

APPLICATION FOR BUILDING PERMIT

Wanganui City Council

Date: 30/3/82

THE CITY ENGINEER,

DEAR SIR,

A01009

I hereby apply for a Building Permit to erect/demolish

outbuilding

according to locality plan and detailed plans, elevation, cross sections and specifications of building deposited herewith, in duplicate at:

Street: 160 Cornfoot St Val. No.: 13100/115
Lot: 415 D.P. 3060 Section: Block:

Owner Name: Mr Jenkins
Address: 160 Cornfoot St
Builder Name: J. King
Address: R. J. & W. J. Wainwright

NATURE OF PERMIT (Tick box)

New building including separate buildings added to existing complex ☒ Repairs, alterations or extensions to an existing building ☐ Conversion ☐ Demolition ☐

DESCRIPTION OF BUILDING OR STRUCTURE AND MAIN PURPOSE FOR WHICH IT WILL BE USED:

Shed Garage

PREDOMINANT ACTIVITY OF OWNER

ESTIMATED VALUE:

Building \$4856.00
Plumbing & Drainage \$

TOTAL \$4856.00

If valued at more than \$20,000 state:

Estimated commencement date: Mth. 19

Estimated completion date: Mth. 19

Building registration No.

Total floor area (sqm)

86.4 m²

Name of Plumber

Building Fee	\$ 35.00	Rec. 27215
Plumbing & Drainage Fee	\$	Rec.
Water Connection	\$	PWR
Drain Connection	\$	PWR
Stormwater Connection	\$	PWR
Crossing Fee Existing	\$?	PWR (CHKD 30/3/82)
Footpath Damage Deposit	\$	Rec.
TOTAL CITY COUNCIL FEES	\$ 35.00	
Building Research Levy	\$ 5.00	Rec.
TOTAL	\$ 40.00	

Signature:

[Signature]

INFORMATION REQUIRED BY DEPARTMENT OF STATISTICS

A. TYPE OF BUILDING OR STRUCTURE—

Type Code (See back of form for instructions)

(a) Newly built, altered, repaired, extended, or demolished

04

(b) Converted—

from

Type Code

[]

to

Type Code

[]

B. DWELLING UNITS GAINED OR LOST—

Gained

[]

Lost

[]

C. IS BUILDING TO BE RENTED OR LEASED? (Tick appropriate box)

Yes

[]

No

[x]

ERECTED ON LAND OWNED BY CROWN?

Yes

[]

No

[x]

D. SCOPE OF PERMIT—(Tick box)

Complete building including foundations

[x]

Foundations only

[]

Building only, foundations covered by previous permit

[]

13100/115

160 CORNFoot St

LOT 415 D.P. 3060

EST. I.M. JENKINS.

APPROVAL FOR ISSUE OF BUILDING PERMIT

Lot No. 415 D.P. 3060 Sec:
Locality: 160 CORNFORD ST

Not Applicable	Satisfactory Provision Made	Date	Amount of Fee Where Applicable
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APPROVED TOWN PLANNER:

[illegible]

Permit may be issued subject to the following conditions:

GENERAL REMARKS

BUILDING INSPECTOR:

HEALTH INSPECTOR:

DRAINAGE ENGINEER:

WATER ENGINEER:

DESIGNING ENGINEER:

TOWN PLANNING:

TO:

FROM:

DISPENSATION REQUIRED.

Mr Jenkins brought in these plans for preliminary approval.
The Garage is not to be used for ~~storing~~ commercial purposes
Just the house 1 large caravan, 1 boat, 2 cars, 2 motorbikes
neighbours consent is provided.

DML

Didn't get to because of parties in the
H/A

WANGANUI CITY COUNCIL

NEIGHBOUR'S CONSENT FOR THE ERECTION OF A BUILDING

Address

2 Waitai St
Castlecliff
.....

TO WHOM IT MAY CONCERN

I/WE *D.C. & B.A. Candish*
(full name or names)

being the OWNER

~~TRUSTEE~~

~~LESSEE of a~~

(strike out those which do not apply)

property situated at *2 Waitai Street*
(address)

have NO OBJECTION to the erection on the adjoining property being
160 Cornfoot St by the owner/~~owners~~
(address where the building is to be erected)

thereof *THOMAS JAMES JENKINS*
(name person or persons wishing to build)

of a *Garage* sited in
(description of building)

... accordance with the attached plan and constructed to the Wanganui
City Council Bylaws.

Signed

D. Candish
.....

Date

24-3-82
.....

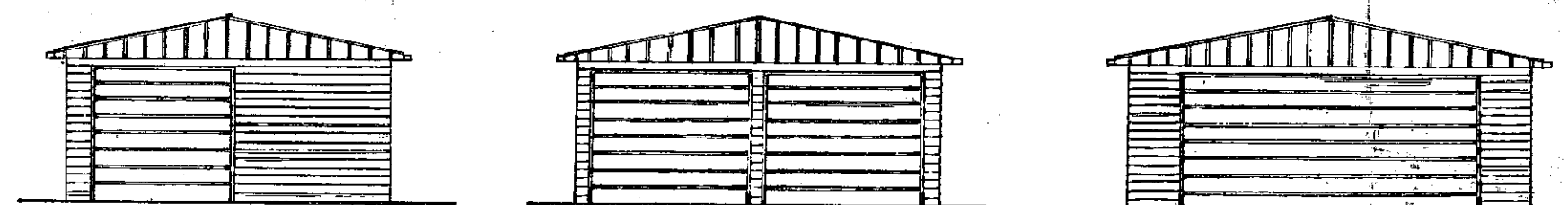
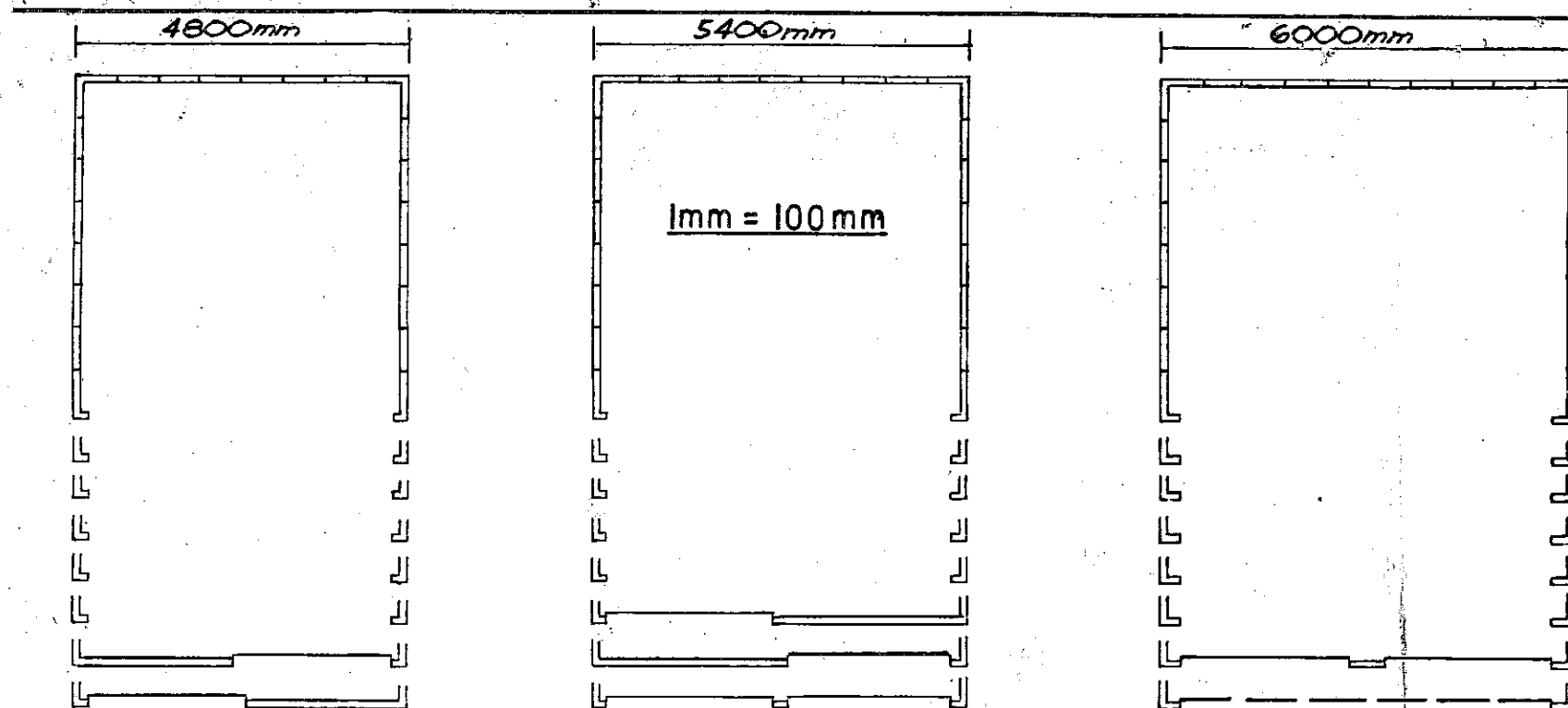
Signed

T.J. Jenkins
.....

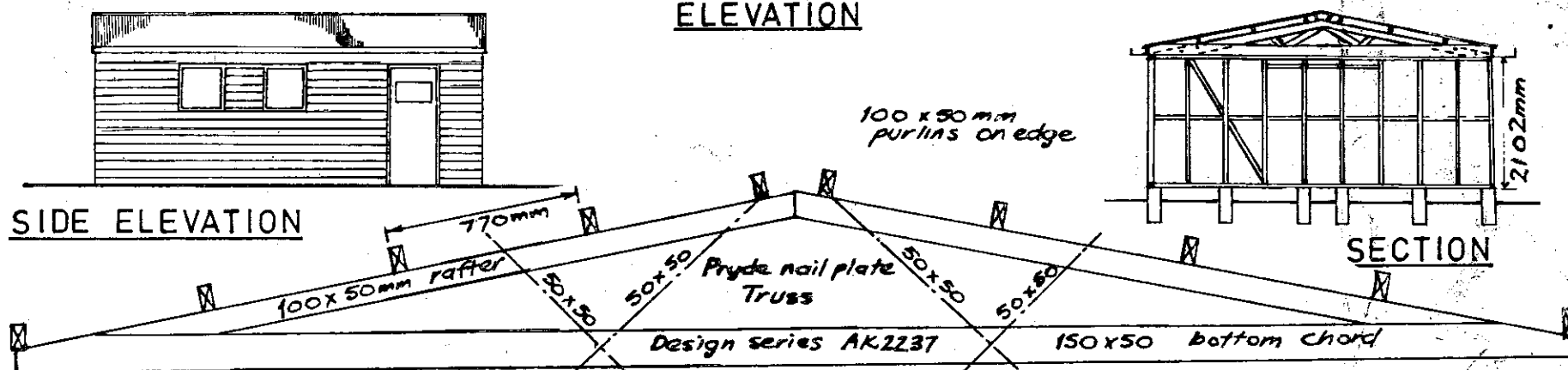
Date

24/3.82
.....

NOTE: (Plan must be attached to this consent before signing)



ELEVATION



SCALE 1m = 25m

Detail of 6000mm span truss

Trusses for 5400mm 4800mm are similar, but reduced. 6000mm + 5400mm have stiffeners of 100 x 50mm. 4800mm has 50 x 50mm. When 4500mm doors are fitted in double garages, the gable end is formed with a similar truss and completely metal lined.

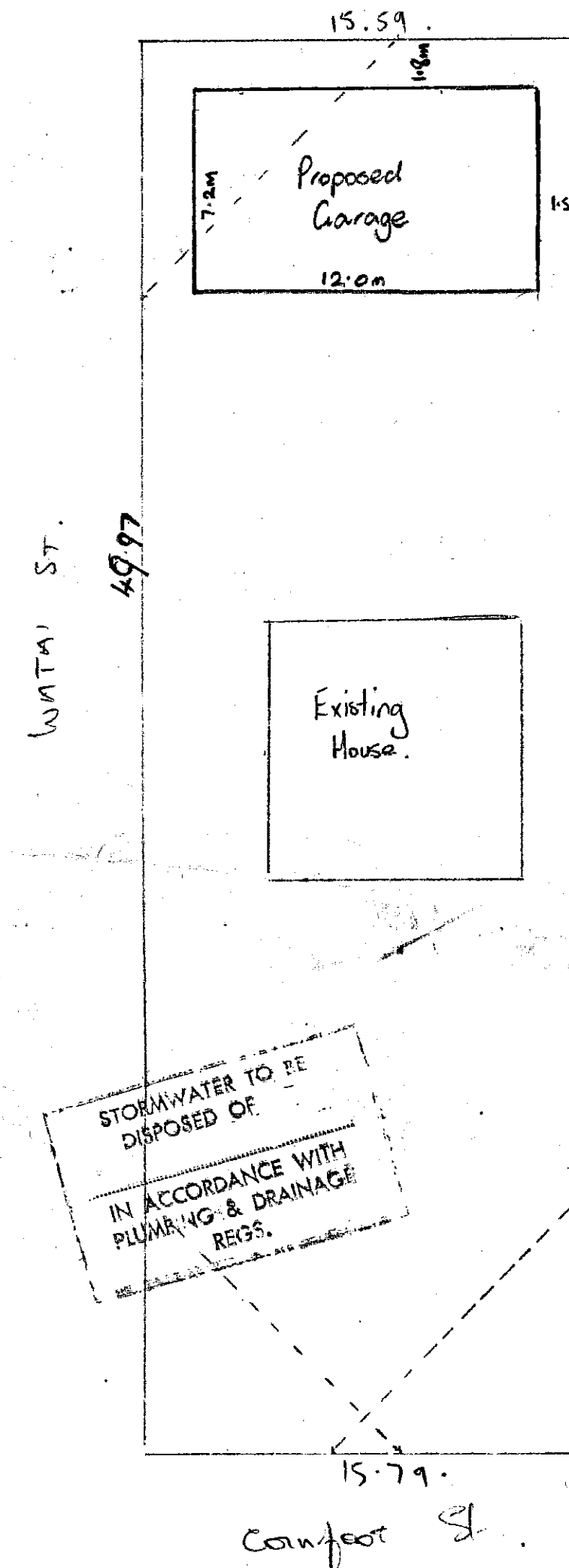
- SPECIFICATIONS:**
- Foundations:** 200 x 150mm concrete piles at 1200mm & 600mm centres under studs or continuous concrete dwarf walls or complete floors.
 - Dampcourse:** 2 ply d.p.c. under all plates.
 - Framing:** All timber is boron treated machine gauged radiata. All framing is housed i.e. studs checked into plates & nogs checked into studs. Studs at 600mm centres top and bottom plates and nogs - 100 x 50mm.
 - Wall Braces:** 75 x 50mm cut on edge
 - Door Beams:** Minimum 150 x 50mm with minimum of 13mm check in at each end
 - Roof trusses and purlins** as per detail drawing placed over studs at 1800mm and 2400mm centres to suit.
 - Dragon ties:** 75 x 50mm at 45° over top plate to each corner.

Roofing: 26g. galv. corr. iron single sheets. **Ridging:** 26g. galv. lead edged. **Walls:** 26g. galv. metal weatherboards. **Spouting:** 24g. galv. iron gutters fixed ea. side. **Downpipes:** 75 x 50mm galv. iron. **Doors:** 24g. or 26g. metal doors on overhead gear or galv. roller doors.

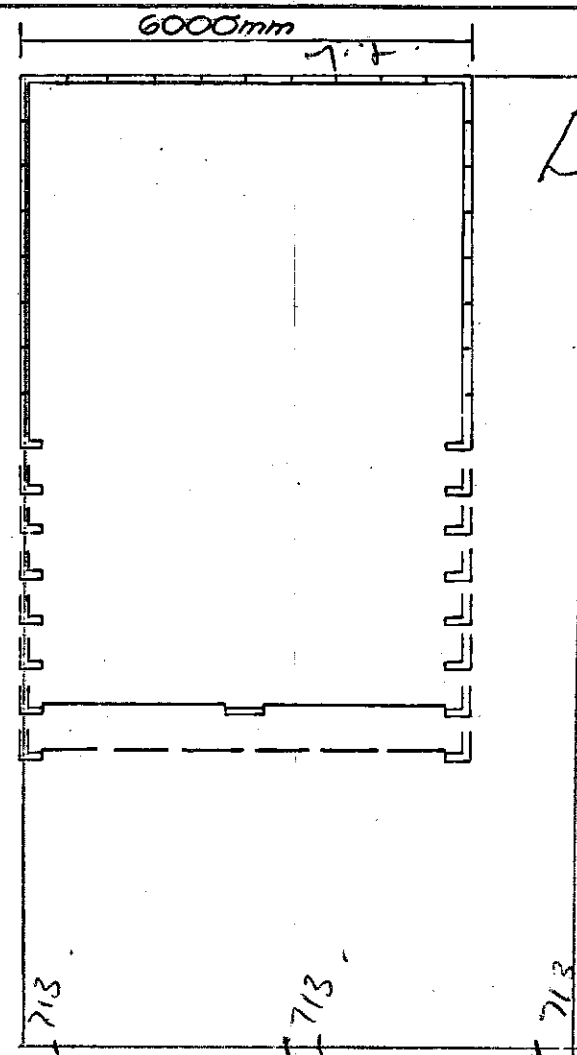
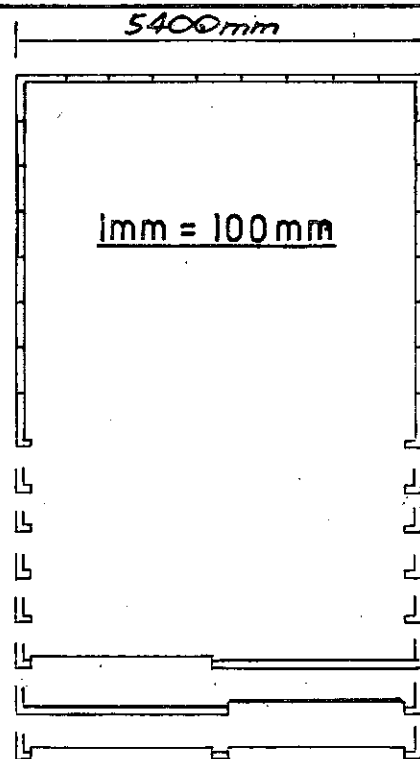
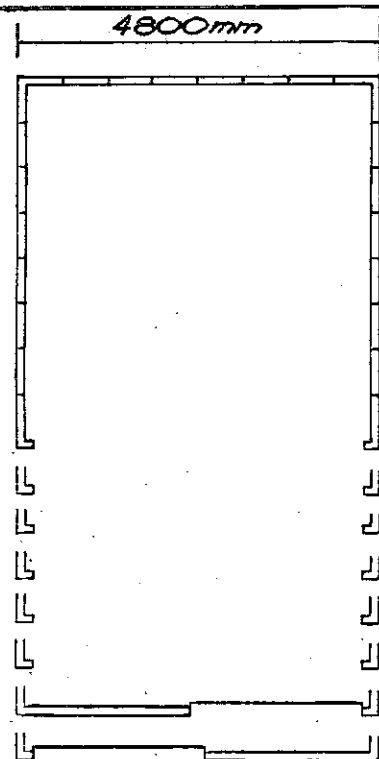
GARAGE, SHED at for

SKYLINE CARAGES

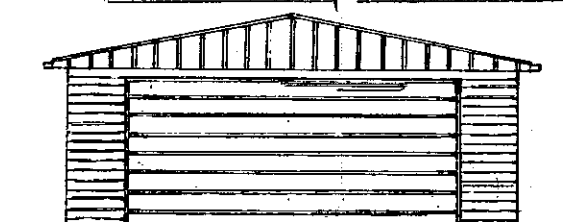
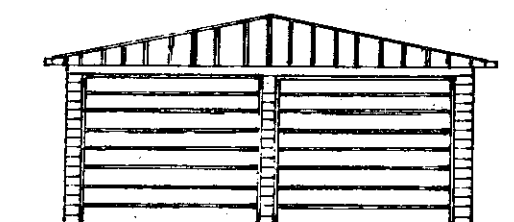
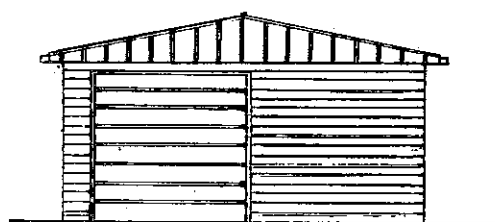
manufactured by Skyline Buildings Ltd.



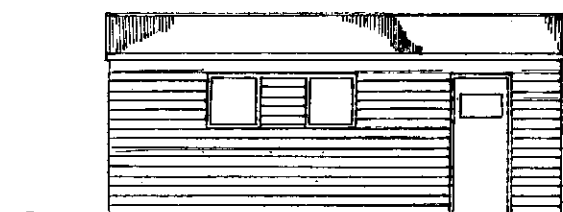
SITE PLAN 1mm = 200mm.



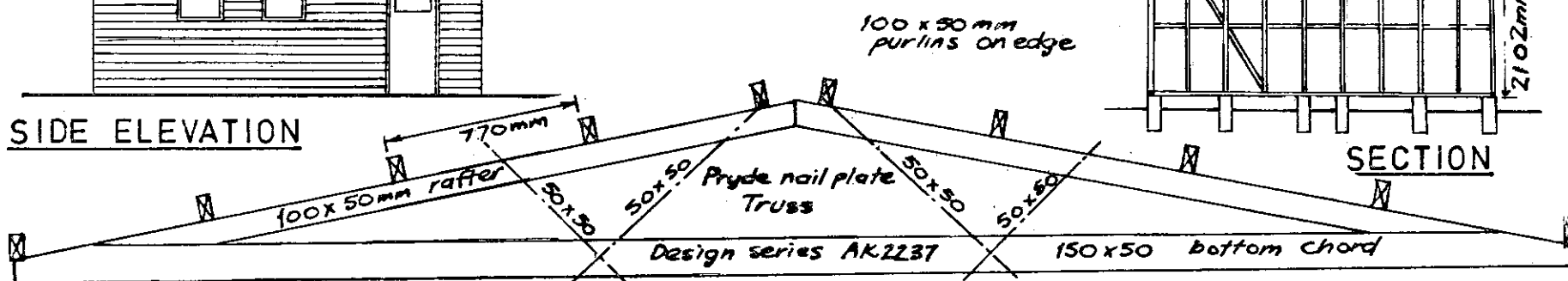
1mm = 100mm



ELEVATION



SIDE ELEVATION



SCALE 1m = 25m

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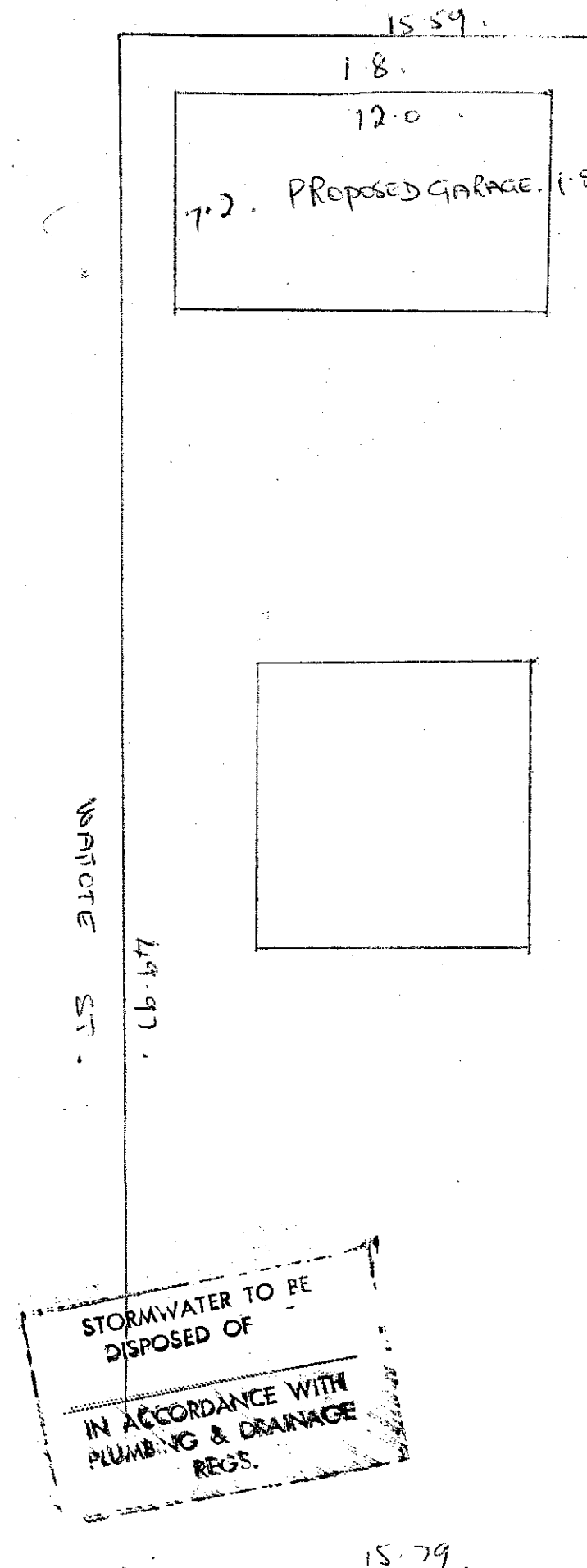
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GARAGE, SHED at 160 Cornfoot Str for Mr. T. Jenkin.

SKYLINE GARAGES

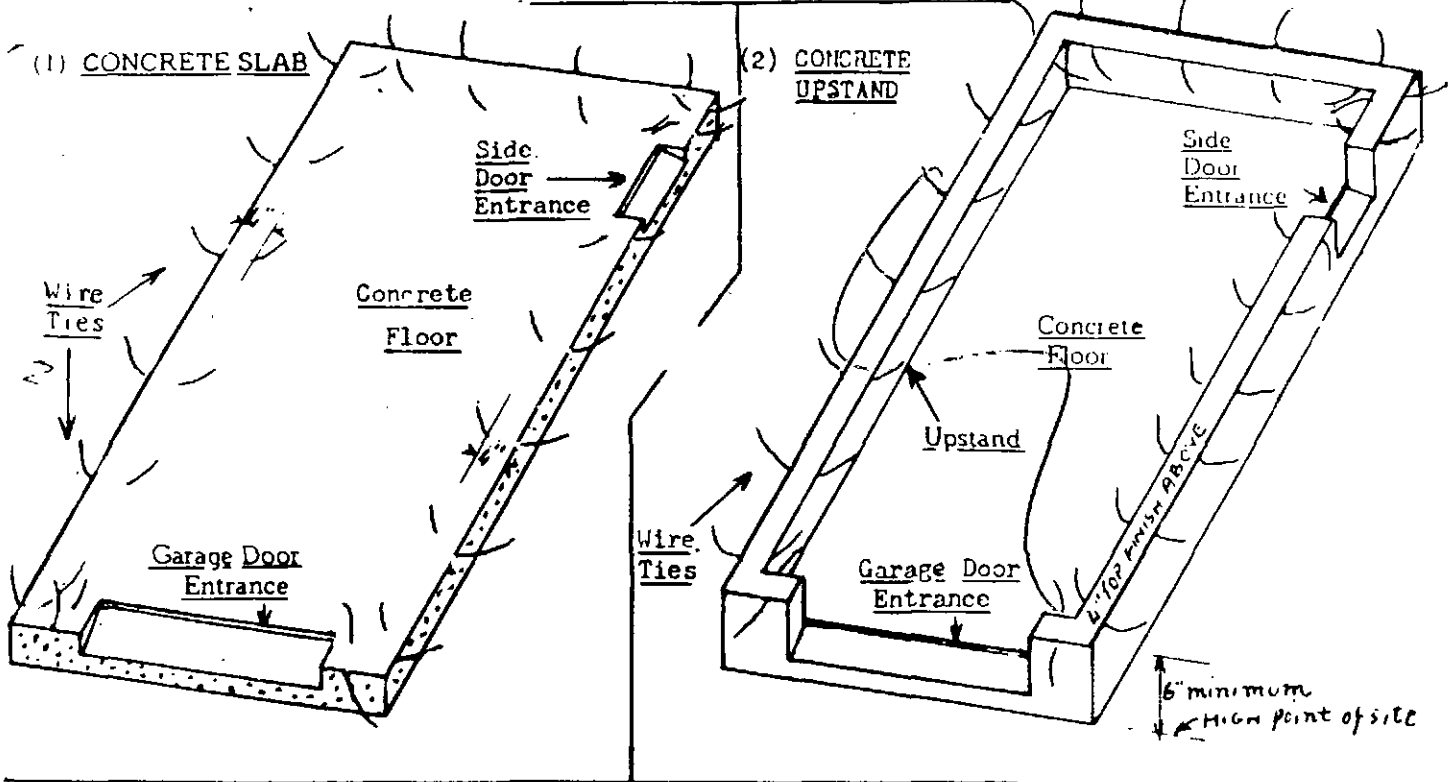
manufactured by Skyline Buildings Ltd.



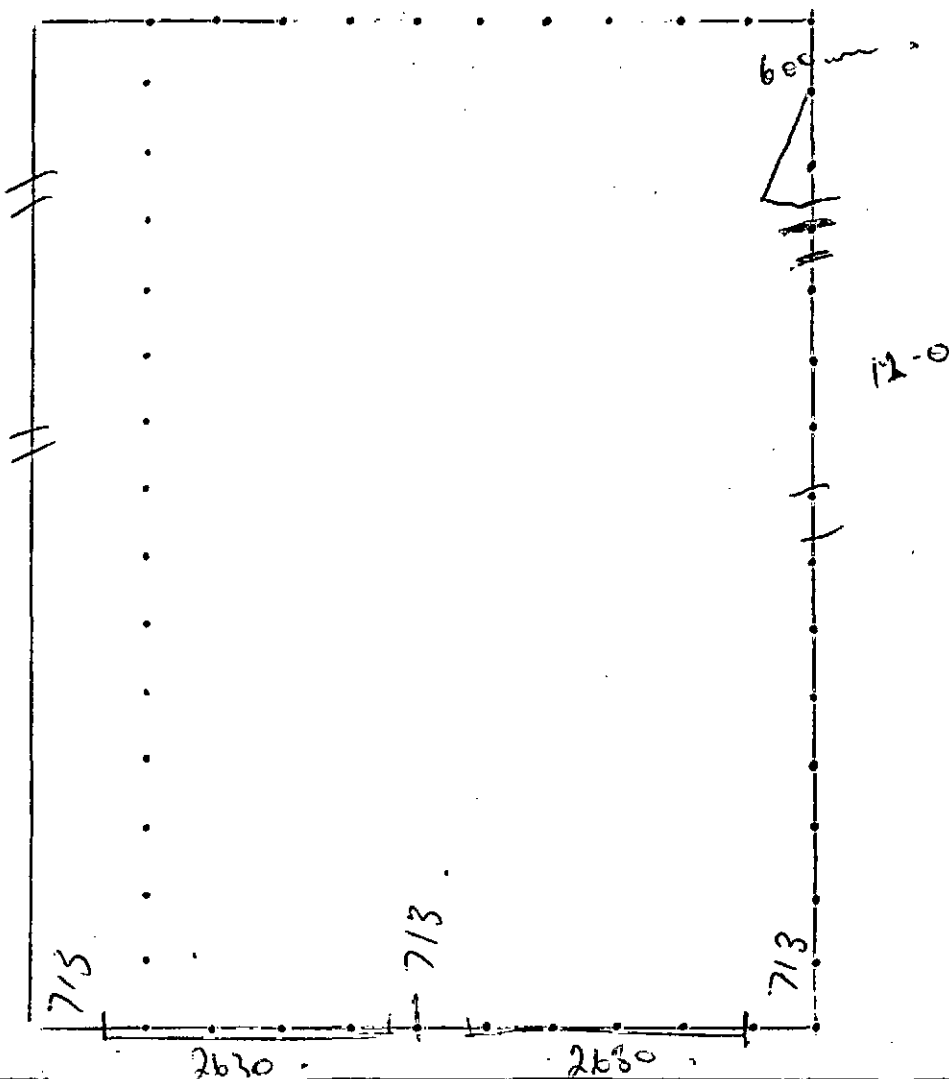
STORMWATER TO BE
DISPOSED OF
IN ACCORDANCE WITH
PLUMBING & DRAINAGE
REGS.

SITE PLAN 1mm = 200mm.

SUGGESTED FOUNDATION DETAILS



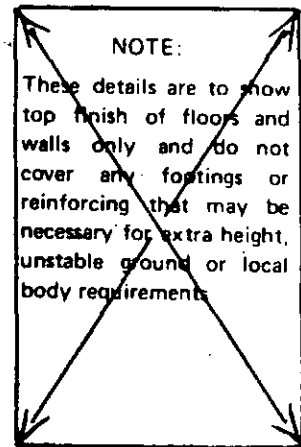
(3) FLOOR PLAN



(4) FLOOR SLAB OR BASE WALL

MUST

- NOT EXCEED EXTERNAL MEASUREMENTS as Weatherboards come down over concrete.
- MUST BE SQUARE (Providing that side measurements are correct, diagonal measurements should be equal viz.



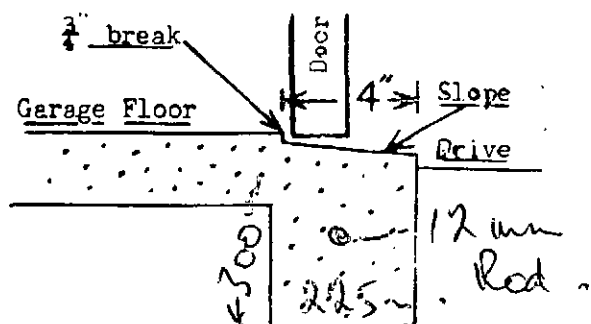
- Edges of floor or top of base wall MUST BE LEVEL. If concrete is not level, bottom plates must be packed up, as the building must be built level.
- Wire ties: Position No 8 gauge WIRE TIES, at approximately 4'0" centres, and 3" each side of all door openings.

(5) DOOR SILLS (Shaded above) A slope should be provided under doors to drain out the rain that collects on the doors and drips off the bottom edge. Sills may be formed with trowel or float before the concrete sets.

(6) You are advised not to do any work on this until permit has been cleared by council.

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ACC/SK 57 MET.



WANGANUI CITY COUNCIL9561
BUILDING PERMIT

Owner: MR J. JENKINS
Builder: I.D. KERR
Type of Work: GARAGE
Value: \$4856

Footway No.:
Valuation No.: 13100/115
Permit No.: A 01009
Date: 14.4.82

INSPECTIONS

DATE

7/8/82 Completed

160 CORNFOOT STREET Lot 415 D.P. 3060 Section Blk.