

RECEIVED
WANGANUI DISTRICT COUNCIL
17 FEB 2004



ENVIRONMENTAL
SERVICES
WANGANUI DISTRICT COUNCIL

APPLICATION for P.I.M/Building Consent

This application is for a: (tick the appropriate box)

- ☐ Project Information Memorandum - PIM (preliminary application for a Building Consent)
- ☒ Building Consent
- ☐ Alteration to Approved Plan

BC # 410188

(A) Owner

Name: DJ + RJ PROPERTY TRUST

Mailing Address: PO BOX 554, Wanganui

Phone: Fax: (06) 345 2759

(B) Designer

Name: Kate Whitaker

Mailing Address: 60 Skeets Rd Masterton, NZ

Phone: (06) 370 2120 Fax:

(C) Builder

Name: DML BUILDERS

Mailing Address: PO BOX 7082, Wanganui

Phone: (06) 343 2247 Fax: (06) 343 6317

(D) Craftsman Plumber DAVE DENNISON

(E) Registered Drainlayer DAVE DENNISON

CONTACT PERSON i.e. A B C D E (Circle one)

Project 5C

Description of PROJECT and USE: New Residential Dwelling

Project Location

Street Address/Rural No: LOT 16 DP 319050
31 NORFOLK DRIVE, WANGANUI

Durable Life of Project (i.e. 5, 15, 50+ years)

50+ years

Value of Project Work

(include all labour & materials)

\$ 280,000.00 (Incl. GST)

Consent Fees to be paid by?

Code Compliance Certificate to be sent
to? DML BUILDERS

FLOOR AREA OF PROJECT

New Residential Dwellings or

New Commercial Only 280.6 m²

LEGAL DESCRIPTION

Land No 31335

WDC Property No.

Valuation Roll No.

Lot(s) 16 DP 319050

Section Block

Survey District

Signed by (on behalf of) the applicant

Signature: [Signature]

Owner, (builder), plumber, designer, agent
(circle one)

Date: 17 / 2 / 2004

FEES APPLICABLE (office use only)

Building Consent Application \$ 700.00

Building Consent Issue \$

P.I.M. \$

Non-notified Appl. Fee \$

Prepaid Crossing \$

Prepaid Sewer Connection \$

Prepaid Water Connection \$

Stormwater Connection \$

BIA Levy \$

Additional Charges \$

Total Fees (Incl. G.S.T) \$

PTO

The information will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising.

Project Details

The project involves the following

(tick each applicable box, if any, and attach two(2) copies of any relevant information)

- (1) ☐ Location in relation to legal boundaries and external dimensions of new, relocated or altered buildings
- (2) ☒ New provisions to be made for vehicular access and on-site parking, ie. a new crossing
- (3) ☐ Provisions to be made in building over or adjacent to any road or public place, ie. hoardings, signs
- (4) ☒ New provisions to be made for disposing of stormwater and wastewater
- (5) ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermain
- (6) ☒ New connections to public utilities, ie. new drainage or water connections
- (7) ☐ Provisions to be made for any demolition work ie. the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
- (8) ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae

Project Documents (provided with this application)

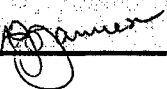
- ☒ Plans and specifications
- (22) ☒ Producer Statements (ie. truss design, design review) - specify:
- (23) ☐ Other Documents - specify:

Inspections

- (26) ☐ By Wanganui District Council
- (27) ☐ Other - specify (ie. Design Engineer):

For office use only							
Unit	Checks		Inspections		Approved		
	Initials	Date	Initials	Date	No.	Initials	
Administration	LC	18/2/04					
Planning	YLB	19/2/04				YLB 15/3/04	
Fire Design							
Building	BL	24-2-04				BL 18-3-04	
Drainage	Sent	18/2/04					
Water	Sent	18/2/04					
Structural							
Plumbing/Drainage	JP	1-3-04				JP 18-3-04	
Roading							
Health							
Dangerous Goods							

Approved for issue of PIM/Building Consent

District Building Controller:  Date: 19 MAR 2004

280
-45

235 x 1150 = 270

45 x 700 = 32

pergolas 4

306

280 min

Water Services

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SERVICESWANGANUI DISTRICT COUNCIL
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APPLICATION

for

SET (2)

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(circle one)

Date: 17 / 2 / 2004

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Building Consent Issue \$

P.I.M \$

Non-notified Appl. Fee \$

Prepaid Crossing \$

Prepaid Sewer Connection \$ Existing

Prepaid Water Connection \$ Existing

Stormwater Connection \$ Existing

BIA Levy \$

Additional Charges \$

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Structural							
Plumbing/Drainage							
Roading							
Health							
Dangerous Goods							
Approved for issue of PIM/Building Consent							
District Building Controller:				Date: / /			

FILE NOTE:
ASSESSMENT OF BUILDING CONSENT

Applicants Name	
Activity/Use	<i>New Residential Dwelling.</i>
Date	
BC#	<i>410188</i>
Address	<i>31 Norfolk Drive</i>
Subject	Residential Activities in Residential zones

THIS NOTE RECORDS THE INITIAL ASSESSMENT MADE OF THE CONSENT APPLICATION. IT ASSESSES WHETHER THE APPLICATION INCLUDES ALL OF THE INFORMATION REQUIRED TO PROCESS THE RESOURCE CONSENT FURTHER.

Zone:	Residential	
Road Classification:		
Site Area:		<i>1415 m².</i>
Site Coverage:	40%	<i>OK.</i>
Maximum Height:	10 metres	<i>4 m.</i>
Structures (Height Recession Plane):	Front Boundary	<i>comply with height recession plane requirements</i>
	Side Boundary	
	Side Boundary	
	Rear Boundary	
	(plus exemptions)	
Multi Unit Development (detached):	Height recession plane applies from a notational boundary	
Accessory Building	Garage or accessory building located in front of principal building	<i>—</i>
Conjoined multi unit developments and residential care facilities	$D = L = 3H/10$ i. Site amenity 30m ² ii. Upper story units iii. Storage space	<i>—</i>

Noise:		-
Light:		-
Advertising		-
Access:	Minimum 1 access to be provided 3.5 metres maximum	3m
Parking:	1 per dwelling unit	✓
Easements		

Decision and any other matters not contained in table above including further information for building consent purposes:

Levels on boundaries required to confirm compliance
ssb 19/2/04

Further Information Received? Yes/No

Decision:

Is resource consent required? Yes/No

Letter sent out? Yes/No

Date:

File Number: 4/101/

Assessed as:

Restricted Discretionary Activity

Breaches:

Non-complying Activity

Breaches

Wanganui District Council

Building a better community with the people of the Wanganui District



101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz

1 March 2004

DML Builders (2003) Ltd
6 Kitchener St
Wanganui 5001

Dear Sir:

1st Request for further information on Application.

Project Number: BC4/0188
Project Location: 31 Norfolk Dr WANGANUI 5001
Project Description: To construct a new dwelling with attached garage.

The documentation supplied for the above project has been reviewed and raises the following comments:

1. **To confirm compliance with height recession plane requirements, please provide natural ground levels (RL's) on the site boundaries adjacent to the proposed building and the floor level of the dwelling (RL) in relation to a fixed site datum. (Kathryn Barnes - Resource Management Planner)**
2. **Please supply brick window flashing details and show the 50mm brick rebate on the cross section. (Bill Leslie - Building Control Officer)**
- ✓ 3. **The minimum cover required over the s/sewer & s/water drains is 375mm or 50mm of concrete, please adjust plan accordingly. (Chris Gould - P&D Officer)**
- ✓ 4. **The s/s drain leg to the kitchen GT is over 10m long and requires venting. (Chris Gould - P&D Officer)**
- ✓ 5. **Please detail the rainwater heads including size, overflows and down pipe size. (Chris Gould - P&D Officer)**
- ✓ 6. **Please detail on the plan how the water is to be disposed of from the dormer roof internal gutter. Please show flashing details at junctions of gutter and roof. (Chris Gould - P&D Officer)**
- ✓ 7. **Informative note: The laundry tub is not to be used as a wash hand basin for the adjacent WC, a wash hand basin should be provided for this purpose. (Chris Gould - P&D Officer)**

We have placed this application on hold until we receive your advice regarding the above comments, and the issues raised have been resolved. If you have any queries please contact this office and quote Project Number BC4/0188

Yours sincerely

Wanganui District Council

Building a better community with the people of the Wanganui District



101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz

Garry Edlin
Customer Services Technical Officer



TOTAL INSPECTION TIME REPORT

Building Consent Number BC4/0188

Total Estimated Inspection Time	360
Total Actual Inspection Time	0
Inspection Time Difference	360
At BC Issue	Time to be charged.
At Completion	Positive amount = time to be credited Negative amount = time to be charged

Signed for and on behalf of the Wanganui District Council

110 mins
60

170

SPECIFICATION FOR PROPOSED HOUSE
LOT 16 DP 319050
NORFOLK DRIVE
WANGANUI

PRELIMINARY AND GENERAL

1. SCOPE

This specification conforming with the attached Agreement and Conditions of Contract describes the work to be done and the materials to be used in the construction of the house shown on the attached drawings.

2. BUILDING CONSENT/S:

The Owner or Owner's agent shall apply to the Territorial Authority (TA) for a BUILDING CONSENT, for inspections by the TA during construction and pay all bonds and fees incurred.

3. ACCEPTABLE SOLUTIONS:

All work shall be EQUAL TO (OR BETTER THAN) 'Acceptable Solutions given in NZBC Approved Documents; complying with the Building Act 1991 and Building Regulations. All as COMPLETED and SHOWN in TABLE 1.

4. HEALTH AND SAFETY:

As directed by the Owner, the Contractor shall be responsible in complying with the Health and Safety in Employment Act 1992, effectively operating a Safety Management Programme for the duration of the contract.

5. INSURANCES

The Contractor shall take out Builders All Risk Policy.

6. INTERPRETATION:

Work or materials shown on the drawings but not specified (or specified and not shown), shall be supplied as though both shown and specified. Materials shown but not specified must be of the kinds commonly employed for the service they are intended to perform. All figured dimensions shall be taken in preference to scale. The Contractor shall be held responsible for setting out of work and he shall make good at his own expense any errors that occur through his lack of checking or faulty workmanship. Unless written as provide only or fix only, the words 'provide' and 'fix' shall mean 'provide and fix'.

"This document is a general specification and is to be read in conjunction with the Plans and the Building Contract. Where there is any contradiction between the Building Contract, the Plans and Specifications, then the Building Contract shall take first precedence, the Plans second precedence, the Specification Schedule third precedence and the General Specification fourth precedence.

7. STABILITY DURING CONSTRUCTION

The Contractor shall carefully brace and support all parts of his work against damage by wind and protect work from the elements as necessary during construction.

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8. PROTECTION OF PROPERTY:

The Contractor shall protect adjoining properties during the contract and shall make good all damage at his own expense.

9. DAMAGE:

The Contractor shall make good at his own expense and to the satisfaction of controlling authorities, any damage done to footpaths, kerbs, drainage, etc, or other property under control of such authorities.

Each trade shall take care to prevent damage or disfigurement of the work of other trades and will be responsible for cost of restoring same.

10. MATERIALS:

Any materials specified that are not procurable when required, thus slowing progress of the Contract, may be substituted with other similar materials, providing that the substitute materials conform to the NZBC and permission is given by the Owner. The Contractor is first to notify the Owner of any change proposed and at the completion of the Contract adjust any difference in cost.

12. WORKMANSHIP:

All work shall be carried out in accordance with the best trade practice, in strict conformity with the drawings and specification to the satisfaction of the Owner. All defective or damaged work shall be removed and made good to the satisfaction of the Owner.

13. CLEANING:

The Contractor, at the conclusion of the Contract, shall have all ceilings, walls and woodwork carefully dusted and wiped down, windows washed and glass free from scratches, floors brushed and wiped down and the entire building left in a perfectly clean condition for occupation.

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Consent No.

EXCAVATION

1. **GENERAL:**

Accord with Preliminary and General clauses applying to this section AND: .

- * Means of compliance to relevant NZBC requirements.
- * Excavation code of Practice, Occupational Health and Safety Department.
- * Regional/Territorial Authority requirements for silt control from excavations.

2. **SETTING OUT:**

Set out the work as shown or implied on the drawings. Check accuracy in terms of position, levels and square.

3. **HARDFILL:**

Use only approved fill, well compacted under concrete ground floors and wherein otherwise specified.

4. **DRAINAGE TRENCHES:**

Take out seepage land drainage trenches where indicated to adequate depth and falls to prevent dampness under the building. Provide Nova drain or similar bedded on scoria.

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Consent No.

CONCRETE AND REINFORCING

1. **GENERAL:**

Accord with Preliminary & General clauses applying to this section and means on compliance to relevant NZBC requirements.

2. **EXTENT OF WORK:**

Comprises the setting out, boxing and placing of concrete in the foundations, floor slabs, walls, beams and bands and any other concrete work shown in the drawings.

3. **MATERIALS:**

Ordinary grade concrete shall comply with NZS 3109. Builders mix may be used if agreed by Owner, providing a minimum crushing strength of 20MPa at 28 days standard cure is obtainable. Concrete from an Approved Batching plant only shall be used.

4. **FORMWORK:**

Formwork shall be so constructed that the concrete thickness and shapes required are obtained as detailed without removal causing damage. Methods of construction and pouring and curing of concrete and times of removal of formwork shall be as set down in NZS 3109.

6. **PATHS:**

Where shown on drawings paths shall be laid not less than 75mm thick reinforced with 668 mesh. The surface shall be graded evenly to provide suitable drainage and left with a uniform finish using a wooden float.

7. **COMPLETION:**

Make good any defective work. Leave all clean and stain free.

CARPENTRY AND JOINERY

GENERAL:

Accord with Preliminary & General clauses applying to this section and means of compliance to relevant NZBC requirements.

2. EXTENT OF WORK:

The work of this section shall include all labour, materials, equipment necessary to carry out and complete the carpentry as shown, or as further required by this specification. Any work that is intended or implied but not specifically shown but necessary for the proper completion of the building shall be included.

3. ATTENDANCE AND PROTECTION:

Arrange and attend upon all works by other trades in a logical sequence e.g. as in this section to allow early closing-in. Provide all blockings, fixings, trims, nogging as necessary for the frill completion of their respective works and make good after all trades. Provide for temporary protection from adverse weather and damage and ensure closing in of the building as soon as possible.

4. MATERIALS AND WORKMANSHIP:

All timber and wood based products shall conform to NZS 3602 requirements, "Code of practice for specifying timber and wood-based products for use in building". Timbers shown in the Schedule of Timbers to be treated with an approved preservative process in plants licensed by the Timber Preservation Council. Any materials which in the opinion of the Owner, Loan Body or Territorial Authority are not up to standard, to be removed immediately from the site. All work shall be carried out in accordance with best trade practice.

5. COMPLIANCE WITH THIS SPECIFICATION:

(a) Do any works under specific design in accord with details provided. The Contractor and Carpenter shall do all other work in accord with NZS 3604-1999. In particular complying with the whole of SECTION 2- GENERAL of NZS 3604-1999. The requirement here shall be to meet NZBC Approved Documents B 1 .Structure and B2 .Durability.

(b) All fixings of materials to be the equal of that in Appendix A of NZS 3604-1999. Including sheet lining and cladding materials for walls and ceilings that are not wood-based, eg: Gibraltar board, fibrous plaster or wood cellulose sheeting; especially when used as diaphragms and for wall bracing.

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Consent No.

6. TIMBER TERRACES:

Construct to detail or best trade practice. All fixings to be galvanised nails and bolts. All timber to be treated as specified by the Timber Preservation Council (eg to NIP 3640).

7. GENERAL FRAMING:

All framing under 3m high to be H1 treated 90mm x 45mm dry frame at 600crs. All framing over 3m high – refer to tables in 3604:1999. Dwangs at 800mm crs. Top and bottom plates to be same size as studs in long lengths, halved or nail plated at wall junctions and jointed over studs. Extra packers and framing as required by the linea installation manual.

8. WALL BRACING:

Provide all wall bracing as shown on drawings and wall bracing calculation sheets as is intended to satisfy the Territorial Building Authority. Keep strictly to the "Type", Lengths and Locations shown on plan and elevations.

9. POST AND BEAMS:

Where within maximum permitted by NZS 3604 —1999 secure in equivalent manner.

10. EXTERIOR JOINERY:

All windows shall be to NZS 4211 to suit location.

Aluminium joinery complete with glazing, frictional restraints and catches, and fix plumb both ways and in correct alignment and flash all in accord with manufacturers instructions
All glazing to be in accordance with NZS 4223.

11. DAMP PROOFING:

All timber to be protected from dampness with 3-ply bituminous felt or other approved damp proofing material when in contact with concrete or brickwork, or as in NZS 3604-1999.

12. ROOF CONSTRUCTION: (See Drawings and Schedule of Timbers for types)

TRUSSED ROOFS: Drawings showing clearly the type, pitch, span, spacing and overhangs of roof trusses and details of roof cladding shall be provided to the truss manufacturer to allow him to comply with NZS 3604-1999. Thereafter, the Contractor shall match construction with the drawings and details provided by the truss manufacturer throughout all stages of fixing and bracing. The Contractor shall especially accord with the manufacturer's instructions for tying down where overhangs exceed 750mm. In all cases anchorage of all trusses to plates shall be with not less than 2/100mm skew nails plus 2/4.9mm wire dogs.

13. PULLNS. EAVES. GABLE ENDS:

Size of framing, spacing, overhangs and sheathing type as shown on plan.

14. FASCIA BOARDS ETC:

Fix fascia, barge, frieze etc to suit roofing selected.

15. THERMAL INSULATION:

All roofs, walls and floors are to be insulated in accordance with NZS 4214 and NZS 4218

P. No insulation material shall be used that does not comply with NZS 4222. All insulation materials are to be installed in accordance with manufacturers recommendations.

16. MOISTURE CONTROL:

Where a vapour barrier is required in the form of foil or polythene film, this barrier shall be fixed according to manufacturer's instructions. Foil or polythene film shall not be used as a substitute for building paper. Building paper shall be properly fixed to bottom plates, especially in veneer construction, to prevent entry of sub-floor air into stud cavities. Linings shall not be fixed until moisture content of framing has been tested and approved.

A proper solvent based paint or varnish finish must be used for plaster (Gibraltar board or fibrous plaster) linings to 'wet' rooms such as kitchens, bathrooms and laundry. Water based/emulsion paints must not be used in such rooms.

17. CEILINGS:

Ceiling linings "ultraline".

GIBRALTAR BOARD: Fix to manufacturer's instructions. 'Fixer' and 'Stopped' to be approved. All nail fixing and joints to be finished to a true even smooth surface. In particular fix all ceilings serving as structural ceiling diaphragms under terms of NZS 3604. (See Winstone Wallboards Ltd taped joint system). Check that each wall under or connected to has adequate bracing for a diaphragm.

18. WALL LININGS:

See "INTERNAL WALL LININGS" section

Generally shall be of 10mm Gibraltar Board and shall be fixed to external walls only after placement of thermal insulation (bulk insulants). As per NZS 3604-1999 or manufacturers instructions and stopped to manufacturer's instructions; in particular where contributing to wall bracing.

19. DOOR AND FRAMES (TIMBER):

External door frames shall be of 40mm full width material, internal doors shall be flush panel MDF hollowcore doors, in slimline jambs. Doors shall comply with NZSS 1158, with external timber or glass panel as shown on drawings, all properly constructed with stiles and rails.

20. WARDROBES:
Construct as shown on plan. Wardrobes will have 1 shelf and 1 hanging rail, linen cupboard shall have 4 shelves, and all other cupboards will have 1 shelf
21. SKIRTINGS:
Finish at junction of floor and wall with 60mm x 12mm bevelled customwood skirting with ends neatly bulled, scribed or mitred. Scribed to floor where necessary. Ceilings shall be square stopped. Supply and fix beads, half rounds and all trim as required to complete the work.
22. BATHROOM:
All wall linings to be fixed to manufacturer's specification with adequate capillary gaps or flashings/trim or sealant to prevent leakage. Provide for all sanitary fittings shown on plan and given under "SANITARYWARE/FITTINGS" schedule.
23. LAUNDRY AND TOILET/S:
Fit out as shown on plan and give under "SANITARYWARE/FITTINGS" schedule.
24. METER RECESS:
Provide recess for Electric Meter Board where directed by electrician.
25. HARDWARE:
Allow for the supply of all hardware required. Door handles, locks, window fitting, door and drawer pulls, stops, angles, vents, towel rails etc. Allow to take delivery and fix.
26. FLOOR TILING:
Supply and install floor tiles to dining, kitchen, ensuite, wc and bathroom.
27. CLEANING AND COMPLETION:
The Contractor at the conclusion of the Contract shall have all ceilings, walls and woodwork carefully dusted and wiped down. Windows washed and glass free from scratches and paint. Floors brushed and the entire building and site left in a clean condition for occupation.

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Consent No.

ROOF COVERINGS, ROOF PLUMBING AND DRAINAGE

TYPES OF ROOF COVERINGS:

- (a) Coverings to the main areas of roofs shall consist of .4 gauge dimond styleline or similar coloursteel roofing.
Box gutters shall be 1.0mm butynol over 17.5mm C-D plywood. Fix in accordance with manufactures installation specifications.
- (b) The roof covering Fixer and plumber shall advise on substructure/substrate needs. Inspect and have defects or omissions remedied and do adequate preparatory work.

2. SUBSTRUCTURE AND SUBSTRATES:

- (a) Timber substructure work shall be to NZS 3604, Section 10- ROOFS, or to specific design, meeting NZBC B1 and B2 requirements. Purlin (roof batten size and spacing and sarking sheet substrates to approval in writing by covering manufacturer and be to NZS 3602.
- (b) Purlin size in roof types (B) and (C) of TIMBER SCHEDULE to allow for thermal insulation to meet the NZBC or to greater thickness. Agree with Owner. End-to-end joints in purlins shall be staggered (Not occur in line on a single rafter or truss). Provide for closer spacing at ridges and eaves for better fixing against wind uplift.

3. ROOFING UNDERLAY/CLOSING IN WORK:

- (a) Fix gutters and downpipes (even if temporary). Fix valleys at least 300mm wide with turned edges and base projecting into gutters.
- (b) When all in 2 are satisfactory and unless otherwise stated, fix breather type building paper ex NZS 2295 to recommendations of roof covering manufacturer. Properly support, lap, turn up at upstands and projections through roof and turn down into gutter.

4. PREPARATORY WORK:

The roof covering fixer shall co-ordinate preparatory and installation aspects with plumber (see clauses 1 and 8) and contractor to ensure the following:

- (a) Temporary bracing of roof and walls below if some stacking of covering is required; keeping loads on timber to a minimum and not localized on too few members.
- (b) Good in-plane alignment of purlins and/or sarking and adequate support and fixings for all ridgings, cappings and overflashings and at all projections through the roof
- (c) Neat setting out of work to all roof planes; avoiding any covering or flashing being cut too short, too narrow or in any manner that will prevent secure fixing and long term resistance to rain penetration. Tile, slate and shingle work to be set out to give a full course both at eaves and ridges.

- (d) Corrosion protection is given to galvanised steel where difficult to paint after fixing.
e.g. prime and top coat laps in the roof covering and where lapped by cappings and flashings. Also to bottom underside at projections over gutters.

4. INSTALLATION:

The roof covering FIXER shall follow all relevant recommendations of the covering manufacturer and preferably be approved by the manufacturer. Roof flashing and drainage work shall be of a quality expected of work done by Craftmen/Registered plumbers whether or not the Contractor or Fixer employs a plumber to do or supervise the work.

- (a) FIXER, plumber and others to wear soft soled shoes to prevent damage to prefinished metal, membrane and any special brush, spray or trowel applied coverings.
- (b) Fixing of coverings, accessories and flashings shall allow for differential movement. Laps or joints shall where possible face away from the prevailing wind. SEALANTS SHALL NOT BE USED EXCEPT WHERE PRIOR APPROVED.
- (c) Take care of all roofing materials. Any damaged at time of delivery or during construction to be removed from site. Colour match making good of face fixings and minor damage. Each day remove rivet stems, metal scraps and debris from roof and any runs from soldering flux.

5. ROOF PLUMBING AND DRAINAGE:

- (a) Arrange with Contractor to fix butynol box gutters, galvanised rainwater heads and downpipes for earliest possible closing in of the building.
- (b) Sizing of gutters/spoutings and downpipes and downpipe spacings shall accord with Acceptable Solution E1/ASI -SURFACE WATER.
- (c) Rainwater collected from roofing shall discharge into surface water drains connecting to a Territorial Authority system (Not into a FOUL WATER DRAIN unless approved by the T.A.)
- (d) Prime and top coat both contact surfaces at laps of cappings, flashings etc, with galv. steel. Adequately and neatly fix same wherever needed for long term durability and resistance to rain entry.

6. ON COMPLETION:

Remove all traces of flux after brazing or soldering, swarf, snapped rived stems, metal wastes and other debris from roof surfaces and gutters.

EXTERNAL WALL COVERINGS

1. **GENERAL:**
Accord with all Clauses under Preliminary and General where they apply to work and materials shown on the drawings.
2. **MAIN AREAS:**
The main areas of walling shall consist of 70mm series brick with a minimum 40mm cavity, and Hardies 135 x 16mm Classic Linea Board and tyvek building paper.
3. **WORKMANSHIP:**
The Contractor/carpenter shall straighten all studs and nogs in external walls to the satisfaction of the Owner and the Cladding Fixer and Wall Lining Fixer before fixing any building paper, bracing panels, (sheathings rigid backings). All to tolerances given in NZS 3604-1999.
4. **FIXING AND FINISHING OF WALL CLADDING:**
Procure and accord with NZ Standards and Manufacturers instructions relating to the types of cladding shown on the drawings and specified above.
5. **ON COMPLETION:**
Leave all work and adjoining surfaces in a clean, stain free state and remove all rubbish.

INTERNAL WALL LININGS

1. **GENERAL:**
Accord with all relevant Preliminary and General where they apply to work and materials shown on the drawings. Linings to be fixed after plumber has set out pipe runs and set location on taps etc and after electrical wiring has been run to power and lighting outlets.
2. **MATERIALS:**
The wall lining shall be 10mm Gibraltar Board, including garage wall linings. Also refer to bracing calculations for positions of gib brace line. Gib aqualine to be used in bathrooms.
3. **WORKMANSHIP:**
The Contractor/carpenter shall straighten all studs and nogs to the satisfaction of the Owner and the wall lining fixer before the fixer commences fixing. All to tolerances given in NZS 3604-1999.
4. **FIXING AND FINISHING OF WALL LININGS:**
Refer to WALL LININGS in NZS 3604-1999. Procure and accord with NZ Standards and manufacturers instructions relating to the types of lining shown on the drawings and specified above.
5. **ON COMPLETION:**
Leave all work and adjoining surfaces in a clean, stain free state and remove all rubbish.

CEILING LININGS

1. **GENERAL:**

Accord with all Preliminary and General clauses applying to work and materials shown on the drawings. Linings to be fixed after plumber has set out pipe runs and set location of taps etc and after electrical wiring has been run to power and lighting outlets.

2. **MATERIALS:**

The ceilings shall consist of Gibraltar Board 'Ultraline'. Garage ceiling shall also be lined with ultraline.

3. **WORKMANSHIP:**

The Contractor/carpenter shall erect and straighten ceiling framing to the satisfaction of the Owner and ceiling lining fixer. All to tolerances given in NZS 3604-1999 (remember thermal insulation needs to be provided in the roof-ceiling space. The work needs to be co-ordinated with other trades and care taken to avoid rain-wetting).

4. **FIXING AND FINISHING OF CELLING LININGS:**

Refer to CEILINGS in NZS 3604-1999. Procure and accord with NZ Standards and manufacturers recommendations relating to the lining shown on drawings and mentioned above.

5. **ON COMPLETION:**

Leave all work and adjoining surfaces in a clean, stain free state and remove all rubbish.

DRAINLAYINGConsent No.EXTENT OF WORK:

Work in this section of the contract comprises all surface and foul water drainage up to above ground level to connect to Plumber's work. Include all PVC drainage pipes and special fittings, construction of manholes, all gully traps and connections for terminal vents, soil and waste pipes. The Drainlayer shall confer with the Plumber and shall arrange with the Contractor before the foundations are laid to fix the exact position of all connections of wastes and drains.

2. DOCUMENTS:

N7ZBC	B 1/AS 1 Structure -general 6.0 Drains
NZBC EI/AS	1 Surface water
AS/NZS 1260	PVC pipes and fittings for drain, waster and vent applications
AS/NZS 3500	National plumbing and drainage code
3500.3:	Stormwater drainage
3500.3.2:	Acceptable solutions
NZS 7643	Installation of unplasticized PVC pipe systems
NZS 7649	Unplasticized PVC sewer and drain pipe and fittings
Plumbers, Gasfitters, and Drainlayers Act 1976.	

3. DRAIN TRENCHES:

The excavation of trenches for drains shall be accurately made with base clear and true to grade so that no unnecessary filling is required. Adequate width shall be allowed in accordance with depth of drain to enable laying and jointing to be properly carried out. Trenches shall be kept firm and dry and shall be opened up only in lengths that can be protected, utilised and refilled within a reasonable time.

4. LAYING OF DRAINS:

All drains to be adequately supported by firm trench bottom with additional pocket excavations to avoid sockets etc bearing on the ground. Run sewer drain to existing sewer connection as positioned on plan. Stormwater drains from downpipes are to be run to existing stormwater connection as positioned on plan.

5. FITTINGS:

The plans show the layout of the system. Additional fittings that are normally required such as inspection points and inspection bends etc that may be required but are not specifically shown must be allowed for by the Drainlayer to comply with normal practice under the regulations or special requirement of the NZBC.

6. FALL IN DRAINS:

The whole of the soil and stormwater drains are to be laid to a regular and even fall.

7. GULLY TRAPS:

Supply all gully traps and securely bed and build up with 5:1 concrete surround, 150mm above finished ground levels. Form large and deep dishings and trowel smooth. All gully traps are to be fitted with large gratings and also a grating or perforated plate above the wastes discharging into it.

SANITARYWARE/FITTINGS

1. GENERAL:

Accord with Preliminary and General clauses applying to this section and means of compliance to relevant NZBC requirements.

2. SCOPE:

This section consists of the supply of materials and labour involved in installing the whole of the water and drainage reticulation and metal flashings to leave the building plumbing systems and stormwater complete and working and the building watertight. See roofing section for roof flashings and roof plumbing.

3. DOCUMENTS:

The sanitary plumber shall be a Craftsman/Registered Plumber and may also be a Registered Drainlayer. He shall accord with the following:

All work shall be carded out in accordance with the New Zealand Building Act 1991 - Regulations and Codes, and its amendments, with the local bylaws and with the relevant clauses of the following standard specifications which shall form part of this specification.

NZBC	B1/AS1	Structure – general 6.0 Drains
NZBC	E1/AS1	Surface water
AS/NZS 1260	PVC Pipes and fittings for drain, waster and vent applications	
AS/NZS 3500	National plumbing and drainage code	
	3500.3: Stormwater drainage	
	3500.3.2: Acceptable solutions	
NZS 7643	Installation of unplasticized PVC pipe systems	
NZS 7648	Unplasticized PVC sewer and drain pipe and fittings	
Plumbers, Gasfitters and Drainlayers Act 1976.		
NZS 625:1950	Water taps (12-25mm)	

4. MATERIALS:

All materials and fittings shall be the best of their respective kinds.

All cold water piping may be unplasticised P.V.C. or polybutylene.

All hot water piping may be copper or polybutylene.

All wastes, soil and vent pipes may be unplasticised P.V.C.

All pipes to fire hose reels shall be copper.

5. WORKMANSHIP:

All work shall be in accordance with best trade practice. All runs shall be in straight lines with minimal bends and junctions.

All copper bends shall be either easy pipe bends or preformed elbows braze jointed. (Elbows shall be restricted to an absolute minimum.)

All pipework shall be concealed in concrete floor, framing or ceiling cavity.

Any pipework set into concrete shall be copper or polybutylene and must be fully lagged with Denso tape or similar to allow for thermal and mechanical movement.

6. PIPES AND SIZES:

As a minimum requirement all individual fittings e.g. cisterns, sinks, basins etc. shall have a 12mm connection cold (and hot where applicable).

Where fittings are grouped together 20mm branch supply (hot and cold) will be taken to each group with 12mm connections made.

Showers will be connected to branch lines independent of other fittings with their supply taken as directly as possible from either the water heater or the cold supply source.

Provide piped reticulation to all fittings shown in cold supply; and hot where applicable from water heater.

Provide wingbacks securely fixed to framing for all tap connections.

7. WASTES:

Provide U/PVC wastes from all fittings to gully traps as shown either to sizes given or to comply with standards. Over-length wastes to be oversized in diameter and to be fitted with screw cap cleaning eye and breather pipe mounted 2m up wall.

All wastes to be turned down into gullies - under grates. (maximum of 4 per gully).

8. VENTS:

Provide all terminal vents to drains and back vents to fittings, from U/P.V.C., to comply with standards.

All back vent pipes to be run in wall cavities and project above roof.

All terminal vents to be neatly clipped to exterior of wall where shown. Terminate with perforated P.V.C. flush end cap.

9. FITTINGS:

Provide and install all fittings shown on drawings and/or scheduled. Connect all water supplies pipes, wastes and taps and valves and leave complete in working order.

Fitting schedule:

Mixers and roses to showers

2 x shower cubicles

2 outside brass taps

2 x vanities, pre-finished units with taps

3 x dual flush toilets and cisterns

Kitchen faucet

Laundry tub with tapware to laundry.

1 x bath with taps

All proprietary fittings

10. HOT WATER CYLINDER:

Water heating is to be by Rinnai Infinity 24 gas hot water system, installed at position as shown on plan.

ELECTRICAL

1. **FEES:**
Pay all fees and charges and obtain all necessary permits for this trade.
2. **MATERIALS AND WORKMANSHIP:**
All materials used under this contract shall be to approved New Zealand or overseas Standards. Mow for materials necessary to complete the Contract, whether specified or not. All work shall be carried out by a Registered Electrician holding a current practice licence in accordance with regulations and best trade practice and in a manner which will cause minimum inconvenience to other workmen and the work as a whole. Do all cutting away, drilling etc and with timber cut the minimum only for the entry of cables.
3. **MAINS SUPPLY:**
Arrange with the Electric Supply Authority, allow for and pay all fees for the connection of underground supply to the residence. Visit site to assess costs of obtaining supply, before submitting a tender for the work.
4. **METER BOX:**
Provide and install recessed meter box where shown on plan. Confer with Carpenter for trimming same.
5. **MAIN SWITCHBOARD:**
Provide and install in recess main switchboard complete with all necessary control and auxiliary equipment.
6. **WIRING:**
 - (a) Run new 2 and 3 core TPS cable for sub-circuit wiring to lights, power outlets, switches and for installation of appliances shown in the house drawings and/or in the Electrical Fittings, Fixtures and Appliances Schedule.
 - (b) Locate cable runs in centres of timber framing members so that nailing or screwing of linings can be done without damaging cables. Holes made should be just sufficient in size to pull cables through not adversely affect the strength of the framing.
 - (c) Ensure wiring is to locations agreed with Owner without fouling installations by other Wades eg: to required mounting height of switches and power outlets above floor level or above work tops and to required alignment of lights along and across ceilings.

7. SCHEDULE ITEMS:

Provide and install all goods in the ELECTRICAL SCHEDULE, except where it is indicated that the Owner or others shall supply.

Connect:

- . Oven
- . Hob
- . Rangehood
- . Dishwasher
- . Waste Disposal
- . Rinnai infinity 24
- . Circuits to internal Distribution Board

Wire:

- . 3 TV Outlets
- . 3 Telephone Points
- . Shaving point to bathrooms and ensuite.
- . Pendant lights throughout home
- . Powerpoints throughout home

MISCELLANEOUS

1. GARAGE DOOR:
Garage door will be colour-steel sectional door with 2 remote control door openers.
2. KITCHEN:
The supply and fitting of the kitchen includes formica bench tops with pre-finished units, stainless steel 1 ½ bowl sink insert and draining tray, and rangehood. (tapware supplied by plumber).
3. VANITIES
To supply and fit two(2) vanities.
4. DECORATING AND PAINTING:
Allow to complete all painting and decorating to interior and exterior. All interior walls and ceilings to paint finish.
5. GAS FITTINGS:
Freestanding gas fire to lounge – to be selected.
Rinnai infinity 24 hot water system.
Gas Hob
7. TILING AND CARPET:
Supply and install tiles to dining, kitchen, ensuite, wc and bathroom.
Supply and install carpet to all other areas, excluding garage.

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Consent No.

Job Details

Name	DML Builders	note
Street and Number	Norfolk Drive	cells D4 and D8 appear as LH and RH
Lot and DP Number	lot 16 DP 319050	headers on all printed sheets
City/Town/District	Wanganui	
Designer and date	Kate Whittaker	10-Jan-04
Company Name		

Building Specification

Location of Storey	single	▼	
Floor Loading	2 kPa	▼	
Foundation Type	slab	▼	
Building Height to Apex (m)	4	▼	
Roof Height above Eaves (m)	1	▼	
Stud Height (m)	2.4	▼	
Cladding Weight (top or single)	heavy	▼	
Cladding Weight (lower)	heavy	▼	not applicable (single storey building)
Cladding Weight (subfloor)	light	▼	not applicable (slab)
Roof Weight	light	▼	
Roof Pitch (degrees)	0-25	▼	
Room in Roof Space	no	▼	
Building Length (m)	21.37		
Building Width (m)	20.63		
Gross Building Plan Area (m2)	280.6		

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Consent No.

Building Location

Wind Zone	Medium	Earthquake Zone
Region	R1	A
Terrain	Inland	
Exposure	Exposed	
Topography	Gentle	Enter at least 'moderate' in a Lee Zone

Bracing Units required for Wind

per m	subfloor	walls
W along	n/a	34 BUs/m
W across	n/a	24 BUs/m
Totals	subfloor	walls
W along	n/a	701 BUs
W across	n/a	513 BUs

Bracing Units required for Earthquake

per m2	subfloor	walls
E	n/a	5.2 BUs/m2
Totals	subfloor	walls
E along	n/a	1459 BUs
E across	n/a	1459 BUs

Gib® Bracing Systems (1999)

*For details see Gib® Bracing Systems, 1999
and appropriate manufacturer's literature*

Supplier	System	Minimum Length (m)	BU's W/m	BU's EQ/m
	none			
Gib®	Gib1a	1.8	55	50
Gib®	Gib1b	2.4	75	50
Gib®	Gib2a	1.8	75	60
Gib®	Gib2b	2.4	80	70
Gib®	Gib3	1.2	65	60
Gib®	Gib10	1.8	65	60
Gib®	Gib11	1.2	65	65
Gib®	UL1	1.2	70	60
Gib®	UL2	1.2	100	85
Gib®	BR1a	1.8	70	60
Gib®	BR1b	2.4	90	75
Gib®	BR2a	1.8	75	60
Gib®	BR2b	2.4	85	60
Gib®	BR3a	1.8	60	45
Gib®	BR3b	2.4	95	65
Gib®	BR4	0.9	100	85
Gib®	BR5	1.2	115	85
Gib®	BR6	1.2	150	110
Gib®	BR7	0.9	145	145
Gib®	BR8	0.9	120	95
Gib®	BR9	0.6	110	95
origin ply	SP1	0.9	100	100
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			

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Consent No.

Gib® Wall Bracing Calculation Sheet B

V56A

Totals Achieved						1939	1538
-----------------	--	--	--	--	--	------	------

OK OK

Totals Required (from Sheet A)					513	1459
--------------------------------	--	--	--	--	-----	------

Gib® Bracing Systems (1999)

For details see Gib® Bracing Systems, 1999
and appropriate manufacturer's literature

[illegible]

single storey

V56A

Along								
Wall or Bracing Line		Bracing Elements provided					Wind	Earthq.
1	2	3	4	5	6	7	8W	9EQ
Line Label	Minimum BUs Req/Ach	Bracing Element No	Supplier	Bracing Type	Element Length L (m)	Element Height H (m)	BUs Achieved	BUs Achieved
A	48	1	Gib®	BR4	0.99	3	79	67
		2	Gib®	BR4	0.99	2.7	88	75
		3						
line totals		4						
W	167	5						
EQ	142	6						
B	213	1	Gib®	BR4	0.9	3.5	62	52
		2	Gib®	BR4	0.9	3	72	61
		3	Gib®	BR4	1.1	2.9	91	77
line totals		4	Gib®	BR4	1.1	3.1	85	72
W	310	5						
EQ	263	6						
C	70	1	Gib®	Gib2a	2.2	2.7	147	117
		2	Gib®	Gib2b	2.8	2.7	199	174
		3						
line totals		4						
W	346	5						
EQ	292	6						
D	70	1	Gib®	Gib2b	2.9	2.7	206	180
		2	Gib®	Gib3	2.9	2.7	168	155
		3	Gib®	Gib2b	3.6	2.9	238	209
line totals		4						
W	612	5						
EQ	544	6						
E	130	1	Gib®	BR4	1	2.8	86	73
		2	Gib®	Gib1a	2.1	2.9	96	87
		3	Gib®	BR4	1.2	2.5	115	98
line totals		4						
W	297	5						
EQ	258	6						
							Wind	Earthq.
Totals Achieved							1732	1498
							OK	OK
Totals Required (from Sheet A)							701	1459

Gib® Bracing Systems (1999)

For details see Gib® Bracing Systems, 1999
and appropriate manufacturer's literature

[illegible]

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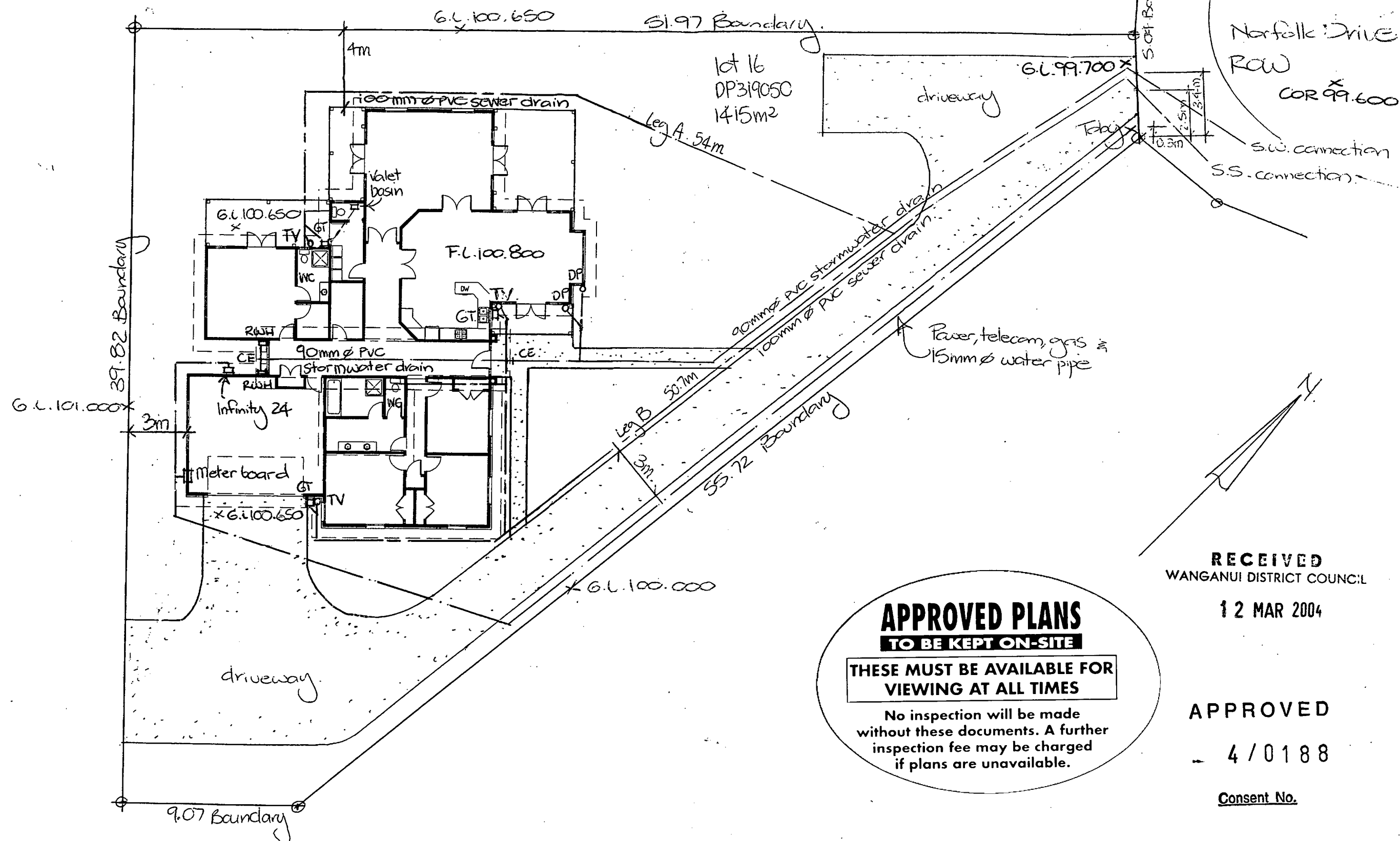
12 MAR 2004

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Consent No.

**PROPOSED HOUSE FOR DML BUILDERS
LOT 16 DP 319050
NORFOLK DRIVE WANGANUI**



SITE AND DRAINAGE PLAN

SCALE 1:200

PROPOSED HOUSE FOR DML BUILDERS

APPROVED PLANS
TO BE KEPT ON-SITE
THESE MUST BE AVAILABLE FOR VIEWING AT ALL TIMES

No inspection will be made without these documents. A further inspection fee may be charged if plans are unavailable.

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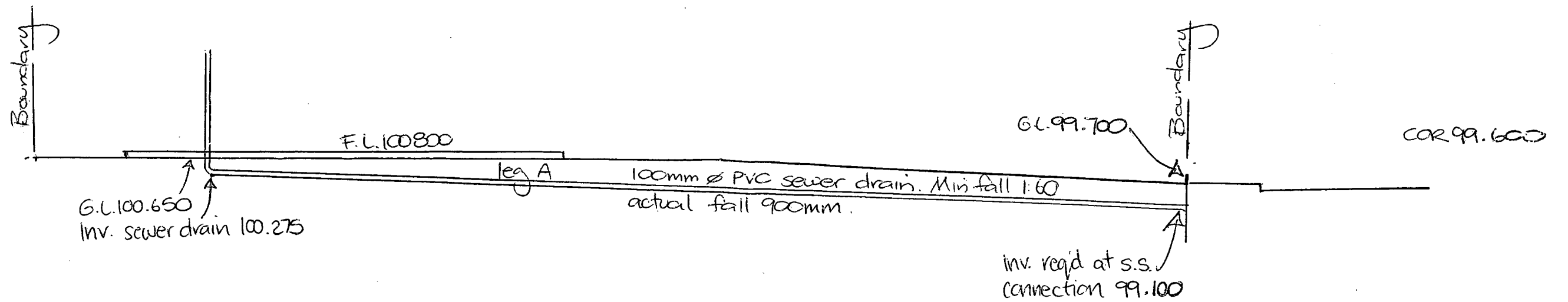
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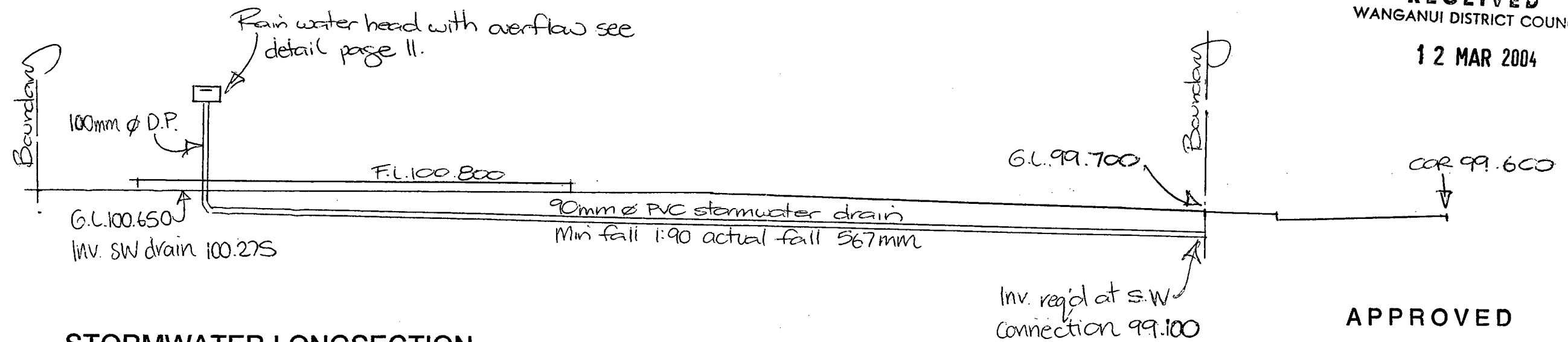
Revised plan 5/3/04
DATE: 9 February 2004

SHEET No. 1



SEWERAGE LONGSECTION

Not to scale.



STORMWATER LONGSECTION

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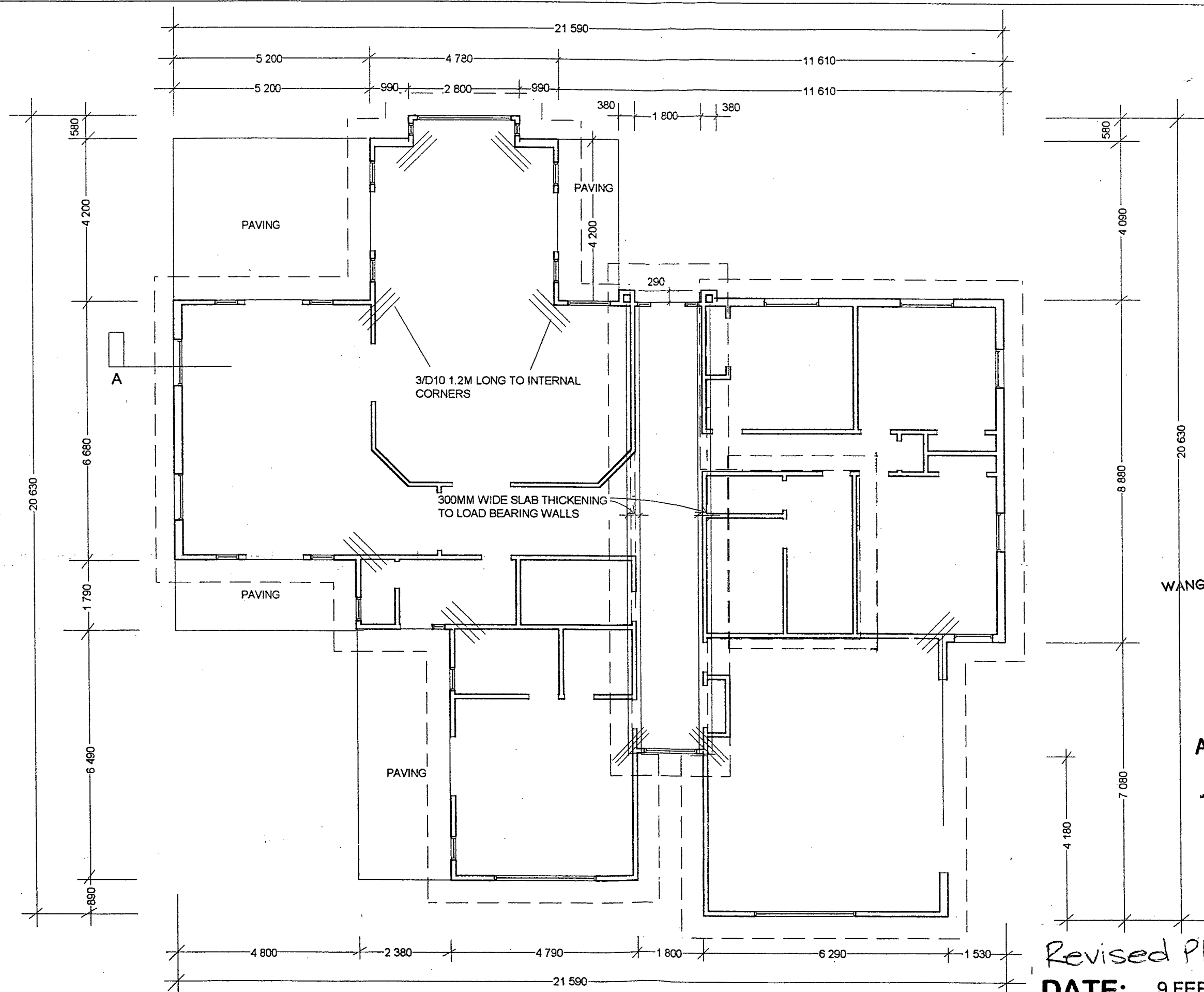
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Revised Plan 5/03/04
DATE: 9 February 2004.

PROPOSED HOUSE FOR DML BUILDERS

SHEET No. 2.



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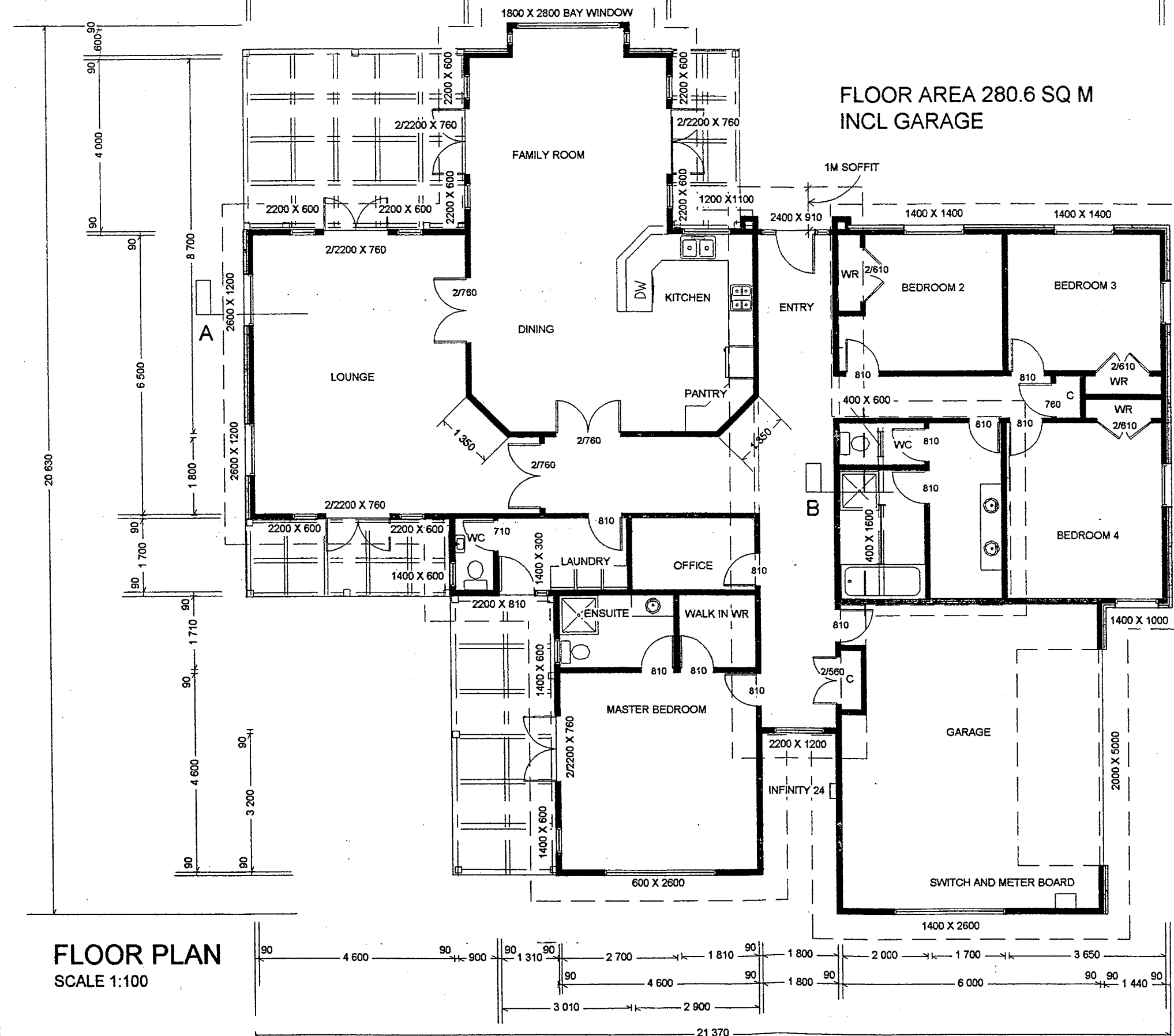
FOUNDATION PLAN SCALE 1:100
PROPOSED HOUSE FOR DML BUILDERS

Revised Plan 5/03/04
DATE: 9 FEBRUARY 2004

SHEET No. 3

DISCLAIMER: THE DRAFTSPERSON
ACCEPTS NO RESPONSIBILITY/LIABILITY
IN ANY WAY WHATSOEVER DUE TO THE
DESIGN OF THIS HOUSE.

FLOOR AREA 280.6 SQ M
INCL GARAGE



FLOOR PLAN
SCALE 1:100

PROPOSED HOUSE FOR DML BUILDERS

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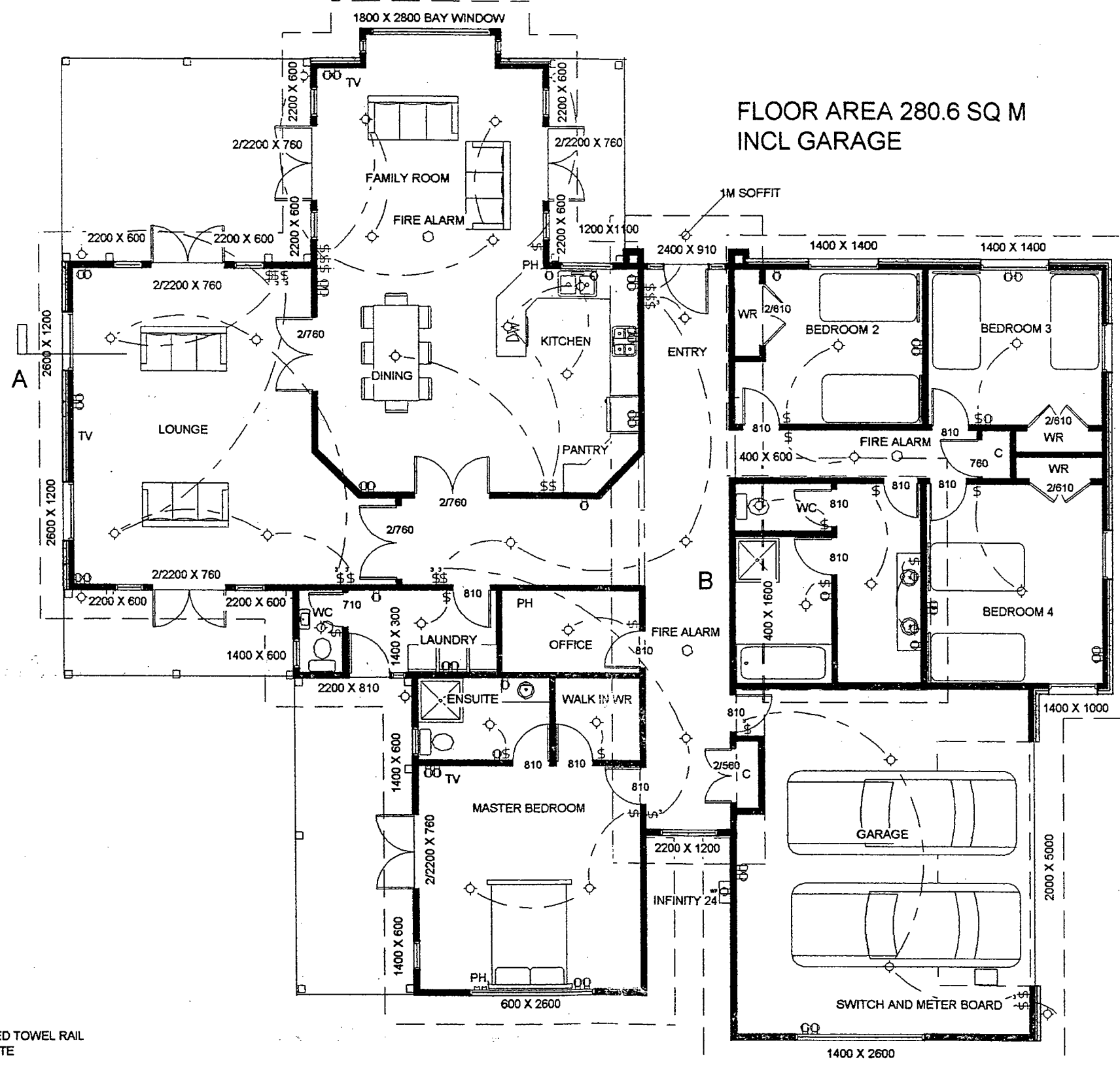
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Consent No.

Revised plan 5/3/04

DATE: 9 FEBRUARY 2004

SHEET No. 4



FLOOR AREA 280.6 SQ M
INCL GARAGE

NOTES:

ALL LIGHT FITTINGS TO BE
PENDANTS

SHAVER POINT AND HEATED TOWEL RAIL
TO BATHROOM AND ENSUITE

ELECTRICAL PLAN

SCALE 1:100

PROPOSED HOUSE FOR DML BUILDERS

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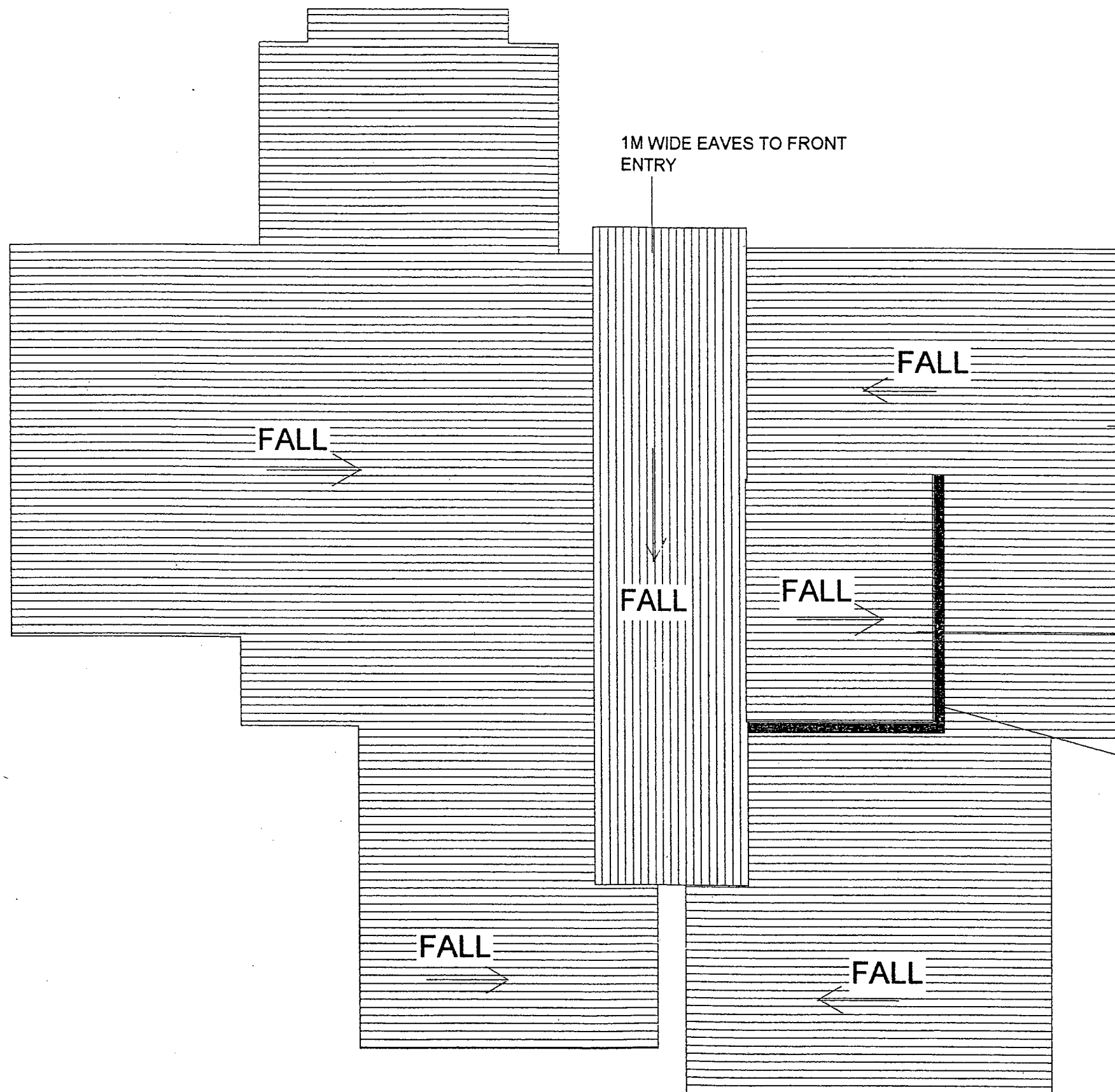
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Revised Plan 5/3/04

DATE: 9 FEBRUARY 2004

SHEET No. 5



REMAINDER OF HOUSE TO HAVE 600MM EAVES

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600MM WIDE BUTYNOL BOX GUTTER - CONNECT INTO MAIN BOX GUTTER RUNNING THROUGH CENTRE OF HOUSE

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- 4 / 0188

Consent No.

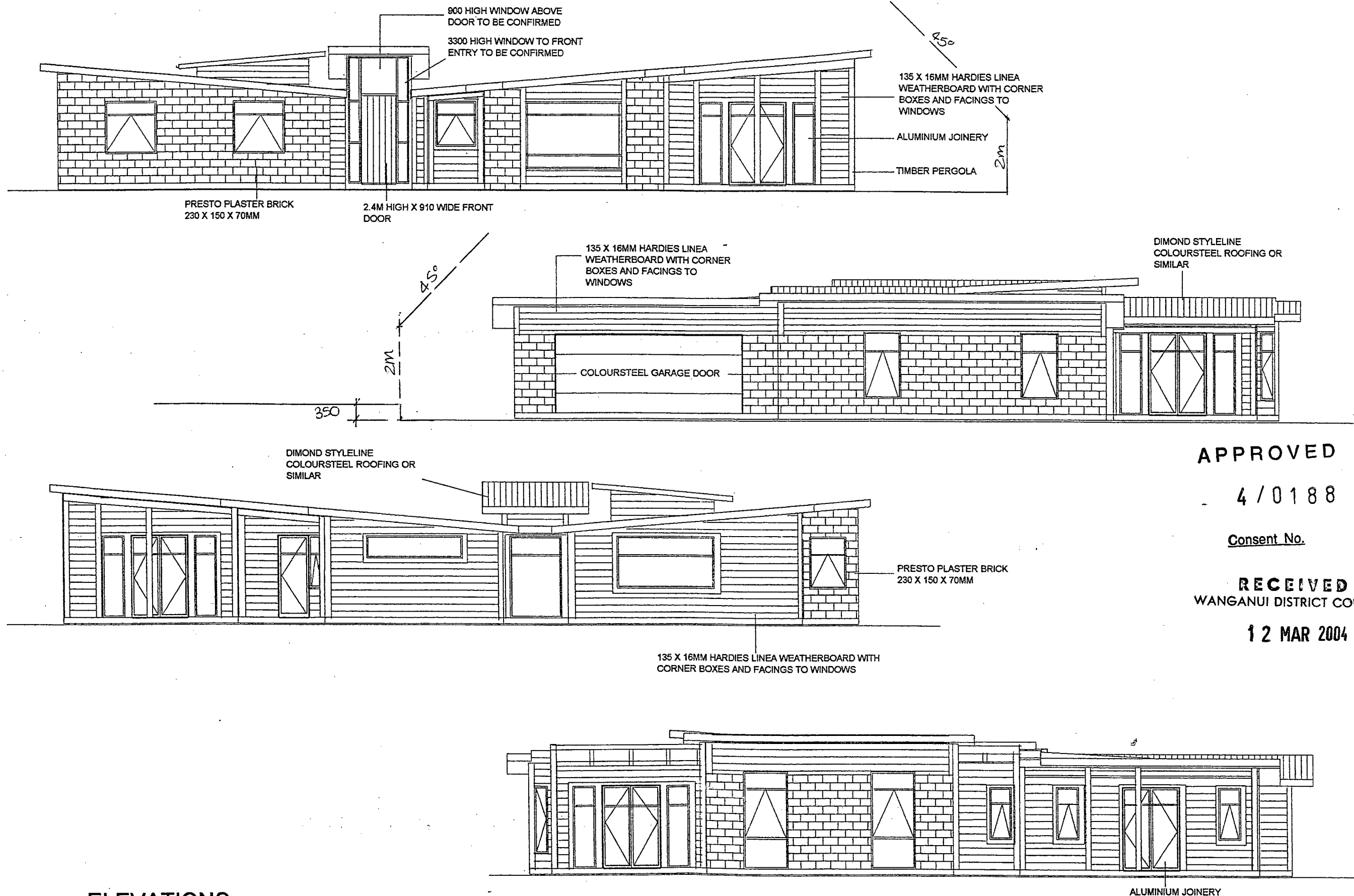
Revised Plan 5/03/04

DATE: 9 FEBRUARY 2004

SHEET No. 7

ROOF PLAN
NOT TO SCALE

PROPOSED HOUSE FOR DML BUILDERS



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ELEVATIONS

SCALE 1:100

PROPOSED HOUSE FOR DML BUILDERS

Revised Plan 5/03/04
DATE: 9 FEBRUARY 2004

SHEET No. 8

1.0 MM BUTYNOL OVER 17.5MM C-D
PLYWOOD SUBSTRATE TO BOX GUTTER
FIXED TO 50 X 40 GRADED BATTENS. GUTTER
TO HAVE 5 DEGREE FALL FROM FRONT OF
HOUSE TO GALVANISED RAIN WATER HEAD.

DIMOND STYLELINE ROOFING
ON SELF SUPPORTING
BUILDING PAPER

125 X 50 PURLINS AT 900 CRS

50 X 50 TIMBER FILLET

600MM WIDE GUTTER

RUN BUTYNOL AND PLYWOOD
UP WALL FRAME. LAP BUTYNOL
50MM UNDER LINEA BOARD
CLADDING.

BUTYNOL AND SUBSTATE TO BE
FIXED IN ACCORDANCE WITH
BUTYNOL MANUFACTURERS
SPECIFICATIONS

BOX GUTTER DETAIL

SCALE 1:10

250MM LONG X 30MM HIGH
OVERFLOW SLOT

100MM DIAMETER PVC
DOWNPIPE

400MM LONG X 230MM HIGH X
250MM DEEP GALVANISED RWH.

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RAIN WATER HEAD.

NTS

Consent No.

PROPOSED HOUSE FOR DML BUILDERS

Revised Plan 5/03/04
DATE: 9 FEBRUARY 2004

SHEET No. 11

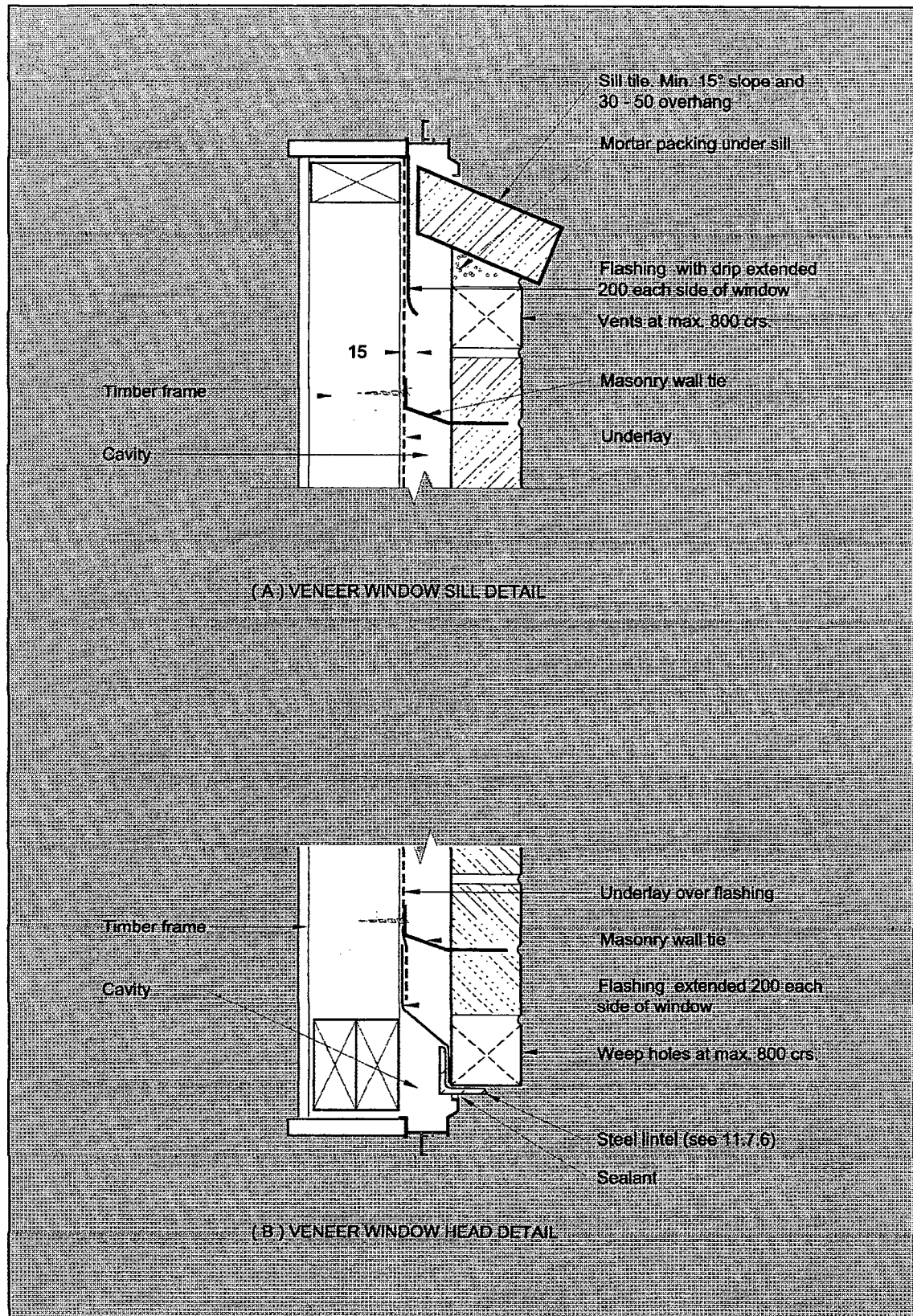
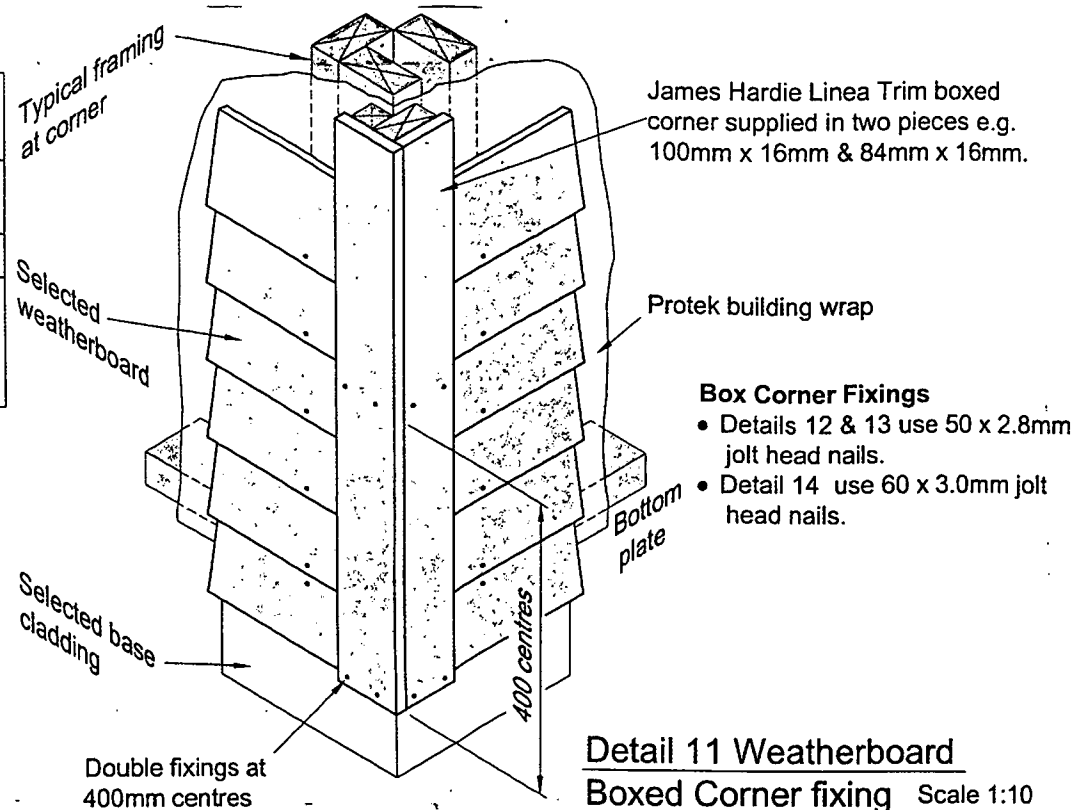
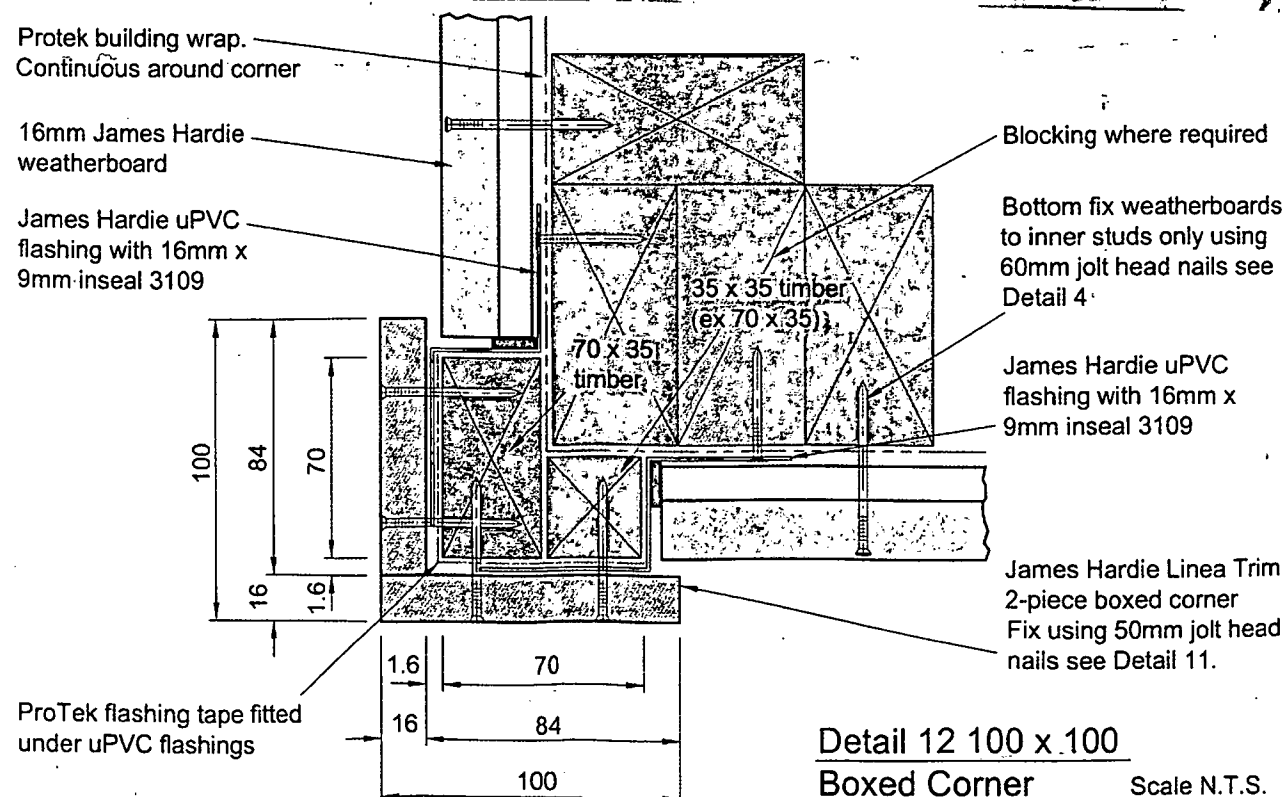


Figure 11.3 - Flashing details - Veneer (see 11.7.7)

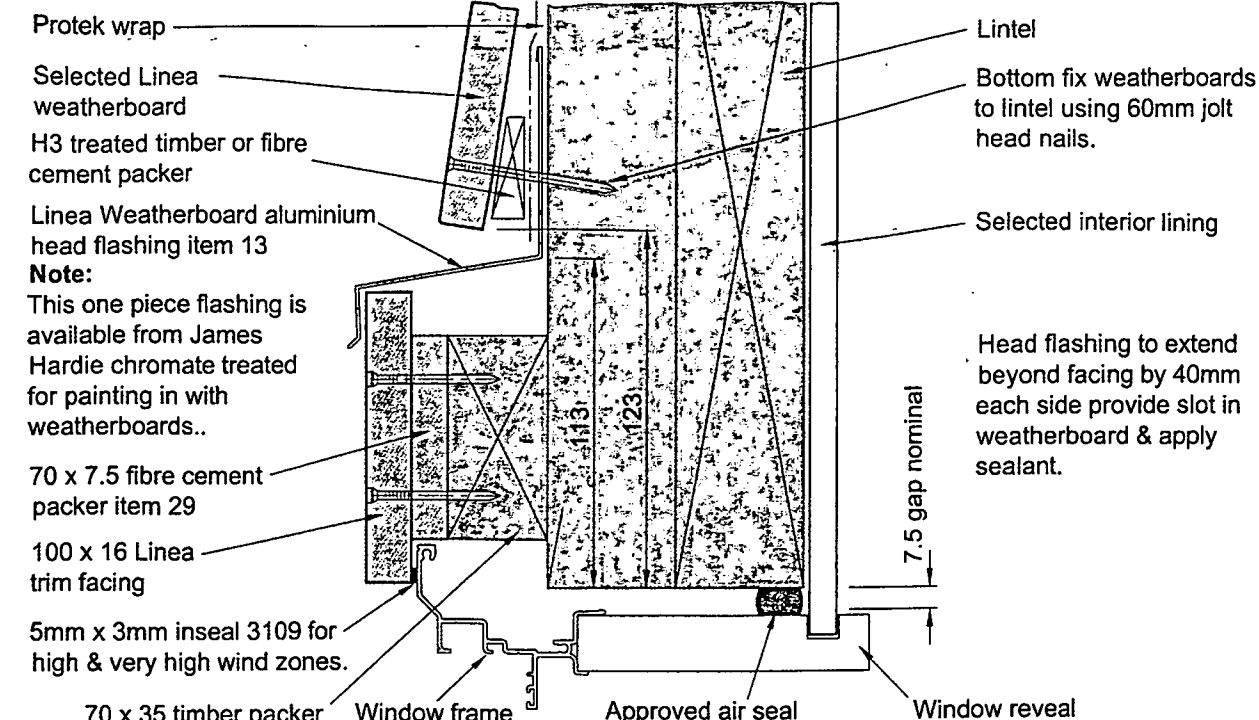
Linea Trim Schedule.	
Detail 12	1-100 x 16 1- 84 x 16
Detail 13	2-135 x 16
Detail 14	1- 84 x 16 2-100 x 16 1-116 x 16 cut from 135



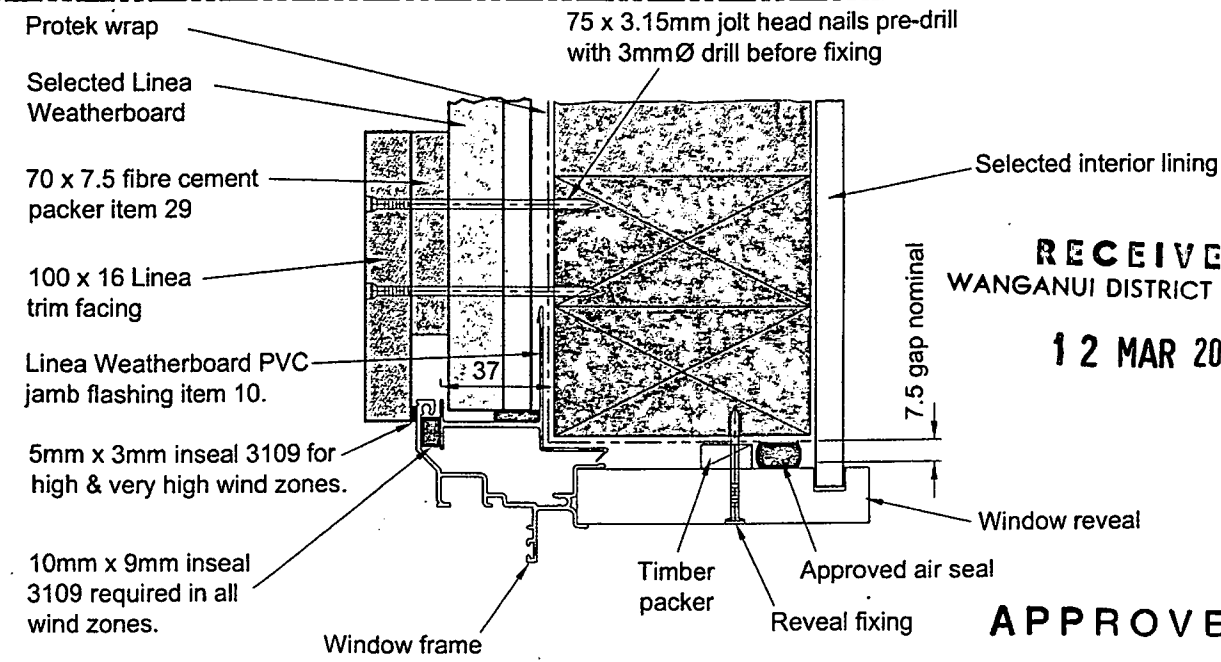
**Detail 11 Weatherboard
Boxed Corner fixing** Scale 1:10



**Detail 12 100 x 100
Boxed Corner** Scale N.T.S.



Detail 44 One piece head flashing with facings (section 6)
Scale N.T.S.



Detail 45 Jamb flashing with facings (section 7)
Scale N.T.S.

RECEIVED
WANGANUI DISTRICT COUNCIL
12 MAR 2004

APPROVED

4 / 0 1 8 8

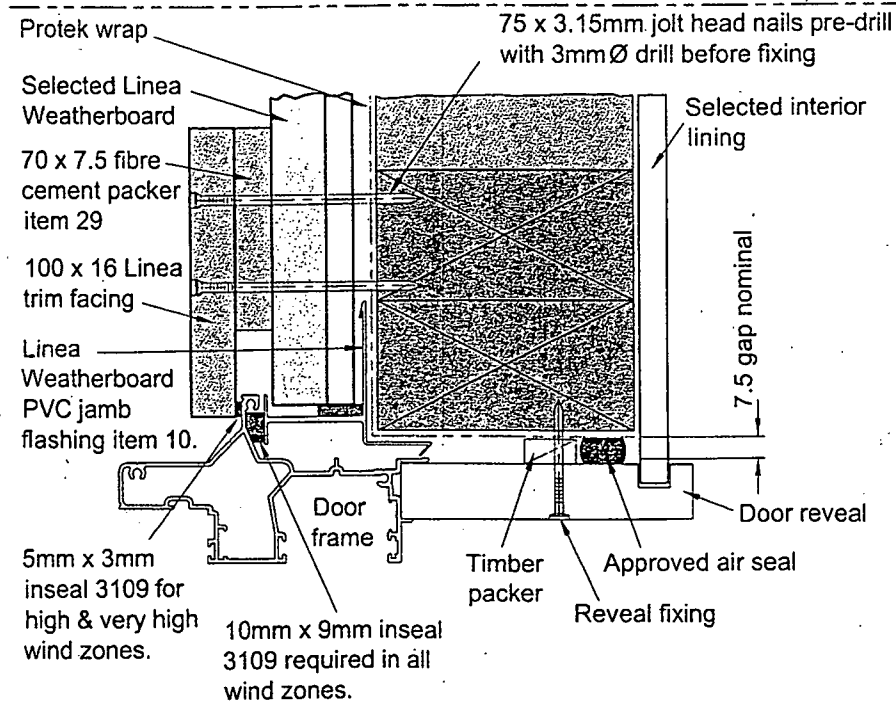
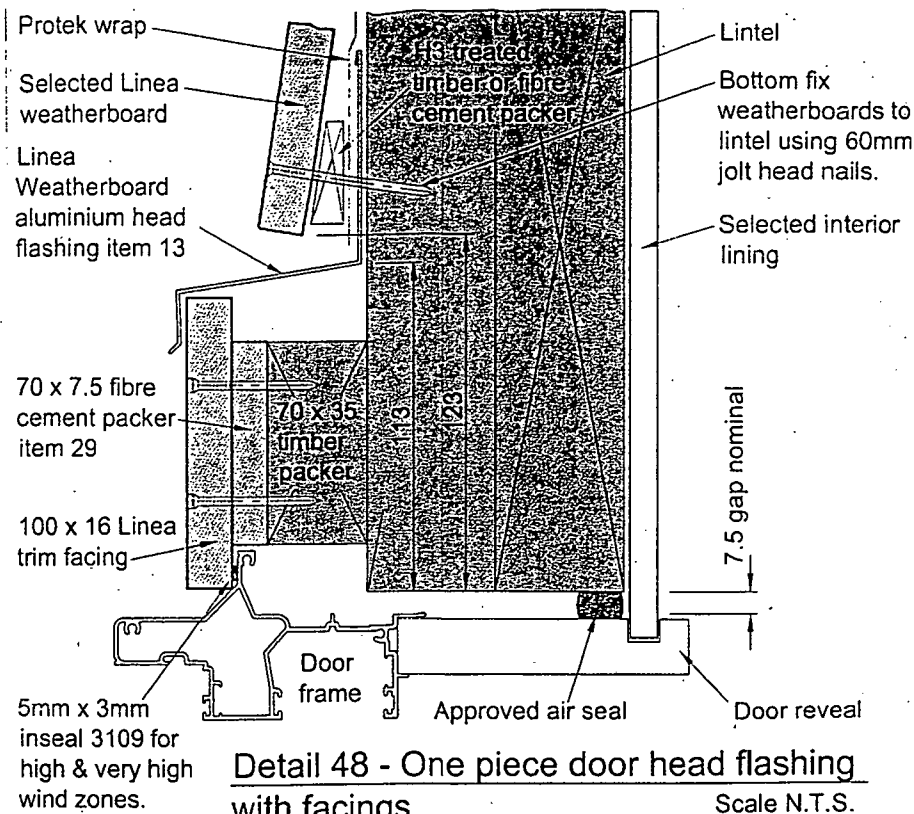
Consent No.

HARDIES LINEA WEATHERBOARD DETAILS

PROPOSED HOUSE FOR DML BUILDERS

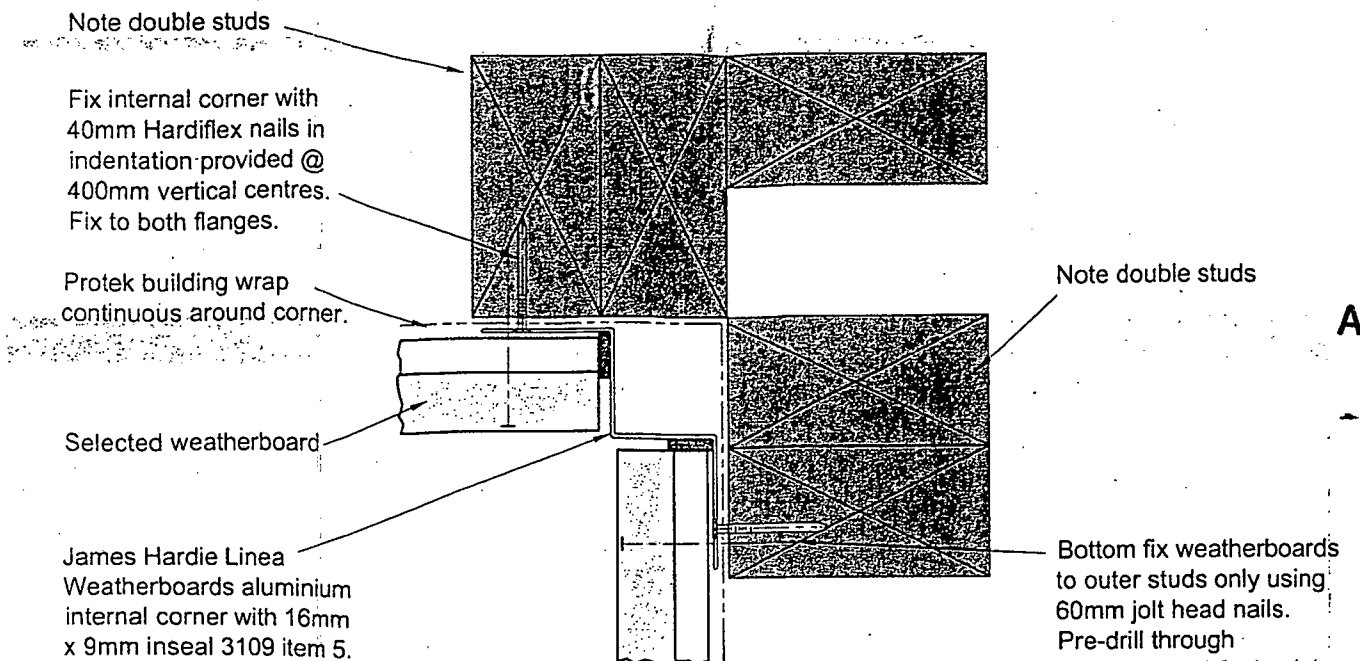
DATE: 9 February 2004

SHEET No. 12



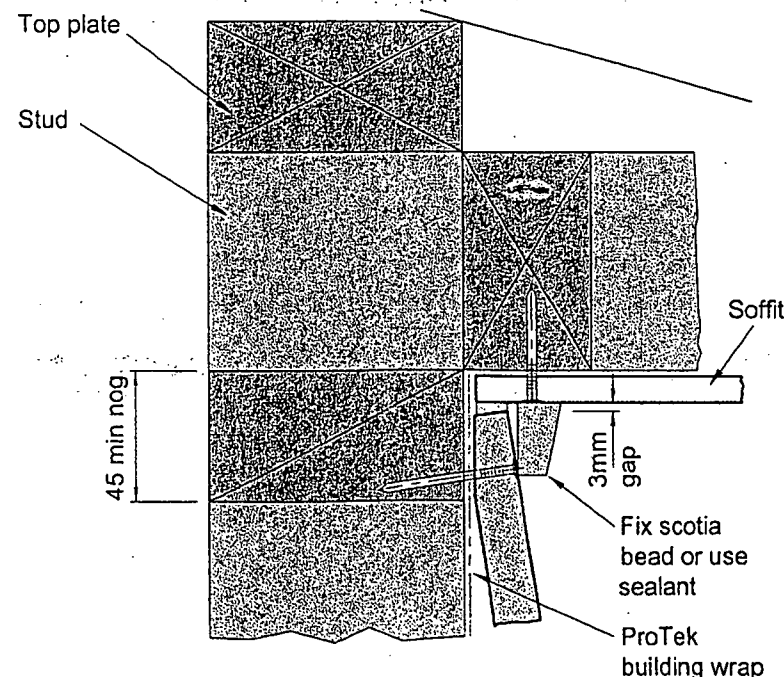
HARDIES LINEA WEATHERBOARD DETAILS

PROPOSED HOUSE FOR DML BUILDERS



Detail 19 Internal 90° Aluminium Corner

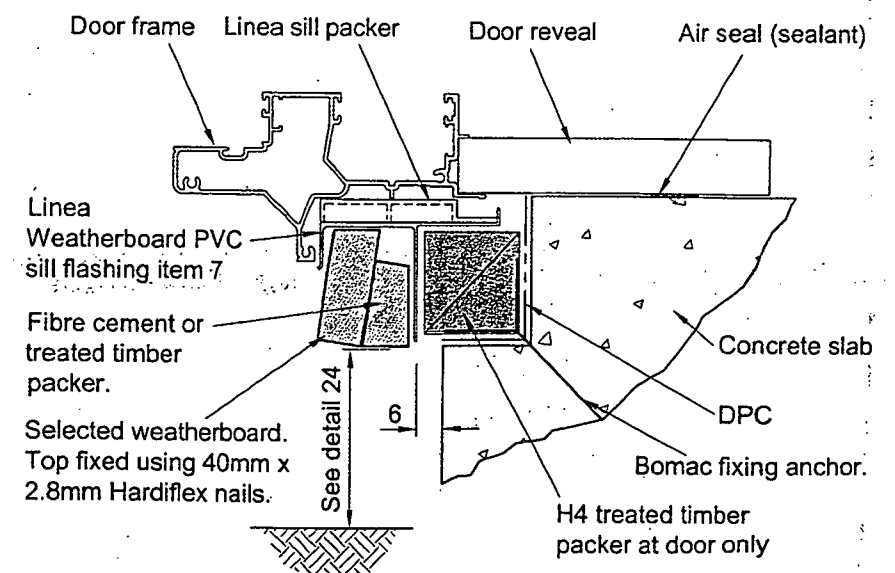
Scale N.T.S.



Detail 22 Internal Soffit Corner Joint

Low & Medium Wind Zones

Scale N.T.S.



Detail 51 - Door sill flashing for concrete floor.

Scale N.T.S.

APPROVED

4/0188

Consent No.

RECEIVED
WANGANUI DISTRICT COUNCIL

12 MAR 2004

DATE: 9 February 2004

SHEET No. 13

SHEET No. 14

Electrical Certificate of Compliance

No. 1608669

for prescribed electrical work that is carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).

No. of attachments

To be completed whether or not an inspection is required.

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer

Pope

Phone:

Address of installation

31 Norfolk Drive Wanganui

Postal address of customer (if not as above)

WORK DETAILS

38 No. of lighting outlets

1 No. of ranges

30 No. of socket outlets

— No. of water heaters

Was any installation work carried out by the homeowner?

Yes ☐ No ☒

Please tick (✓) as appropriate where work includes:

☒ Mains☒ Main earthing system☒ Switchboard☐ Electric lines

Description New house 25 m² N/screen
mains, sub-bd, lights, p/points,
Hob + oven.

It is recommended that test results be recorded here:

Visual Examination



Earth Continuity



Bonding



Polarity



Insulation Resistance 7999 Mohm

Other

If necessary attach any pages with sketches of work done

CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

ELECTRICAL WORKER DETAILS

Name

Grant Mack

Registration no.

E 1756

Company

Phillips Electrical

Signature

G. Mack

Date

18-10-04

Contact Ph No.

0274430998

CERTIFICATION OF ELECTRIC LINES

(to be completed where a separate electrical worker has installed the electric line portion of the mains)

Name

Registration no.

Company

Signature

Date

Contact Ph No.

INSPECTION DETAILS Electrical work requiring inspection by a registered electrical inspector

☒ New mains☒ Switchboard☒ Earthing system☐ Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997.

Name

R.B. DEADMAN

Registration no.

I834

Signature

RBD

Date

19-10-2004

Contact Ph No.

34 89266

Residential Final Inspection 31 non-folk on

Consent No	Date
BC 0188	18-10-09

Inspector	Compliance

Exterior	Comments
Subfloor Ventilation	☐ OK ☒ N/A
Ground Clearance	☒ OK ☐ N/A Drive way
Cladding	☒ OK ☐ N/A
Texture coat producer statement	☐ OK ☒ N/A
Brick work	☒ OK ☐ N/A
Joinery	☒ OK ☐ N/A
Meter box	☒ OK ☐ N/A
Roofing and fixings	☐ OK ☐ N/A emp see below
Roof Flashings- Penetrations	☐ OK ☐ N/A
- Hips	☐ OK ☒ N/A
- Valleys	☐ OK ☐ N/A
- Gables	☐ OK ☒ N/A
- Apron Flashings	☐ OK ☐ N/A
Flues	☐ OK ☐ N/A
Decks- Structure	☐ OK ☒ N/A
Balustrades	☐ OK ☒ N/A
Steps/Stairs	☐ OK ☒ N/A
Gully dishes	☒ OK ☐ N/A
Wastes to gullies	☒ OK ☐ N/A
Drain vents	☒ OK ☐ N/A
Spouting-downpipes	☒ OK ☐ N/A
Wastes to gulley	☒ OK ☐ N/A
Septic Tank	☐ OK ☒ N/A
Water Storage Tank & Pump	☐ OK ☒ N/A
Surface water drainage	☐ OK ☐ N/A see chris
Sumps	☐ OK ☐ N/A none
	☐ OK ☐ N/A

Interior	Comments
Service area sealing	☒ OK ☐ N/A
Shower seals	☐ OK ☐ N/A i shower leaking
Safety glass	☒ OK ☐ N/A
Stair design	☐ OK ☒ N/A
Handrails	☐ OK ☒ N/A
Barriers	☐ OK ☒ N/A
Lighting	☒ OK ☐ N/A
Cooking Facilities	☒ OK ☐ N/A
Food Storage	☐ OK ☒ N/A
Laundering	☒ OK ☐ N/A
Natural Ventilation	☒ OK ☐ N/A
Mech Ventilation	☒ OK ☐ N/A
Insulation	☒ OK ☐ N/A
HWC - Flues	☐ OK ☐ N/A Infinity
- Valving	☐ OK ☐ N/A
- installation	☐ OK ☐ N/A
Hot water temp control	☒ OK ☐ N/A
Header tanks	☐ OK ☒ N/A
Trap seals and AAVs	☒ OK ☐ N/A
WCs	☒ OK ☐ N/A
Smoke Alarms	☐ OK ☐ N/A to rectify
Solid Fuel Heater-type	☐ OK ☐ N/A
-Clearances	☐ OK ☐ N/A
-Installation	☐ OK ☐ N/A
-Flue	☐ YES ☐ N/A
	☐ OK ☐ N/A

Roof Space	Comments
Vent ducts	☐ OK ☒ N/A
Bracing	☒ OK ☒ N/A
Building Paper	☒ OK ☐ N/A
Insulation	☒ OK ☐ N/A
Clearances	☐ OK ☒ N/A
	☐ YES ☐ N/A

Miscellaneous	Comments
Vehicle Crossing	☐ OK ☐ N/A
Producer Statements	☐ OK ☐ N/A
	☐ OK ☐ N/A
	☐ OK ☐ N/A
	☐ OK ☐ N/A
	☐ YES ☐ N/A

Comments
To check on drive sump requirements with chris & plan ground heights by garage to confirm roof flashings to rectify & reinspect (to many to list) see share shower in ensuite leaking

Pre-Line			
31 north			
Consent No	Date	Inspector	Compliance
4/0188	23-6-04	bill l	
Works			
Framing	ok		
Wind / Corrosion Zone	ok		
Timber	ok		
Moisture Content	24		
Wall Bracing	to complete		
Is modified Bracing schedule required?	no		
Insulation	ceiling only		
Ceilings	ok to line		
Roof Framing	ok		
2nd Storey Floor Framing			
External Window Joinery	ok		
Fire Separations	n/a		
Ventilation	ok		
Ventilation			
General			
Showers			
Comments			
gib 1s and 2s missing bracing to recheck with moisture next wee			

Pre-Line			
31 norfick			
Consent No	Date	Inspector	Compliance
4/0188	23-6-04	bill I	
Works			
Framing	ok		
Wind / Corrosion Zone	ok		
Timber	ok		
Moisture Content	24		
Wall Bracing	to complete		
Is modified Bracing schedule required?	no		
Insulation	ceiling only		
Ceilings	ok to line		
Roof Framing	ok		
2nd Storey Floor Framing			
External Window Joinery	ok		
Fire Separations	n/a		
Ventilation	ok		
Ventilation			
General			
Showers			
Comments			
gib 1s and 2s missing bracing to recheck with moisture next wee			

Plumbing Inspections

31 Norfolk Drive

Consent No.	Date
4/0188	25.6.04

Inspector	Compliance
C. Gould	No

Subfloor Plumbing	Comment
Waste Pipe locations	☐ OK ☐ N/A
Fall to waste pipes	☐ OK ☐ N/A
Water Supply Pipes	☐ OK ☐ N/A
Gully traps	☐ OK ☐ N/A
Stack Base Bends	☐ OK ☒ N/A
Underslab Heating	☐ OK ☐ N/A

Drainage	Comment
Relative Levels	☐ OK ☐ N/A
Size / Flows / Falls	☐ OK ☐ N/A
Depths	☐ OK ☐ N/A
Gully Heights	☐ OK ☐ N/A
Pressure Test	☐ OK ☐ N/A

Plumbing Preline	Comment
Backflow Prevention	☐ OK ☒ N/A
Tempering Valves & Taps	☐ OK ☒ N/A
Relief Valves	☐ OK ☒ N/A
Earthquake Restraint	☐ OK ☒ N/A
Pipe Restraint	☒ OK ☐ N/A
Compliance with AS 3500	☒ OK ☐ N/A SEE NOTE
Insulation of Pipes	☐ OK ☒ N/A
Fixtures per Waste	☒ OK ☐ N/A
Fittings	☐ OK ☒ N/A
Water Supply Pipework	☒ OK ☐ N/A
Waste Pipes	☒ OK ☐ N/A
Stacks	☐ OK ☒ N/A
Supply pipe fixing (Roof space)	☒ OK ☐ N/A
Pressure Test.	☒ OK ☐ N/A
	☐ OK ☐ N/A
	☐ OK ☐ N/A
	☐ OK ☐ N/A

Plumbing Final	Comment
Gully dishes	☐ OK ☐ N/A
Wastes to gullies	☐ OK ☐ N/A
Drain vents	☐ OK ☐ N/A
Spouting-downpipes	☐ OK ☐ N/A
Wastes to gulleys	☐ OK ☐ N/A
Septic Tank	☐ OK ☐ N/A
Water Storage Tank & Pump	☐ OK ☐ N/A
Surface water drainage	☐ OK ☐ N/A
Sumps	☐ OK ☐ N/A
HWC - Flues	☐ OK ☐ N/A
- Valving	☐ OK ☐ N/A
- installation	☐ OK ☐ N/A
Hot water temp control	☐ OK ☐ N/A
Header tanks	☐ OK ☐ N/A
Trap seals and AAVs	☐ OK ☐ N/A
WCs	☐ OK ☐ N/A
Supply pipe fixing (Roof space)	☐ OK ☐ N/A

Comments
- Inspect preline plumbing work carried out by Kerry (Dave Dennison Plumbing). All pipework & fitting were the John Guest speed fit system and was pressure tested to 1500 kPa, all OK. - No shower mixes fitted at this stage. (owner did not want it) - Wash hand basin not installed in about 2nd Dave to fit & advise. - Floor waste gully in main Bathroom was an alteration to the original plan which had not been checked with council. The waste from the vanity is actually in the next room & slightly overlength. too late to change. Discussed with Bill - OK.

ENTERED *CM*

Plumbing Inspections

Address: 31 Norfolk Drive

Consent No	Date
4/0188	23.7.04

Inspector	Compliance

Subfloor Plumbing	Comment
Waste Pipe locations ☐ OK ☐ N/A	
Fall to waste pipes ☐ OK ☐ N/A	
Water Supply Pipes ☐ OK ☐ N/A	
Gulley traps ☐ OK ☐ N/A	
Stack Base Bends ☐ OK ☐ N/A	
Underslab Heating ☐ OK ☐ N/A	
☐ OK ☐ N/A	

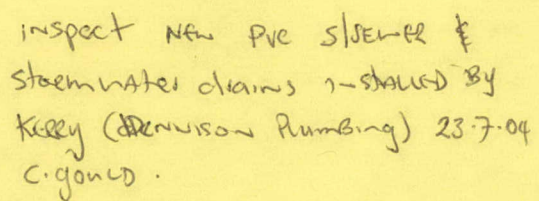
Plumbing Prelim	Comment
Pipe Restraint ☐ OK ☐ N/A	
Compliance with AS 3500 ☐ OK ☐ N/A	
Insulation of Pipes ☐ OK ☐ N/A	
Fixtures per Waste ☐ OK ☐ N/A	
Water Supply Pipework ☐ OK ☐ N/A	
Waste Pipes ☐ OK ☐ N/A	
Stacks ☐ OK ☐ N/A	
Supply pipe fixing (Roof space) ☐ OK ☐ N/A	
Pressure Test ☐ OK ☐ N/A	
☐ OK ☐ N/A	
☐ OK ☐ N/A	

Drainage	Comment
Relative Levels ☐ OK ☐ N/A	
Size / Flows / Falls ☒ OK ☐ N/A	
Depths ☒ OK ☐ N/A	
Gully Traps ☐ OK ☒ N/A	not complete.
Pressure Test ☒ OK ☐ N/A	
☐ OK ☐ N/A	

Plumbing Final	Comment
Isolating Valve/Toby ☐ OK ☐ N/A	
HWC - Type ☐ OK ☐ N/A	
HWC - Flues ☐ OK ☐ N/A	
HWC - Relief valves ☐ OK ☐ N/A	
HWC - Tempering valves ☐ OK ☐ N/A	
HWC - Drains ☐ OK ☐ N/A	
Hotwater Temp. Control ☐ OK ☐ N/A	
Earthquake Resistant ☐ OK ☐ N/A	
Backflow Protection ☐ OK ☐ N/A	
Water Storage Tank & pump ☐ OK ☐ N/A	
Header Tanks ☐ OK ☐ N/A	
Fittings & Taps ☐ OK ☐ N/A	
Trap, Seals & AAV's ☐ OK ☐ N/A	
WC's ☐ OK ☐ N/A	
Gully Dish Heights ☐ OK ☐ N/A	
Wastes to Gullies ☐ OK ☐ N/A	
☐ OK ☐ N/A	
Drain Vents ☐ OK ☐ N/A	
Surface Water Drainage ☐ OK ☐ N/A	
Sumps ☐ OK ☐ N/A	
Spouting & Down Pipes ☐ OK ☐ N/A	
☐ OK ☐ N/A	
Roof & Wall Penetrations ☐ OK ☐ N/A	
☐ OK ☐ N/A	
Septic Tank ☐ OK ☐ N/A	
Effluent Field ☐ OK ☐ N/A	

Comments
S/S inspect new 100mm PVC s/s sewer drain laid by Kerry (dave dennis) & complete as laid plan. drain had a water test on & all appeared ok. gully trap not complete at time of insp. S/W inspect new 100mm PVC s/w drain laid by Kerry & complete as laid plan - all appears ok. drain connect directly to council system.

Drainage Complete	Plumbing Complete	Stormwater Separation	On Site	Off Site
Date: 23.7.04	Date:	Date: 23.7.04	☒ Yes	☒ Yes





CODE COMPLIANCE CERTIFICATE NUMBER BC4/0188

Section 43(3), Building Act 1991

Mrs P M Taylor-Pope & Mr GG Pope
31 Norfolk Dr
Wanganui 5015

**Building Consent
No:** BC4/0188

Issue Date: 31/05/05

<i>Project Location</i>	<i>Assessment Number/Legal Description</i>
31 Norfolk Dr WANGANUI 5001	Lot 16 DP 319050 0.1415
<i>Type of Work</i>	<i>Description of Work</i>
SingDetRes	To construct a new dwelling with attached garage.
<i>Intended Life</i>	<i>Estimated Value</i>
50 years	\$280000.00

This is a final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.

Signed for and on behalf of the Wanganui District Council:

A J Jamieson
**Team Leader Building Services
Environmental Services Business Unit**

Date: 31 May 2005