



APPLICATION FOR

RECEIVED
WANGANUI DISTRICT COUNCIL

- ☐ PROJECT INFORMATION MEMORANDUM AND/OR
☒ BUILDING CONSENT OR
☐ ALTERATION TO EXISTING BUILDING CONSENT

23 NOV 2005

(Please tick appropriate box)

Building Consent or PIM No: 05/222

Section 32 or Section 45, Building Act 2004

The Building Street Address: 27 Ward Street Wanganui		The Owner Owners Name: J Langford Contact Person: — Mailing Address: 27 Ward Street Wanganui	
Legal Description: Lot: — DP: —		Street Address: — (Registered Office)	
WDC Property No: 9554 Building Name: — (if applicable)		Phone: — Mobile: — Fax: — Afterhours: — Email: — Website: —	
Level/Unit No: — (if applicable) Area: — m ² Current Use: — Year first constructed: — (if applicable/or approx, year)			
Agent (please fill in if owner not applying) Name: Jamie O'Leary Builders Mailing Address: PO Box 5108 Wanganui Street Address: 24 Gibson Street Aramoho Wanganui		Contact Person: Dave Kuzman Phone: 06 3435007 Mobile: — Fax: 06 3435002 Afterhours: — Email: jamieo@extra-co.nz Website: — Relationship to Owner: Builder First Point of Contact: The Owner (please circle one) <u>The Agent</u>	
The following evidence of ownership is attached to this application: Please tick those that are applicable 1. Certificate of Title ☐ 2. Lease Agreement ☐ 3. Agreement for Sale and Purchase ☐ 4. Other... (please give details) ☐		Signature of owner /agent on behalf of and with authority of the owner - (please delete one) Dated: 22/11/2005 Consent Fee to be paid by: (please circle one) Owner <u>Builder</u> Plumber Designer Agent	

The information provided will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising

PTO

The Project

Description of Building Work:

New wet area shower,
and easy steps.

Will the building result in a change of use: **YES** **NO** (please circle one)

If yes, please provide details of new use:

Intended life of the building if less than 50 years:

15 years

Building Consent Numbers of those building consents previously issued for this project (staged project):

n/a.

Estimated value of building work including GST \$:

7,890-75

Project Information Memorandum

The following matters are involved in the project:

(please tick the appropriate project)

- | | |
|--|---|
| ☐ Subdivision | ☐ Alterations to land contours |
| ☐ New or altered connections to public utilities | ☐ New or altered locations and/or external dimensions of buildings |
| ☐ New or altered access for vehicles | ☐ Building work over or adjacent to any road or public place |
| ☒ Disposal of stormwater and waste water | ☐ Building work over existing drains or sewers or in close proximity to wells or water mains |
| ☐ Other matters known to the applicant that may require authorisation from the Territorial Authority as listed below: | |
| ☐ | ☐ |

Attachments

The following documents are attached to this application: (please tick those that are applicable)

- | | |
|---|--|
| ☐ Plans and Specifications | ☐ Development Contribution Notice |
| ☐ Project Information Memorandum | ☐ Certificate attached to PIM |
| ☐ Copies of other Authorisations | ☐ Producer Statement |
| ☐ Truss Layout plan | ☐ Fire Design Analysis |
| ☐ Other (provide details): | ☐ Other (provide details): |

Please give Building Consent details

The following plans and specifications are attached to this application (all plans and specifications must meet the minimum requirements set out in the regulations or required by the building consent authority):

[Please schedule pages/documents supplied]

- 1 = Schedule index
- 2 = Handrail specification
- 3+4 = Slide rail with flexihose specification
- 5 = Wet area shower specification
- 6 = Existing + proposed part floor plan
- 7 = House floor plan

provided by
Enable N2

Cont'd

Compliance Schedule

(please tick one of the appropriate boxes):

- ☐ The specified systems and features for this building are as follows:
- ☐ The following specified systems and features are being altered, added to, or removed in the course of the building work:
- ☒ There are no specified or features in this building:

Designer:	Name: Enable Funding NZ # Address: Jamie O'Leary Builders Ltd Phone: _____ Mobile: _____ Fax: _____ Email: _____
Builder:	Name: Jamie O'Leary Builders Ltd Address: PO Box 5108 - Wanganui 24 Gibson St - Wanganui Phone: 06 3435007 Mobile: _____ Fax: 06 3435002 Email: jamieo@extra.co.nz
Craftsman Plumber:	Name: Combined Plumbers Licence No: _____ Address: 17 Portal Street - Wanganui PO Box 7090 - Wanganui Phone: 06 3478936 Mobile: _____ Fax: 06 3478936 Email: _____
Registered Drainlayer: N/A	Name: _____ Licence No: _____ Address: N/A Phone: _____ Mobile: _____ Fax: _____ Email: _____
Electrician:	Name: Wanganui Electrical Services Address: Chr. Glasgow & London Streets Wanganui Phone: 06 3450638 Mobile: _____ Fax: 06 3456177 Email: _____
Other: N/A	Name: _____ Licence No: _____ Address: N/A Phone: _____ Mobile: _____ Fax: _____ Email: _____

OFFICE USE ONLY

BCA		Fees	
Date application received:		Building Consent Application	\$ 100.00
Receiving Officer:		Building Consent Issue	
Receipt No:	149884	PIM	
Date of receipt:	24/11/05	Building Levy (DBH)	
		BRANZ Levy	
		Stormwater Connection	
		Vehicle Crossing	
		Sewer Connection	
		Water Connection	
		Development contribution levy	
		NZFS Alternative Solution	
		Resource Consent	
		Relocation Bond	
		Other	
		Total:	\$

Processing

Unit	Checks				Inspections	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	SL	23/11/05					
Planning							
Fire Design (referred to NZFS)							
Building						SL	5-12-05
Drainage (utilities)							
Water (utilities)							
Structural							
Plumbing/Drainage						SL	5-12-05
Roading							
Health							
Dangerous Goods							

Approved for Issue of PIM/Building Consent

Approving Officer:

Date: - 6 DEC 2005/

Notes:

Wanganui District Council

PO Box 637, Wanganui

Phone (06) 349-0001

Visit our Web Site www.wanganui.govt.nz

OFFICIAL RECEIPT

GST Reg No 51-668-324

24/11/2005

Receipt No: 149884

To J O'Leary

<u>Type</u>	<u>Reference</u>	<u>Amou</u>
GL Receip	ZPRECONSENT	\$100.0
27 Ward St new wet area shower		
Total:		\$100.0

Amounts Tendered :

Cheque	\$100.00
Total	\$100.00
Rounding	\$0.00
Change	\$0.00

Printed 24/11/2005 9:51:27 a.m.



PREPAID - TAX INVOICE

GST Number 51-668-324

Payers Name:

Jamie O'Leary

For Building Consent:

Reference No:

Date: 23/11/05

YOUR APPLICATION WILL NOT BE PROCESSED UNLESS THE FEE IS PAID

Location of project

Description of project

27 Ward St

New wet area shower

Reference

Details

Amount (Incl GST)

- | | |
|---|-----------|
| 1. Building Consent Project Type – application fee (see over) | \$ 100.00 |
| 2. Resource Consent - deposit | |
| • Land use - Non-Notified | \$ |
| • Subdivision - Notified | \$ |
| 3. Other - Aerial photographs @ \$5.00 each | \$ |
| - Plan Searches @ \$5.00 each | \$ |
| - Rural Rapid Numbers (New) @ \$40.00 each | \$ |
| - Large Plan photocopying A2 @ \$4.00 each, | \$ |
| A0 – A1 @ \$6.00 each. | \$ |

Total application fee/deposit

\$ 100.00

WHEN PAID THIS FORM WILL BE PART OF YOUR CONSENT APPLICATION AND MUST BE ATTACHED TO THE CONSENT APPLICATION BEFORE IT WILL BE PROCESSED.

PLEASE RETURN TO CUSTOMER SERVICES



TOTAL INSPECTION TIME REPORT

Building Consent Number BCon05/2262

Total Estimated Inspection Time	45
Total Actual Inspection Time	0
Inspection Time Difference	45
At BC Issue	Time to be charged.
At Completion	Positive amount = time to be credited Negative amount = time to be charged

Signed for and on behalf of the Wanganui District Council

Schedules

- Access Ramp
- Cavity Slider
- Door Widening
- Easy Steps
- Fence/Gate
- Handrails (under \$500 inc GST)
- Low Rise Platform Lift (electric lift – up to 1.000m travel)
- Low Rise Platform Lift (waterlift – up to 1.000m travel)
- Low Rise Platform Lift (removal)
- Remove Internal Wall
- Slide Rail with Flexihose (under \$500 inc GST)
- Shower Valve with Flexihose
- Water Closet (WC) Pan
- Wet Area Shower
- Wheelchair Accessible Basin/Vanity

Housing Modification Schedules

Enable
NEW ZEALAND

Handrails (under \$500 inc GST)

SCOPE:

- To fit handrail to existing internal walls and/or at exterior steps/ramps

PRELIMINARY and GENERAL:

- The Housing Modification Schedules shall be read in conjunction with sketches/drawings and summary sheet provided by the Specialised Housing Assessor and the Agreement for Contractor Services
- The handrail(s) are to be installed in the location shown on the proposed sketch plans and summary sheet. Any variations are to be approved by the Specialised Housing Assessor and *Enable New Zealand*
- The Contractor shall provide necessary protection to the client and other person/s from holes, unsafe building, falling and other hazards
- Damage resulting from failure to protect adequately will be made good at the Contractor's expense
- The handrail(s) shall be installed by skilled tradespeople using best trade practice and materials.
- The handrail(s) must provide adequate strength and stability for all users
- The handrail shall be securely fixed to support posts or building to ensure it does not flex or move
- Provide all necessary fixings as required for securely fixing the handrail
- Handrail(s) shall be shaped to provide a profile that is easily grasped by the person
- Timber shall be free from shakes, loose knots, and gum streaks. Sub-standard or warped timber shall not be used
- The galvanised pipe is to be hot dipped. All cuts are to be resealed as required to provide protection from the weather and rust
- The handrail(s) must be continuous for the length of a ramp/landings and all junctions formed are to be smooth and secure. The handrails shall extend 300mm beyond entry and exit of stairs/ramp
- The handrail(s) is to be packed off the posts or wall to ensure, under normal use, the person's hand will not contact the post or wall or other obstructions.

COMPLETION

- Clean down all work and leave in a tidy condition ready for use.

NOT INCLUDED

Ministry of Health Funding will not cover the following:

- Additional work requested by the property owner and/or client
- Painting of the handrails
- Repairs and Maintenance.

Slide Rail with Flexihose (under \$500 inc GST)**SCOPE**

- To remove fixed shower rose and replace with slide rail with flexihose into existing outlet

PRELIMINARY AND GENERAL

- The Housing Modification Schedules shall be read in conjunction with sketches/drawings and information provided by the Specialised Housing Assessor and Agreement for Contractor Services
- Where a site visit has not been undertaken to ascertain the conditions, levels, boundary positions, access etc. no variations will be given by reason of ignorance of the site or existing site conditions
- The slide rail and flexihose shall be installed in the location shown on the proposed sketch plans and summary sheet. Any variation is to be approved by the Specialised Housing Assessor and *Enable New Zealand*
- A building consent is required for the installation of a wet area level access shower and associated work. The Contractor shall arrange to obtain all necessary consents from the local Territorial Authority
- All work must comply with the Building Act, relevant clauses of the NZ Building Code and product manufacturer specifications
- The Contractor shall provide necessary protection to the client and other person/s from holes, unsafe building, falling and other hazards
- Damage resulting from failure to protect adequately will be made good at the Contractor's expense
- The slide rail with flexihose shall be installed by skilled tradespeople using best trade practice and materials.

PLUMBING

- Remove the existing shower rose and flange. In place of the rose, fit and seal the elbow attachment supplied. Screw the slide rail unit to the wall with stainless steel screws and attach the flexihose and hand piece to the existing outlet
- The new shower-mixing valve shall be compatible with the water supply system. The flexihose shall have a large bore suitable to ensure there is minimal loss in water pressure/flow.

COMPLETION

- Clean down all work, test and leave in a tidy condition ready for use.

NOT INCLUDED

Ministry of Health funding will not cover the following:

- Additional work requested by the property owner and/or the client
- Refurbishment whole area and/or room
- Repairs and Maintenance
 - Upgrading plumbing system
 - Water pressure
 - Replacing rotten material.

APPROVED**05 / 2662****Consent No.**

- Replacement linings to other parts of the bathroom shall be wet area 9.5 Gibraltar board, fixed and stopped in strict accordance with the manufacturer's instructions. Linings to other areas shall match existing
- Skirtings and trim throughout shall match existing
- Allow to patch and make good all existing walls and ceilings damaged during reconstruction.

VINYL FLOORING

- Supply and install approved non-slip safety vinyl floor coverings
 - All vinyl flooring to be laid in strict accordance with the manufacturer's instructions and recommendations
 - The vinyl flooring shall be finished to ensure that it provides waterproofing to comply with the New Zealand Building Code, clause E3
 - The floor shall be fully prepared, with all imperfections made good, prior to the laying of the vinyl floor
- Note:** The flooring subcontractor shall not proceed with the laying of the vinyl flooring on floors with excessive falls, insecure construction or poor surface finishing
- Vinyl flooring shall be installed with an adhesive deemed suitable for the purpose by the manufacturer. Trim neatly around all fittings, architraves, and doorjambs
 - Vinyl shall be set out and laid in such a manner as to keep sheet junctions to a minimum
 - All sheet junctions shall be heat welded. Vinyl to shower areas shall be bonded to floor with approved epoxy adhesive
 - Vinyl flooring is to be coved up shower walls at least 200mm
 - Mitred corners to up-stands (coving) shall be bonded and sealed with colour matched epoxy sealers providing good coverage within seams
 - The Property Owner is to select the colour of the vinyl.

PLUMBING and DRAINLAYING

- All Plumbing and Drainage shall be carried out by a suitably qualified person approved under the Plumbers, Gasfitters and Drainlayers Act 1976
- Supply and install an approved easy clean shower waste outlet suitable for use with vinyl in a wet area shower. **Note:** The use of a standard shower waste will not be accepted
- The waste outlet is to be recessed into the shower floor allowing the top of waste to align flush with the vinyl flooring to prevent water ponding
- Where new shower valve, slide rail and flexi hose are to be installed, the Contractor and/or plumber shall confirm the suitability of the existing/specified mixer and that the existing plumbing system will provide sufficient water pressure/flow. If the plumbing system is insufficient, the Contractor shall ensure that the property owner is aware of this. Cost of additional work to rectify is the Property Owner's responsibility
- The new shower-mixing valve shall be compatible with the water supply system. The flexihose shall have a large bore suitable to ensure there is minimal loss in water pressure/flow
- Confirm heights of fittings from the Specialised Housing Assessor's sketch and summary schedule sheet
- The hot water temperature at the sanitary fixture (shower) is to be such that it will not scald. Methods to achieve this are:-
 - Installation of an approved heat-tempering valve to the hot water supply
 - Fitting a shower mixer that has a temperature lock feature incorporated in it.

Wet Area Shower

SCOPE:

- To remove existing bath/shower, install a wet area with level access.

PRELIMINARY AND GENERAL

- The Housing Modification Schedules shall be read in conjunction with sketches/drawings and summary schedule sheet provided by the Specialised Housing Assessor and the Agreement for Contractor Services
- Where a site visit has not been undertaken to ascertain the conditions, levels, boundary positions, access etc. no variations will be given by reason of ignorance of the site or existing site conditions
- The wet area shower is to be installed in the location shown on the proposed sketch plan and summary sheet. Any variation is to be approved by the Specialised Housing Assessor and *Enable New Zealand*
- A building consent is required for the installation of a wet area level access shower and associated work. The Contractor shall arrange to obtain all necessary consents from the local Territorial Authority
- All work must comply with the Building Act, relevant clauses of the NZ Building Code and product manufacturer specifications
- The Contractor shall provide necessary protection to the client and other person/s from holes, unsafe building, falling and other hazards
- Damage resulting from failure to protect adequately will be made good at the Contractor's expense
- The wet area shower and associated work is to be carried out by skilled tradesmen using best trade practice and materials.

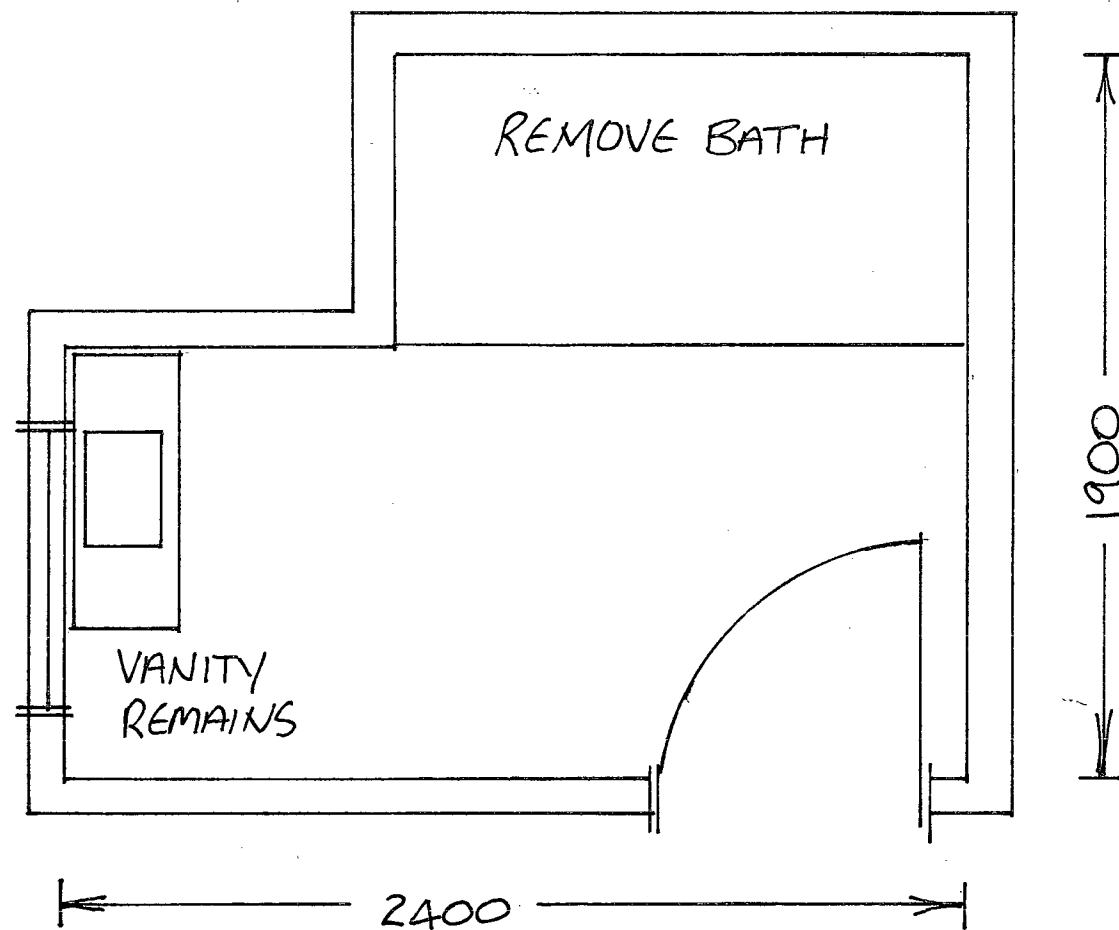
CARPENTRY

Demolition

- Remove bath/shower trims and linings (as required) to allow access to services and to fit fixing.
- Protect all parts of the existing building not to be demolished. Demolition work shall be carried out in a manner that will create as little as possible disruption to the client's use of the building
- Provide structural support to existing building as necessary during demolition. Support is to remain in place until new work is strong enough to support the existing structure.

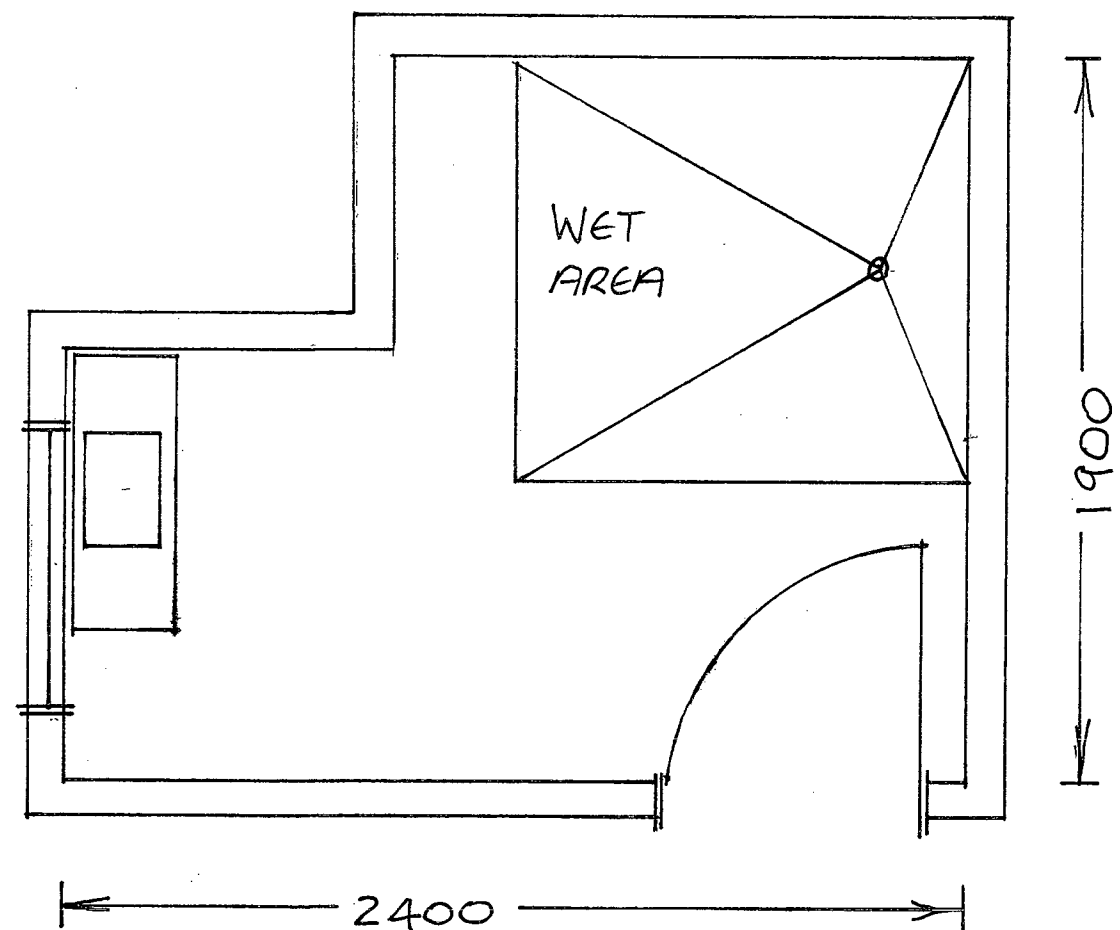
Materials

- All concrete shall be 17.5 Mpa after 28 days
Note: An approved premix product, incorporating a curing agent to hasten the drying process may be used
- Grades of timber are specified in the National Grading Rules. The timber shall be free from shakes, loose knots, and gum streaks. Sub-standard or warped timber shall not be used
- All exposed woodwork shall be machine dressed with the edges arised. On exposed work, remove hammer bruises, rough and uneven patches
- All nails shall be punched below the exposed surface of the timber



EXISTING

SCALE 1:20



PROPOSED

APPROVED
05/2662
Consent No.

JUDITH LANGFORD 27 WARD STREET WANGANUI



CODE COMPLIANCE CERTIFICATE NUMBER BCon05/2262

Section 95(3), Building Act 2004

Ms JA Langford
27 Ward St
WANGANUI 5001

Building Consent No: BCon05/2262

Issue Date: 27/08/2007

Project Location	Assessment Number/Legal Description
27 Ward St WANGANUI 5001	LOT 14 DP 34187 0.0670 Ha
Type of Work	Description of Work
P&D	New wet area shower & easy steps
Intended Life	Estimated Value
50 years	\$8000.00

This is a final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.

Signed for and on behalf of the Wanganui District Council:

A J Jamieson
Team Leader Building Services
Environmental Services Business Unit

Date: 27 August 2007