



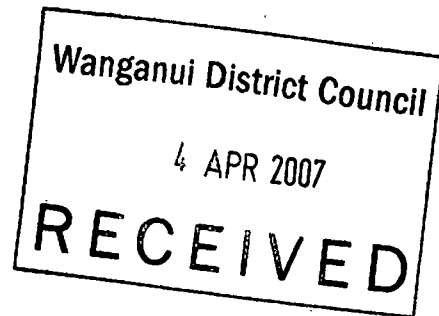
Your personality Our expertise

Jennian
HOMES

DISTRIBUTION: <i>Cust + serve</i>	
4 - APR 2007	
FILE No.:	
/ /	FOLIO

3rd April 2007

Wanganui District Council
P O Box 637
Wanganui



Dear Sir/Madam

estate I would like to withdraw the plans of D & C Morrison, Lot 28, Virginia Heights, Wanganui. Construction on this land is no longer taking place with Jennian Homes..

Application fees can be refunded to Jennian Homes Wanganui.

Yours faithfully
Jennian Homes
WANGANUI

Julie Cvitanovich
Sales Manager





APPLICATION FOR

☐ PROJECT INFORMATION MEMORANDUM AND/OR

☒ BUILDING CONSENT OR

☐ ALTERATION TO EXISTING BUILDING CONSENT

(Please tick appropriate box)

Building Consent or PIM No: 100/100

Section 32 or Section 45, Building Act 2004

The Building Street Address: <u>LOT 28</u> <u>Virginia Heights</u> <u>Wanganui</u> Legal Description: Lot: <u>28</u> DP: _____ WDC Property No: _____ Building Name: _____ (if applicable) Level/Unit No: _____ (if applicable) Area: <u>200 sqm.</u> m ² Current Use: _____ Year first constructed: _____ (if applicable/or approx, year)	The Owner Owners Name: <u>Drew & Chamaine Morrison</u> Contact Person: <u>Agent</u> Mailing Address: _____ Street Address: _____ (Registered Office) Phone: _____ Mobile: _____ Fax: _____ Afterhours: _____ Email: _____ Website: _____
Agent (please fill in if owner not applying) Name: <u>Jennien Horner Wanganui</u> Mailing Address: <u>Box 705</u> <u>Wanganui</u> Street Address: <u>152 Ridgway St</u> <u>Wanganui</u>	Contact Person Name: <u>Jennien Horner</u> Phone: <u>3477415</u> Mobile: <u>0275544000</u> Fax: <u>3478563</u> Afterhours: _____ Email: _____ Website: _____ Relationship to Owner: First Point of Contact: <u>The Owner</u> (please circle one) <u>The Agent</u>
The Project Description of Building Work: <u>New Residential</u> Will the building result in a change of use: YES ☒ NO (please circle one) If yes, please provide details of new use: _____ Intended life of the building if less than 50 years: _____ Building Consent Numbers of those building consents previously issued for this project (staged project): _____ Estimated value of building work including GST \$: <u>200,000</u>	
The information provided will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising	

The following evidence of ownership is attached to this application: Please tick those that are applicable

- 1. Certificate of Title ☐
- 2. Lease Agreement ☐
- 3. Agreement for Sale and Purchase ☐
- 4. Other... (please give details) ☐

Signature of owner/agent on behalf of and with authority of the owner - (please delete one)

[Handwritten Signature]

Dated: 7/2/06

Consent Fee to be paid by: (please circle one)

Owner Builder Plumber Designer Agent

Code Compliance Certificate to be sent to: Jennian Ibmer

Project Information Memorandum

The following matters are involved in the project:

(please tick the appropriate project)

- | | |
|--|---|
| ☒ Subdivision | ☐ Alterations to land contours |
| ☒ New or altered connections to public utilities | ☐ New or altered locations and/or external dimensions of buildings |
| ☒ New or altered access for vehicles | ☐ Building work over or adjacent to any road or public place |
| ☐ Disposal of stormwater and waste water | ☐ Building work over existing drains or sewers or in close proximity to wells or water mains |
| ☐ Other matters known to the applicant that may require authorisation from the Territorial Authority as listed below: | ☐ |
| ☐ | ☐ |

Attachments

The following documents are attached to this application: (please tick those that are applicable)

- | | |
|--|--|
| ☒ Plans and Specifications | ☐ Development Contribution Notice |
| ☐ Project Information Memorandum | ☐ Certificate attached to PIM |
| ☐ Copies of other Authorisations | ☐ Producer Statement |
| ☐ Truss Layout plan | ☐ Fire Design Analysis |
| ☐ Other (provide details): | ☐ Other (provide details): |

Please give Building Consent details

The following plans and specifications are attached to this application (all plans and specifications must meet the minimum requirements set out in the regulations or required by the building consent authority):

[Please schedule pages/documents supplied]

Cont'd

Compliance Schedule

(please tick one of the appropriate boxes):

- ☐ The specified systems and features for this building are as follows:
- ☐ The following specified systems and features are being altered, added to, or removed in the course of the building work:
- ☐ There are no specified or features in this building:

Designer:	Name: Jennison Home Address: Box 105 Wanganui Phone: 3477415 Mobile: 0275 544 000 Fax: 3478563 Email:
Builder:	Name: Address: AS ABOVE Phone: Mobile: Fax: Email:
Craftsman Plumber:	Name: Denison Plumbing Licence No: 13647 Address: Phone: Mobile: 027 473 6985 Fax: Email:
Registered Drainlayer:	Name: AS ABOVE Licence No: Address: Phone: Mobile: Fax: Email:
Electrician:	Name: Laser Electrical Licence No: I 1933 Address: Phone: Mobile: 0274 533 837 Fax: Email:
Other:	Name: Address: Phone: Mobile: Fax: Email:

OFFICE USE ONLY

BCA		Fees	\$
Date application received:		Building Consent Application	
Receiving Officer:	<i>KA</i>	Building Consent Issue	
Receipt No:		PIM	
Date of receipt:		Building Levy (DBH)	
		BRANZ Levy	
		Stormwater Connection	
		Vehicle Crossing	
		Sewer Connection	
		Water Connection	
		Development contribution levy	
		NZFS Alternative Solution	
		Resource Consent	
		Relocation Bond	
		Other	
		Total:	\$

Processing							
Unit	Checks				Inspections No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration							
Planning							
Fire Design (referred to NZFS)							
Building							
Drainage (utilities)							
Water (utilities)							
Structural							
Plumbing/Drainage							
Roading							
Health							
Dangerous Goods							

Approved for issue of PIM/Building Consent

Approving Officer: _____ **Date:** ____/____/____

Notes:

Wanganui District Council

PO Box 637, Wanganui

Phone (06) 349-0001

Visit our Web Site www.wanganui.govt.nz

OFFICIAL RECEIPT

GST Reg No 51-668-324

9/02/2006

Receipt No: 155970

To Jennian Homes Wanganui Ltd

<u>Type</u>	<u>Reference</u>	<u>Amount</u>
GL Receipt	ZPRECONSENT	\$700.00
New House Lot 28 Virginia Heights		
Totals		\$700.00

Amounts Tendered

Cheque	\$700.00
Total	\$700.00
Rounding	\$0.00
Change	\$0.00

Printed 9/02/2006 1:17:38 p.m.



PREPAID - TAX INVOICE

GST Number 51-668-324

Payers Name:

Jennian Homes

For Building Consent:

Reference No:

Date:

9/2/06

YOUR APPLICATION WILL NOT BE PROCESSED UNLESS THE FEE IS PAID

Location of project

Description of project

Lot 28 Virginia Heights.

New house.

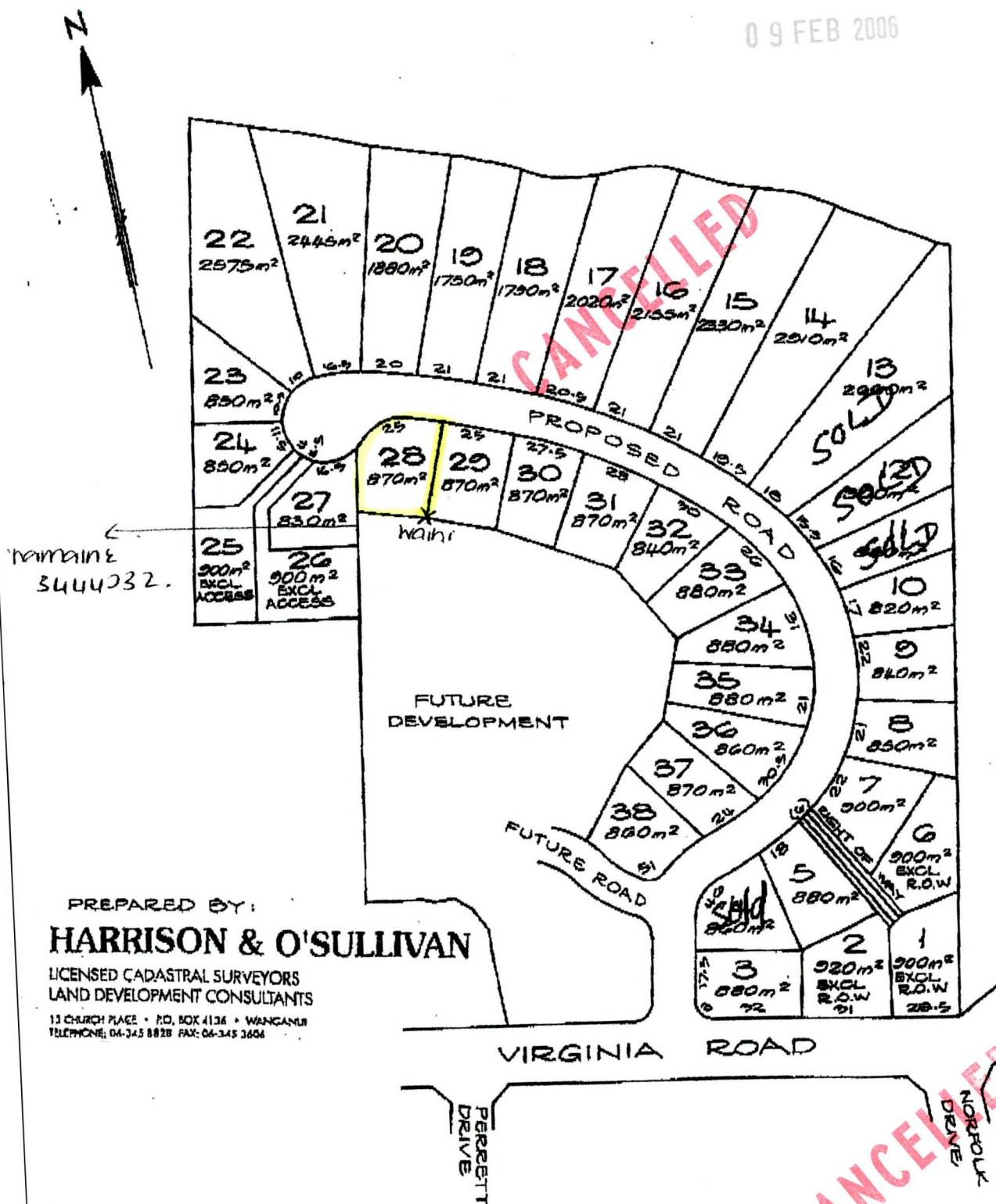
Reference	Details	Amount (Incl GST)
1.	Building Consent Project Type – application fee (see over)	\$ 700.00.
2.	Resource Consent – deposit	
	• Land use – Non-Notified	\$
	• Subdivision – Notified	\$
3.	Other – Aerial photographs @ \$5.00 each	\$
	- Plan Searches @ \$5.00 each	\$
	- Rural Rapid Numbers (New) @ \$40.00 each	\$
	- Large Plan photocopying A2 @ \$4.00 each,	\$
	A0 – A1 @ \$6.00 each.	\$
Total application fee/deposit		\$ 700.00

WHEN PAID THIS FORM WILL BE PART OF YOUR CONSENT APPLICATION AND MUST BE ATTACHED TO THE CONSENT APPLICATION BEFORE IT WILL BE PROCESSED.

PLEASE RETURN TO CUSTOMER SERVICES

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09 FEB 2006



PREPARED BY:

HARRISON & O'SULLIVAN

LICENSED CADASTRAL SURVEYORS
LAND DEVELOPMENT CONSULTANTS

13 CHURCH PLACE • P.O. BOX 4134 • WANGANUI
TELEPHONE: 04-345 8828 FAX: 04-345 3604

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BUILDING ENVELOPE RISK MATRIX

Client Name: Morrison House
Address: LOT 28, Virginia Heights, Wanganui

09 FEB 2006

Risk factor	Risk severity				Subtotals for each risk factor
	LOW	MEDIUM	HIGH	VERY HIGH	
Wind zone	0	0	1	2	0
Number of storeys	0	1	2	4	0
Roof/wall intersection design	0	1	3	5	1
Eaves width	0	1	2	5	1
Envelope complexity	0	1	3	6	0
Deck design	0	2	4	6	0
Total risk score:					2

CANCELLED

Wally McKeown Architect
49 Ingestre Street, Wanganui
P/F: 06-347-1215
M: 027-4503-183

CANCELLED

JENNIAN HOMES WANGANUI

GENERAL SPECIFICATIONS

Specification of the work to be done and the materials to be used for completion of the contract annexed here to
for the **Morrison House, LOT 28 Virginia Heights, Wanganui.**

This specification is to be read in conjunction with the accompanying drawings and any other drawing which may be issued during the Contract. The Contractor shall provide the Contract which is to be completed by all parties before the commencement of any work on the site. Any additions, omissions or variations to the Contract shall be notified in writing and signed by both parties. The owners are to ensure that all boundary marker pegs are in place and exposed for inspection.

Contract Documents

Plan drawings, specification, contract, quotation and schedule of material and works

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PRELIMINARY AND GENERAL (ALL TRADES)

09 FEB 2006

1. Consent The main Contractor shall arrange to obtain all building, plumbing, sewerage consents and electrical permits and arrange all appropriate inspections excluding Code of Compliance inspection.
2. Protection of work All parts of the work liable to injury and all adjoining property, existing work, footways, trees etc. , are to be protected to the best of the Contractor's ability until completion of the Contract.
3. P.C. Sums (Nett sums) The P.C. Sums quoted in this specification are nett and the Contractor or sub-contractor concerned must add any fixing charges and profit he requires to all such items.
4. By-Laws The whole of the work in the Contract is to be carried out in strict accordance with the Local Authorities' regulations.
5. Insurance The Contractor shall at all times keep the whole of the works fully covered by insurance; manly contracts all risk and public liability.
6. Temporary Services The Contractor shall arrange for all temporary services of which the cost will be of the contractors care and remove same on completion of the Contract. If temporary services are not practical or available to connect to and permanent connections have to be made, then this connection fee is at the employer's expense, if not covered in the Contract.
7. Maintenance The Contractors shall maintain the property for a period of 31 days after completion, and any damage done, arising during that time through faulty workmanship, shall be made good at the Contractor's expense.
8. Completions On completion all trade debris is to be removed from the site, and the building left clean and ready for occupancy, with all services and mechanical parts in good working order.

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1. Construction All materials are to be as specified laid true to their various lines and levels and constructed in a proper tradesman like manner, to make the whole of the works a sound construction in accordance with the Building Code. All timber work abutting or resting on masonry units, concrete or brickwork is to be protected with a bitumen - fabric damp proof course. Roof framing is to be contracted with Engineer

C. A. M. T. 155

designed "Gangnail" roof trusses fixed plumb, fastened to the plates with 2 x 100mm nails & Z nails and braced at each end of the building.

2. Exterior finish Behind all wall linings and as detailed on the drawings fit a breather type building paper or approved building wrap, lapped 100mm horizontally. Wall areas, where shown, are to be covered with 40mm high density expanded polystyrene sheeting, on 20mm H3.1 cavity battens, fixed to manufacturer's instructions. Fit also proprietary flashings to all openings. Finish sheets with a coloured proprietary Rockcote acrylic plaster system applied by a licensed applicator. Install also selected 70 series brick veneer on 50mm cavity, where shown, to manufacturers instructions. Soffits and porch ceilings to be lined with 4.5mm Hardiflex sheets with PVC joints.
3. Interior Finish Interior wall linings generally to be 10mm Gib board sheets fixed as per manufacturer's specifications. Wall linings of which the contractor is to take the utmost care of quality control but the responsibility of manufacturer's defects will not be rectified at the contractor's expense.
4. Timber Framing generally as per general specifications and requirements of NZ Building Code 2004 and NZS 3604 1999. In general, framing shall be 90 x 45 kiln dried, H1.2 treated to exterior walls, laser frame studs with trussed roof framing. Stud centres are suit brick veneer cladding on 600mm or max.
5. Plates to be in long straight lengths. Bottom plates and wall plates to be butt jointed over continuous support, top plates to be butt jointed and fastened with 4 NH nail plates.
6. Studs are to be set out to accommodate 2.4m high wall lining sheets, and are to be held to the plates with two 100mm nails at each end, bowed studs are to be straightened with saw cuts, wedges and 100 x 25mm or 75 x 25mm strapping.
7. Lintels Where built up trimmer studs are used, use one 90 x 45mm stud which is to be run up past the trimmer to the top plate and the 100 x 25mm or 90 x 45mm remaining is to run up to the underside of the lintel.
8. Nogging (dwangs) Shall be wall thickness 40mm spaced in rows at 900mm centres maximum, set out to accommodate the wall lining sheets and be nailed with two 75mm nails at each end.
9. Ceiling battens to be set out to accommodate the ceiling lining sheets and cornices around the perimeter of each room. Use Gib Rondo battens at 600 centres.
10. Insulation to be as shown and listed below.
11. Wall Bracing As per bracing schedule.
12. Wall frames are to be assembled, squared, braced and erected. The bottom plates are to be straightened and fastened down, the corners are to be plumbed both ways using a plumb bob and line and the top plates are to be held straight with temporary bracing until the ceiling and roof framing and bracing has been completed.
13. All joints nail holes and other imperfections are to be stopped flush and left ready for the paperhanger.
14. Shower Linings as per itemised in Schedule of Material and Works and fitted to manufacturer's specifications.
15. Ceiling Linings - 13mm Ultraline Gib board, fixed to timber ceiling battens and stopped to paint finish. Stopping to Level 4 finish as per Winstones Publication "Levels of Gib Board Finish".
16. Interior doors are to be fitted with one and a half pairs of loose pin butts.

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17. Skirtings to be fitted to the floor, scribed to internal corners and mitred at external angles.
18. Coat cupboard and wardrobes as per itemised in Schedule of Material and Works.
19. Linen, hot water cupboards as per itemised in Schedule of Material and Works.
20. Generally Form a ceiling access in a convenient and inconspicuous place. Co-operate with the Electrician in the building in of a meter box and the building of a switchboard recess and trimmed around as required. Supply and fix the sundry internal finishing mouldings and trim as required. All internal finishing timbers shall be free from all hammer marks, splits, etc. All nails in exposed work (interior and exterior) are to be punched.

PLUMBER AND DRAINLAYER

1. Generally The whole of the plumbing and drainlaying shall be done in strict accordance with The Building Code and drains shall be laid by registered workmen only.
2. Exterior Work Supply and fix all necessary flashings, in conjunction with the builder, to make a thoroughly watertight job. Supply and fix spouting to all eaves, laid with even falls to downpipes.
3. Water Lay on cold water from the main to hot water cylinder. Provide and set up the cylinder, complete with casing, lagging and thermostatically controlled elements. Hot water service to run in copper main and cold water to run in PVC or copper.
4. Fittings Provide and set up the fittings as shown on the drawings and provide traps and wastes to bath, vanity units, sink top, shower tray stainless steel or similar. W.C's, tub, taps as selected. Exterior hose taps - brass.
5. Drains or street channel Stormwater to be piped to the stormwater connection at the boundary. Sewer drains to be first quality pipes, 100mm laid with even falls and easy bends to the sewer connection at the boundary. Provide and fix all necessary gully traps, terminal and back vents, cleaning eyes, inspection junctions and bends etc, as may be necessary to comply with the local authorities' regulations.
6. **NOTE** All underground pipes and gullies will be located in relation to the natural ground level and no responsibility will be taken by the contractor for subsequent ground work, which alters that level.

JOINER

1. Windows to be Aluminium unless detailed as Timber Aluminium windows shall be delivered to the site, stored on edge and protected from breakages, damage, plaster splashes etc The windows are to be glazed with a standard quality glass, with obscured glass to bathrooms and W.C. windows. All glazing is to comply with NZS 4223:1999 Part 3.
2. Doors Exterior door frames and doors are to be of standard sizes and of the types as shown on the drawing. Interior doors are to be flush type.
3. Fittings Construct the various units/tops as shown on the drawings.

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ROOFER

1. **Generally** Refer to the drawings for the type of roofing to be used.
2. **Longrun roofing** Supply and fix 0.45 corrugated longrun Colorsteel roofing to Manufacturers instructions. Lay on building paper and strapping and fix for wind zoning. Sheets are to be lapped away from the westerly direction, turned down and fitted with foam fillers at gutters and turned up at ridges. Neatly flash with matching material.

CONCRETER

1. **Materials** Concrete to be mixed with a test of 20 mPa after 28 days. Reinforcement to be round mild steel rods or reinforcing mesh, as detailed, free from scale, paint, grease, etc. Formwork shall be erected and braced in such a manner that the concrete shall finish to the dimensions shown or specified. The formwork is to be hosed out and kept wet before and while the concrete is being placed.
2. **Concrete Work** Construct the various footings as detailed on the drawings and reinforce as shown. Hard filling to be sand or similar compacted in layers of 75mm depth maximum. All floor slabs to be laid to true and straight surfaces, with a screed finish. Thickness and reinforcing as detailed on the drawings. Allow to build in all holding down bolts, pipes, wires, etc, as required, prior to the pouring of the concrete. Holding down bolts to be 375mm maximum from corners and at 1.2m centres maximum ramset downplates to floor at same spacing. Form also all rebates for the brick veneer, garage door, porch, and the like.

EXCAVATOR

1. **Generally** Excavate the site to the levels shown on the drawings where applicable.
2. **Excavate** As required for all wall footings, pile footings, steps etc, as shown on the drawings. Footing excavations are to be stepped to suit the slope of the ground, and kept level at the bottom, maintained free from fallen material before placing reinforcing or concrete foundations after . Deposit the surplus soil on the site, practical to the contractor, or as directed by the employer. Any excavations for power or water resources, or sewage and drainage to be refilled, but not reinstated to its original condition. Replanting or resealing of owners care.

INSULATION

1. The building shall be insulated in accordance with NZBC requirements.

ELECTRICIAN

1. **Generally** This contract includes the supply and installation of the electric wiring system complete. The whole of the work shall be carried out strictly in accordance with the local authorities' By-laws and the electrical contractor is to obtain all permits from the supply authority and arrange for all inspections required.
2. **Supply** Arrange for a mains supply to the building.
3. **Boards** Provide and set up as required one meter board and case with all necessary equipment thereon neatly labelled. Provide and set up where directed by builder, a switchboard panel with all necessary fuses, switches and main switches properly mounted and labelled, and hinged on one side. This panel can be combined with the meter board if convenient.
4. **Fittings** Provide and fix the lights, switches and power outlets as listed on drawings, allow to install stove. Wire up the thermostatically controlled hot water cylinder element, earth all metal wastepipes and metal fittings as required by the regulations.

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5. Completion On completion of all work to fill out and present the appropriate certificate to the principal contractor, who will only authorise the connection of power once all payments pursuant to the contract documents are paid to their office.

PAINTER AND PAPERHANGER

1. Generally All paint and polyurethane is to be delivered to the job, exactly to the manufacturer's direction and currently usable.
2. Exterior Woodwork - prime, stop and paint in one undercoat and one finish coat with a good finish. Stained work - one coat of stain, the nail holes etc. are to be stopped. Metal work one coat metal primer and one finish coat. Hardies sheets - two finishing coats.
3. Interior All ceilings to be given two coats of flat ceiling paint, or textured. All wall areas are to be painted or lined with wallpaper, hung in single lengths, plumb, with butt joints unless otherwise stated. The quality of the wallpaper is not of the contractor's care, any defects which become pronounced due to the nature of the wallpaper will not be rectified at the contractor's expense. When walls are sprayed, workmanship is to be of highest trade practice. Wallpaper to PC sum. Flush doors, if stained, only to be sealed, and given one coat of satin finish polyurethane. To be rubbed down between coats. All other interior finishing woodwork to be primed, stopped, undercoated and finished.

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Material Schedule or to By-Law 3604 - or as shown on accompanying drawing

MATERIAL	SIZE	GRADE
<u>Note:</u> Timber sizes noted are generally Ex Gauged Sizes		
Trimming studs, lintels	as per standard code	
Trimmer studs	90 x 45 mm	Rad P. H1.2
Wallplates	90 x 35mm	Rad P. H1.2
Studs	90 x 45 mm	Rad P. H1.2
Lintels	90-300 x 45 mm	Rad P. H1.2
Nogging (dwangs)	90 x 45 mm	Rad P. H1.2
Bracing	metal cut in	
Ceiling battens	Gib. Rondo	
Verandah posts	100x100	Rad P. H3.2
Verandah beams	2/ 150x50	Rad P. H1.2
Wall insulation	R2.2	Batts
Ceiling insulation	R2.2	Batts
Roof trusses	Gangnail or equal	Rad P. H1.2
Valley boards	150 x 25 mm	Rad P. H3.2
Eaves framing	100x50 mm	Rad P. H1.2
Fascia Boards, Barge boards, Exterior facing		as per drawings
Interior door jambs	30mm	FJ Pine
Architraves (if any)	60 x 12 mm	FJ Pine, MDF
Skirtings	No 2	FJ Pine, MDF
Scotia	Gib. cove	55mm
Splashboards	25mm	FJ Pine H3.2
Shelving	25mm	FJ Pine
Exterior trim	Mouldings as required	FJ Pine H3.2
Interior trim	Mouldings as required	FJ Pine

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Gib® Wall Bracing Calculation Sheet A

single storey

V56A

Job Details

Name	Morrison House
Street and Number	Virginia Heights
Lot and DP Number	LOT 28
City/Town/District	Wanganui
Designer and date	Wally McKeown 6-Dec-05
Company Name	Wally McKeown Architect

Building Specification

Location of Storey	single	▼	
Floor Loading	2 kPa	▼	
Foundation Type	slab	▼	
Building Height to Apex (m)	5	▼	
Roof Height above Eaves (m)	2	▼	
Stud Height (m)	2.4	▼	
Cladding Weight (top or single)	heavy	▼	
Cladding Weight (lower)	light	▼	not applicable (single storey building)
Cladding Weight (subfloor)	light	▼	not applicable (slab)
Roof Weight	light	▼	
Roof Pitch (degrees)	0-25	▼	
Room in Roof Space	no	▼	
Building Length (m)	22		
Building Width (m)	15.6		
Gross Building Plan Area (m2)	204.2		

Building Location

Wind Zone	Low	Earthquake Zone
Region	R1 ▼	A ▼
Terrain	Inland ▼	
Exposure	Sheltered ▼	
Topography	Gentle ▼	Enter at least 'moderate' in a Lee Zone

Bracing Units required for Wind

per m	subfloor	walls
W along	n/a	33 BUs/m
W across	n/a	28 BUs/m
Totals	subfloor	walls
W along	n/a	515 BUs
W across	n/a	616 BUs

Bracing Units required for Earthquake

per m2	subfloor	walls
E	n/a	5.2 BUs/m2
Totals	subfloor	walls
E along	n/a	1062 BUs
E across	n/a	1062 BUs

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Gib® Wall Bracing Calculation Sheet B

single storey

V56A

Along								
Wall or Bracing Line	Bracing Elements provided						Wind	Earthq.
1	2	3	4	5	6	7	8W	9EQ
Line Label	Minimum BUs Req/Ach	Bracing Element No.	Supplier	Bracing Type	Element Length L (m)	Element Height H (m)	BUs Achieved	BUs Achieved
A	198	1	Gib®	Gib1a	2	2.4	110	100
		2	Gib®	Gib1a	2	2.4	110	100
		3	Gib®	Gib1a	2	2.4	110	100
line totals		4	Gib®	Gib1a	2.3	2.4	127	115
W	457	5						
EQ	415	6						
B	70	1	Gib®	Gib2a	1.8	2.4	135	108
		2	Gib®	Gib2b	3.4	2.4	272	238
		3						
line totals		4						
W	407	5						
EQ	346	6						
C	146	1	Ply	SP2	0.7	2.4	84	56
		2	Ply	SP2	0.7	2.4	84	56
		3	Ply	SP2	0.7	2.4	84	56
line totals		4	Ply	SP1	1.4	2.4	196	126
W	588	5	Ply	SP1	1	2.4	140	90
EQ	384	6						
D	enter	1						
		2						
		3						
line totals		4						
W		5						
EQ		6						
E	enter	1						
		2						
		3						
line totals		4						
W		5						
EQ		6						

							Wind	Earthq.
Totals Achieved							1452	1145
							OK	OK
Totals Required (from Sheet A)							515	1062

CANCELLED

Gib® Wall Bracing Calculation Sheet B
single storey V56A

Across								
Wall or Bracing Line	Bracing Elements provided						Wind	Earthq.
1	2	3	4	5	6	7	8W	9EQ
Line Label	Minimum BUs Req/Ach	Bracing Element No.	Supplier	Bracing Type	Element Length L (m)	Element Height H (m)	BUs Achieved	BUs Achieved
M	156	1	Ply	SP2	0.6	2.4	72	48
		2	Ply	SP2	0.6	2.4	72	48
		3	Ply	SP2	0.7	2.4	84	56
line totals		4	Ply	SP2	0.7	2.4	84	56
W	396	5	Ply	SP2	0.7	2.4	84	56
EQ	264	6						
N	70	1	Gib®	Gib2b	3.2	2.4	256	224
		2						
		3						
line totals		4						
W	256	5						
EQ	224	6						
O	70	1	Gib®	Gib1b	2.9	2.4	218	145
		2						
		3						
line totals		4						
W	218	5						
EQ	145	6						
P	70	1	Gib®	Gib2b	2.9	2.4	232	203
		2	Gib®	Gib1a	2.2	2.4	121	110
		3						
line totals		4						
W	353	5						
EQ	313	6						
Q	66	1	Gib®	Gib1b	4	2.4	300	200
		2						
		3						
line totals		4						
W	300	5						
EQ	200	6						

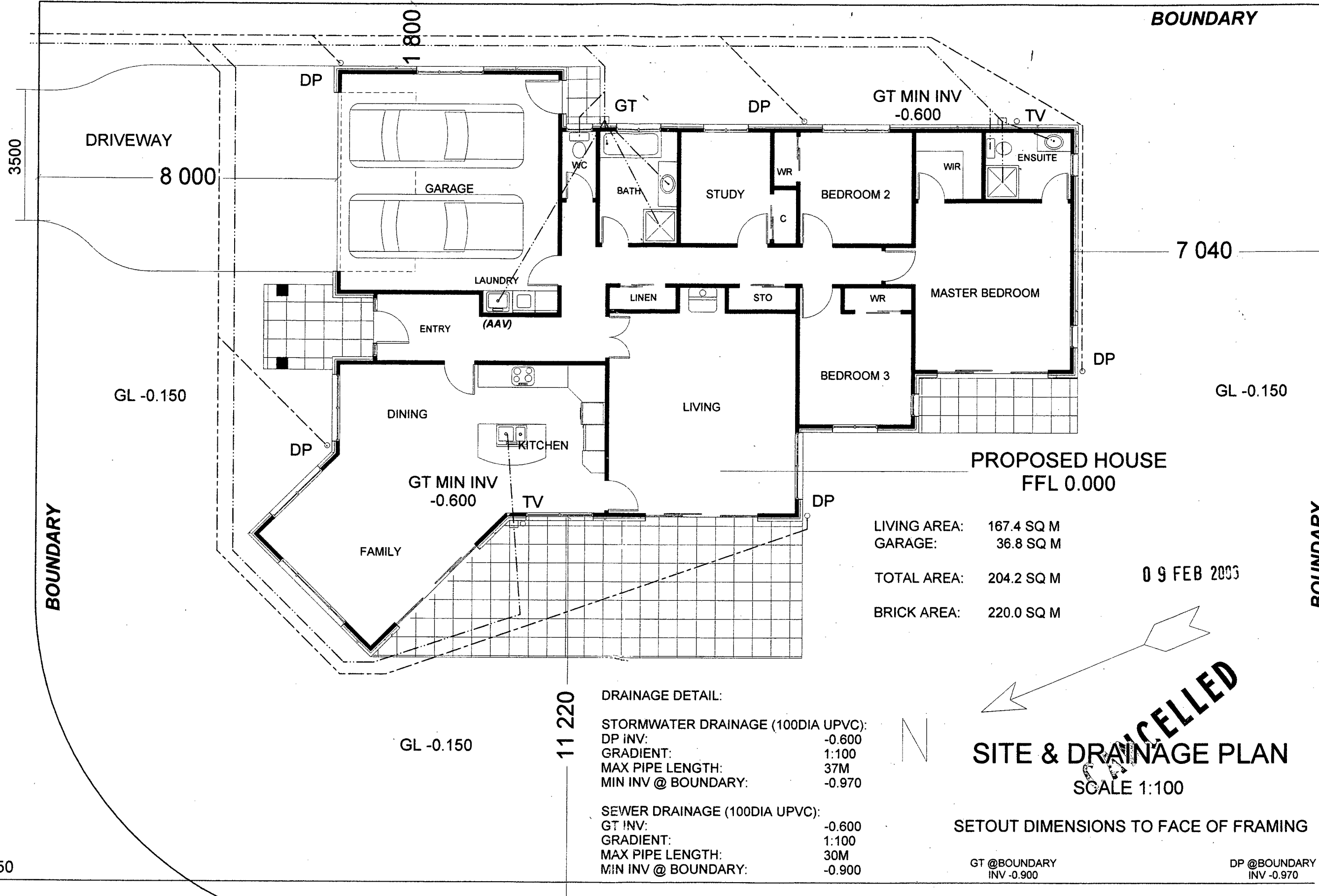
							Wind	Earthq.
Totals Achieved							1523	1146
							OK	OK
Totals Required (from Sheet A)							616	1062

CANCELLED

Gib® Bracing Systems (1999)

For details see Gib® Bracing Systems, 1999
and appropriate manufacturer's literature

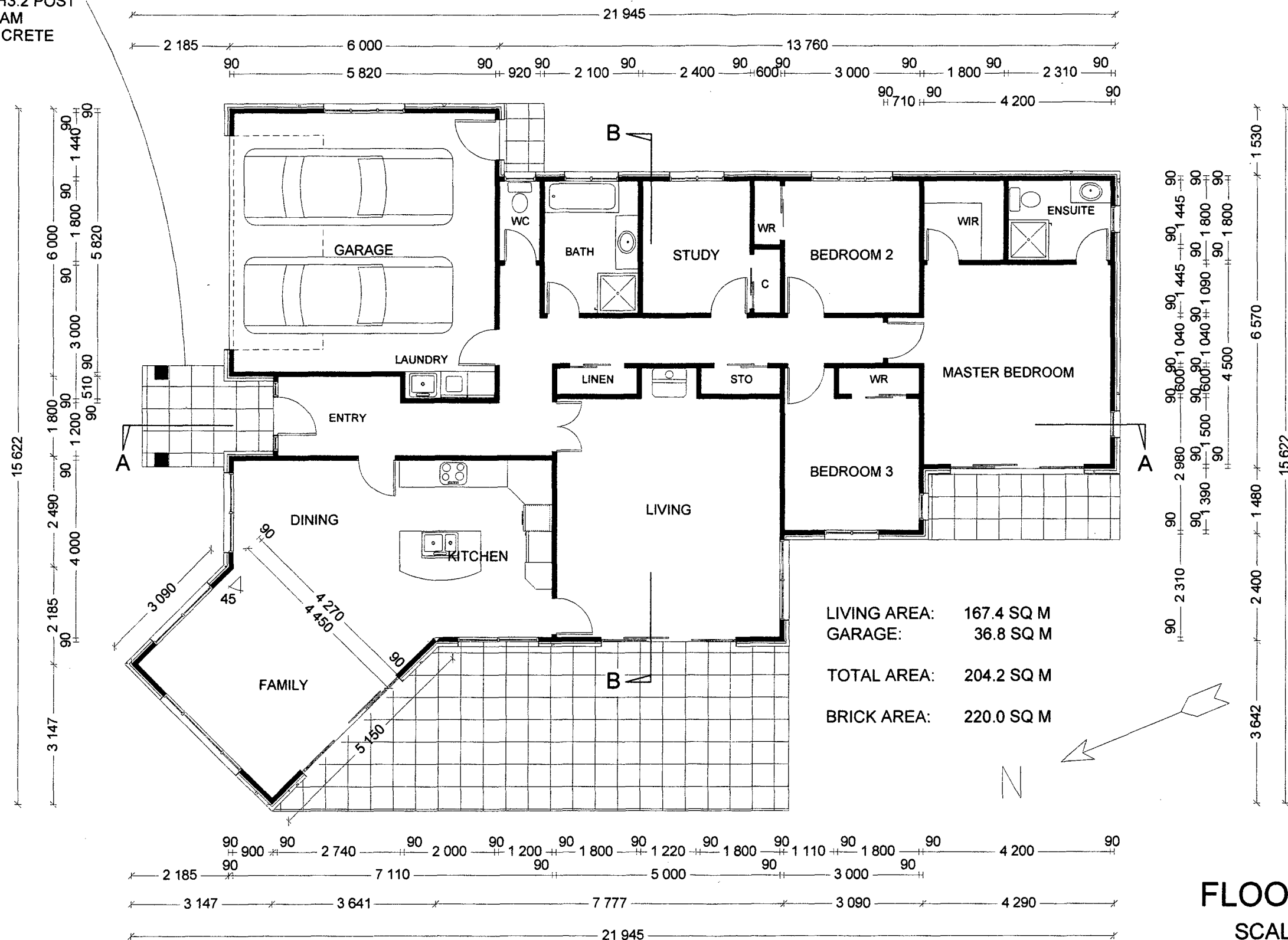
[illegible]



DRAINAGE LONGSECTION (SCALE 1:100)

FRONT ENTRY VERANDAH:

- 310 X 310 BRICK COLUMN
AROUND 100 X 100 H3.2 POST
- 2/ 150 X 50 H1.2 BEAM
- 300SQ X 650D CONCRETE
FOOTING



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FLOOR PLAN

SCALE 1:100

MEASUREMENT TO OVERALL FRAMING;
ADD 120 FOR BRICK VENEER

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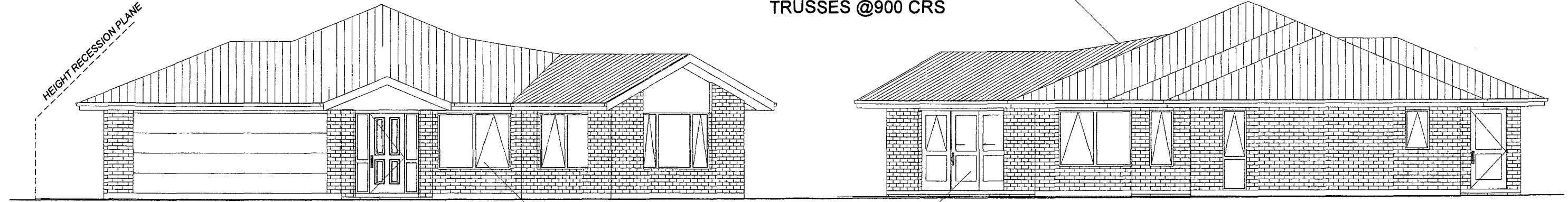
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COLORSTEEL CORRUGATED ROOF (22.5
DEGREE PITCH); BUILDING PAPER; 100 X 50
PURLINS @1000 CRS; PREFBRICATED
TRUSSES @900 CRS

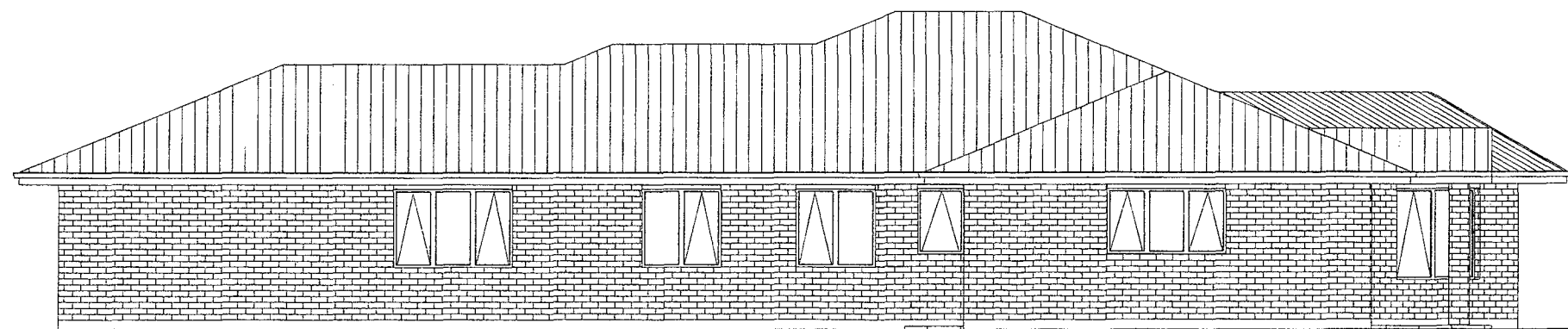
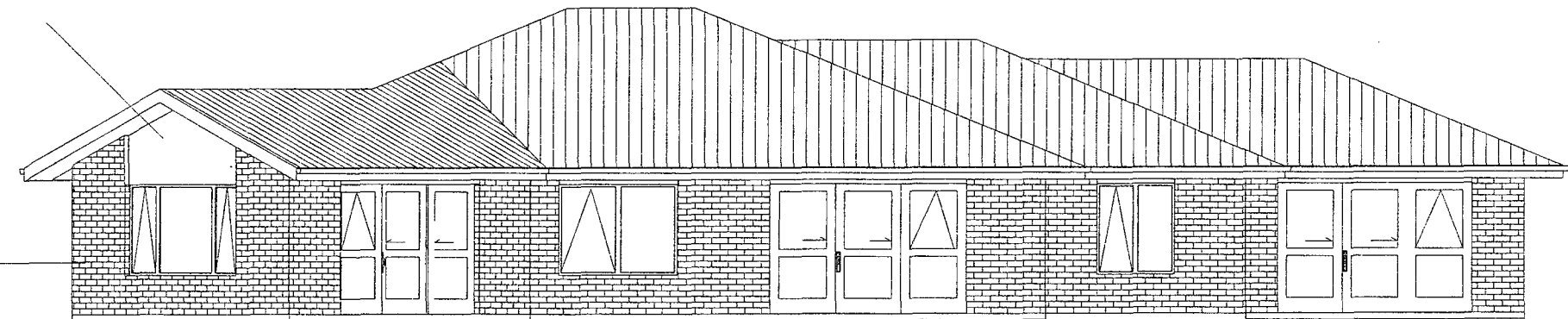
HEIGHT RECESSON PLANE



POWDER-COATED ALUMINIUM JOINERY
TO EXTERIOR DOORS & WINDOWS

TEXTURE COATING ON 40MM INSULCLAD
CLADDING; 20MM CAVITY BATTENS;
BUILDING PAPER TO GABLES & ABOVE
DOORS & WINDOWS

70 SERIES BRICK VENEER; 50 CAVITY; BUILDING
PAPER; 90 X 45 FRAMING, STUDS @600 CRS; R2.2
INSULATION BATTS; 10 GIB INTERIOR LINING



100MM THICK CONCRETE SLAB; 665 MESH

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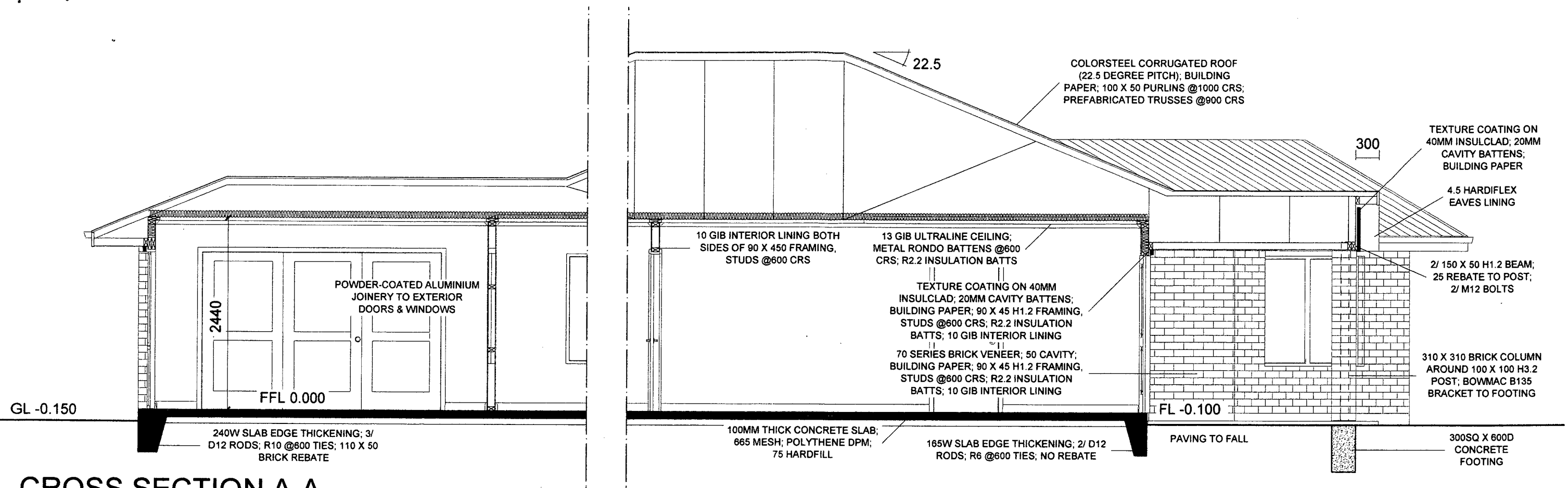
CANCELLED
ELEVATIONS
SCALE 1:100

MORRISON HOUSE
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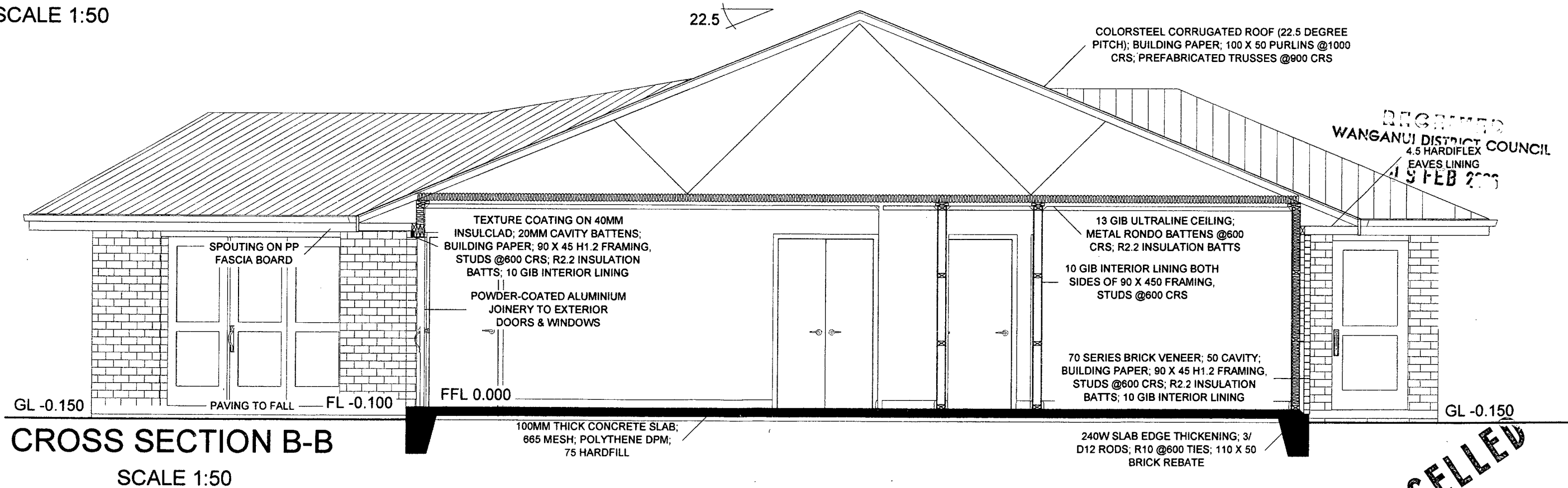
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SCALE 1:50



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4.5 HARDIFLEX
EAVES LINING
15 FEB 2006

CANCELLED

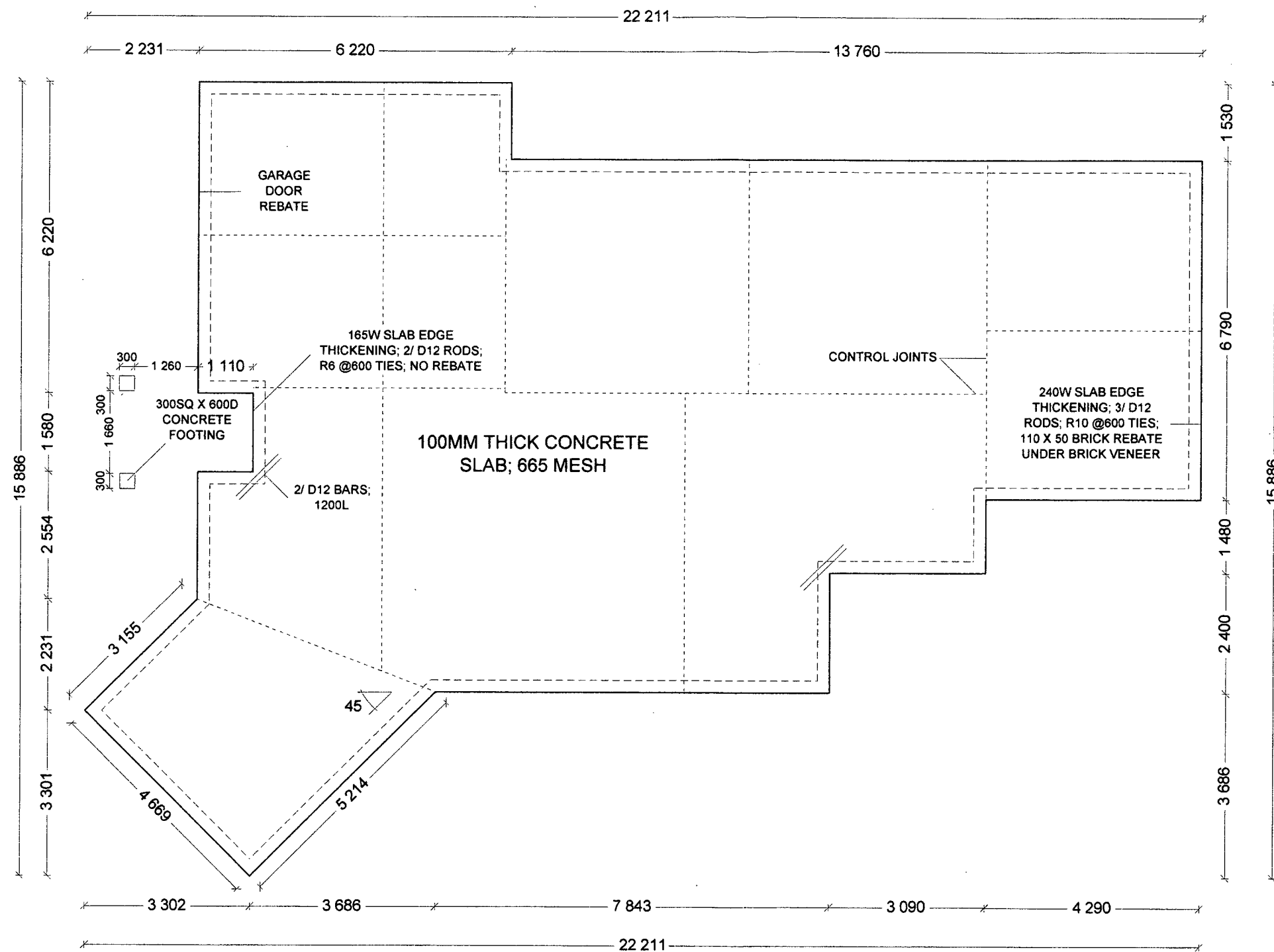
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FOUNDATION PLAN
SCALE 1:100

CANCELLED

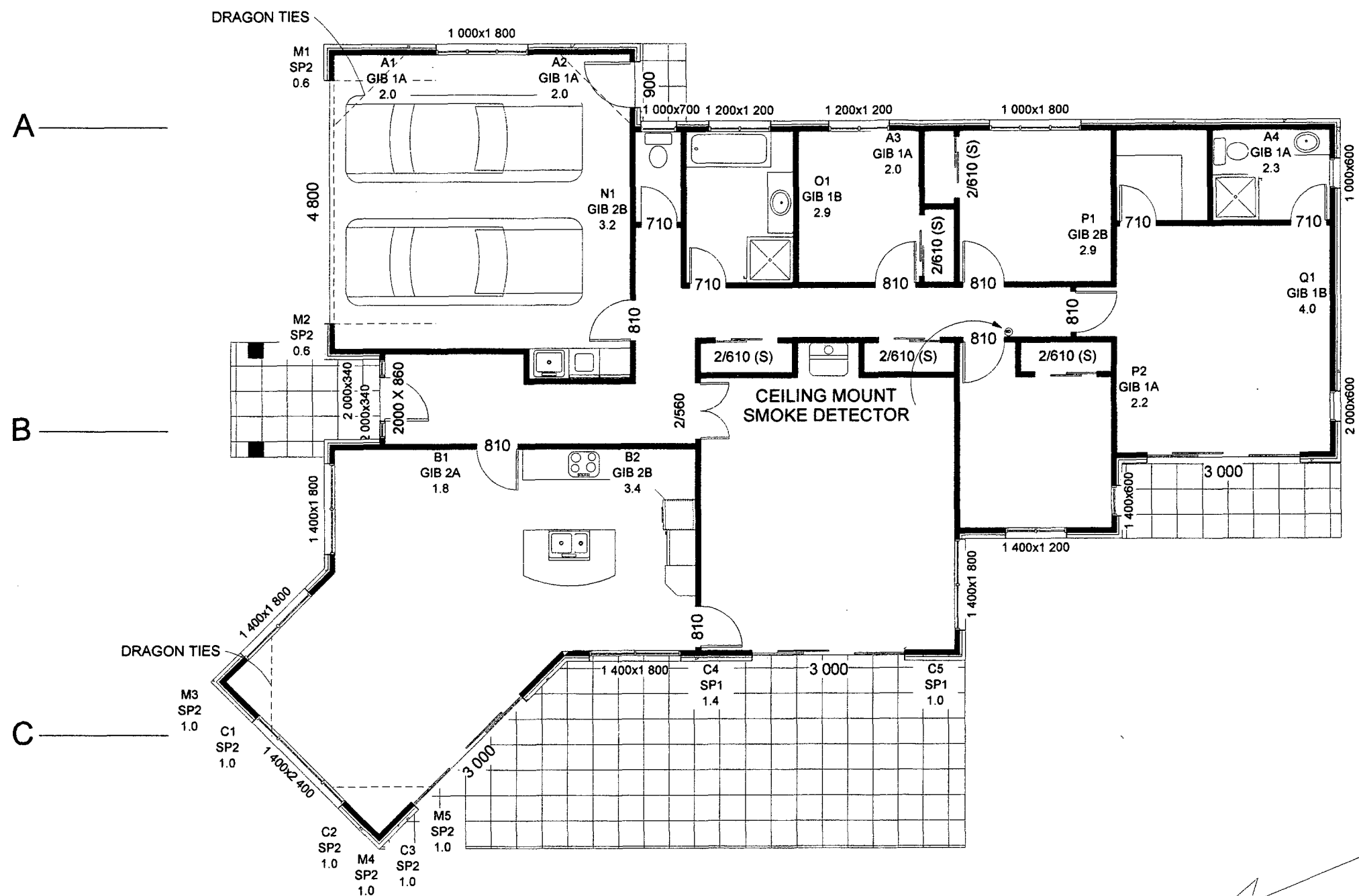
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M N O P Q



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KEY & BRACING PLAN
SCALE 1:100

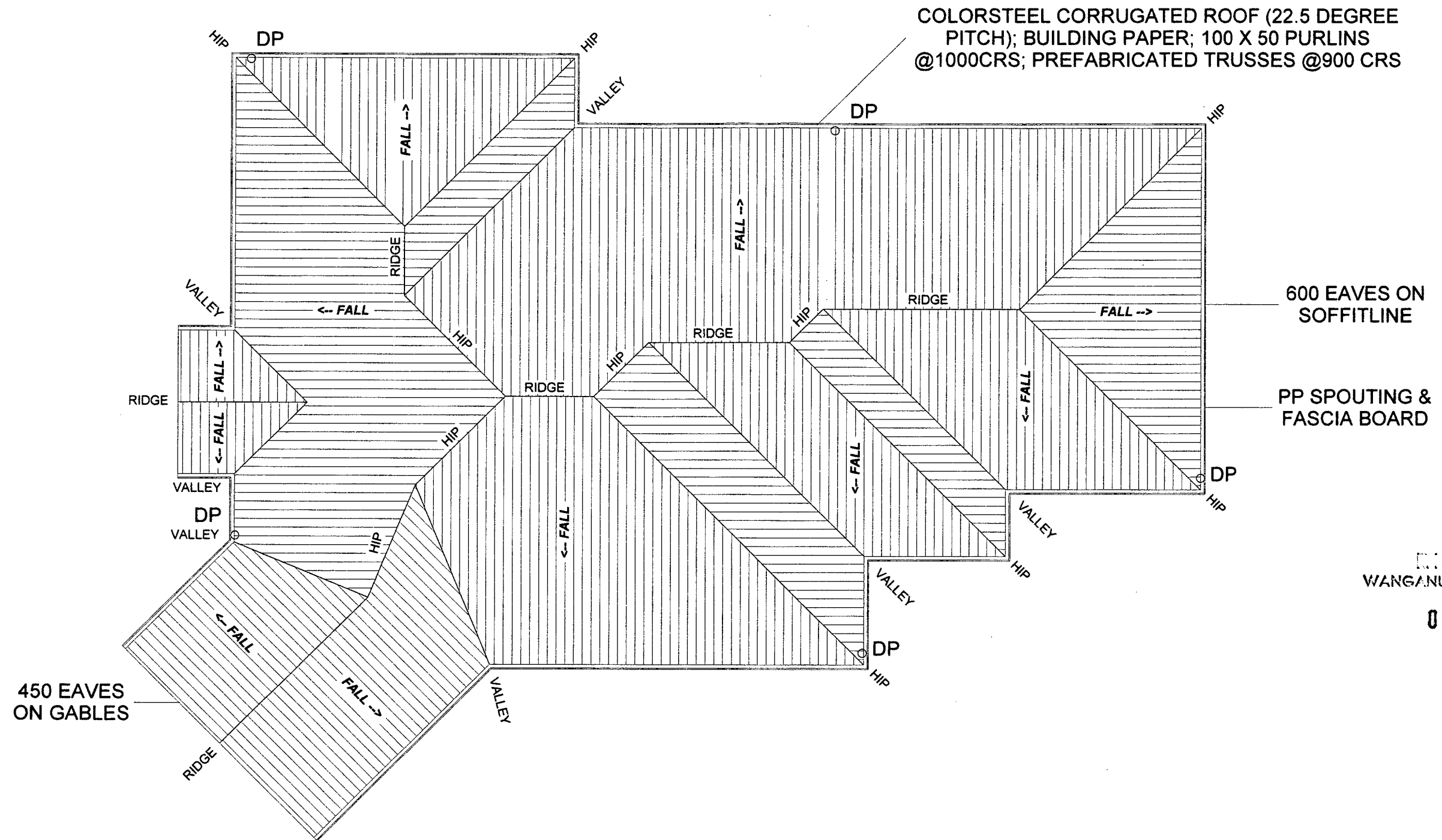
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ENGINEER
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ROOF PLAN

SCALE 1:100

ALL DOWNPIPES PVC 63MM DIA

CANCELLED

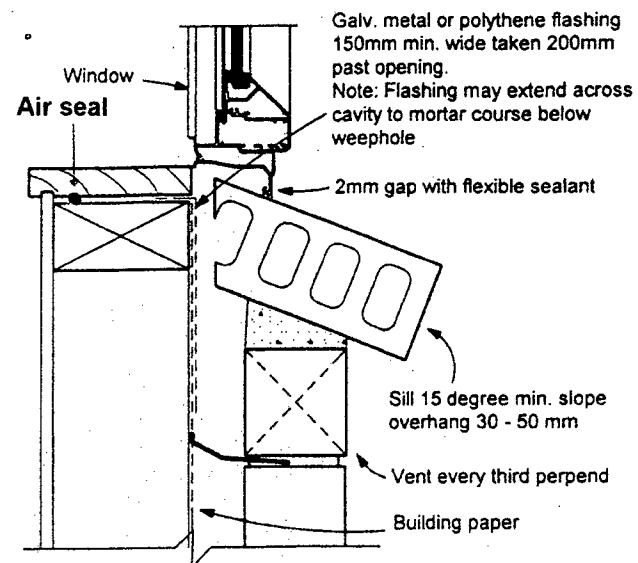
MORRISON HOUSE
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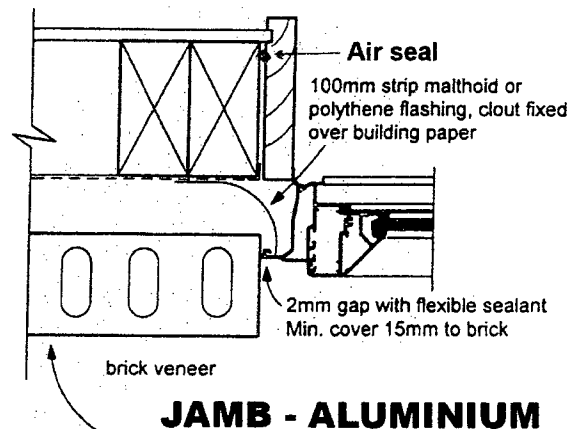
DATE: 18 JANUARY 2006
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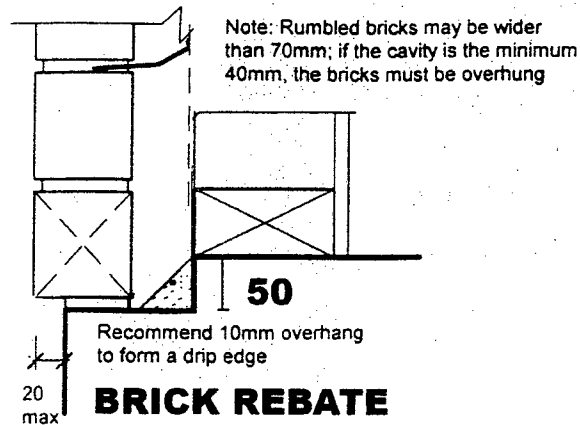


WINDOW SILL - ALUMINIUM

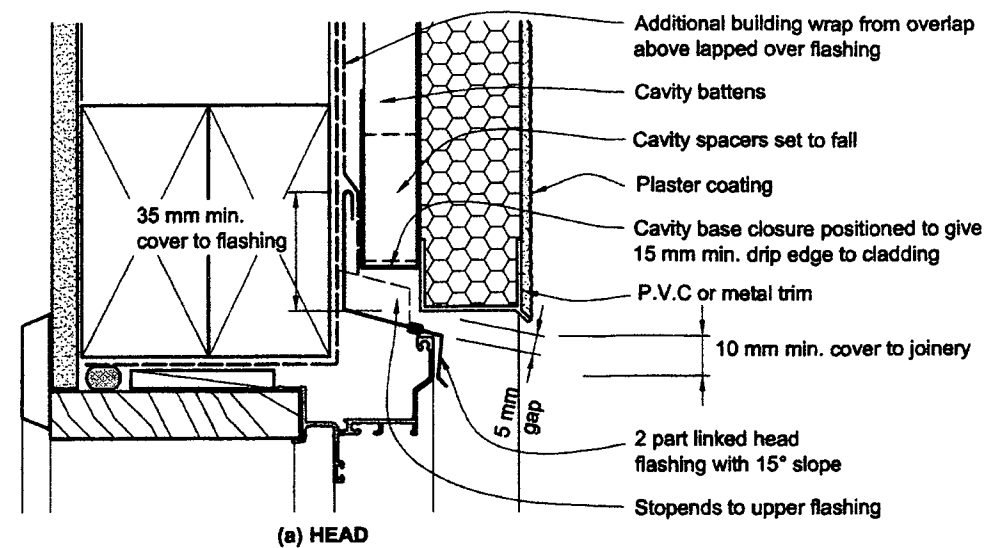


JAMB - ALUMINIUM

OVERHANGING BRICK VENEER

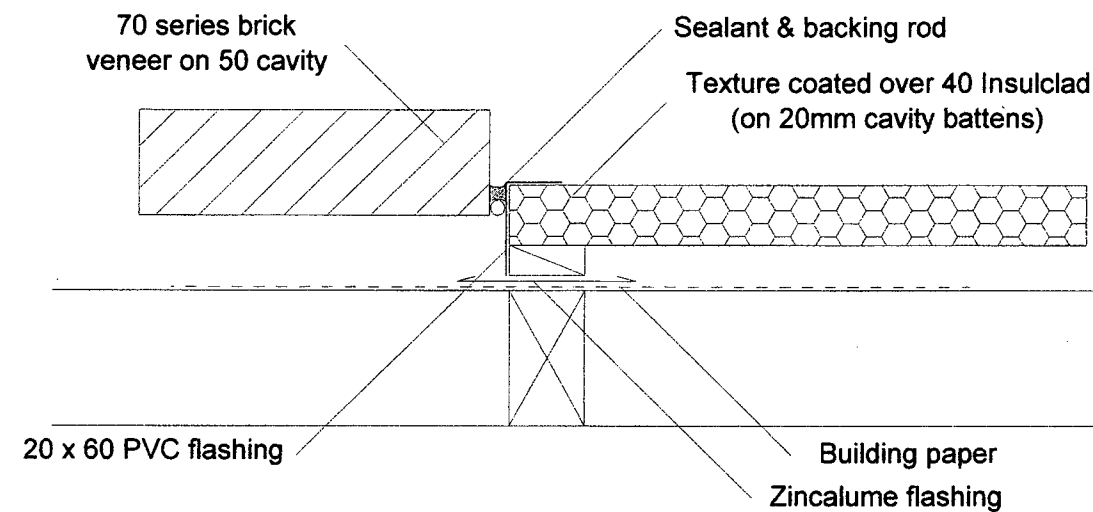


BRICK REBATE

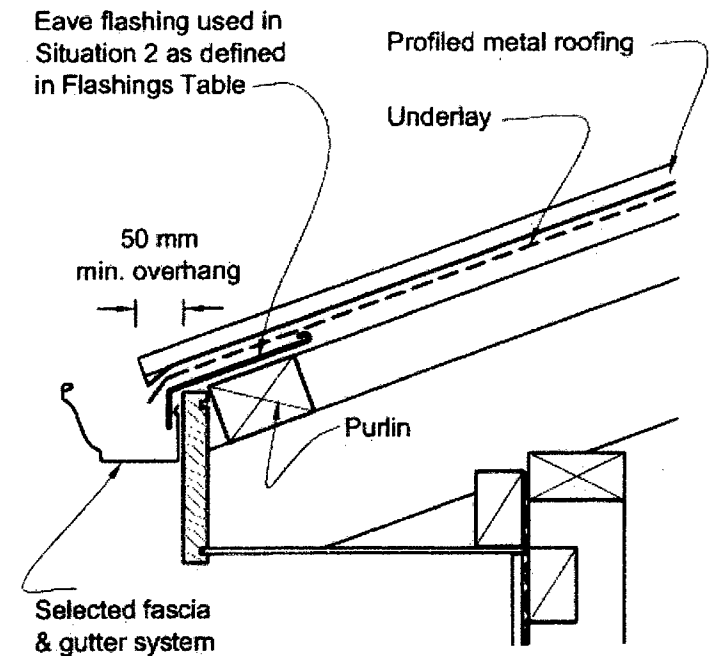


(a) HEAD

WINDOW HEAD - ALUMINIUM



BRICK - INSULCLAD JUNCTION



(a) EAVE

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TYPICAL DETAILS

CANCELLED