

Statement of passing over information

This information has been supplied by the vendor or the vendor's agents. Accordingly, Ray White (Excalibre Real Estate Richmond Limited) is merely passing over the information as supplied to us by the vendor or the vendor's agents. We can not guarantee its accuracy and reliability as we have not checked, audited or reviewed the information, and all intending purchasers are advised to conduct their own due diligence investigation into the same.

To the maximum extent permitted by law, Ray White (Excalibre Real Estate Richmond Limited) does not accept responsibility to any person for the accuracy of the information herein.

Land Information Memorandum



LIM Summary

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Applicant Details

Prepared for	Email
Terry Milton - Excalibre Real Estate Richmond Limited	adminhub.excalibre@raywhite.com

LIM Details

LIM Number	Valuation Number	Certificate of Title	Requested on	Issued on
L230237	1955036002	584164	04/04/2023	17/04/2023

Contents

This Land Information Memorandum contains the following information:

1. **Property Information**
 - Property and owner information, rates, services, and classifications
 - Consents for building and resource management
 - Environmental information.
2. **Maps**
 - Aerial
 - Areas and Zones in the Tasman Resource Management Plan
 - Pipes
 - Bores
 - Fire Ban areas
3. **Additional Information**
 - Brochures and other relevant information
4. **Glossary**
5. **Site Plans**
 - Floor plan
 - Site plan
 - Drainage plan

Notes

- This Land Information Memorandum has prepared for the purposes of Section 44A of the Local Government Act 1987 and contains all the information known to the Tasman District Council to be relevant to the land as described in Subsection (2).
- Information provided is based on a search of council records only, and there may be other information relating to the land, which is not currently recorded in the Councils record system. Every care will be taken to ensure that the information is correct, however, Council cannot guarantee that the information is accurate and does not accept any liability for these records.
- A valuation assessment can consist of multiple land parcels. The information in this LIM covers the entire valuation assessment. If you are only interested in part of the land, you must wait until the subdivision of the land is complete before we can provide information that applies only to the newly subdivided valuation assessment.
- The Council has not undertaken any inspection of the land or any building on it for the purpose of preparing this LIM.
- Council records may not show illegal or unauthorised building works on the property.
- Conditions of any authorised uses of the land are contained in the Council's District and Regional Plans.
- A Development Contribution may be payable in accordance with the DC Policy set out in the Council's Long Term Plan and created under the Local Government Act 2002 in relation to subdivision and new development. You will need to refer to the DC Policy to see what DC's are payable for any particular building development and whether any limitations apply. The DC is required to fund District roads and infrastructural services other than reserves and community facilities.
- A Financial Contribution for Reserves and Community Services may be payable in accordance with the Tasman Resource Management Plan on all building other than first dwelling on a title. You will need to refer to the Tasman Resource Management Plan for full details of the FC's that are payable and whether any limitations or exceptions apply.
- The applicant is solely responsible for ensuring that the land is suitable for a particular use.
- This LIM has been produced at the issued date and is valid only as a statement of Council's information at that date.

1. Property Information

This section of the LIM provides information about the rates and services on the property, including:

- Property and owner information, rates, services, and classifications
- Consents for building and resource management
- Environmental information.

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Property Location

Valuation	Legal Description	Address	Suburb	Area (ha)
1955036002	LOT 3 DP 454691	81 Old Wharf Road	Motueka	0.0605

Rates Information

Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year. Please note that if this property is a contiguous property, its rates will change if sold separately. Also note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Annual Rates	Current Instalment	Balance Owing	Arrears
\$3,489.90	\$872.48	\$-199.88	\$0.00

Rates Breakdown

The Annual Rates in the table above are broken down for the current financial year as follows.

Description	Rate	Units	Amount
General Rate	0.2118c/\$CV	720,000	\$1,524.96
Uniform Annual General Charge	\$290.00/property	1	\$290.00
Wastewater - 1st Pan	\$672.49/pan	1	\$672.49
WaimeaComDam-Env&ComBen-Distri	\$45.94/property	1	\$45.94
Motueka Firefighting WaterSupp	\$52.00/property	1	\$52.00
Refuse/Recycling Rate	\$149.59/property	1	\$149.59
Shared Facilities Rate	\$64.46/property	1	\$64.46
Mapua Rehabilitation Rate	\$5.13/property	1	\$5.13
Museums Facilities Rate	\$64.35/property	1	\$64.35
District Facilities Rate	\$110.09/property	1	\$110.09
Motueka Community Board	\$23.54/property	1	\$23.54
Motueka Wat. Supply- Serv Chge	\$126.72/meter	1	\$126.72
Regional River Works - Area Z	0.0117c/\$LV	350,000	\$40.95
Stormwater UDA	0.0444c/\$CV	720,000	\$319.68

Warm Tasman Rate

Warm Tasman Home Insulation Rate does not apply for this property.

Rating Valuation

Tasman District Council uses a capital value rating system. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Capital Value	Land Value	Improvements	Valuation Date
\$720,000	\$350,000	\$370,000	01/10/2020

New Rating Valuation

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Rating values are reviewed triennially. If the valuation of this property is going to change in the next rating year, it will show below as the New Capital Value. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

New Capital Value	New Land Value	New Improvements Value	New Valuation Date
\$740,000	\$350,000	\$390,000	01/10/2020

Water Meter Information

Reticulated water: Water usage is charged in addition to rates payable. You should check that the vendor has the water meter read at possession time by requesting a special meter reading.

Water ID	Meter Reader Note	Meter Id	Read Date	Year to date	Last year units
W11382	0.6m LH Bdy	12MC159346	14/03/2023	83	104

Services

This property is serviced under the following water, sewerage, and stormwater schemes.

Scheme or Supply	Service Provided
Tasman Waste Water	Wastewater
Motueka Water Supply	Water Supply
Stormwater UDA	Stormwater

Wheelie Bins

This property has had the following wheelie bin(s) delivered.

Bin Size	Serial Number	Delivered on	Delivered to
Single 240	2415181	08/06/2015	81 Old Wharf Road, Motueka

Services Notes

This property has the following Services notes on file. The Health Drinking Water Amendment Act (Section 69ZH of the Health Act 1956) requires councils to provide information relating to whether the land is supplied with drinking water and, if so, if the supplier is the owner of the land or a networked drinking water supplier. Note: Tasman District Council may not be aware of other drinking water systems connected to properties. There may also be private drinking water supply systems such as rainwater tanks or private bore/wells. Prospective purchasers are advised to clarify the drinking water supply and water quality with the landowner.

Notes
The property is connected to sewer, stormwater and water. Council have no other reticulated services available and no public drains cross the property. Additional stormwater discharge to TDC reticulation will be required to be detained as per the Nelson Tasman Land Development Manual (LDM) 2019, Chapter 5

Protected Trees

No protected trees have been found for this property.

Heritage Buildings

There are no heritage buildings on this property.

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Planning Zones

The following Planning Zones pertain to this property. Please refer to the Tasman Resource Management Plan or contact a Duty Planner for detailed information about what activities can take place in a zone.

Zone	Zone Description
Residential	The Residential Zone primarily provides for residential dwellings. Small-scale home businesses, community activities and facilities may also be appropriate where they are compatible with the residential environment

Consents

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Building Consents

Please note that if a Code Compliance Certificate has not been issued, then the work has not been certified by the Council as complying with the Building Code.

Application Date	BC Number	Proposal	Status	CCC Issue Date
19/06/2017	170664	Install Metro Wee Rad woodburner	Code Compliance Certificate Issued	10/07/2017
23/12/2013	131445	Construct new dwelling with I/A garaging	Code Compliance Certificate Issued	04/09/2014
23/12/2013	131445P	Construct new dwelling with I/A garaging	PIM/TAN Issued	

Compliance Schedule

No Compliance Schedule records are available for this property.

Building Permits

No historical building permits have been found for this property.

Building Notes

No additional building notes have been found for this property.

Swimming Pools

No Swimming Pool records have been found for this property.

Resource Consents

No Resource Consent records are on record for this property.

Planning Permits

No historical planning permits have been found for this property.

Planning Notes

TASMAN RESOURCE MANAGEMENT PLAN (TRMP) CHANGES: From time to time, changes are proposed to the planning provisions in the TRMP. Any such changes are publicly notified so that people can make submissions. Plan Changes may propose to alter zonings, policies or rules, and may affect this property or sites in the surrounding area.

Council-initiated Plan Changes can have some effect from the first day of notification as 'proposed changes'. From time to time Council receives a request for a Private Plan Change. These are processed by Council and have no effect until operative.

A list of all the current Plan Changes can be viewed on the Tasman District Council policy pages at www.tasman.govt.nz/link/trmp.

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Notes

Tasman Resource Management Plan planning maps identify the property is within the Residential Zone, Land Disturbance Area 1 and the Coastal Environment Area. Further information on these Zones and Areas can be found in the Section 2 Maps; Section 4 Glossary and/or on the Tasman Resource Management Plan pages on the Tasman District Council website at www.tasman.govt.nz/link/trmp.

Tasman Resource Management Plan Schedule 16.13C lists a Cultural Heritage Site on the property, N27-100. Any activity on the site will need to comply with Tasman Resource Management Plan Rule 16.13.6.1 or a resource consent will be required. The New Zealand Archaeological Association's Archaeological Site Recording Scheme website (www.archsite.org.nz) may have further records relating to the property. You can contact the ArchSite Coordinator at PO Box 6337, Dunedin or email admin@archsite.org.nz.

Compliance Notes

No notes regarding compliance with permits or consent conditions have been recorded against this property.

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Environmental Health and Licences

No Environmental Health or Licence information has been found for this property.

Licencing Notes

No notes regarding licences have been recorded against this property.

Air Shed

This property does not sit within a controlled Air Shed.

Hazardous Activities and Industries List (HAIL)

No verified HAIL site has been found for this property. However, if the site or any adjacent site has been used for industrial, horticultural or agricultural purposes in the past, we suggest you make further enquiries.

Wetlands

Council is in the process of mapping wetlands across the Tasman District to meet current legislative requirements. Legislation relating to wetlands applies regardless of whether they have been mapped or not.

Pest Inspection History

The Tasman-Nelson region has a Regional Pest Management Strategy for the control of declared pest plants, animals and organisms. The responsibility for the control of pests lies with the land occupier or owner. No pests have been recorded on this property.

Significant Native Habitats

Council has been compiling biodiversity reports (also called Ecological Property Reports or reports on Significant Native Habitats) for the past eight years and where these exist they are available. However, no report has been lodged on this property.

Hazard Notes

These notes include hazard information relevant to this LIM.

SEA LEVEL RISE AND COASTAL HAZARDS MAPPING

We have developed a coastal hazards map viewer which maps the extent of low-lying coastal land in Tasman and Golden Bays that may be affected by sea level rise. The viewer shows a range of sea level rise scenarios, including the effects of higher tides caused by storms. Areas of historical coastal erosion (sediment loss) and accretion (sediment gain), as well as the presence of coastal structures such as stopbanks, walls and rock revetments, have also been mapped.

You can view the coastal hazards map viewer on our website at tasman.govt.nz/link/coastal-management. On our website you will also find more information about the project.

Notes

The northern arm of the Moutere Estuary is located approximately 60 metres west of the property. Ground levels at the property are approximately 3.7 metres elevation (NZVD2016 vertical datum). Mean high water springs at this location is currently 1.73 metres elevation (NZVD2016). This part of the estuary is subject to tidal inflows (moderated by the causeway and Wharf Road tide gates) and freshwater inflows from the Thorp and Woodlands drains. The system of tide gates and drains form part of the stormwater management for a wide area of Motueka. Elevated water levels in the wider estuary can occur when high tides, further elevated by storm surge, coincide with prolonged or intense rainfall in the Motueka urban area. This stormwater system relies on the functioning of the Wharf Road tides gates and that the gates will be shut in times of elevated sea water levels in the wider estuary. As a consequence, the land adjacent to the estuary compartment is potentially exposed to both stormwater and seawater inundation hazards. At the time of subdivision to create this property a minimum ground level was set to allow for projected climate change and associated sea level rise. Climate change projections have been revised upwards since this time. Additional information on coastal hazards can be found on the Council's website (<https://www.tasman.govt.nz/link/coastal-management>). Some detail of the property's geotechnical setting is contained in the attached report prepared by Swanney Geotechnical and Civil Engineering Ltd (dated 26 June 2012). Regional mapping of seismic liquefaction susceptibility was undertaken across the district in 2021. Detail of this mapping and MBIE's requirements pertaining to the construction of buildings on land where liquefaction is possible can be found on the Council's website (<https://www.tasman.govt.nz/liquefaction-map>).

2. Maps

Several maps are included in your LIM:

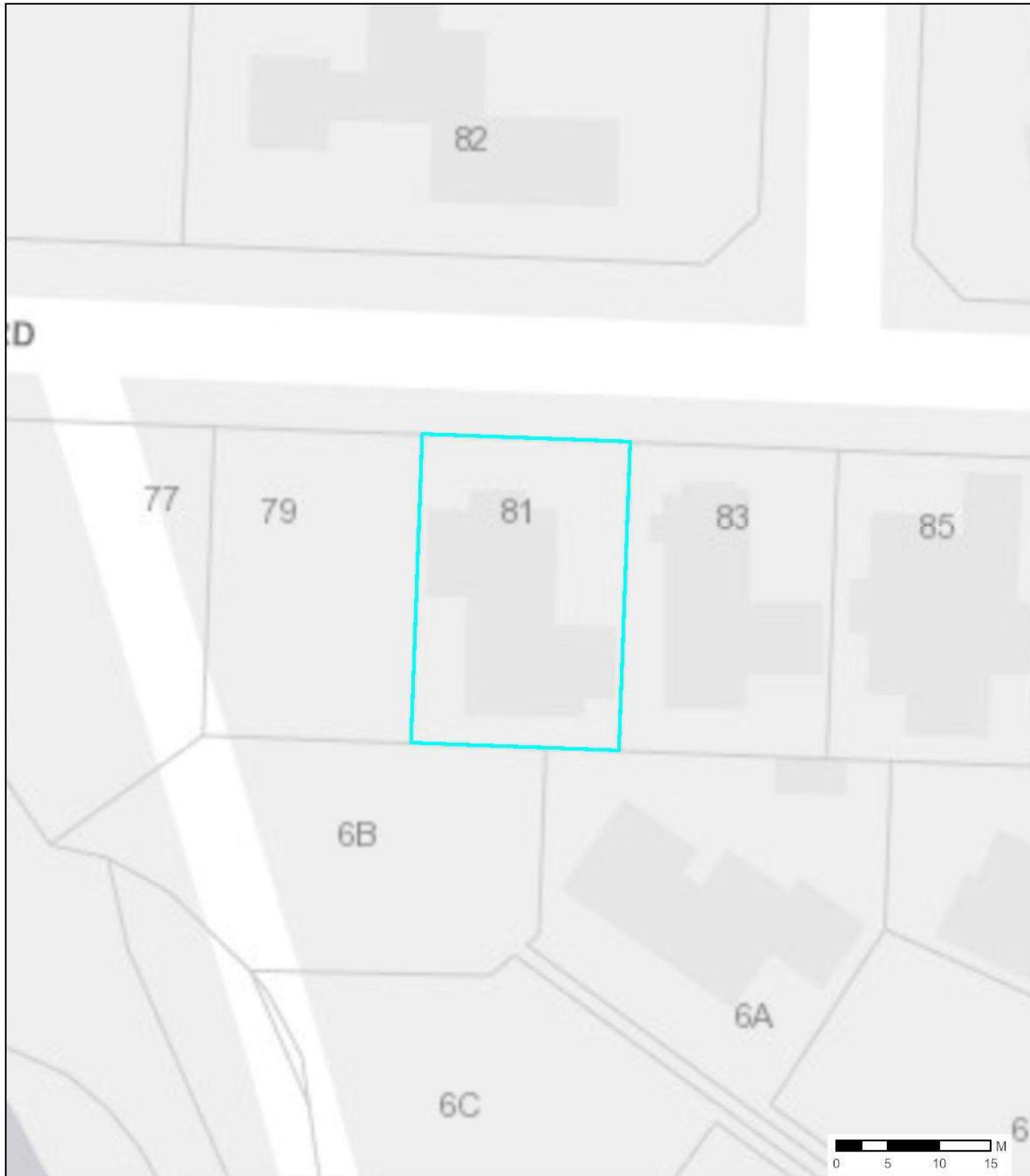
- An aerial overview
- A map of the water and sewer pipes around the property
- A map showing any bores on the property
- A map of the fire ban areas that may apply
- Maps of the Zones and Areas defined in the Tasman Resource Management Plan (TRMP) and their associated legends.

Please note that other rules defined in the TRMP may also apply to this property. The TRMP is available online at www.tasman.govt.nz.



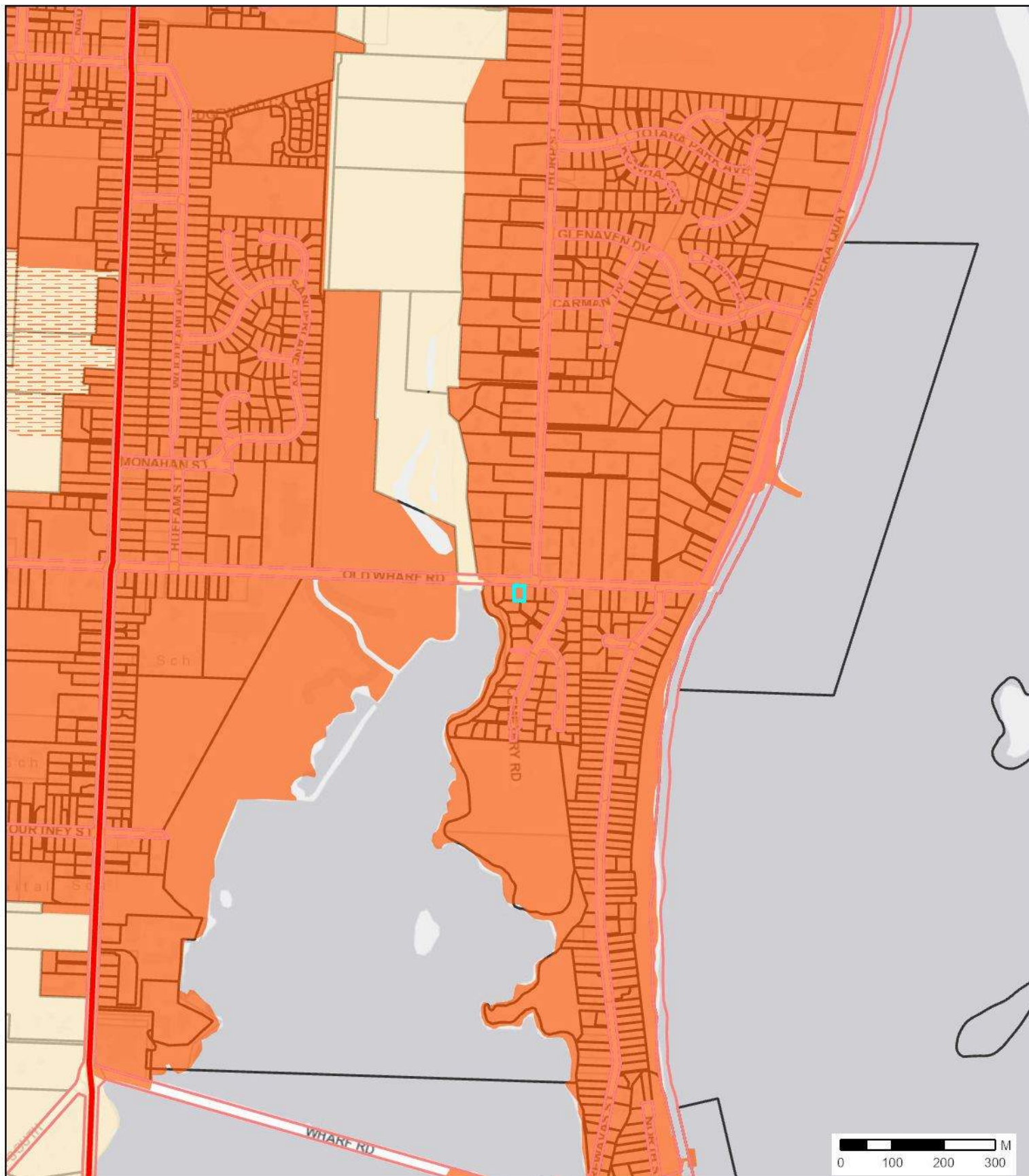
- | | |
|--|--|
|  State Highway Roads |  Valuation Boundaries |
|  Road Boundaries |  Parcel |





- Bores
- Road Boundaries
- Parcel
- State Highway Roads
- Valuation Boundaries





- | | | | |
|--|--|--|--|
|  Obstacle Limitation Surface |  Deferred Fire Sensitive Area |  Fire Sensitive Areas |  Parcel |
|  Deferred Fire Ban Area |  Fire Ban Areas |  Valuation Boundaries | |

Fire Ban Areas Map

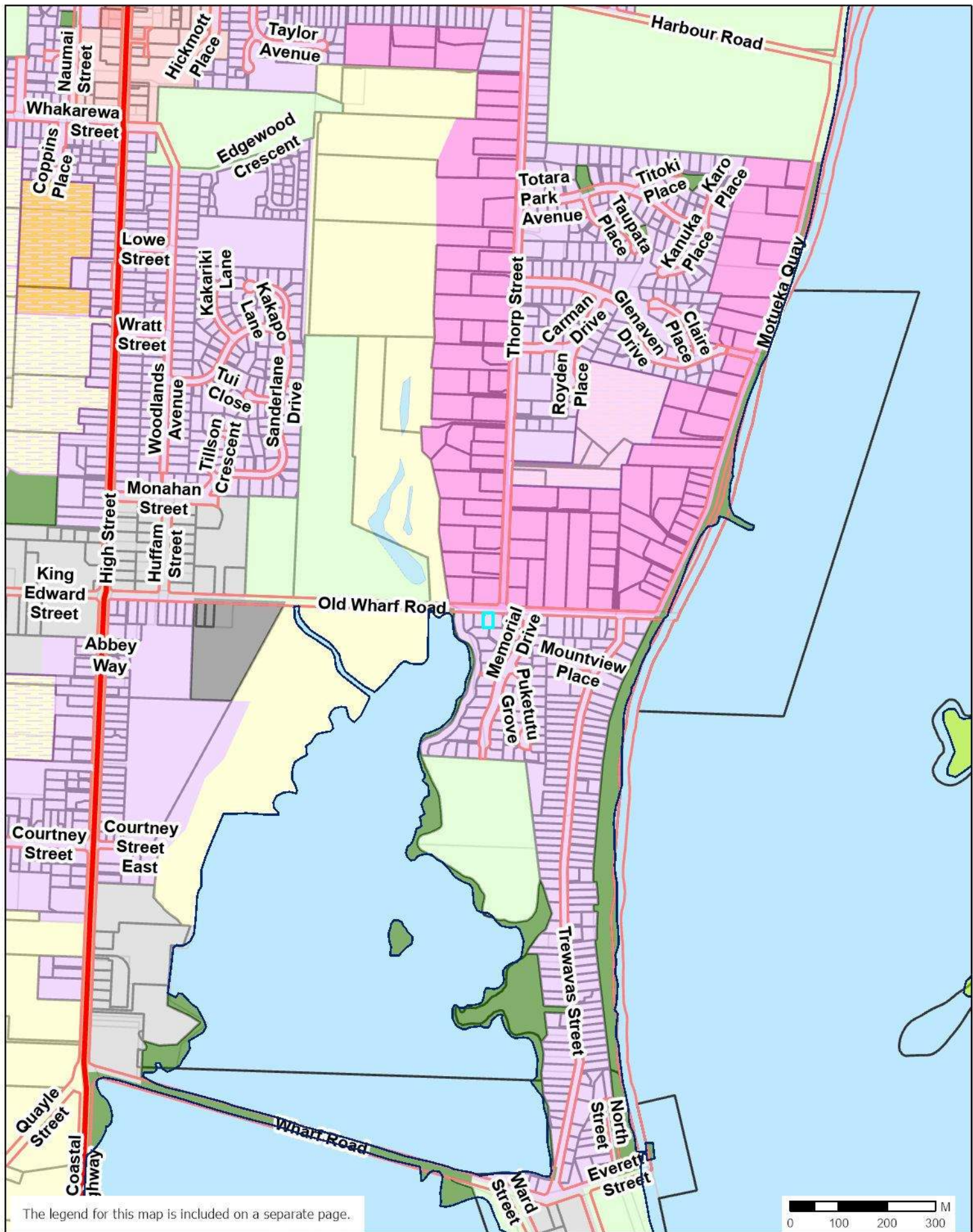
The information displayed is a schematic only and serves as a guide. It has been compiled from Tasman District Council records and is made available in good faith but its accuracy or completeness is not guaranteed

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Scale: 1:10,000
Monday, 17 April 2023

Original Sheet Size 210x297mm



The legend for this map is included on a separate page.

0 100 200 300 M



TRMP Zones Map

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Scale: 1:10,000
Monday, 17 April 2023

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The legend for this map is included on a separate page.

TRMP Areas Map

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ZONE MAPS

	Rural 1		Compact Density Residential Area		Rural 2 deferred Residential
	Rural 1 Closed		Rural Residential		Rural 2 deferred Rural Residential
	Rural 1 Coastal		Rural Residential Serviced		Rural 2 deferred Rural Residential Serviced
	Rural 2		Rural Residential Closed		Rural 2 deferred Mixed Business
	Rural 3		Open Space		Rural 2 deferred Light Industrial
	Central Business		Recreation		Rural Residential deferred Residential
	Commercial		Conservation		Rural Residential Serviced deferred Residential
	Mixed Business		Tourist Services		Recreation deferred Mixed Business
	Light Industrial		Papakainga		Recreation deferred Residential
	Heavy Industrial		Rural 1 deferred Residential		Tourist Services deferred Residential
	Rural Industrial		Rural 1 deferred Tourist Services		Rural 1 deferred Papakainga
	Residential		Rural 1 deferred Mixed Business		Residential deferred Light Industrial
	Residential Closed		Rural 1 deferred Light Industrial		Development Area
	Residential Coastal		Rural 1 deferred Heavy Industrial		Notation
			Rural 1 deferred Rural Residential Serviced		Direction of development

AREA MAPS

	Protected Tree		Indicative Vehicle Access/ Crossing Point		Wastewater Management Area
	Heritage Building : NZ Historic Places Trust Register		Fault Rupture Risk Area		Services Contribution Area
	Heritage Building : Tasman District Council Register		Slope Instability Risk Area		Coastal Environment Area
	View Point		Ridgeline		Coastal Risk Area
	Designation Site		Working Quarry Site		Mooring Area
	Designation Area		Quarry Area		Chemical Hazard Area
	Indicative Development Area		Aquifer Protection Area		Landscape Priority Area
	Indicative Reserve		Significant Natural Area		Electricity Transmission Line
	Indicative Stormwater Retention Area		Recharge Protection Area		Shopping Frontage
	Indicative Road		Land Disturbance Area 2		Retail Frontage
	Indicative Walkway		Residential Activity Restriction Area		Service Lane
	Indicative Waterway		Special Domestic Wastewater Disposal Area		Road Area
					Car Park

3. Additional Information

This section of the LIM includes general information of interest to potential buyers in the area.

- **Civil Defence/Emergency Management**

The Council jointly provides civil defence arrangements with Nelson City Council. Details of alerts and other information can be found on the website at

www.nelsontasmancivildefence.co.nz.

4. Glossary

Term	Explanation/Note
Coastal Environment Area	The Coastal Environment Area is a Tasman Resource Management Plan overlay. Its purpose is to guide the management of Tasman District's coastline. The seaward boundary of the Coastal Environment Area is mean high water springs and the overlay extends approximately 200 metres inland from this boundary. Any building work within the Coastal Environment Area may require resource consent. Rules relating to this area can be found in Section 18.11 of the Tasman Resource Management Plan.
Coastal Risk Area	The Coastal Risk Area is a Tasman Resource Management Plan overlay that extends over parts of Ruby Bay and recognises the extent of coastal erosion and inundation in this area. Any building work within the Coastal Risk Area will need to comply with Tasman Resource Management Plan Rule 18.9.2.1 or a resource consent will be required.
Consent Notice	A consent notice is a form of covenant between the Council and a landowner. A consent notice will be registered on the title alerting current and future property owners of certain obligations that must be complied with on a continuing basis by the property owner. The process to change or cancel a consent notice requires a resource consent application to Council.
Deferred Fire Ban Area	The land is subject to deferred Fire Ban Area provisions which will take effect once the deferrals applying to the land use zones are uplifted. The fire ban provisions mean that outdoor burning will be prohibited except in particular circumstances relating to lot size. Until then the land is subject to Fire Sensitive provisions which limit outdoor burning during winter months.
Electricity Transmission Lines and Towers	Any property identified as having high-voltage electricity lines over or adjacent to the property or there are transmission towers/pylons on or adjacent to the property, the applicant/landowner must ensure that the proposed building or structure complies with the clearances prescribed in the New Zealand Electrical Code of Practice for Electrical Safety Distances (NZECP34:2001).
Fault Rupture Risk Area	This area encompasses active fault systems in the Tasman District. Rules in Section 18.13 apply to activities in this area.
Fire Ban Area	Rules 36.3.2.3, 36.3.3.3 and 36.3.7.3 apply to this property. The Rules are located in the Discharge Section of the Tasman Resource Management Plan. The rules mean outdoor fires (to burn waste paper and vegetation) are prohibited on properties less than 5,000m ² . Where properties are larger than 5,000m ² , resource consent is required to have an outdoor fire (the rules do not apply to barbecues or braziers).

Term	Explanation/Note
Fire Sensitive Area	Rules 36.3.2.3, 36.3.3.3 and 36.3.5.3 apply to this property. The Rules are located in the Discharge Section of the Tasman Resource Management Plan. The rules mean that outdoor fires (to burn waste paper and vegetation) are not permitted during the months of June – August (inclusive) unless where there is disease on a horticultural crop (the rules do not apply to barbecues or braziers). Resource consent to burn other horticultural vegetation can also be sought for fires during June – August.
Land Disturbance Area 1	This covers most of the District and is characterised by generally stable landscapes. Many land disturbance activities are permitted in this area subject to performance standards to maintain appropriate soil and surface water quality values. Consents may be required for some activities on the naturally higher risk terrains within the area such as steep hill country and the karst terrain. The full set of regulatory requirements are found in Section 18.5 “Land Disturbance Areas” of the Tasman Resource Management Plan (TRMP).
Land Disturbance Area 2	This covers the terrain known as Separation Point Granite, where land disturbance activities are known to pose special risks from erosion which may have detrimental effect both on site and off site. Few land disturbance activities are permitted in this area and generally consent is required for activities where mechanical land clearance is carried out on land exceeding 15 degrees and where track and road formation produce cuts greater than 0.5 metres. The full set of regulatory requirements are found in Section 18.5 “Land Disturbance Areas” of the Tasman Resource Management Plan (TRMP).
Landscape Priority Area	The Landscape Priority Area is a Tasman Resource Management Plan overlay that covers parts of St Arnaud and the Takaka Hill. Its purpose is to guide development in a way that protects the unique landscape and natural values of these areas. Any building work within the Landscape Priority Area may require resource consent. Rules relating to this area can be found in Section 18.2 of the Tasman Resource Management Plan.
Obstacle Limitation Surface	The Rule 36.3.3.1(g) relates to the safety of aircraft approaching Nelson Airport. Within the limitation surface area the efflux velocity of any discharge to air does not exceed 4.3 metres per second at a height greater than 60 metres.
Recharge Protection Area	This is an area where establishment of new plantation forest is regulated. Up to 20% new forest can be planted as a permitted activity in these areas - provided council is notified first. Otherwise resource consent is required. The objective for these provisions is to protect surface water yields and groundwater recharge from being reduced because of the rainwater interception effects of tall forest vegetation.

Term	Explanation/Note
Services Contribution Area	Council has made an interim decision for properties in the Services Contribution Area that Council will not provide a reticulated wastewater system. All discharge of domestic wastewater will require a Resource Consent.
Slope Instability Risk Area	This area has particular rules relating to information requirements in relation to ground stability. Rules in Section 18.12 apply to activities in this Area.
Special Domestic Wastewater Disposal Area	Any new discharge of wastewater to land must meet the conditions of Rule 36.1.2.5 of the Tasman Resource Management Plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule). Any developments that increase the potential number of inhabitants, such as additional bedrooms, additional rooms that could be used as bedrooms, second dwellings or sleep-outs will require an upgrade of the wastewater treatment and disposal system so that it meets the conditions of Rule 36.1.2.5 of the Tasman Resource Management Plan (this may include the installation of a system that will treat the wastewater to the standards specified in the Rule), or alternatively a resource consent must be obtained.
Wastewater Management Area	Any new discharge of wastewater to land will require resource consent. The wastewater treatment and disposal system should also meet the conditions of Rule 36.1.3.2 or Rule 36.1.4.2 of the Tasman Resource Management Plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule). Any developments that increase the potential number of inhabitants such as additional bedrooms, additional rooms that could be used as bedrooms, second dwellings or sleep-outs will require resource consent and will require an upgrade of the wastewater treatment and disposal system so that it meets the conditions of Rule 36.1.3.2 or Rule 36.1.4.2 of the Tasman Resource Management plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule).

5. Site Plans & Consent Information

This section of the document contains plans that are on file regarding the site. This may include:

- Resource Consent information
- Floor plans for any buildings on the site
- Drainage plans
- Overall site plans.

Council may hold additional plan information, such as technical specifications for items used in the construction of any buildings. If you would like a full copy of all the documents on file, please contact Customer Services. Note that this can be quite extensive in some cases, and a fee applies.

30 June 2014

Wahanga Limited
C/- Jane Hilson
Planscapes (NZ) Ltd
PO Box 99
Nelson 7040

Dear Jane

**DECISION ON APPLICATION TO CHANGE CONDITIONS FOR RESOURCE CONSENT NO.
RM030708V2 – WAHANGA LTD**

Pursuant to Section 114 of the Resource Management Act 1991 ("the Act"), please find enclosed a copy of the Council's decision on your application to change consent conditions of the resource consent referred to above.

Section 357A of the Act provides you with the right to lodge an objection with the Council in respect of this decision and/or any associated conditions. Any such objection must be made in writing setting out the reasons for the objection and must be lodged with the Council, together with a deposit fee of \$200.00 (GST inclusive), within 15 working days of receiving this letter.

At this stage the Council has not calculated the final costs of processing your application. Should the final costs exceed the deposit already paid, then as previously advised, you will be invoiced separately for these costs. Should the final costs be less than the deposit already paid, then you will receive a refund. Where the costs are equal to the deposit already paid, no further action is required. You will receive a letter shortly regarding the final costs of processing your application.

The changes to your consent take effect immediately unless you lodge an objection to this decision.

Please feel free to contact me if you have any questions regarding any aspect of your consent or its conditions. My contact details are listed at the top of this letter.

Yours faithfully



Mark Morris
Co-ordinator Subdivision Consents

DECISION ON APPLICATION TO CHANGE CONSENT CONDITIONS

Resource Consent Being Changed: RM030708V1 (Land use)
New Resource Consent Number: RM030708V2 (Land use)
Consent Holder: Wahanga Ltd

Pursuant to Section 104B of the Resource Management Act 1991 ("the Act"), the Tasman District Council ("the Council") hereby grants changes to Condition 4 imposed on Resource Consent RM030708V1 (Land Use). The changes are as follows:

4 HEIGHT

The maximum height of new buildings is:

- ~~(a) 6.5 metres for a building sited between 100 metres and 200 metres from mean high water springs;~~
- ~~(b) 5 metres for a building sited less than 100 metres from mean high water springs.~~
- (a) 6.5 metres, measured from a finished ground level of 3.5 metres AMSL, for buildings situated between 100 metres and 200 metres from mean high water springs, but including the whole of those Lots 5, 7 and 33 DP 454691 in Stage 1 and proposed Lots 28-32 in Stage 3 as set out in Plans A and B attached to this consent;
- (b) 5.5 metres, measured from a finished ground level of 3.5 metres AMSL, for any building site less than 100 metres from mean high water springs.

Advice Note: Only those consent conditions which are changed are presented below and the changes are shown either as underlined for additions or ~~striketrough~~ for deletions. For the purposes of clarity, a complete amended set of conditions for the consent is attached at the end of this decision. The revised set of conditions is hereinafter referred to as Resource Consent RM030708V2.

REASONS FOR THE DECISION

Background to the Application and Conditions Requested to be Changed and Reasons

An application has been made pursuant to Section 127 of the Resource Management Act ("the Act") to change Condition 4 of Resource Consent RM030807V1 (Land use), which authorises the construction of dwellings of the lots approved under the subdivision consent RM030807V1. The changes relate to changes to the building height Condition 4. Plans of the proposed allotments with the proposed heights are attached to this consent as Plan A and Plan B. These are discussed in more detail below.

4 Height

This condition is being varied in relation to Lots 3, 4, 8, 9 and 13 to allow for 5.5 metres height and for Lots 5, 7 and 33 to allow for a 6.5 metres height.

Principal Issues (Actual and Potential Effects on the Environment)

The principal issue(s) associated with the application to change the conditions of consent involve the actual and potential effects on the environment associated with the change. The Council considers that the adverse effects on the environment as a result of the changes will be no more than minor for the following reasons:

- (a) The lots are within the Residential Zone, which normally allows a dwelling height of 7.5 metres on allotments of more than 400 square metres. The only reason that it required a resource consent was that the allotments were within the Coastal Environment Area (CEA), which has controlled activity height restrictions of 5 metres for dwellings less than 100 metres from the coast and 6.5 metres for dwellings between 100 metres and 200 metres from the coast.
- (b) Because of the raised ground levels that will be required under the Building Act for the dwelling sites, in order to mitigate long term coastal inundation hazard, the original building heights approved under the original consents, need to be increased.
- (c) The proposed building heights will be well under the 7.5 metre height limited normally required in residential zones outside the CEA.
 - (i) the allotments will be part of an existing urban residential area. The proposed building heights will not change the urban amenity associated with urban residential development;
 - (ii) the dwellings will be well set back from the coast, with other dwellings between them and the coast, together with an esplanade reserve that is being formed as part of the subdivision. The adverse effects of the increased dwelling heights, when viewed from the coast will be less than minor;
 - (iii) the existing consent still requires all dwellings to comply with all other permitted activity rules for dwellings, as set down in the District Plan residential rules.

Relevant Statutory Provisions

Section 127(3)(a) of the Act states that any application to change consent conditions is deemed to be a discretionary activity.

In considering this application, the Council has had regard to the matters outlined in Section 104 of the Act. In particular, the Council has had regard to the relevant provisions of the following planning documents:

- (a) the Tasman Regional Policy Statement (TRPS); and
- (b) the Tasman Resource Management Plan (TRMP).

How the activity relates to the objectives and policies contained within the TRPS and TRMP were covered in the original decision. It is considered that the changes being sought by the Consent Holder do not change these considerations.

Part II Matters

The Council has taken into account the relevant principles outlined in Sections 6, 7 and 8 of the Act and it is considered that granting these changes to the conditions achieves the purpose of the Act as presented in Section 5.

Notification and Affected Parties

The Council's Resource Consents Manager has, under the authority delegated to him, decided pursuant to Section 95 of the Act that the application did not require public or limited notification.

All persons who would otherwise be deemed to be affected persons in relation to the proposed changes to the conditions of consent, have given their written approval

Duration of the Consent

No change can be made to the duration of consent under Section 127 of the Act. This land use consent still expires five years after the date of the issuing of titles for the respective allotments.

This change to conditions of consent is granted on 30 June 2014 under delegated authority from the Tasman District Council by:



Mark Morris
Co-ordinator Subdivision Consents

Plan A
RM030708V2



STAGE 1 Puketutu Subdivision, Old Wharf Road, Motueka – Maximum Building Heights

PLAN "A"

RM030708V2



STAGE 3 Approved Puketutu Subdivision, Old Wharf Road, Motueka – Maximum Building Heights

PLAN B: RM030708V2

FULL SET OF AMENDED CONSENT CONDITIONS FOR RM030708V2 (LAND USE)

B LAND USE

1 DURATION OF CONSENT

As provided for by Section 125 of the Act, the consent period is for five years.

Note:

For the avoidance of doubt, the land use consent commences on the date of deposit of the survey plan.

2 FLOOR LEVELS

The minimum floor level of all buildings to be 3.0 metres above mean sea-level.

3 SETBACKS

New buildings to be set back a minimum of 30 metres from mean high water springs.

4 HEIGHT

The maximum height of new buildings is:

- (a) 6.5 metres, measured from a finished ground level of 3.5 metres AMSL, for buildings situated between 100 metres and 200 metres from mean high water springs, but including the whole of those Lots 5, 7 and 33 DP 454691 in Stage 1 and proposed Lots 28-32 in Stage 3 as set out in Plans A and B attached to this consent;
- (b) 5.5 metres, measured from a finished ground level of 3.5 metres AMSL, for any building site less than 100 metres from mean high water springs.

5 MATERIALS, LANDSCAPING AND COLOUR

That the materials, landscaping and colour of buildings have regard to the amenity and natural character of the locality, including effects on:

- (a) natural features;
- (b) landscape and seascape values;
- (c) significant natural values;
- (d) the nature of any existing development.

6 GENERAL

That all buildings comply with the conditions for a permitted activity under 17.1.4 of the Tasman Resource Management Plan in matters relating to residential site density, building coverage, maximum dwellings per site, outdoor living space, balconies, walls, building envelope – daylight over and around, height, setbacks and wastewater disposal.



STAGE 1 Puketutu Subdivision, Old Wharf Road, Motueka – Maximum Building Heights

PLAN "A"

RM030708V2



STAGE 3 Approved Puketutu Subdivision, Old Wharf Road, Motueka – Maximum Building Heights

PLAN B: RM030708V2

16.13.4 Trimming or Pruning of Protected Tree

C16 9/09
Op 8/12

16.13.4.1 Permitted Activities (Trimming of Protected Tree)

Minor trimming or maintenance of any protected tree listed in Schedule 16.13B is a permitted activity that may be undertaken without a resource consent, if it complies with the following conditions:

- (a) That the work is undertaken in accordance with accepted arboricultural tree care standards.

Means of Compliance

The current arboricultural tree standard used by the Council is the American National Standard for Tree Care Operations 2008 – ANSI A300 (Part 1) - 2017 Pruning.

16.13.4.2 Controlled Activities (Pruning of Protected Tree)

Pruning and trimming of any protected tree listed in Schedule 16.13B is a controlled activity, if it complies with the following conditions:

- (a) The work is undertaken in accordance with expert arboricultural advice.
- (b) The work does not result in the destruction or removal of the tree.
- (c) The pruning work is not in the root zone of the tree.

A resource consent is required and may include conditions on the following matters over which the Council has reserved control:

- (1) Location, manner and timing of pruning and trimming.
- (2) The duration of the consent (Section 123 of the Act) and the timing of reviews of conditions and purpose of reviews (Section 128).
- (3) Bonds and covenants in respect of the performance of conditions, and administrative charges (Section 108).

Non-Notification

Applications for resource consent for an activity under this rule will be decided without public notification and without limited notification.

16.13.5 Destruction or Removal of Protected Tree

C16 9/09
Op 8/12

16.13.5.1 Restricted Discretionary Activities (Destruction or Removal of Protected Tree)

Destruction or removal of any Category B or C protected tree listed in Schedule 16.13B is a restricted discretionary activity.

A resource consent is required. Consent may be refused, or conditions imposed, only in respect of the following matters to which the Council has restricted its discretion:

- (1) Whether the tree is causing or likely to cause serious damage to buildings, persons or services.
- (2) The extent to which any hardship or nuisance caused by the tree can be mitigated.

- (3) Whether any compensatory tree planting or landscape work is necessary on site and whether the tree could be relocated.
- (4) The duration of the consent (Section 123 of the Act) and the timing of reviews of conditions and purpose of reviews (Section 128).
- (5) Bonds and covenants in respect of the performance of conditions, and administrative charges (Section 108).

16.13.5.2 Non-Complying Activities (Destruction or Removal of Protected Tree)

Destruction or removal of any Category A protected tree listed in Schedule 16.13B is a non-complying activity.

A resource consent is required and may include conditions.

16.13.6 Cultural Heritage Sites

C16 9/09
Op 8/12

16.13.6.1 Permitted Activities (Land Use)

Any land use activity in any zone in the District is a permitted activity that may be undertaken without a resource consent, if it complies with the following conditions:

Cultural Heritage Sites

EITHER

- (a) There is no listed cultural heritage site or precinct as listed in Schedule 16.13C present on any part of the land.

OR

- (b) There is a listed cultural heritage site present on any part of the land and the proposed activity will not modify, damage or destroy it.

OR

- (c) The activity is the maintenance and repair of a listed cultural heritage site.

OR

- (d) There is a listed cultural heritage site or precinct present on any part of the land; and:
 - (i) an authority from Heritage New Zealand Pouhere Taonga has been obtained under the Heritage New Zealand Pouhere Taonga Act 2014 to modify, damage or destroy a cultural heritage site; or, written evidence from Heritage New Zealand Pouhere Taonga has been obtained to show that such an authority is not considered necessary; and
 - (ii) the listed cultural heritage site is not a wahi tapu site or highly significant site as identified in Schedule 16.13C.

Notes:

1. The modification, damage or destruction of any cultural heritage site that is an archaeological site under the Heritage New Zealand Pouhere Taonga Act 2014 must be authorised by an authority from Heritage New Zealand Pouhere Taonga.
2. If any cultural heritage site is exposed during site works then all site works must cease immediately. The areas must be immediately secured in a way that any artefacts or remains are untouched. Manawhenua Iwi, Heritage New Zealand Pouhere Taonga, Department of Conservation, and Tasman District Council must be notified, and the Police in the case of human remains, that an archaeological site has been exposed, so that appropriate action can be taken. This includes such persons being given reasonable time to record and recover archaeological features discovered before work may recommence on the site.

CULTURAL HERITAGE SITES						
Site No.	Map No.	Site Type	Site Category	Precinct	Listing ¹	Highly Significant Site
N27-066	AJ18	Midden/Oven	4b-unknown			
N27-067	AK19	Midden/Oven	1-Precinctp	Kina		
N27-068	AK19	Midden/Oven	1-Precinct	Kina		
N27-069	AK18	Midden/Oven	1-Precinct	Kina	Yes	
N27-070	AK18	Midden/Oven	2b-Site (not assessed)			
N27-071	AK18	Midden/Oven	2b-Site (not assessed)			
N27-073	AK19	Defensive-Pa	4b-unknown			
N27-074	AK19	Defensive-Pa	2a-Site (assessed)		Yes	Yes
N27-075	AK19	Midden/Oven	4b-unknown			
N27-078	AL19	Midden/Oven	2b-Site (not assessed)			
N27-081	AL20	Midden/Oven	2b-Site (not assessed)			
N27-082	AL19	Midden/Oven	2b-Site (not assessed)			
N27-085	AL20	Burial-cemetery	4b-unknown			
N27-086	AL20	Midden/Oven	4b-unknown			
N27-087	AL20	Midden/Oven	1-Precinct	Mapua	Yes	
N27-088	AL20	Midden/Oven	1-Precinct	Mapua		
N27-089	AL20	Maori horticulture	1-Precinct	Mapua		
N27-090	AL20	Midden/Oven	1-Precinct	Mapua		
N27-091	AL20	Artefact find	1-Precinct	Mapua		
N27-092	AL20	Burial-cemetery	1-Precinct	Mapua		
N27-093	AL20	Midden/Oven	1-Precinct	Mapua	Yes	
N27-095	AJ18	Midden/Oven	4b-unknown			
N27-100	AJ18	Maori horticulture	4b-unknown			
N27-101	AL20	Midden/Oven	2a-Site (assessed)		Yes	
N27-102	AL20	Midden/Oven	2a-Site (assessed)		Yes	
N27-107	AJ19	Midden/Oven	4b-unknown			
N27-108	AJ19	Working area	4b-unknown			
N27-109	AJ19	Midden/Oven	4b-unknown			
N27-110	AJ19	Midden/Oven	4b-unknown			
N27-113	AL15	Working area	2b-Site (not assessed)			
N27-114	AL15	Working area	2b-Site (not assessed)			
N27-118	AM20	Defensive-Pa	2a-Site (assessed)			Yes
N27-122	AM20	Maori horticulture	4b-unknown			
N27-123	AM20	Working area	2b-Site (not assessed)			
N27-125	AM15	Historic-domestic	2a-Site (assessed)			Yes
N27-126	AM15	Burial-cemetery	2a-Site (assessed)			Yes
N27-128	AL19	Midden/Oven	2a-Site (assessed)			
N27-130	AL19	Midden/Oven	2b-Site (not assessed)			
N27-131	AL20	Midden/Oven	2a-Site (assessed)		Yes	
N27-132	AL20	Midden/Oven	4b-unknown			
N27-133	AM20	Maori horticulture	4b-unknown			
N27-134	AL21	Midden/Oven	2a-Site (assessed)		Yes	
N27-137	AL21	Midden/Oven	2a-Site (assessed)			
N27-138	AK15	Pit/Terrace	2a-Site (assessed)			
N27-139	AL21	Midden/Oven	1-Precinct	Bells Island		
N27-140	AL21	Midden/Oven	1-Precinct	Bells Island	Yes	
N27-141	AM21	Midden/Oven	2b-Site (not assessed)		Yes	
N27-142	AL20	Midden/Oven	4b-unknown			
N27-143	AL19	Midden/Oven	2b-Site (not assessed)		Yes	
N27-144	AL19	Midden/Oven	4b-unknown			
N27-150	AJ17	Burial-cemetery	2a-Site (assessed)			Yes
N27-151	AL15	Gold mining	4b-unknown			
N27-153	AM17	Industrial (unspecified)	4b-unknown			
N27-154	AK18	Artefact find	1-Precinct	Kina		
N27-156	AM20	Midden/Oven	2a-Site (assessed)			
N27-158	AM21	Midden/Oven	2a-Site (assessed)			
N27-160	AM21	Midden/Oven	2a-Site (assessed)			

26 June 2012

The General Manager
Tasman District Council
Private Bag 4
Richmond 7031

Dear Sir,

Wahanga Ltd Puketutu Subdivision, Old Wharf Road, Motueka

Soils Report for Stage 1 Lots 3-9, 13, 33, 50-58

This soils report has been prepared as part of the information required for 224(c) for the above subdivision, in accordance with condition 9 of Resource Consent RM 030708v1, dated 11/10/2007.

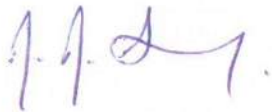
In accordance with condition 9, I certify the following:

1. All of the area within Lots 3-9, 13, 33 & 50-58, as shown on the appended Woods plan 'Puketutu Stage 1, Earthworks Fill Depth As-built Plan 40043-1-AB-015' dated June 2012 is suitable for the construction of residential buildings and satisfies the intent of condition 9 of Resource Consent RM030708v1.
2. The Wood's plan 'Earthworks Fill Depth As-built Plan' gives the extent of cut and fill operations carried out across the stage 1 area.
3. The filling placed on the lots above has been carried out in accordance with the approved design and NZS4431:1989 Earthfill for Residential Development.
4. The ground conditions across the area were found to be consistent with the findings of the Truebridge Callender Beach Ltd Soils Investigation Report, dated 13 July 2003. The site is underlain by sands with areas of increased fines within the sands along the lower lying land.
5. The area was stripped of topsoil and any unsuitable removed prior to commencement of the filling operation. The earthworks were a cut to fill operation, with the sand cut, transported and respread in layers by a Terex TS14 scraper. Compacted was via tracking of the scraper across the fill area. The fill areas were irrigated to aid compaction. The maximum depth mm of fill present is ~1.5m. The respreads topsoil depth across the site is nominally 350mm.
6. Regular observation of the works was carried out throughout the construction of the fills by Jeff Swanney of Swanney Geotechnical and Civil Engineering. The contractor for the project, Downer Construction, carried out the testing of the fill using a nuclear densometer (NDM). On completion, Scala testing was carried out by Swanney Geotechnical and Civil Engineering, with a test carried out in the centre of each lot. These tests indicated

consistently dense conditions across all of the lots, with the certified fill and the cut in-situ ground directly beneath the topsoil layer suitable for shallow foundation design in compliance with NZS3604:2011. Copies of the Scala Penetrometer results are appended. It is recommended additional Scala Penetrometer tests be carried out as per the requirements of NZS 3604:2012 at the time of development of each lot.

It is my opinion, not to be construed as a guarantee, that the completed works give due regard to land slope and stability considerations and that each site within Stage 1 of the subdivision is suitable for the erection of residential buildings.

Yours faithfully,



Jeff Swanney
CPEng, MIPENZ

Swanney Geotechnical and Civil Engineering
2 Bridge St,
PO Box 828,
Nelson

Appended: Woods plans 'Puketutu Stage 1, Earthworks Fill Depth As-built Plan 40043-1-AB-015' dated June 2012
Scala Penetrometer results

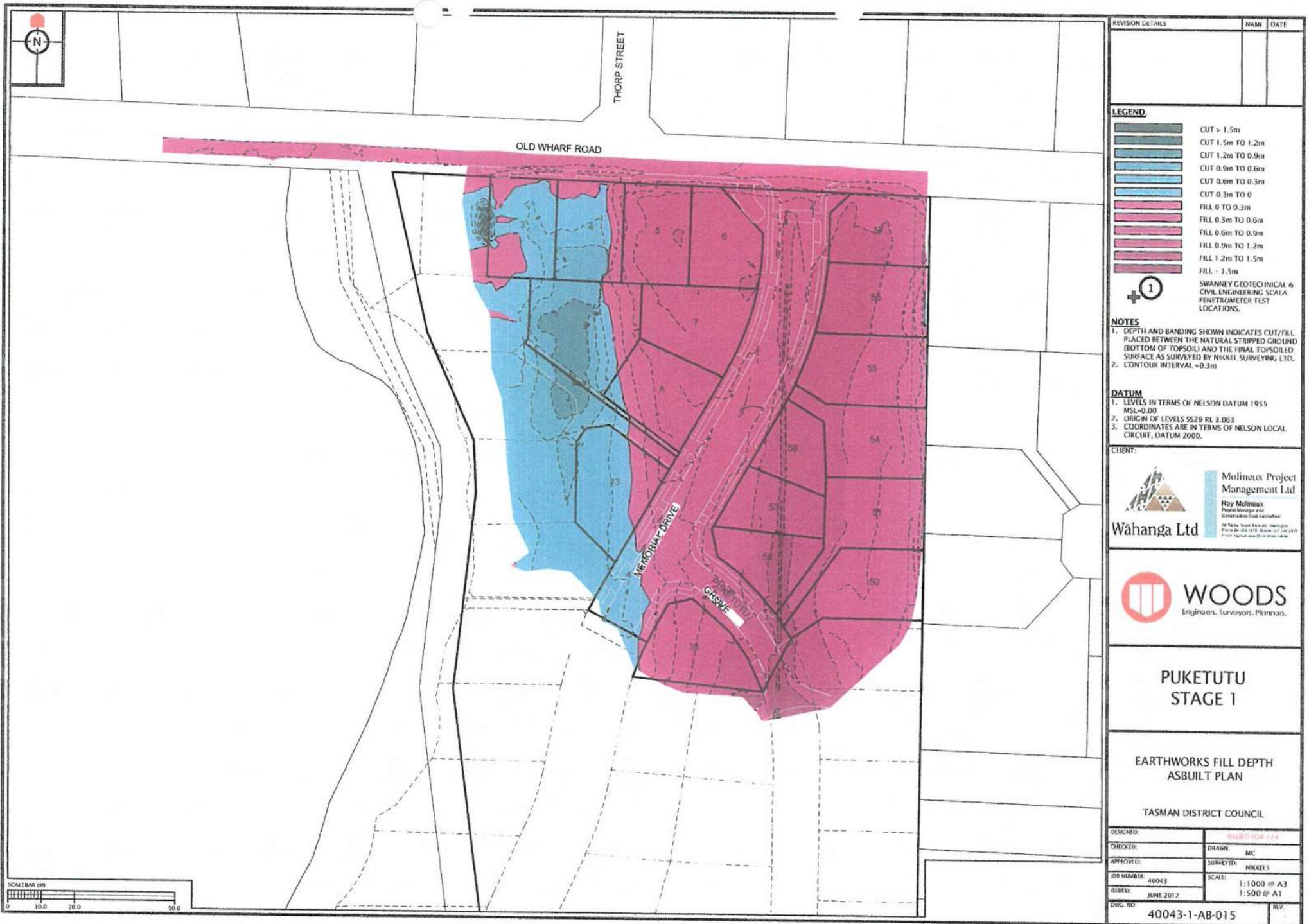
Puketutu Subdivision

Stage 1

Scala Penetrometer test results

1. Test 6.5.2 NZS4402 Determination of the penetration resistance of a soil
2. Results recorded as blows/100mm penetration.
3. Tests at finished ground level. Nominally 350mm of topsoil present
4. Single test carried out in the centre of each lot
5. Testing carried out on 21 June 2012 by Swanney Geotechnical and Civil Engineering

Depth (mm)	<u>Lot</u>																	
	3	4	5	6	7	8	9	13	33	50	51	52	53	54	55	56	57	58
0	1	2	1	1	1	1	2	1	1	1	1	1	1	1	1	2	1	1
100	2	3	2	2	2	2	5	2	1	5	5	2	2	4	3	3	3	3
200	3	5	3	3	2	2	5	4	4	5	5	4	3	4	3	2	3	4
300	7	7	2	4	4	7	5	7	7	8	8	9	9	9	8	3	5	8
400	8	9	11	8	8	10	9	10	10	11	9	8	10	10	11	6	12+	10
500	10	11	12+	10	10	12	11	9	9	12	12+	11	12	12+	12+	10		11
600	12+	8		12+	12		12	12	12			11				12		
700		5										10						
800		6																



Code Compliance Certificate

BC170664

Form 7: Section 95, Building Act 2004

The building

Street address of building: 81 Old Wharf Road, Motueka
Legal description of land where building is located: Lot 3 DP 454691
Valuation number: 1955036002
Current, lawfully established, use: Residential home
Year first constructed: 2014

The owner

Name of owner: Scott Jacqueline & The Legal House Trustees No 3 Limited
Mailing address: 81 Old Wharf Road, Motueka 7120
Phone number: Landline: 035403344
Email address: jacqui.scott50@gmail.com
First point of contact for communications with the council/building consent authority:
As above

Building work

Building consent number: 170664 Issued by: Tasman District Council
Install Metro Wee Rad woodburner: Intended Use: Heating

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that —
(a) the building work complies with the building consent.



Signature
On behalf of: Tasman District Council

Position

Date: 10/07/17

Installer & BI to check clearances on site

No window coverings to hang within the combustible zone of the burner.

NOTES:

Both to have 1/30 min. Ceramic tile backsplash
1/6" maximum water absorption embedded with an
adhesive specified by the tile manufacturer, all joints to
have waterproof grout, substrate must be suitable
for application in all wet areas rooms.

1/8" standard plywood with painted/water resistant
coat and waterproof enamel top coat to all wet areas,
paint to comply with NABCE §3.3.2

min downlights to be CA rated

kitchen rangehood to be vented through wall.
 bathroom/closete extractor fans to be vented through wall

R2.4 fibreless insulation in external walls (excluding garage and party wall between garage and dwelling)
R2.5 fibreless to all roofs (excluding garage)

all smoke alarms to comply with UL 217, III - 5511, 35
1736 or B55-116 - part 1 and have hush buttons.

¹² external (cold water only) hose taps

electric hot water cylinder to be installed with pressure, relief and tempering valves, hot water pipe working as per NZS 1304

hot water cylinder to be secured with suitable restraints and temperature set as per G12/451

bench top cut out for cooktop to be 60mm from wall

all symbols to be strictly proprietary until

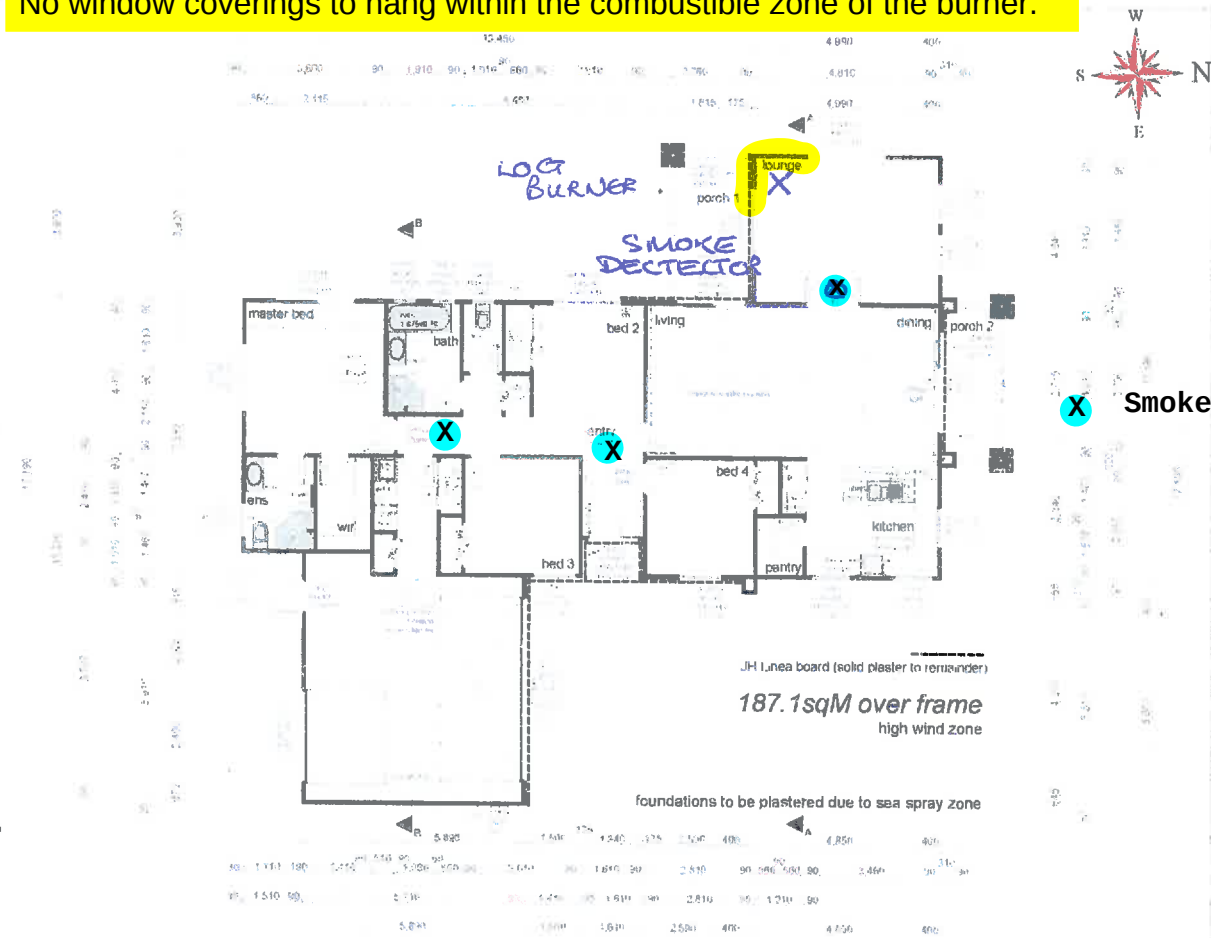
in 100% weatherproof over 20mm 15 l treated timber cavity battens.
(remains of cladding in bitumen plaster)

all dimensions are to framing unless otherwise stated

all wall framing to be 11.2 treated lumber
CLADEBARING: 00415 SGB with studs at 600mm max c/s
NOM-1 (CLADEBARING: 00415 SGB with studs at 600mm max c/s

all roof framing to be W1.2 treated lumber

an arch and beams to be designed in accordance with roof truss design



X Smoke alarms

Orange Building Group Ltd

lot 3, 81 Old Wharf Rd, Motueka



13015
scale 1:100
19;12;13

floor plan 1:100

2

of 13

Code Compliance Certificate

Form 7: Section 95, Building Act 2004

The building

Street address of building: 81 Old Wharf Road, Motueka
 Legal description of land where building is located: Lot 3 DP 454691
 Valuation number: 1955036002
 Building name:
 Location of building within site/block number: Level/unit number:
 Current, lawfully established, use: Dwelling
 Year first constructed: 2014

The owner

Name of owner: Orange Building Group Limited
 Contact person: James Petersen
 Mailing address: PO Box 3441, Richmond 7050
 Phone number: Mobile: 021511076 After hours: 035439002
 Email address: james@obg.co.nz
 First point of contact for communications with the council/building consent authority:
 As above

Building work

Building consent number: 131445 Issued by: Tasman District Council
 Construct new dwelling with I/A garaging: Intended Use: Housing - detached

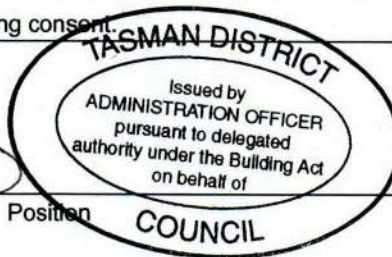
Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

(a) the building work complies with the building consent.

Signature
 On behalf of: Tasman District Council

Position



Date: 4/09/14

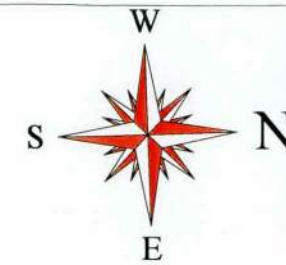
1. all plumbing to NZBC G13/AS1
2. 100mm dia. uPVC S.W. drain to fall at gradients shown
100mm dia. uPVC S.S. drain to fall at min. 1:60
3. all underslab plumbing to fall at 1:40, unless otherwise shown
4. keep finished ground level 225mm below floor slab level,
keep protected ground level 150mm below
5. any drain less than 500mm below f.g.l. to be covered by 75mm concrete
6. confirm all construction heights from a second peg or datum height
7. building pad with positive drainage away from house

E1/AS1 downpipe calculation:
0-25 degree roof pitch/ quad gutter-
1 x 80mm downpipe per 85 sqM of roof
(gutter capacity 6,830sqmm- 66 sqM only)
between gables 48.8 sqM=1 downpipe
main roof- 204.9 sqM = 4 downpipes

ground floor- 187.1sqM
entry porch- 1.2sqM
dining porch- 4.2sqM
lounging porch- 6.6sqM
total- 199.1sqM

net site- 605 sqM
32.9% coverage
(33% max. coverage)

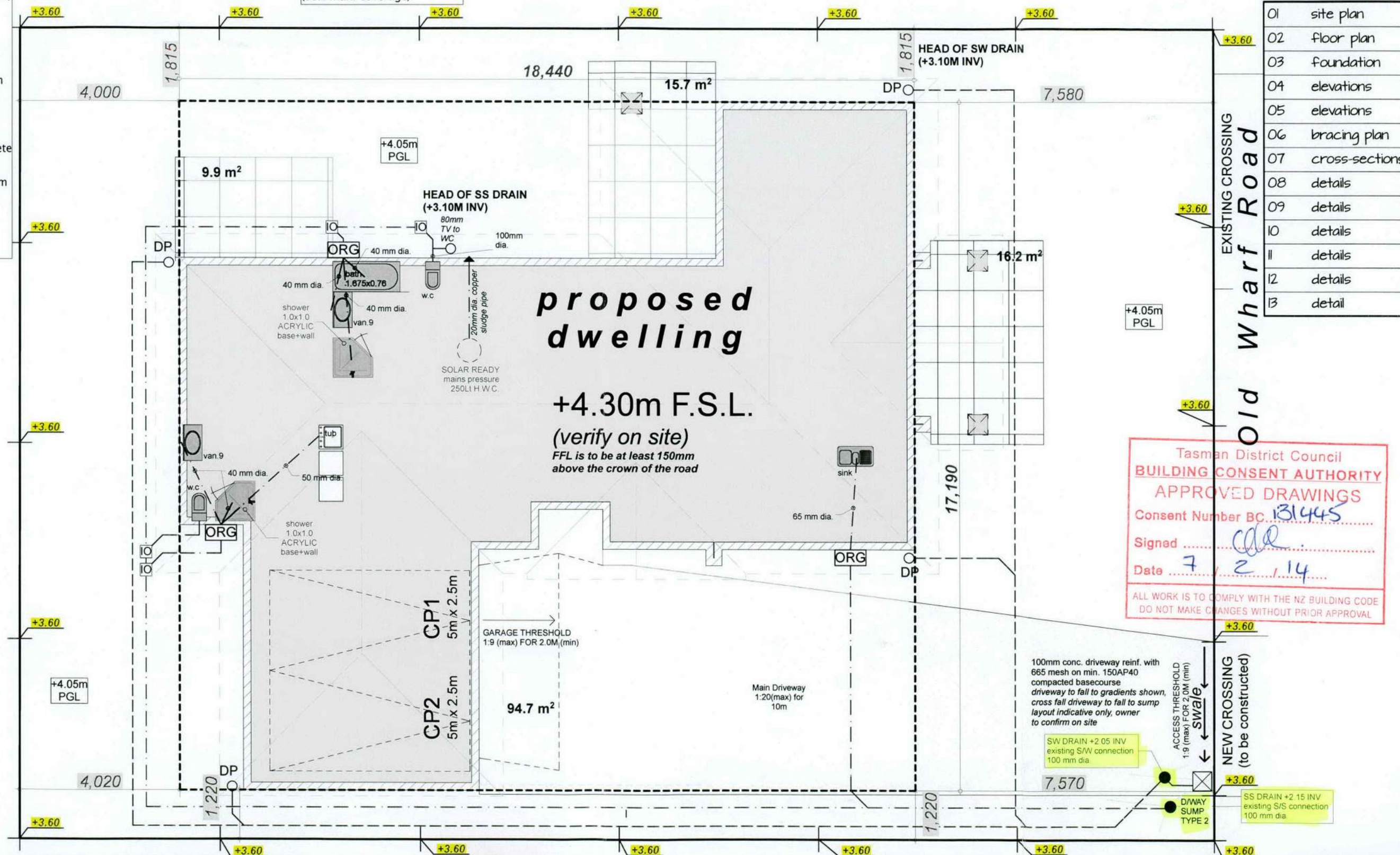
earthquake zone- 2
wind region- A
wind zone- HIGH
site subsoil- D/E
corrosion zone- D
snow zone- N3



Lot 3
DP- 454691
605 sqM
(residential zone)

Val. No. TBA

01	site plan
02	floor plan
03	foundation
04	elevations
05	elevations
06	bracing plan
07	cross-sections
08	details
09	details
10	details
11	details
12	details
13	detail



Orange Building Group Ltd
lot 3, 81 Old Wharf Rd, Motueka



13015
scale 1:100
30/01/14

site plan 1:100

drawn by:
James Petersen Page 44 of 49

1

of 13

NOTES:

bath to have 150mm min. Ceramic tile backsplash (6% maximum water absorption) embedded with an adhesive specified by the tile manufacturer. all joints to have waterproof grout, substrate must be suitable Gib Aqualine to all wet area ceilings
Gib standard plasterboard with pigmented sealer bottom coat and waterbourne enamel top coat to all wet areas, paint to comply with NZBC E3 3.1.2

all downlights to be CA rated

kitchen rangehood to be vented through soffit, bathroom/ensuite extractor fans to be vented through soffit

R2.4 fibreglass insulation batts to external walls (excluding garage) and party wall between garage and dwelling,
R3.6 fibreglass to all ceilings (excluding garage)

all smoke alarms to comply with UL217, ULC-S531, AS alarm 3786 or BS5446- part 1 and have hush buttons

external (cold water only) hose taps

electric hot water cylinder to be installed with pressure, relief and over-riding valves, hot water pipe lagging as per NZS4305

hot water cylinder to be secured with seismic restraints and temperature set as per G12/AS1

bench top cut-out for cooktop to be 60mm from wall

all showers to be acrylic proprietary units

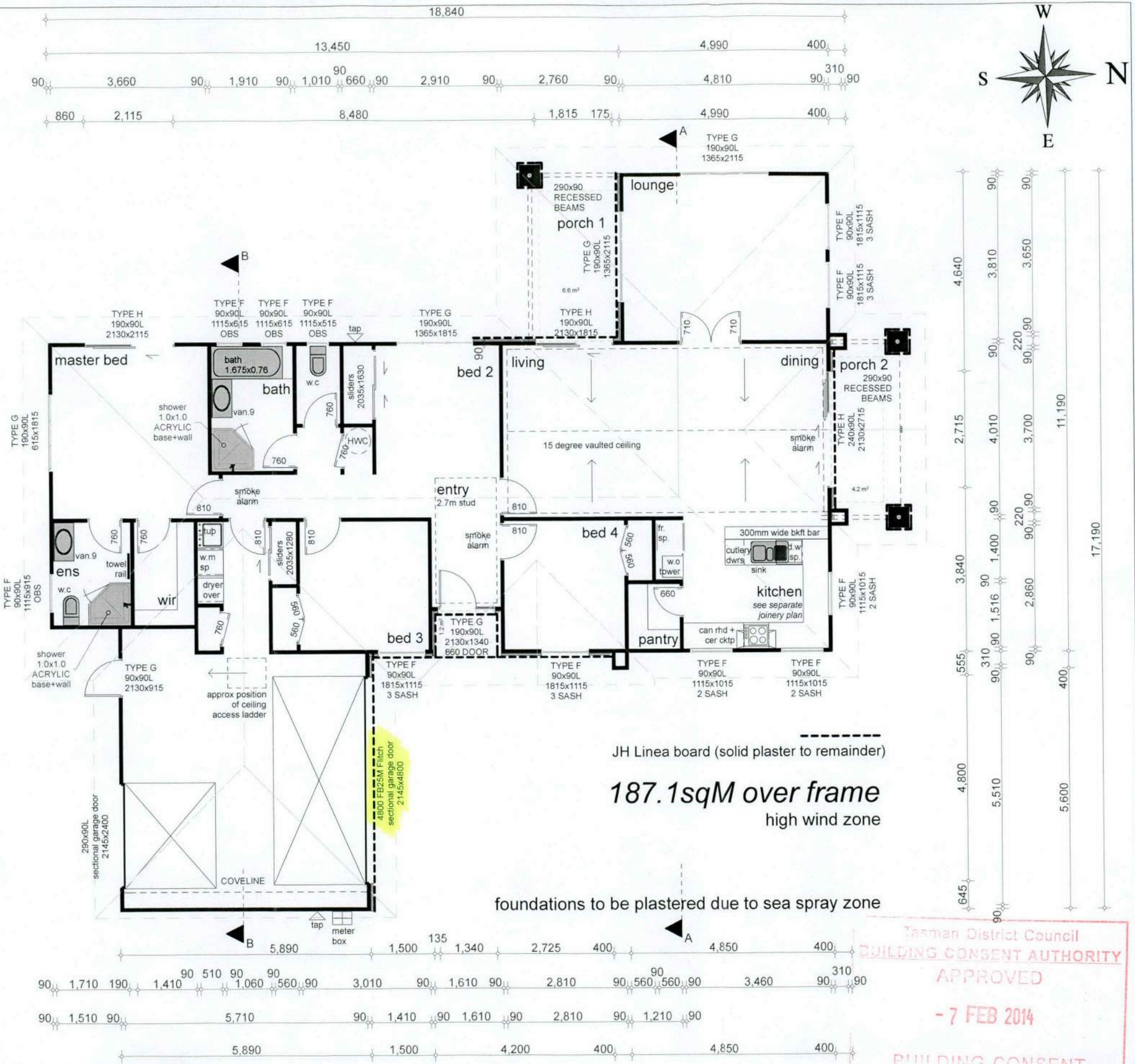
JH Linea weatherboard over 20mm H3.1 treated timber cavity battens, (remainder of cladding to be solid plaster)

all dimensions are to framing unless otherwise stated

all wall framing to be H1.2 treated timber
LOADBEARING-90x45 SG8 with studs at 600mm max crs
NON-LOADBEARING-90x45 SG8 with studs at 600mm max crs

all roof framing to be H1.2 treated timber

all lintels and beams to be designed in accordance with roof truss design



JH Linea board (solid plaster to remainder)
187.1sqM over frame
high wind zone

foundations to be plastered due to sea spray zone

Tasman District Council
BUILDING CONSENT AUTHORITY
APPROVED
- 7 FEB 2014
BUILDING CONSENT

Orange Building Group Ltd
lot 3, 81 Old Wharf Rd, Motueka



13015
scale 1:100
28/01/14

floor plan 1:100 **2**

drawn by:
James Petersen

NOTES:

all external p.c. aluminium joinery to be double glazed, except garage

SG
all glazing to NZS:4223, safety glass to bathroom and ensuite

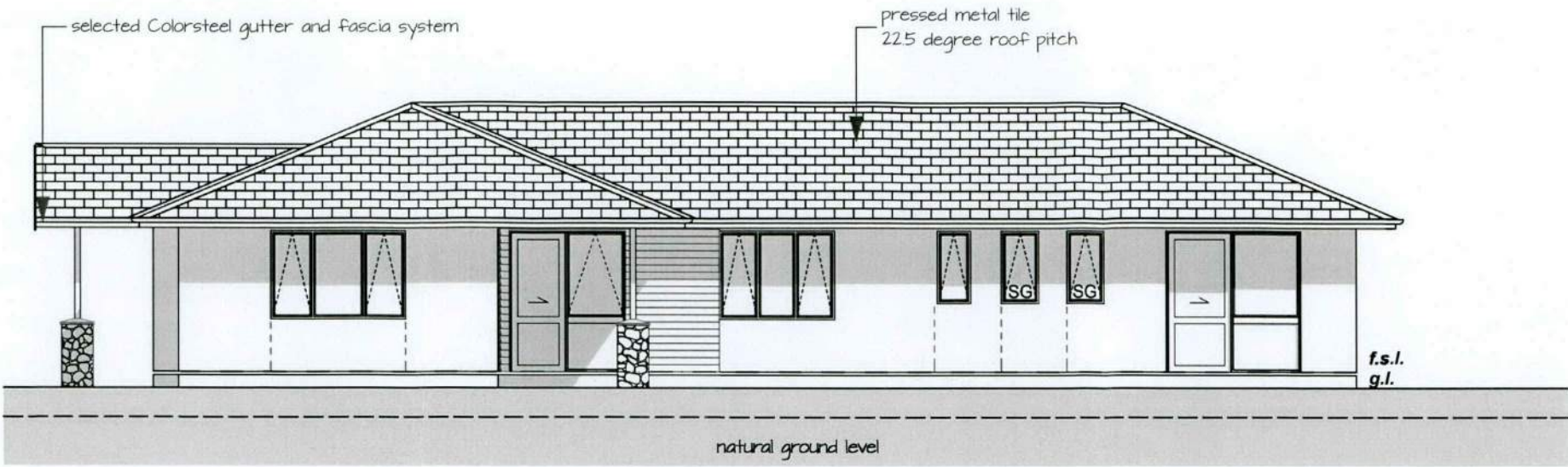
WR
denotes sashes to be fitted with restrictor stays

solid plaster control joints (not expressed)

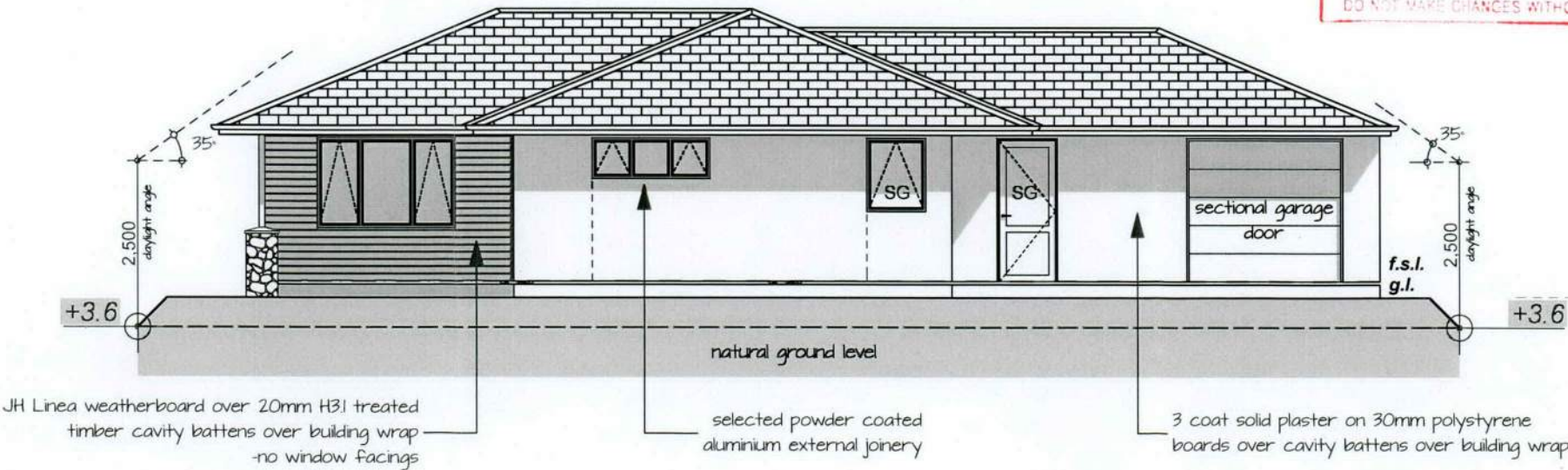
all gable roofs to have 1 pair of diagonally opposed 25x1mm
MS galvanised strap (4.0kN tension) for every 50sqM of roof

rix with 3/ 60 x 3.15 hand driven nails to the top plate and
top roof member, 2 nails to roof members in between

BUILDING ENVELOPE RISK MATRIX		
worst case		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4



elevation 1



elevation 2

Orange Building Group Ltd
lot 3, 81 Old Wharf Rd, Motueka



13015
scale 1:100
20/12/13

elevations 1:100

drawn by:
James Petersen

NOTES:

all external p.c. aluminium joinery to be double glazed, except garage

SG
all glazing to NZS:4223, safety glass to bathroom and ensuite

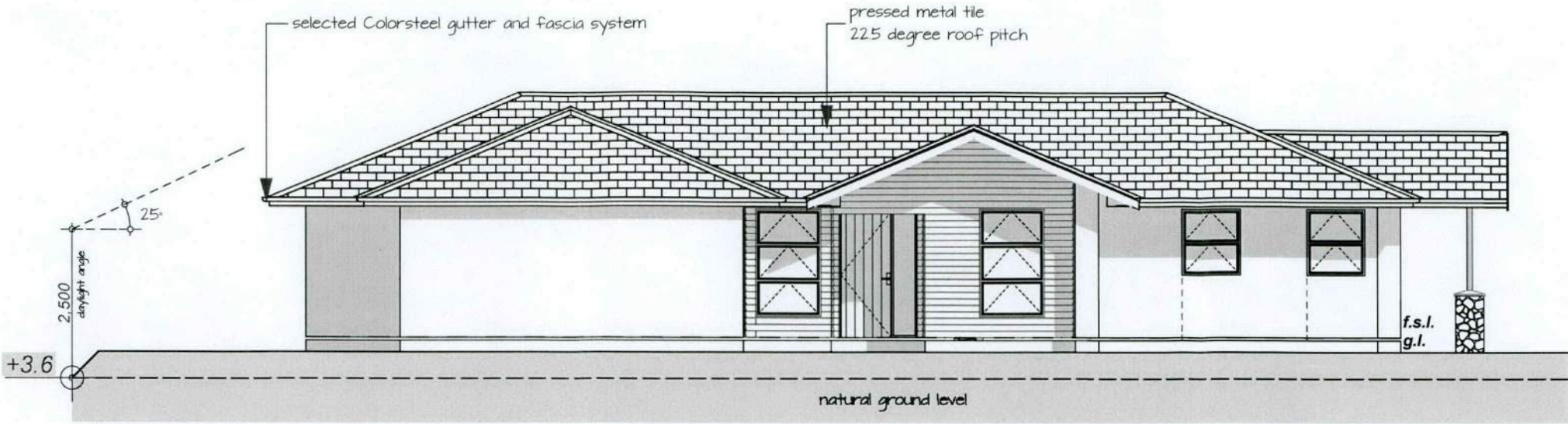
WR
denotes sashes to be fitted with restrictor stays

solid plaster control joints (not expressed)

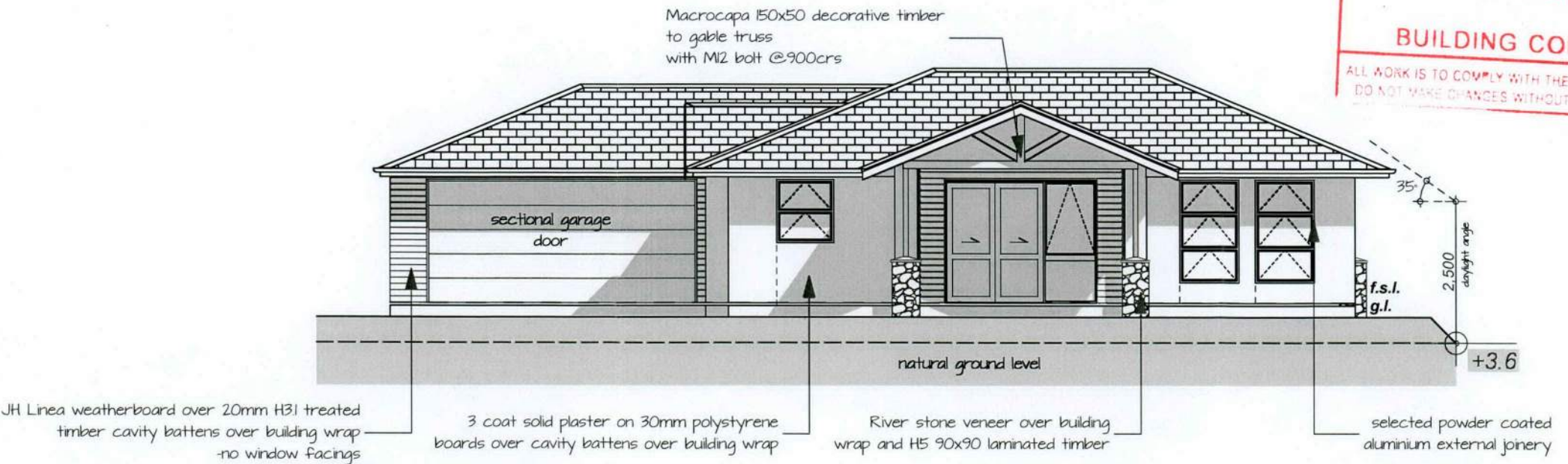
all gable roofs to have 1 pair of diagonally opposed 25x1mm
MS galvanised strap (4.0kN tension) for every 50sqM of roof

fix with 3/ 60 x 3.15 hand driven nails to the top plate and
top roof member, 2 nails to roof members in between

BUILDING ENVELOPE RISK MATRIX		
worst case		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4



elevation 3



elevation 4



Orange Building Group Ltd
lot 3, 81 Old Wharf Rd, Motueka



13015
scale 1:100
20/12/13

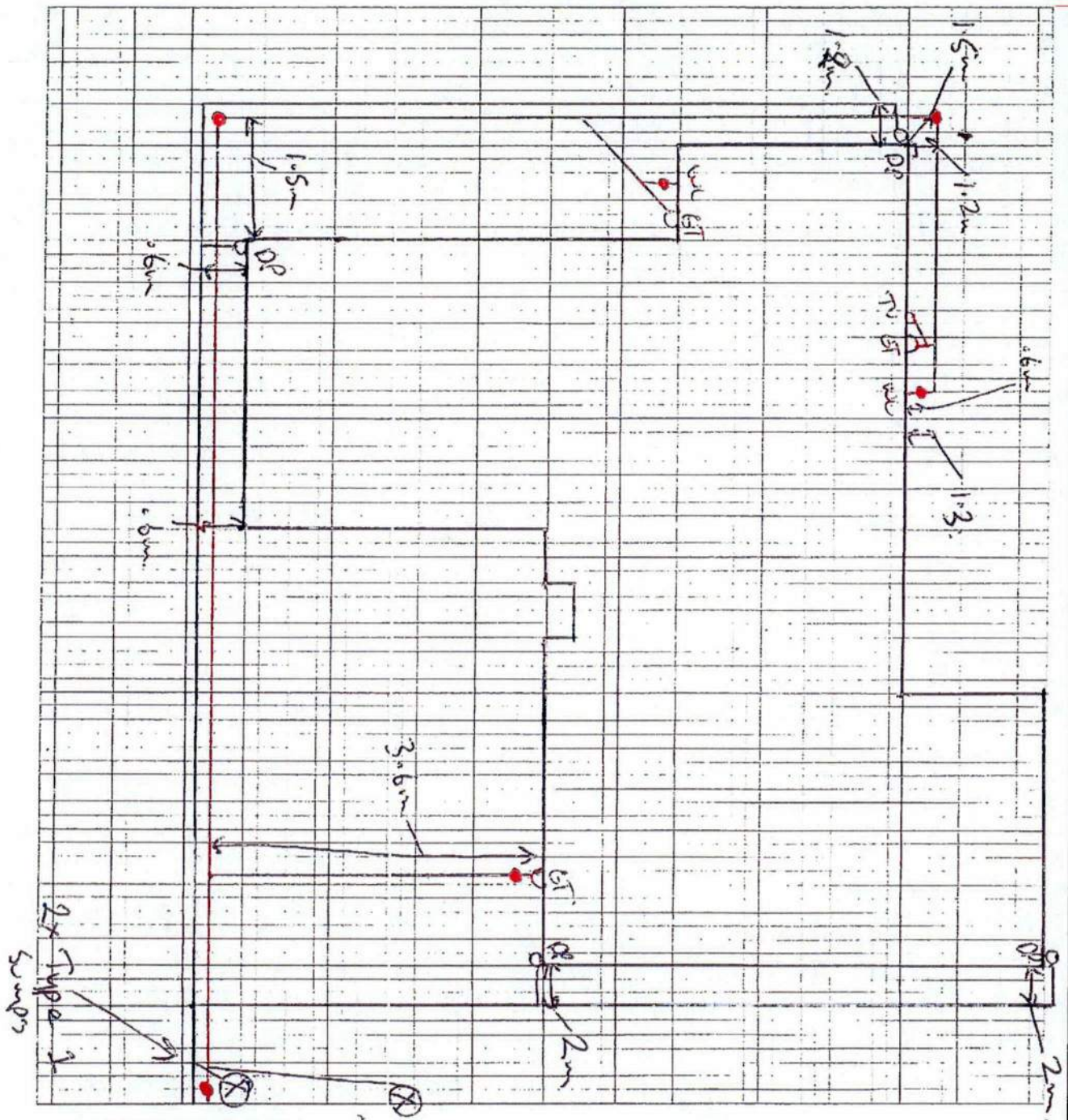
elevations 1:100

drawn by:
James Petersen

DRAINLAYING FIRM Drainmax
PROPERTY OWNER ORB - Ltd.
DATE 6/5/14.

BUILDING CONSENT NO. 131445
LOCATION/STREET 81 Old Wharf Rd.
TOWNSHIP Motueka.

DRAINAGE PLAN



INSTALLED TO BUILDING CODE
SIGNED BY REGISTERED DRAINLAYER _____

INSPECTED BY _____