



PALMERSTON NORTH CITY CORPORATION

BUILDING APPLICATION FORM
[Please Print]

263/10c
(UNIT 1)
10c

TO THE CITY ENGINEER

I hereby apply for permission to Erect 3 Broom dwelling
at 10 Ihle St

in accordance with plans/specifications deposited.

FOR: Bregon Enterprises Ltd of 28 MacGregor St

APPLICANT: Owner Phone No: 82 676

SIGNATURE: CM Bregon ADDRESS: _____

PARTICULARS OF LAND - LOT NO: 2 DP: 43865 FLOOR AREA: 101 m²

PLUMBER: _____

DRAINLAYER: D. Henderson

BUILDER: Owner

Address: _____

ARCH/ENG: _____

ESTIMATED VALUE OF WORK:

Building	\$	43800.00
Plumbing	\$	2450.00
Drainage	\$	1750.00
TOTAL:	\$	48000.00
GST Included	\$	52800.00

FOR OFFICE USE ONLY

Dep. Plans: 1 Specs: _____ Calcs: _____ Insp. Area: Russell
Permit No: G036297 Date Issued: _____

	OUT	IN	ITEM	AMOUNT \$
TOWN PLANNING	16/2	9/3	Building Permit	598.00
P/D INSPECTOR	6/3	8/3	B/R Levy	48.00
BUILDING INSPECTOR	8/3	13/3	Plumbing/Drainage	163.00
N.Z. FIRE SERVICE			Planning Fee	17.00
STRUCTURAL ENGINEER			Prop. Refuse Rate	24.00
FIRE INSPECTOR			Res. Contribution	
STREET MAINTENANCE	6/3	8/3	Vehicle Crossing	Private Row
VALUATION			Water Service	
HEALTH INSPECTOR			Sewer	
TRAFFIC			Stormwater	
Letter to			Catchment Bd. Levy	
ARCHITECT/BUILDER			Sub Total	\$ 850.00
CATCHMENT BOARD	N/A		G.S.T.	\$ 85.00
			TOTAL FEE	\$ 935.00



Council.
BUILDING PERMIT REQUIREMENTS

UNIT 1

16.2.1989.
PROPOSED Dwelling AT 10 Ille St
FOR Brogan Enterprises Ltd PHONE 82 676
BUILDER Owner. PLUMBER _____ DRAINLAYER _____
LOT NO 2 D.P. 43865 FLOOR AREA 101 M² GST 52,800
PRICE 48,000.

CITY PLANNING

10 Ille St 8/3/89

PLUMBING & DRAINAGE INSPECTOR W/C room
requires ventilation & to
comply with DoP regulations

updraft 8/3/89.

FEES

B/P	598.00
B/R	48.00
P/D	163.00
T/P	17.00
RATES	24.00
RES/C	
V/XING	Private Row
WATER	
SEWER	
S/W	150.00
C/B	N/A
SUB TOTAL	1000.00
GST	100.00
TOTAL FEE	\$1100.00

DESIGN ENGINEER

BUILDING INSPECTOR

- 1) Bottom plates to be fixed down in accordance with NZS 3604 1984.
- 2) Two 2" nails are required to fix each end of trusses to top plates.
- 3) Laundry area to be separated from the garage and is to be insulated.
- 4) R1.6 insulation is required to external walls
R2.2 to ceilings

R. B. Parlat 10/3/89

I / WE (Owner/Builder) O. M. Bannan
accept the above conditions.



HOUSING CORPORATION OF NEW ZEALAND

Reference: 25-7909-

Mr A.R. Brown
25 McGregor Street
PALMERSTON NORTH

Sun Alliance House
Grey Street
Private Bag
Palmerston North
Phone 68069

Dear Mr Brown

The Corporation consents to the the erection of a garage on your property at 10 Ihle Street, 900 mm from the boundary in accordance with the plans and specifications submitted, and complying with the Local Authorities requirements.

Please note this consent remains good for a period of six months from the date of this letter. And will then lapse unless the structure has been erected or unless you have been granted an extension of time.

If you have any queries regarding this letter of the terms of our consent then please do not hesitate to contact John Edwards on extension 8330.

Yours faithfully

A handwritten signature in cursive script, appearing to read 'J Hogg'.

Jill Hogg
for Manager (Property)

PALMERSTON NORTH CITY CORPORATION

APPLICATION FOR PERMIT FOR PLUMBING AND/OR DRAINAGE WORK

TO: The Engineer

I, the undersigned, hereby apply for permission for the work described herein and set out in the plans attached hereto to be carried out in the premises whose owner and location are shown below:

LOCATION: 10 Ikle St Being Lot _____ D.P. _____

OWNER: Mr/Mrs Brogan Enterprises Ltd BUILDER: _____

DRAINLAYER: A. J. Wharau PLUMBER: _____

1. The Installation of

Fittings	Base-ment	Ground Floor	First Floor	Above First
Bath		1		
Basin		1		
Shower		1		
Sink		1		
Tub		1		
W.C.		1		
Urinal Stall				
H.W. Cylinder		1		
TOTAL		7		

Receipt No: _____

Permit No: 753/754

Bldg Permit No: 9036298

2. The Construction of: S.W.
35 m 100 mm F/water dr. 30 100mm
 _____ m 150 mm " " _____ 150mm
 _____ " " _____

3. Miscellaneous Work (state details): _____

(special traps, special plumbing fittings etc.)

Estimated value of Drainage \$ 1625-00 SIGNATURE: _____
 (Builder/Owner/Plumber/D'layer)

Estimated value of Plumbing \$ 2450-00

TOTAL \$4075-00

DATE: _____

FOR OFFICE USE ONLY

Charge for: _____ Sewer Lateral/Saddle _____

Permit Fees: _____ S.W. Lateral/Saddle _____

S.W. Crossing _____

Water Connection Renewal _____

Drainage 64-00

Plumbing 92-00

TOTAL: 156-00

REMARKS

W.C room requires ventilation to comply with
D.O.P regulations

2/3/89.

BUILDING INSPECTOR'S
FIELD SHEET

AUTHORITY

Stats. No. **G 036297**
No. _____

Inspector: M. 263 Russell

PALMERSTON NORTH CITY COUNCIL
File No. _____

Receipt No. 4619

Date Permit Issued 13/3/89

OWNER

Name Brogan Enterprises Limited
Mailing Address 28 McGregor Street
Palmerston North

BUILDER

Name AS OWNER
Mailing Address _____

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. 10 C
Street Name WILEY
Town/District _____
Riding _____

LEGAL DESCRIPTION

Valuation Roll No. _____
Lot 7 D.P. 43865
Section _____ Block _____
Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Three bedroom dwelling Unit 1 - C/

FLOOR AREA Whole Sq. Metres 101 **DWELLING UNITS** Number Erected 1

ESTIMATED VALUES

Building	
Plumbing	
Drainage	
G.S.T.	
TOTAL	<u>52,800</u>

NATURE OF PERMIT (TICK BOX)

☒ **NEW BUILDING**
- exclude domestic garages and domestic outbuildings

☐ **FOUNDATIONS ONLY**

☐ **ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED**
- include installation of heating appliances

☐ **NEW CONSTRUCTION OTHER THAN BUILDINGS** - include demolitions

☐ **DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS**

FEES APPLICABLE

Building Permit	\$	Water Connection	\$
Street Damage Deposit ..	\$		\$
Building Research Levy ..	\$		\$
Plumbing	\$		\$
Drainage	\$		\$
Sewer Connection	\$		\$
Vehicle Crossing Levy ..	\$		\$
M.S. Plumbing	\$		\$
		G.S.T.	\$
		TOTAL:	<u>\$ 935.00</u>

Receipt No. 4619
Date of Payment 13/3/89
Authorised Officer [Signature]

Special Conditions:

As photo copy supplied.

Athol Brown on site.

Date Inspected REMARKS (e.g. stage reached with work)

14/3/89 R12/2 to footings - string o/k - bearing soft
100mm firm under backfill piled on site.
Owner to have loose material removed

(CONTINUED OVER)

- 17/3/89 Half of concrete floor already poured - last half poured today.
- 20/3 Framing - half the trusses up.
- 12/4 Laundry framing to be insulated - 2 nails required to trusses. 14/4 two 2 nails required.
- 17/5 Roof on - hand plank started in Tower partitions.
- 28/6 Laundry still unframed & uninsulated in garage area
- 20/7 No progress no one on site.
- 25/8 Builder asked when he intended to either insulate external walls of garage or frame up around laundry area - intends to do so before next unit started.
- 13/9 No progress - rubbish bags & holders delivered.
- 27/10 N/P
- 5/12/89 O/K

L. K. Lamb

Date 5 / 12 / 89

CLIENT	A Brown	SUBJECT	Thle Sk house	FILE NO	124365	DATE	PAGE	BY
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Bracing Schedule

Heavy Roof 0-25

$$B_{rs} = 3/m^2$$

$$2 \times 14.7 \times 7.2 = 317 \text{ bu}$$

Wind

$$7.2 \times (9 + 15) = 173$$

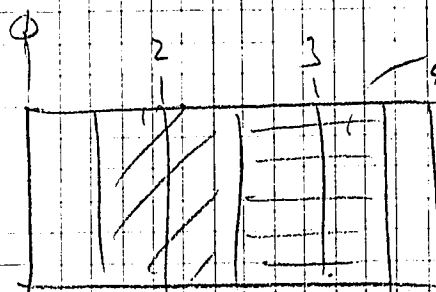
$$14.7 \times (24) = 352$$

External walls

$$14.7 \times 10 = 147$$

$$7.2 \times 10 = 72$$

EQ



$$A = 5 \times 7.2 \times 3 = 108$$

lines	2 x 3	regm	108 bu
	1 x 4	regm	$\frac{108}{2} \text{ bu} \geq 72$

Wind	1 x 2	2.5 x 24	= 60	≥ 72
	3 x 4	5.0 x 24	= 120	

CLIENT	SUBJECT	FILE NO	DATE	PAGE	BY
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			DIFF	
1	1.574			1.000
2	1.543		0.031	1.031
3	1.530		0.013	1.044
4	1.549	1.541	-0.019	1.025
5	1.507		-0.026	0.999
6	1.565		0.002	1.001
7	1.565	1.540		1.001
8	1.556		-0.007	0.994
9	1.537		0.019	1.013
10	1.547	1.538	-0.01	1.003
11	1.556		0.002	1.005
12	1.550	1.540	0.006	1.011
13	1.541		0.007	1.018
14	1.546		-0.005	1.013
15	1.551		-0.001	1.012
16	1.550		0.001	1.013
17	1.538	1.530	0.013	1.026
18	1.565		-0.035	0.991
19	1.526		0.019	1.010
20	1.542		0.004	1.014
21	1.549	1.566	-0.007	1.007
22	1.558		0.002	1.015
23	1.558		0.004	1.019
24	1.558		-0.004	1.015
25	1.578		-0.020	0.995
26	1.829		-0.251	0.744

CLIENT	SUBJECT	FILE NO	DATE	PAGE	BY
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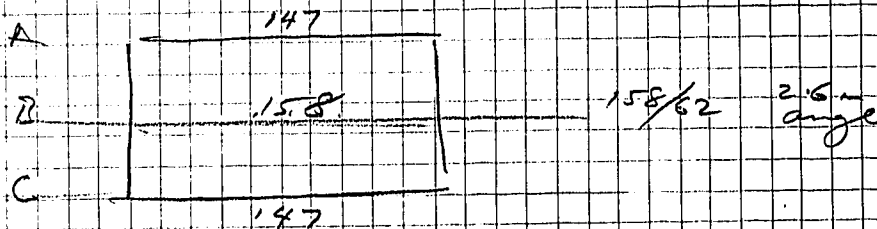
⇒

Life
1
2
3
4

BUS
72
120
120
72

regu

OTHER DM



1.
PUBLIC ROAD

73° 53' 20"
15.40

FLAT

GARAGE

PT. 2.1

D.P. 7244

D.P. 34156

14.6°
PUBLIC ROAD

20.12 WIDE
STREET

13
D.P. 7244

FLAT 2

D.P. 43865

Ihle Street

THIS PLAN SUPERCEDES
D.P. 60863

14
D.P. 7244

FLAT 3

23
D.P. 7244

263 / 10°

WELLINGTON

3

Δ

INCHES

U

Δ

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MICROBOX

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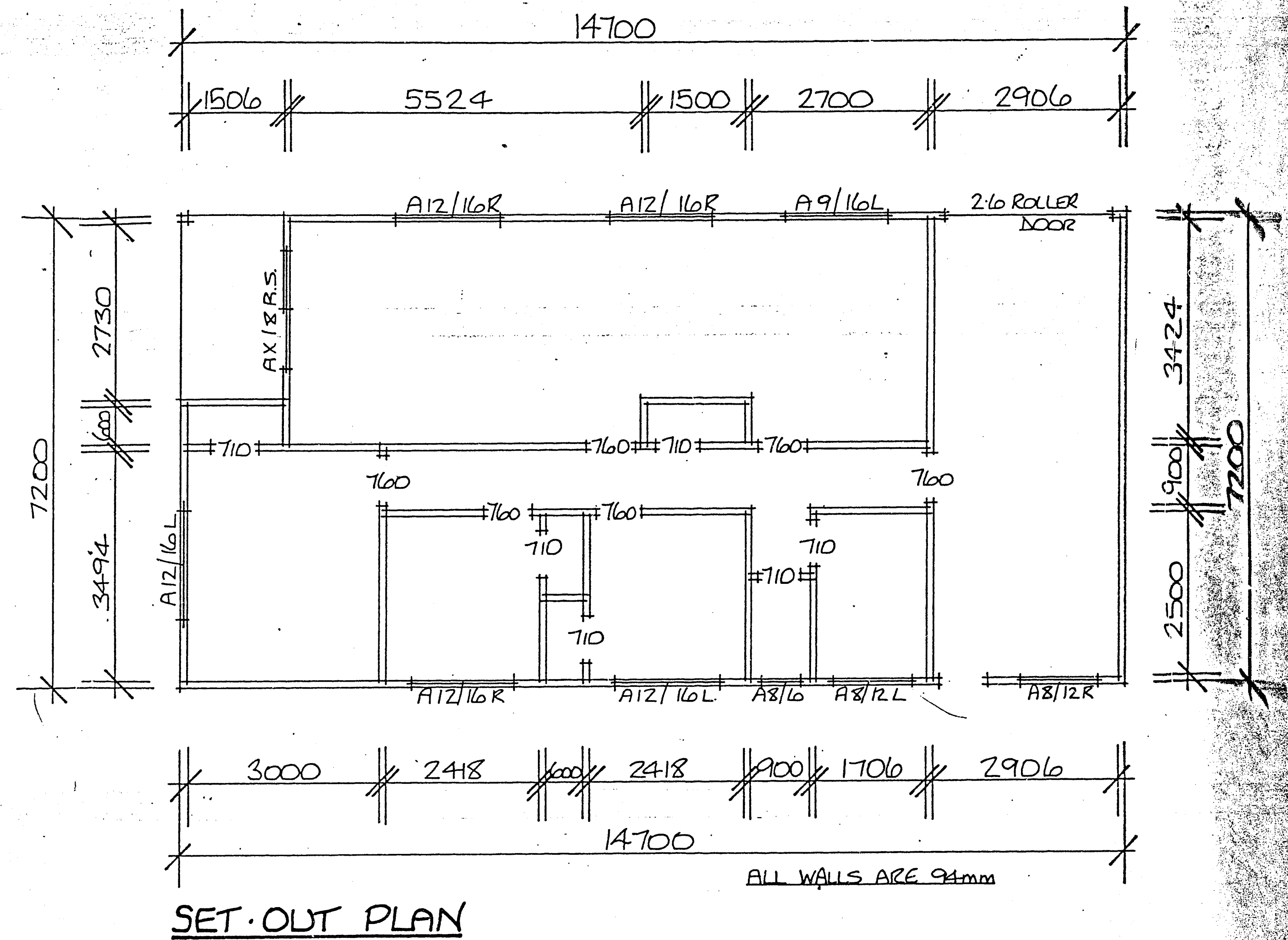
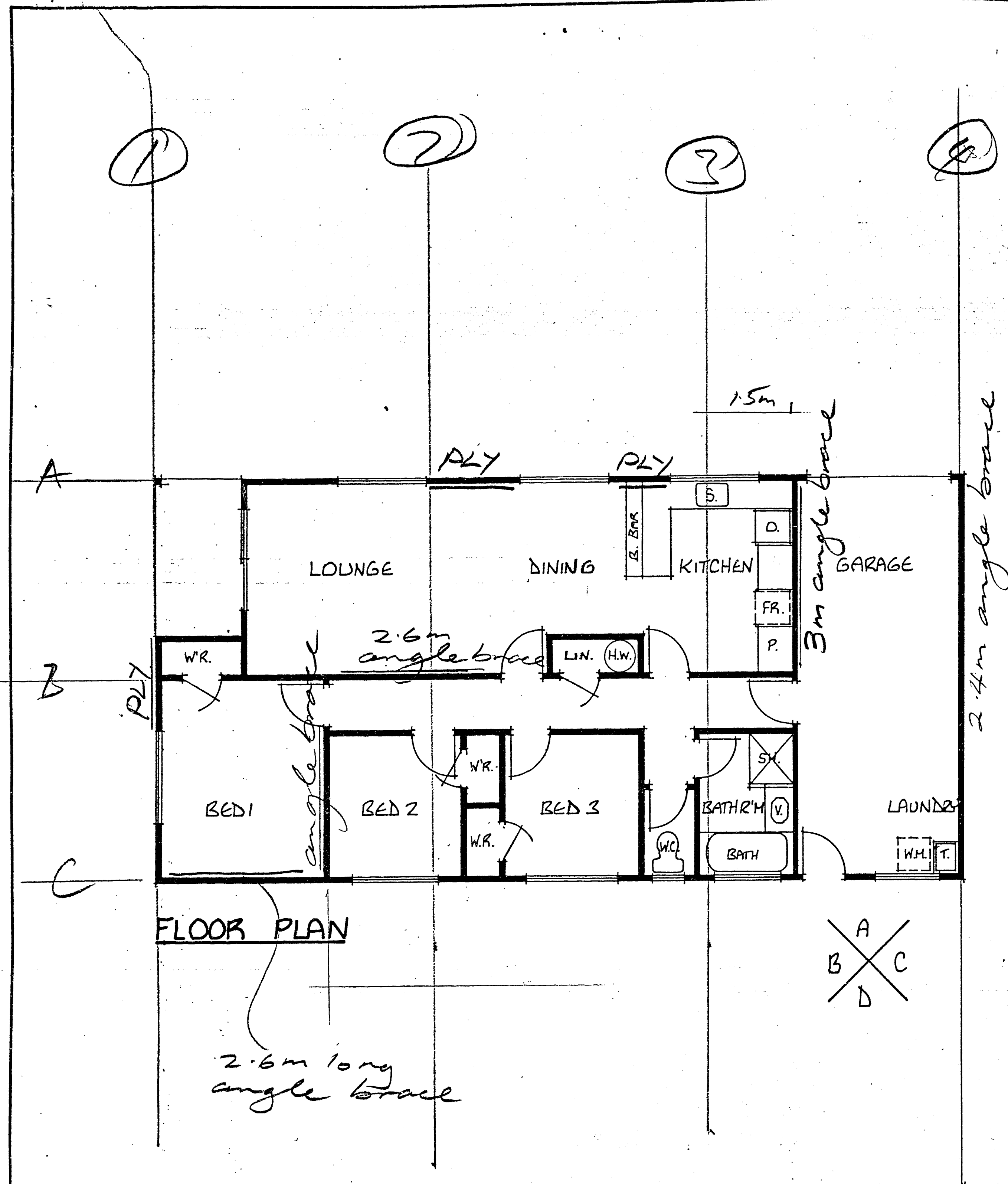
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RECEIVED
B/I DEPT.

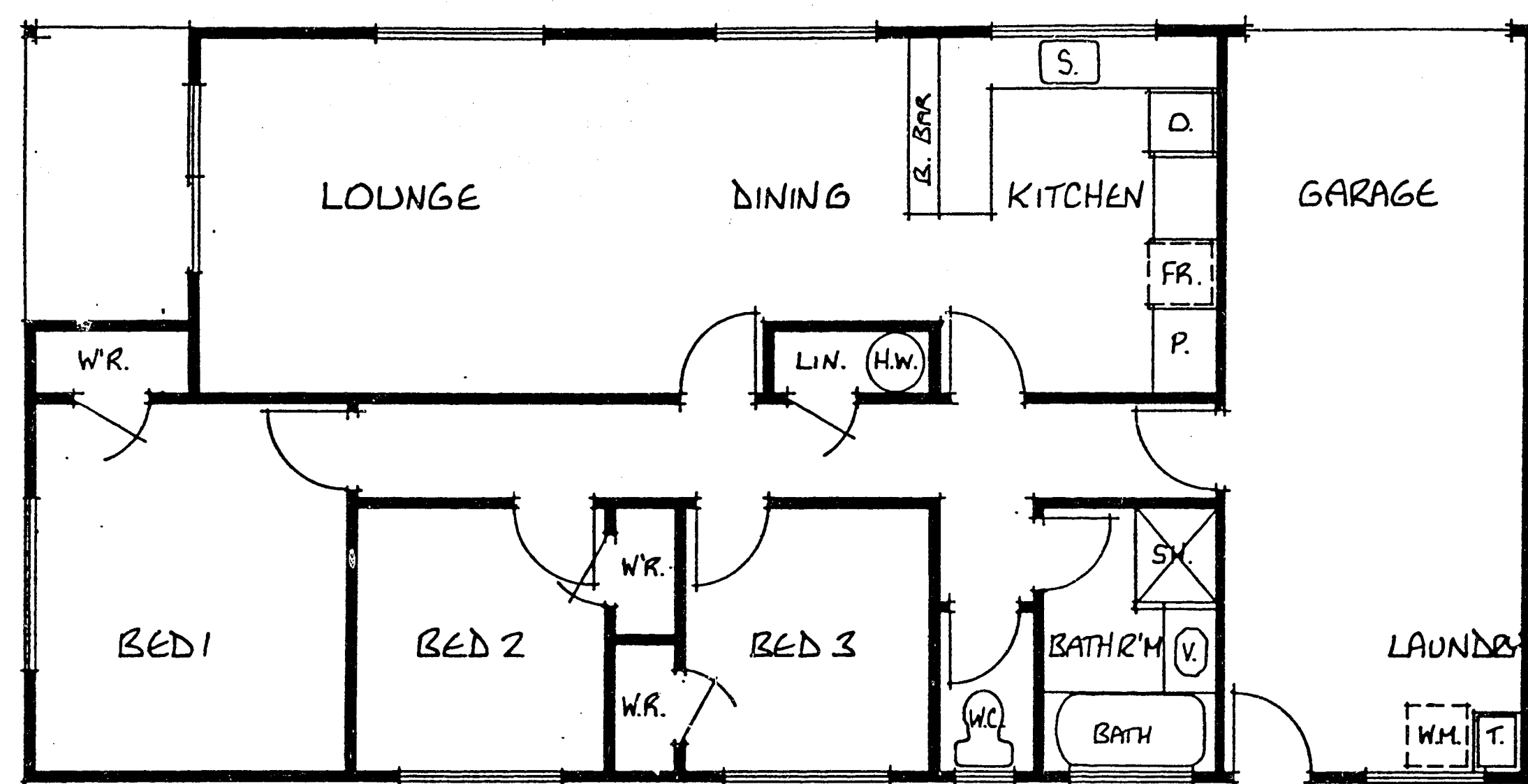
DATE 9/3/89

DESIGN & DRAW
66 BOURKE STREET
PALMERSTON NORTH
PHONE 84499

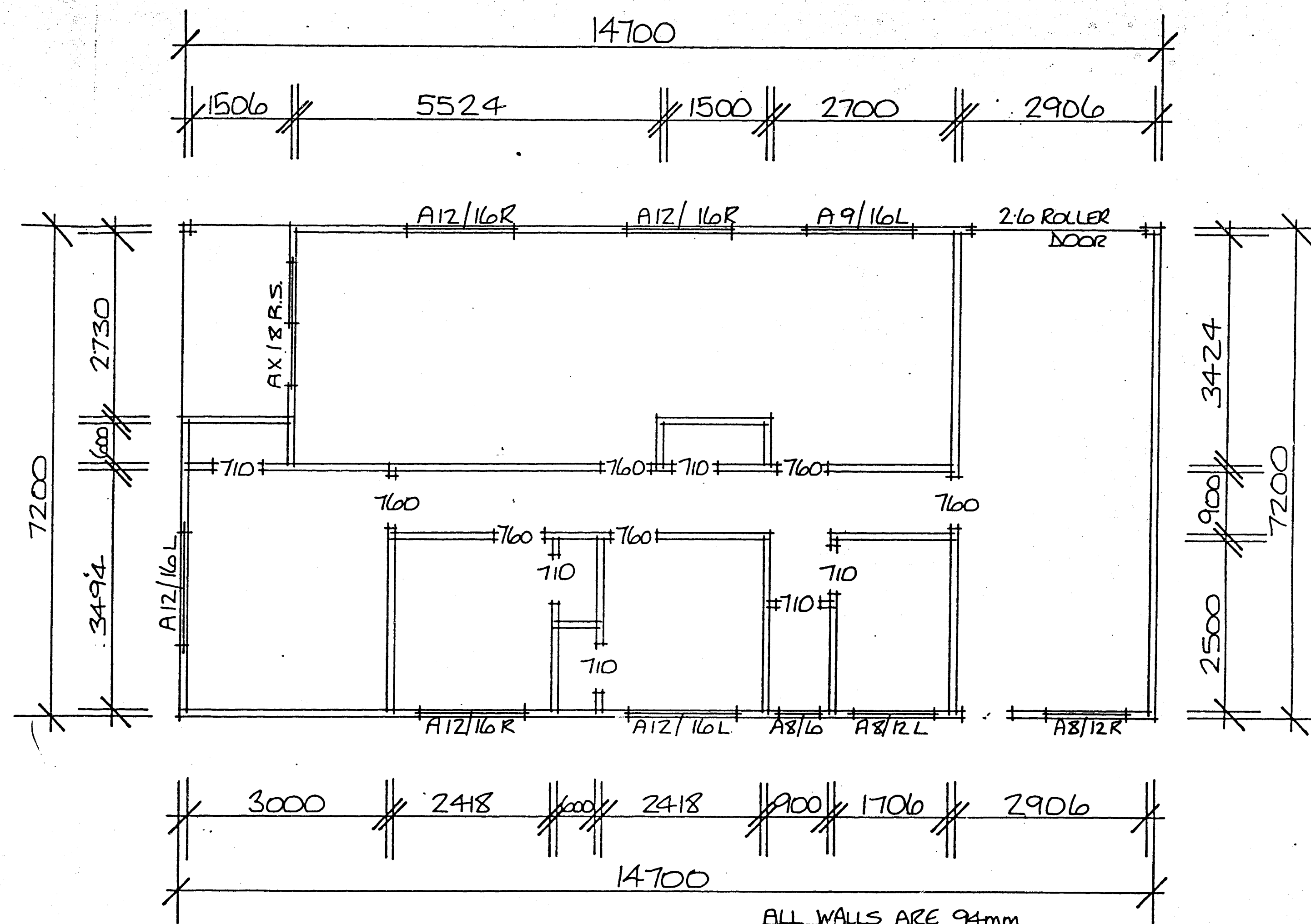
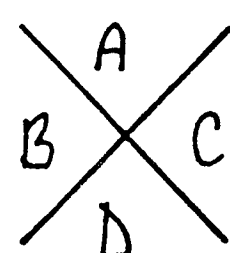
PROPOSED UNITS FOR IHLE STREET

263/10^c

DATE	DRAWN	SCALE	AREA	SIGNATURE
FEB. 189	P. SALES	1:100	INC. GARAGE 101.36 m ² HOUSE ONLY 79.76 m ²	
FLOOR & SET-OUT PLANS				



FLOOR PLAN



SET-OUT PLAN

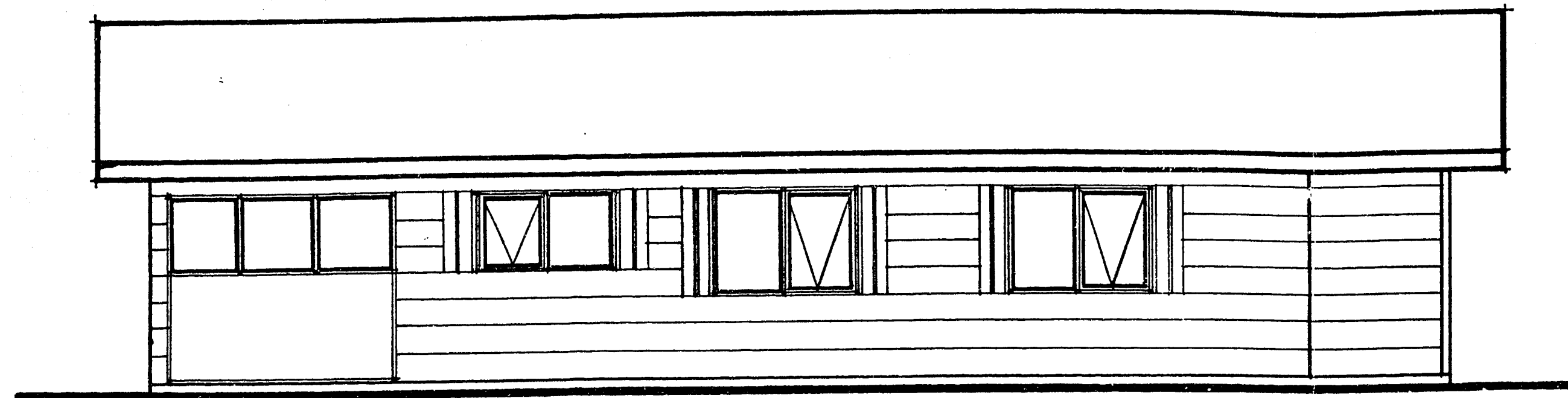
ALL WALLS ARE 94mm

DESIGN & DRAW
666 BOURKE STREET
PALMERSTON NORTH
PHONE 84499

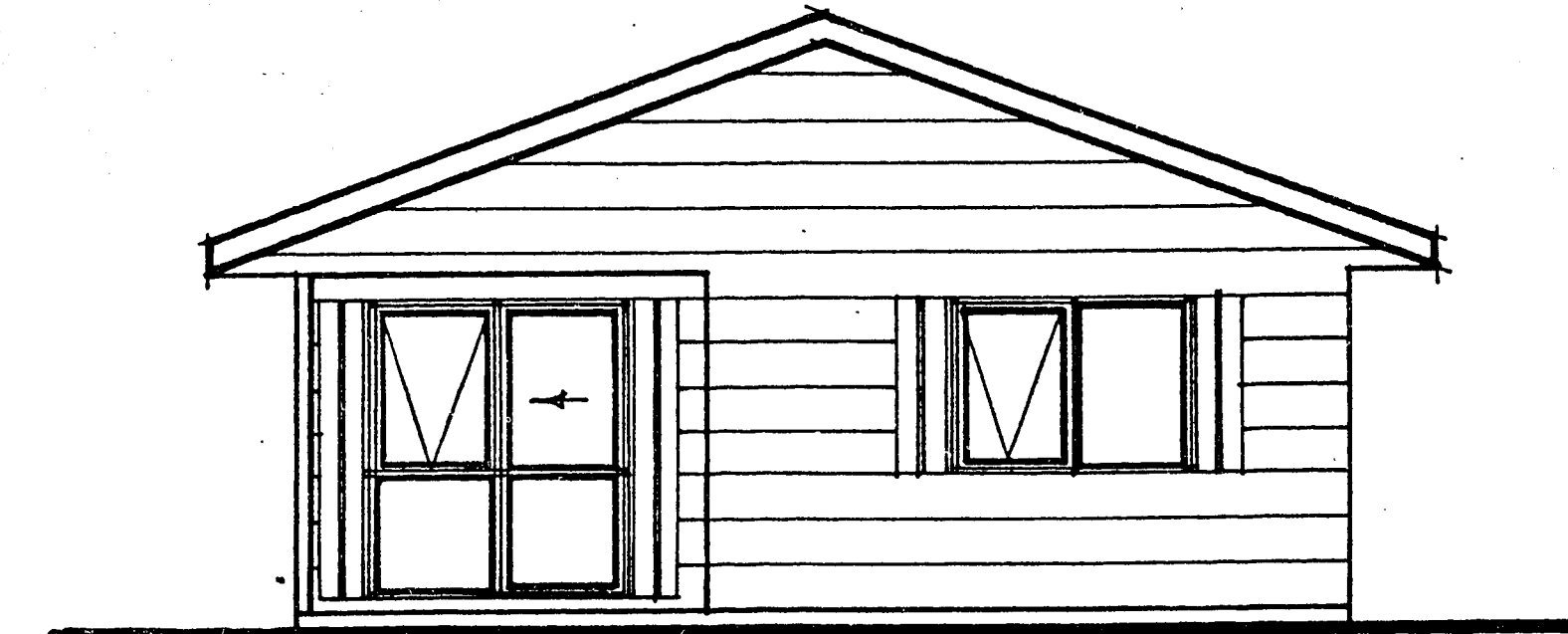
PROPOSED UNITS FOR IHLE STREET

263/10^c

DATE	DRAWN	SCALE	AREA	SHEET NO.
FEB. '89	P. SALES	1 : 100	INC. GARAGE 101.36 m ² HOUSE ONLY 79.76 m ²	
FLOOR & SET-OUT PLANS				

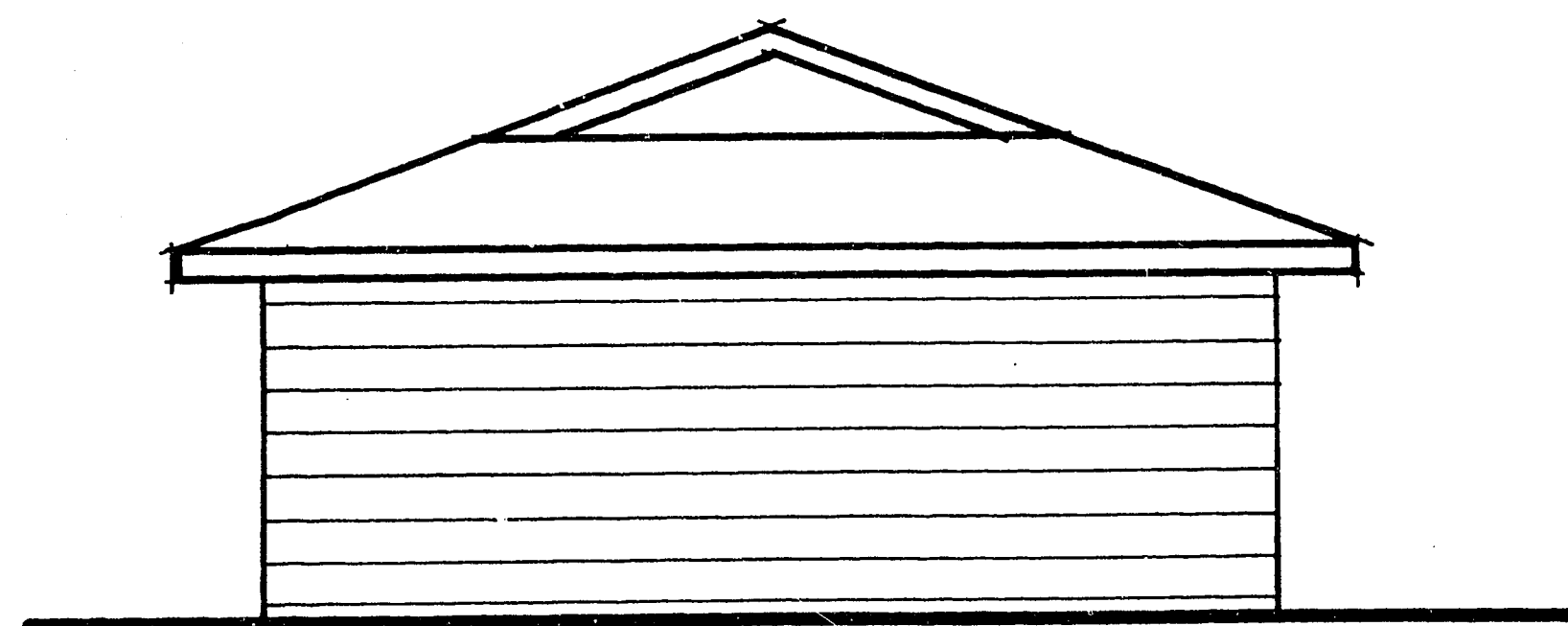


A ELEVATION

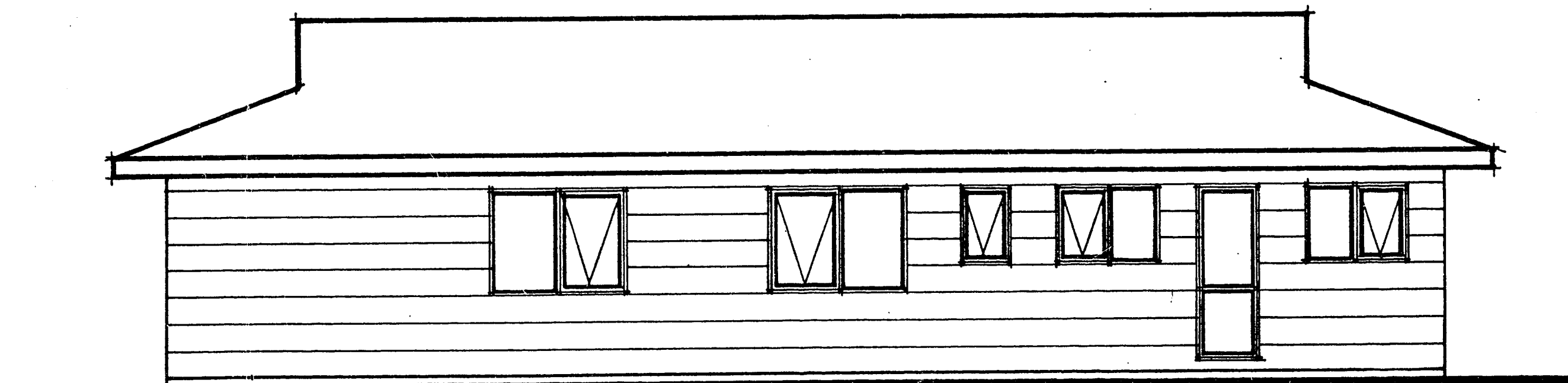


B ELEVATION

ROOF LINE - UNIT A



C ELEVATION



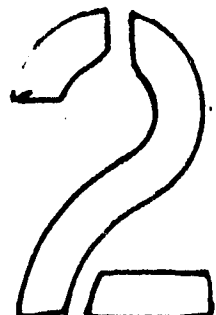
D ELEVATION

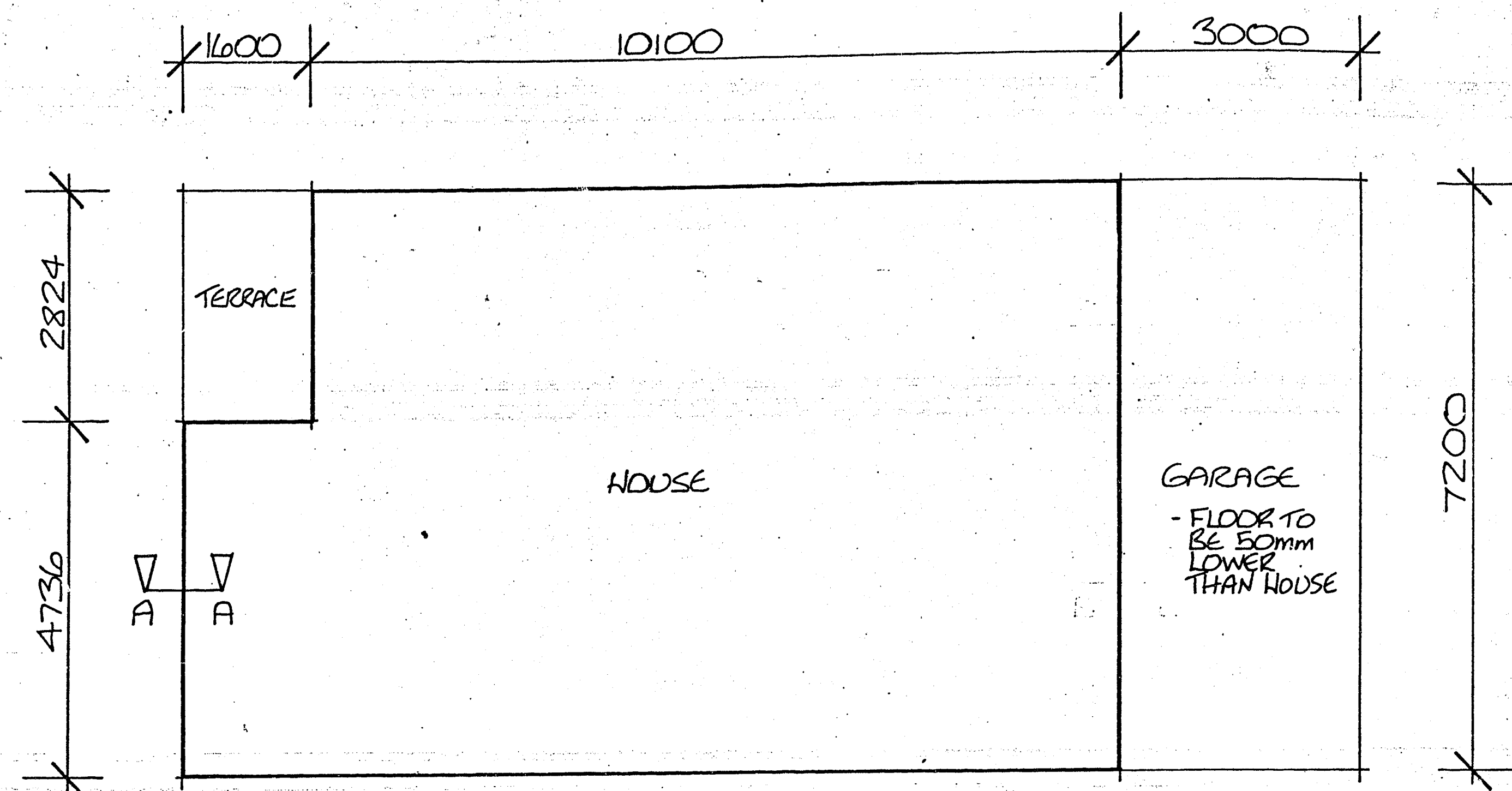
ROOF LINE - UNIT B

DESIGN & DRAW
66 BOURKE STREET
PALMERSTON NORTH
PHONE 84499

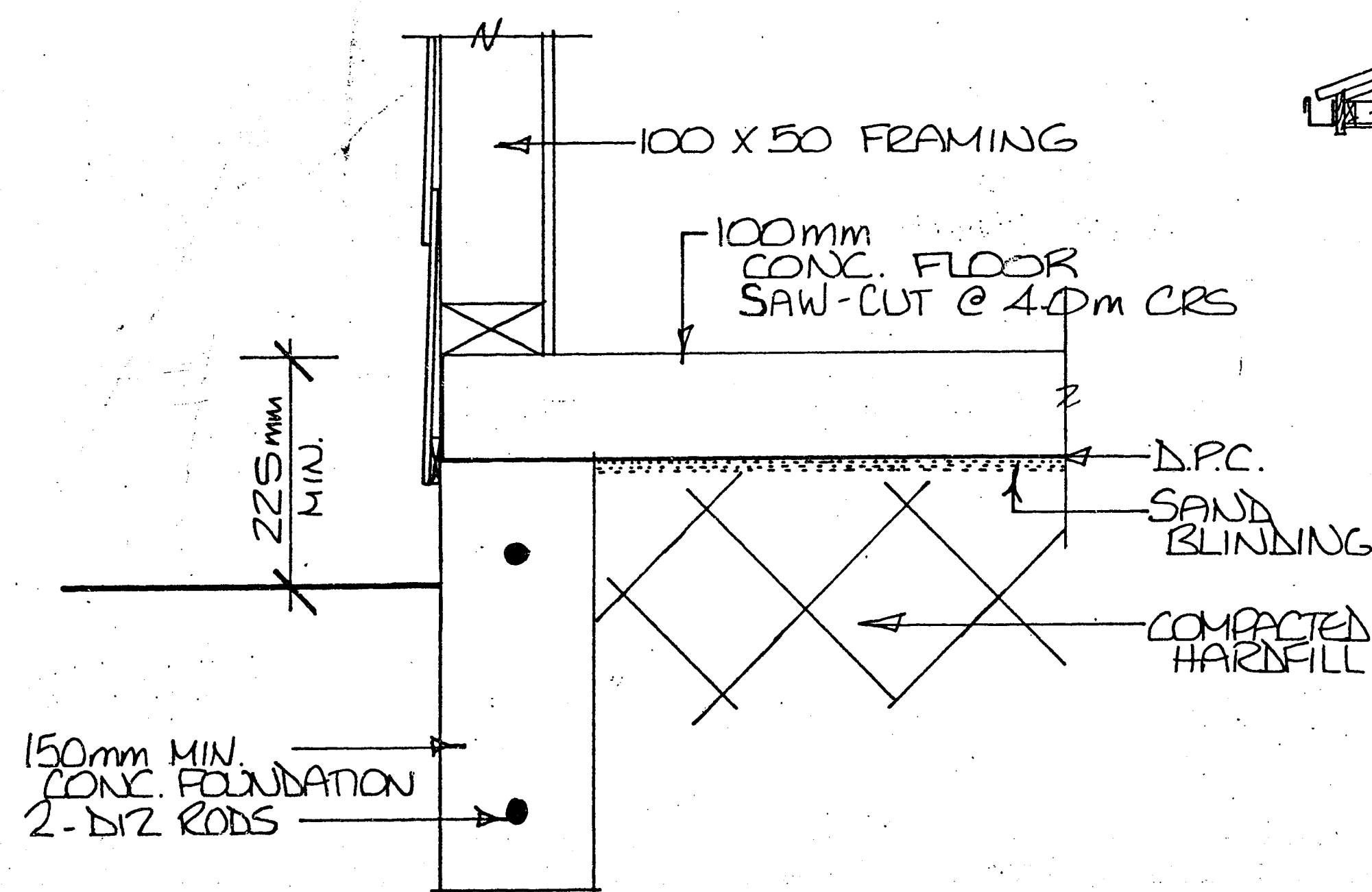
PROPOSED UNITS FOR 10 IHLE STREET
BROGON ENTERPRISES LTD

263/10^c

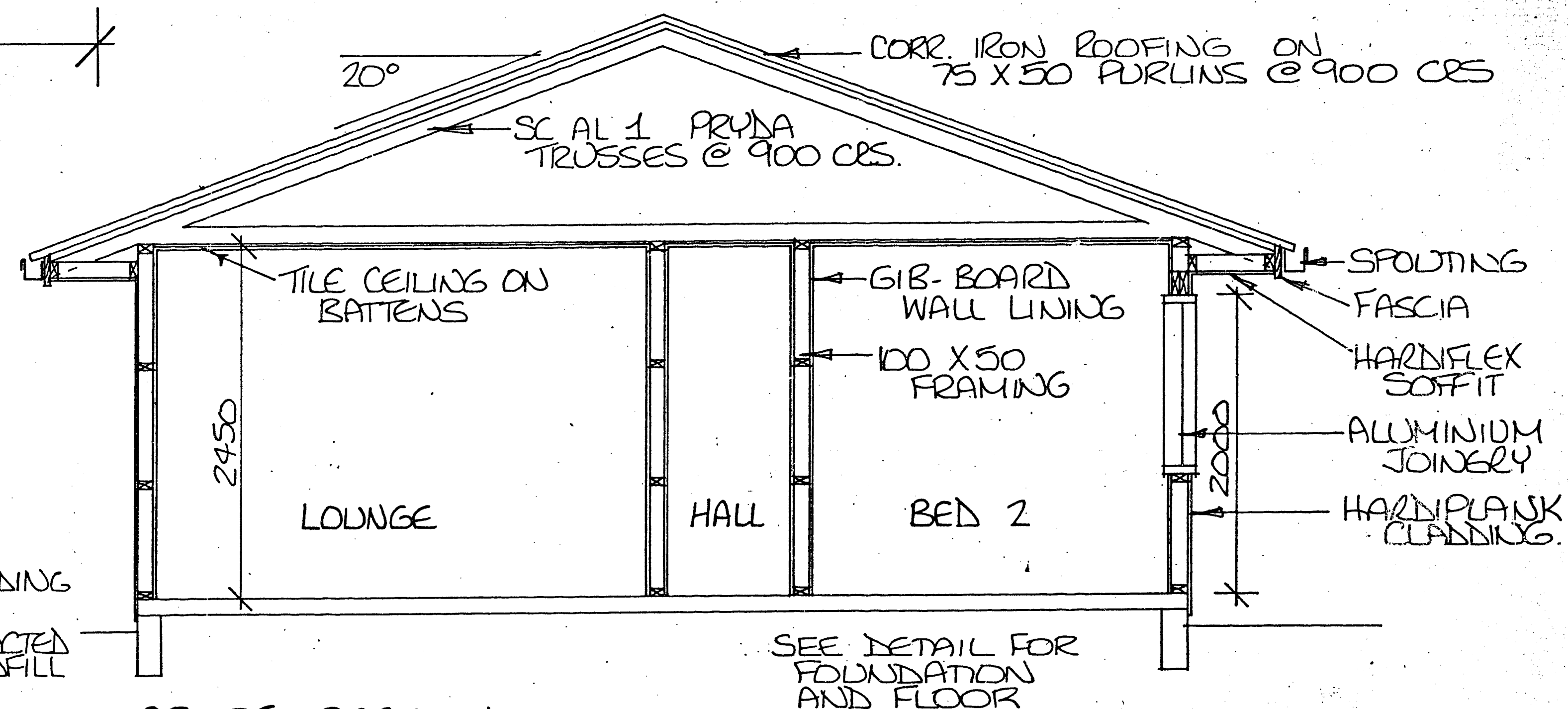
DATE	DRAWN	SCALE	AREA	SHEET NO.
FEB '89	P.SALES	1:100	TOTAL 101.36m ²	
ELEVATIONS				



CONCRETE FLOOR PLAN



FOUNDATION DETAIL A-A



CROSS SECTION

DESIGN & DRAW
66 BOURKE STREET
PALMERSTON NORTH
PHONE 84499

PROPOSED UNITS FOR IHLE STREET

263 / 10^c

DATE	DRAWN	SCALE	AREA	SHEET NO.
FEB. '89	P.SALES	1:100 1:10 1:50	TOTAL 101.36m ²	3

CONSTRUCTION DETAILS

INCHES

MICROBOX

