name of person(s) being supervised: \_\_\_\_\_

### 4. Work Details

The work is (circle): additions | alterations | new work

The prescribed electrical work is (circle): High Risk | General | Low Risk | The homeowner has undertaken part of the electrical installation work.

Indicate the number of each item installed or altered:

Number of lighting outlets:	<u>20</u>	Other Work? <u>1x heated towel rail.</u>	Circle if work includes:
Number of socket outlets:	<u>20</u>	_____	Mains
Number of ranges:	<u>1</u>	_____	MEN switchboard closest to point of supply
Number of water heaters:	<u>1</u>	_____	Main Earthing System
			Electric Lines

### 5. Certification of Work

I certify that the completed prescribed electrical work to which this certificate applies, has been done lawfully and safely, and the information in the certificate is correct in that the installation, or part of the installation:

<input checked="" type="checkbox"/>	Has been installed in accordance with a certified design.
<input checked="" type="checkbox"/>	Has an earthing system that is correctly rated.
<input checked="" type="checkbox"/>	Contains fittings which are safe to connect to a power supply.
<input type="checkbox"/>	Relies on supplier's Declaration of Conformity (attach or reference)
<input type="checkbox"/>	Relies on manufacturer's instructions (attach or reference)
<input checked="" type="checkbox"/>	Has been satisfactorily tested in accordance with Electrical (safety) Regulations 2010
<input checked="" type="checkbox"/>	Is safe to connect

Test Results		
	Electrical Worker:	Inspector:
Polarity (Independent Earthing):	<input checked="" type="checkbox"/>	
Insulation resistance	<u>182MΩ</u>	
Bonding:	<u>0.1Ω</u>	
Other:		

Electronic reference: 6046

Electrical Worker's Signature: \_\_\_\_\_

Date: 6/11/2013

### 6. Electrical Safety Certificate

I certify that the installation, or part of the installation, to which the Electrical Safety Certificate applies is connected to a power supply and is safe to use

Name: Latham Berry

Registration/Practising Licence number: E260606

Signature: \_\_\_\_\_

Date: 6/11/2013

CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED

Memorandum from Licensed Building Practitioner:  
 Record of building work  
 Section 88, Building Act 2004



<b>THE BUILDING</b>		
Street address: <i>606 Duncan St</i>		
Suburb: <i>Wanganui East</i>		
Town/City: <i>Wanganui</i>		Postcode: <i>4501</i>
<b>THE PROJECT</b>		
Building consent number: <i>12/0771</i>		
<b>THE OWNER(S)</b>		
Name(s): <i>Denise Gordon, Mike Staley</i>		
Mailing address: <i>33 Bullock Drive</i>		
Suburb: <i>Springvale</i>		PO Box/Private Bag:
Town/City: <i>Wanganui</i>		Postcode: <i>4501</i>
Phone number: <i>021 111 5810</i>		Email address: <i>dinnyg@clear.net.nz</i>
<b>RECORD OF WORK THAT IS RESTRICTED BUILDING WORK</b>		
<b>PRIMARY STRUCTURE</b>		
Work that is restricted building work Tick	Description of restricted building work If necessary, describe the restricted building work	Carried out or supervised Tick <input checked="" type="checkbox"/> whether you carried out the RBW or supervised someone else.
Foundations and subfloor framing	<i>polystyrene, mesh tied as per plan and code.</i>	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Walls	<i>stud straps dymabatts</i>	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Roof		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Columns and beams	<i>beams to gable, supporting trusses</i>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Bracing	<i>jib bracing</i>	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Other	<i>fire wall</i>	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised

# RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

## EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Damp proofing <input checked="" type="checkbox"/>	Dpc to bottom framing.	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Roof cladding or roof cladding system <input checked="" type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Ventilation system (for example, subfloor or cavity) <input checked="" type="checkbox"/>	cavity system as per code & plan. nailed 65mm gap to 250	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Wall cladding or wall cladding system <input checked="" type="checkbox"/>	linea. nailed on cavity battens	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Other <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised

### ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: <u>Kieran O'Donnell</u>	LBP number: <u>BP 111891</u>
Class(es) licensed in: <u>carpentry</u>	
Plumbers, Gasfitters and Drainlayers registration number (if applicable):	
Mailing address (if different from below):	
Street address/Registered office: <u>97 persons st.</u>	
Suburb: <u>springside</u>	Town/City: <u>Wangarrui</u>
PO Box/Private Bag:	Postcode: <u>4509</u>
Phone number:	Mobile: <u>0272741816</u>
After hours:	Fax:
Email address: <u>odonnell.construction@tra.com.au</u>	Website:

### DECLARATION

I, Kieran O'Donnell carried out or supervised the restricted building work recorded on this form.

Signature: [Signature] Date: 16/9/13

# Memorandum from licensed building practitioner: Record of building work

## Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

Name(s):	
Street address: 606 Duncan St	
Suburb: Wanganui East	
Town/City: Wanganui	Postcode:

Building consent number: 12/0771	
----------------------------------	--

Name(s): Mike Sigley + Denise Gordon	
Mailing address: 33 Bullock Drive	
Suburb: Springvale	PO Box/Private Bag:
Town/City: Wanganui	Postcode:
Phone number:	Email address:

RECORD OF RESTRICTED BUILDING WORK

**PRIMARY STRUCTURE**

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Walls <input type="checkbox"/>	<del>N/A</del>	<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Columns and beams <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Bracing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

**EXTERNAL MOISTURE MANAGEMENT SYSTEMS**

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof cladding or roof cladding system <input checked="" type="checkbox"/>	<i>Install roof cladding</i>	<input checked="" type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Wall cladding or wall cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.	
Name: <u>John Broad</u>	LBP number: <u>BP104512</u>
Class(es) licensed in: <u>R1,2+3</u>	
Plumbers, Gasfitters and Drainlayers registration number (if applicable):	
Mailing address (if different from below): <u>P.O Box 4404, Warrum.</u>	
Street address/Registered office: <u>8 Wicksteed Rd</u>	
Suburb: <u>RD4</u>	Town/City:
PO Box/Private Bag	Postcode:
Phone number: <u>06 345 8696</u>	Mobile:
After hours:	Fax:
Email address:	Website:

<b>DECLARATION</b>
I, <u>JOHN BROAD</u> carried out or supervised the restricted building work recorded on this form.
Signature: <u>[Signature]</u>
Date: <u>7/11/13</u>

**Application for  
Code Compliance Certificate**  
Building Act 2004 Form 6



Wanganui  
District Council

Wanganui District Council  
12 NOV 2013  
**RECEIVED**

**1. The building consent**

Building consent no. 12/0771  
Description of work New dwelling with attached garage  
Address 606 Duncan St - Wanganui

**2. Property owner details**

Owner details  Have not changed since the building consent was lodged Proceed to 3 "Applicant details" below  Have changed since the building consent was lodged

Name   
Contact person (if owner is a corporation, partnership or trust)   
Postal address   
Contact numbers     
Phone Mobile Fax  
Email

Evidence of ownership attached (only required if ownership has changed)  Certificate of Title (copy)  Sale and purchase agreement  Lease agreement  Other document showing full name of legal owner(s), such as a rate instalment notice

**3. Applicant details**

I am the  Property owner  Lessee Provide details below  Agent Authorised by owner / lessee Provide details below

Name GJ Gardner Homes  
Postal address P.O BOX 695  
Wanganui  
Contact numbers (06) 3453563    
Phone Mobile Fax  
Email

**4. Attachments**

The following documents are attached to this application:

- RBW Memorandum (Records of building work LBP)
- Certificates that relate to the energy work (e.g. gas or electrical certificates)
- Evidence that specified systems are capable of performing to the performance standards set out in the building consent

**OFFICE USE ONLY**

Infrastructure Bond Final Inspection Complete (please circle one)

Yes	No	N/A
-----	----	-----

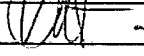
**5. Key building practitioners**

Builders name / Licence no.	Kieran O'Donnell 111891
Extent of involvement	All construction
Contact details Address	
Phone / Email	0272741816
Certifying plumber name / Licence no.	4+ Plumbing
Extent of involvement	All plumbing
Contact details Address	
Phone / Email	022 687 2035
Certifying drainlayer name / Licence no.	Laser Plumbing
Extent of involvement	Drainage
Contact details Address	
Phone / Email	027 252 6989
Electrician name / Licence no.	Laser Electrical
Extent of involvement	All electrical
Contact details Address	
Phone / Email	021 246 4366
Other	
Extent of involvement	
Contact details Address	
Phone / Email	

Any other people involved must be listed separately

**6. Application**Date building work completed 

I request that you issue a code compliance certificate for the work under section 95 of the Building Act 2004. I understand that the code compliance certificate will be sent to the property owner.


Signature



Name of person signing: (please print clearly)

Dated:

**OFFICE USE ONLY**

Date received	<input type="text" value="12/10/13"/>	Application #	<input type="text"/>	Document #	<input type="text"/>	Project #	<input type="text"/>
Property ID	<input type="text"/>	Legal ID	<input type="text"/>	Receipt #	<input type="text"/>	Amount Paid	<input type="text" value="\$"/>

**Code Compliance Assessment Checklist**  
**Building Consent No # BC** *(12/077)*

	ITEM	YES	NO	N/A	COMMENTS
1	Work complies with approved BC documentation - Sec 94 (1)	✓			
2	All the required inspections have been completed	✓			
3	BC conditions have been fulfilled	✓			
4	PIM requirements have been complied with	✓			
5	Damage deposit is released			✓	
6	Development contributions have been paid (Sec 94 (4))			✓	
7	All documents have BC number on them	✓			
8	Sec 75-77 registered if applicable			✓	
9	Sec 72-74 registered on title if applicable			✓	
10	Energy work certificates have been provided (if required) sec 94 (3)	✓			<i>Electrical</i>
11	All inspection fees have been paid?	✓			
12	Specified systems are capable of performing in accordance with performance standards (sec 94 (1B))			✓	
13	Is a compliance schedule required or requires amending (sec 100(2))		✓		
14	Has there been a change of ownership (sec 364)		✓		
15	Any warnings or bans applied (sec 94 (2))			✓	
16	Has the TA received any certificates issued by licensed building practitioners that relate to restricted work (sec 88 (10 and (2) nb: The restricted building work and LBP provisions do not come into effect until 30/11/2009	✓			<i>LBP = Builder " = Roofer</i>
17	Check the TA has been advised by a LBP that building work carried out under a building consent does not comply with that consent			✓	
18	Any amendments have been issued and whether documentation associated with these have been properly completed			✓	
19	Any outstanding documentation still to be collected such as		✓		
20	Photographs of elevations	✓			
21	Fire doors			✓	
22	Backflow			✓	
23	Lifts (electrical and installation)			✓	
24	Mechanical ventilation	✓			<i>To atmosphere</i>
25	List of consultants			✓	
26	Was Building Consent Lapsed? (Ref.T-25.5)		✓		

**Producer Statements:**

A Producer Statement requires the following as a minimum requirement to be accepted by the Wanganui District Council:

- A written statement
- Header with 'Producer Statement'
- Who is issuing the Producer statement (suitably qualified and author of Producer statements)
- The Producer Statement must be addressed for the attention of the Wanganui District Council
- The applicable Building Consent number must be recorded
- Who has completed or designed the work identified (qualifications to undertake the work)
- The product name and specifications for application of product used
- What parts/clauses of the Building Code the work relates to
- Full legal description of the site where the work will be undertaken
- Clearly identifying what part of the Building Consent is covered by the Producer Statement
- Provide the sum of provisional indemnity insurance held

The author's name and signature:

- Qualifications
- Address
- Registration number
- Membership of professional organization
- Date the producer statement was produced

All information and documentation is present and correct, a Code Compliance Certificate can be issued.

Name: *Garry Edlin*

Signature: *[Signature]*

Date: *18/11/13*



# END OF BUILDING CONSENT FILE

BC No. \_\_\_\_\_



# Framing & Pre-Line Inspection

Nº FPL 04562

Address					
60 Duncan St					
Consent No	Date	Inspector	Re Check	Compliance	
12/0721	19/6/13	DHoll		N	Yes
Framing	Comments		Pre-line	Comments	
Wind zone/Corrosion zone	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	Med	Framing	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
DPC	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		Wind/Corrosion zone	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Stud size, spacing & treatment	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		Timber	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Framing Straight	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		Moisture Content		
Lintel/Beam size, treatment & Fixing	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		Wall Bracings	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Top plate fixings	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		Is modified Bracing schedule Required?	<input type="checkbox"/> OK <input type="checkbox"/> NO	
Rafter size, treatment & spacing	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A		Insulation	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Valley sizes/Internal gutter sizes	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A		Ceilings	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Truss Layout	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		Roof Framing	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Truss Fixing	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		2nd Storey Floor Framing	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Truss Plan	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		External Window Joinery	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
Roof Bracing	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		Fire Separations	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Purlin Fixings	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	Blue screwed	Ventilation	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Floor joist size, treatment & spacing	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A		<b>Comments</b>		
Structural Steel	<input type="checkbox"/> OK <input type="checkbox"/> N/A		Also gable end truss and outriggers to be wise dogged or multi grips etc		
Structural Brackets	<input type="checkbox"/> OK <input type="checkbox"/> N/A				
Services Accommodation	<input type="checkbox"/> OK <input type="checkbox"/> N/A				
Decks-beams, posts, joists & decking	<input type="checkbox"/> OK <input type="checkbox"/> N/A				
Subfloor Bracing - Types & Location	<input type="checkbox"/> OK <input type="checkbox"/> N/A				
Fixings (durability)					
<b>Comments</b>					
Bottom plate / stud fixings to <del>the</del> openings over 1.06m.					