

38 PURIRI ST



Wanganui District Council
BCA QM System

Building Consent File – Front Cover

BCA T-33C page 1 of 1
v3 30/01/08

Building Consent File Content

Consent number: 7/1308

	Description	Date Placed	Comment & Reference
1	Consent Application	4-9-07	
2	Pre-Vet Checksheet	✓	
3	Plans & Specifications	✓	
4	Geotech		
5	PIM : C/T : Consent Notes		
6	Regional Authority Consent (Dams)		
7	Fire Design		
8	DRU – NZFS		
9	Consultant Reports		
10	Producer Statements PS1, PS2, PS4		
11	Peer Review		
12	Relocate: Condition Reports		
13	Photos		
14	FIR		
15	Correspondence		
16	Invoice		
17	Building Consent & Memorandum		
18	Amendment: Application & Approval		
19	NTF		
20	DBH Notification (Warnings etc)		
21	Alterations to Existing		
22	Sec. 72's		
23	Historic Places Trust		
24	Energy Work Certificates (Gas/Elect)		
25	Inspection Reports	✓	
26	Warranties		
27	Building Consent (signed copy)		
28			
29			
30			
31			
32			
33			
34			
35			
36			
37	Application for C.C.C.	17-4-08	
38	C.C.C. Assessment Checklist	✓	
39	Code Compliance Certificate	18-4-08	
40			

LARGE PLANS HELD IN: (PLAN TUBE or FILE BOX?) ☒

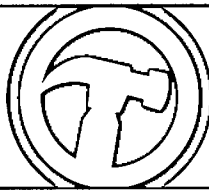
LARGE PLANS LOCATED IN:

G18 FILE ROOM ☒

or BASEMENT ☐

CARPORT

**Building Consent
Application**
Section 32 or 45, Building Act 2004



Wanganui District Council
April 2007

RECEIVED

1. Application type

- ☐ Project Information Memorandum and/or
☒ Building Consent or
☐ Alteration to Existing Building Consent
(Please tick appropriate box)

Building Consent/PIM No.

BCan 07/1308

Note: Shaded areas for office use only

2. The building

2a. Site Address

38 PURIMI ST
WANGANUI

2b. Current lawfully
established use

RESIDENCE

2c. Legal Description

Lot 5 DP 19997

2d. Council Property No.

2e. Number of levels

1

2f. Level/Unit number

2g. Floor area

Existing m² New m² Total m²

2h. Year building first
constructed
(If applicable/or approx. year)

3. The owner

3a. Name

KATHARINE WILSON (RETIRED)

Postal Address

21 BENEFIELD ST
WANGANUI

Contact Numbers

06 343 8962 021 481 775 06 343 2962

Phone

Mobile

Fax

Email

F.WILSON@CLEAR.NET.NZ

4. Evidence of ownership

4a. Evidence of ownership
attached

- ☐ Certificate of Title (copy) ☐ Sale and purchase agreement
☐ Lease agreement ☐ Other document showing full name of legal
owner(s), such as a rate instalment notice

5. Applicant's details (if not the owner)

5a. Name of Agent

DAVID WILSON

Postal Address

21 BENEFIELD ST
WANGANUI

Contact Numbers

06 343 8962 021 481 775 06 343 2962

Phone

Mobile

Fax

Email

F.WILSON@CLEAR.NET.NZ

Relationship to owner

HUSBAND

Details of authorisation

- ☐ Evidence attached
☐ Other - please specify

6. Applicant's declaration

K. Wilson [Signature] 4/09/07
Signature of Owner/Agent Date

K. WILSON (OWNER) D. WILSON (AGENT)
Name (print clearly)

Consent fees to be paid by
(Please tick appropriate box)

☒ Owner

☐ Builder

☐ Plumber

☐ Designer

☐ Agent

The information provided will be included in a Public Register of Consents which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising

7. The project

7a. Description of the building work

BUILD A CARPORT

7b. Will the building work result in a change of use of the building?

☐ Yes

☒ No

7c. If yes, please provide details of the new use

7d. Intended life of the building

☒ Indefinite but not less than 50 years

☐ Less than 50 years - please specify

years

7e. Have any PIM and/or Building Consents been issued previously for this project?

☐ Yes

Provide details below

☒ No

Date of consent Consent number

7f. Estimated value of the building work

\$ 1200-00

including gst

8. Project Information Memorandum

The following matters are involved in the project (please tick the appropriate project)

☐ Subdivision

☐ Alterations to land contours

☐ New or altered connections to public utilities

☐ New or altered locations and/or external dimensions of buildings

☐ New or altered access for vehicles

☐ Building work over, or adjacent to, any road or public place

☒ Disposal of stormwater and wastewater

☐ Building work over existing drains or sewers, or in close proximity to wells or water mains

☐ Other matters known to the applicant that may require authorisations from the council - please specify

9. Supporting documentation

The following plans and specifications are attached to this application:

☒ Two sets of plans drawn to a recognised metric scale; include two sets of specifications and other documentation

☐ Project Information Memorandum

☐ Producer Statements

☐ Truss Layout Plan

☐ Certificate attached to Project Information Memorandum

☐ Details/Calculations

☐ Fire Design Analysis

☐ Development Contribution Notice

Please turn over

9. Supporting documentation - continued

☐ Copies of other Authorisations - please specify

☐ Other - please specify

10. Building practitioners involved in this project (continue on another sheet of paper if needed)

Designer

Name / Registration no.

Contact details Address

Phone / Email

Builder

Name / Registration no.

Contact details Address

Phone / Email

Craftsman Plumber

Name / Registration no.

Contact details Address

Phone / Email

Registered Drainlayer

Name / Registration no.

Contact details Address

Phone / Email

Electrician

Name / Registration no.

Contact details Address

Phone / Email

Engineer

Name / Registration no.

Contact details Address

Phone / Email

Specialist Services (fire alarm, HVAC, lift etc)

Name / Registration no.

Contact details Address

Phone / Email

Other

Name / Registration no.

Contact details Address

Phone / Email

11. Waiver or modification required

Waiver or modification
(Please circle and detail below)

B1	B2	C1	C2	C3	C4	D1	D2
E1	E2	E3	F1	F2	F3	F4	F5
F6	F7	F8	G1	G2	G3	G4	G5
G6	G7	G8	G9	G10	G11	G12	G13
G14	G15	H1					

Alternative Solution
(Please circle and detail below)

B1	B2	C1	C2	C3	C4	D1	D2
E1	E2	E3	F1	F2	F3	F4	F5
F6	F7	F8	G1	G2	G3	G4	G5
G6	G7	G8	G9	G10	G11	G12	G13
G14	G15	H1					

Additional information

12. Compliance with New Zealand Building Code

NZBC Clause

Tick relevant building code clauses

- ☒ **B1** Structure
- ☐ **B2** Durability
- ☐ **C1-C2-C3-C4** Fire
- ☐ **D1** Access routes
- ☐ **D2** Mechanical installations for access
- ☐ **E1** Surface water
- ☐ **E2** External moisture
- ☐ **E3** Internal moisture
- ☐ **F1** Hazardous agents on site
- ☐ **F2** Hazardous building materials
- ☐ **F3** Hazardous substances & processes
- ☐ **F4** Safety from falling
- ☐ **F5** Construction & demolition hazards
- ☐ **F6** Lighting for emergency
- ☐ **F7** Warning systems
- ☐ **F8** Signs
- ☐ **G1** Personal hygiene
- ☐ **G2** Laundering
- ☐ **G3** Food preparation & prevention of contamination
- ☐ **G4** Ventilation
- ☐ **G5** Interior environment
- ☐ **G6** Airborne & impact sound
- ☐ **G7** Natural light
- ☐ **G8** Artificial light
- ☐ **G9** Electricity
- ☐ **G10** Pipes services
- ☐ **G11** Gas as an energy source
- ☐ **G12** Water supplies
- ☐ **G13** Foul water
- ☐ **G14** Industrial liquid waste
- ☐ **G15** Solid waste
- ☐ **H1** Energy efficiency

Means of compliance

Please circle or add means of compliance

Proposed inspections

Please circle as appropriate - see key below

B1/AS2	NZS 4229	NZS 3604	NZS 4204	1	2	3
B2/AS1	NZS 3604	NZS 3101	NZS 3602	1	2	3
C1/AS1	C4/AS1	C2/AS1	C3/AS1	1	2	3
D1/AS1		NZS 4121		1	2	3
D2/AS1		NZS 4322	EN/81	1	2	3
E1/AS1		AS/NZS 3500		1	2	3
E2/AS1		Specific Design		1	2	3
E3/AS1				1	2	3
F1/AS1				1	2	3
F2/AS1		NZS 4233		1	2	3
F3/AS1				1	2	3
F4/AS1		Fencing of Swimming Pools Act		1	2	3
F5/AS1				1	2	3
F6/AS1	AS/NZS 1668	NZS 4512	NZS 4515	1	2	3
F7/AS1	AS/NZS 1668	NZS 4512	NZS 4515	1	2	3
F8/AS1				1	2	3
G1/AS1				1	2	3
G2/AS1				1	2	3
G3/AS1				1	2	3
G4/AS1				1	2	3
G5/AS1				1	2	3
G6/AS1				1	2	3
G7/AS1				1	2	3
G8/AS1		NZS 6703		1	2	3
G9/AS1				1	2	3
G10/AS1		NZS 5261		1	2	3
G11/AS1				1	2	3
G12/AS1	C4/AS1	AS/NZS 3500.2	AS/NZS 3500.5	1	2	3
G13/AS1		AS/NZS 3500.2	BS 5572	1	2	3
G14/AS1				1	2	3
G15/AS1				1	2	3
H1/AS1	NZS 4212	NZS 4218 ALF design manual	NZS 4243	1	2	3

Key to proposed inspections:

1. Council Building Control Officer
2. Approved Consultant e.g. Engineer
3. Other - Please specify below

Important

The Building Act requires the applicant to state, for each relevant building code clause, what the means of compliance is. Alternative solutions may also be proposed, and must be accompanied with documentation demonstrating compliance. Please refer to Alternative Solution box previous page and provide additional information. Refer to guidance notes on separate sheet for typical scenarios.

Please turn over

12. Compliance schedule

Do not proceed further if

- this is an application for a PIM only (Project Information Memorandum)
- this application is for Residential work only (except for a cable car after 31 March 2008)

The following specified systems are new, existing, being altered, added to, or removed in the course of building work

☐ There are no specified systems in the building

	New	Existing	Altered	Added	Removed
Cable Car (including to individual dwelling) (to be implemented 31 March 2008)	☐	☐	☐	☐	☐

Building Act 2004 (implemented 31 March 2005)

(listed below are the systems and features from the 'new' Act)

1. Automatic systems for fire suppression (for example, sprinkler systems)	☐	☐	☐	☐	☐
2. Automatic or manual emergency warning systems for fire or other dangers	☐	☐	☐	☐	☐
3. Electromagnetic or automatic doors or windows (for example, ones that close on fire alarm activation)	☐	☐	☐	☐	☐
4. Emergency lighting systems	☐	☐	☐	☐	☐
5. Escape route pressurisation systems	☐	☐	☐	☐	☐
6. Riser mains for Fire Service's use	☐	☐	☐	☐	☐
7. Any automatic back-flow preventers connected to a potable water supply	☐	☐	☐	☐	☐
8. Lifts, escalators, travelators, or other systems for moving people or goods within buildings	☐	☐	☐	☐	☐
9. Mechanical ventilation or air conditioning systems	☐	☐	☐	☐	☐
10. Building maintenance units providing access to exterior and interior walls of buildings	☐	☐	☐	☐	☐
11. Laboratory fume cupboards	☐	☐	☐	☐	☐
12. Audio loops or other assistive listening systems	☐	☐	☐	☐	☐
13. Smoke control systems	☐	☐	☐	☐	☐
14. Emergency power systems for, or signs relating to, a system or feature specified in any of the above	☐	☐	☐	☐	☐
15. Means of escape with systems and features (1 to 6, 9 and 13)	☐	☐	☐	☐	☐

Please continue for Building Act 1991 (implemented 1 January 1993)

12. Compliance Schedule - continued

The following specified systems are existing, being altered, added to, or removed in the course of building work

Existing Altered Added Removed
☐ ☐ ☐ ☐

Building Act 1991 (implemented 1 January 1993)
 (listed below are the systems and features from the 'old' Act)

1. Automatic systems for fire suppression (for example, sprinkler systems)	☐	☐	☐	☐
2. Automatic or manual emergency warning systems for fire or other dangers	☐	☐	☐	☐
3. Emergency warning systems for fire or other dangers (eg. manual or automatic fire alarm)	☐	☐	☐	☐
4. Emergency lighting	☐	☐	☐	☐
5. Escape route pressurisation	☐	☐	☐	☐
6. Riser mains	☐	☐	☐	☐
7. Back-flow preventers	☐	☐	☐	☐
8. Lifts (including escalators, passengers, service, goods)	☐	☐	☐	☐
9. Mechanical ventilation and air conditioning	☐	☐	☐	☐
10. Other mechanical, electrical, hydraulic or electronic systems	☐	☐	☐	☐
11. Building maintenance units	☐	☐	☐	☐
12. Signs (for items 1 to 11 above)	☐	☐	☐	☐
13. Means of escape	☐	☐	☐	☐
14. Safety barriers	☐	☐	☐	☐
15. Access and facilities for people with disabilities	☐	☐	☐	☐
16. Hosereels and/or fire extinguishers	☐	☐	☐	☐
17. Signs (for items 13 to 16 above)	☐	☐	☐	☐

Address where compliance schedule will be held:

21 BENEFIELD ST WILMINGTON

The maximum number of occupants that the building is designed for:

Amendments to a compliance schedule also requires Form 005 - Application for Amendment for Compliance Schedule

Please turn over

OFFICE USE ONLY

BCA

Date application received
Receiving Officer
Application Fee Receipt No.
Date of application Fee Rec.

Fees (incl. GST)

Building Consent Application (Prepaid)
Building Consent Issue
PIM
Building Levy (DBH)
BRANZ Levy
Stormwater Connection
Vehicle Crossing
Sewer Connection
Water Connection
Fordell Connection (Application charge)
Development Contribution Levy
NZFS Alternative Solution
Resource Consent
Relocation Bond
Certificate of Title
Rural Rapid Number
Other
Total

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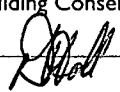
Comments:

Processing

Unit	Checks				Inspections No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	CBM	6-9-07	AW	1/10/07			
Planning						CBM	20/9/07
Fire Design (Referred to NZFS)							
Building	BL	21-9-07				BL	4-10-07
Drainage (Infrastructure)							
Water (Infrastructure)							
Fordell Water Scheme (Infrastructure)							
Structural							
Plumbing/Drainage						AL	24-9-07
Roading							
Health							
Dangerous Goods							

Approved for issue of PIM/Building Consent

Approving Officer



Date

4 OCT 2007

Notes

Peer reviewed. 	26 SEP 2007
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PRELODGE MENT VETTING: BUILDING CONSENT

Street Address: _____

Check Sheet – Housing/Housing Alterations

(Additional information will need to be supplied if a Resource Consent is required)

This is a preliminary vetting sheet only to establish if there is sufficient information of an acceptable quality before it is received for lodgement and processing. This is not a comprehensive list of requirements. This prelodgement form is designed to reduce processing time and save you on processing costs.

Plans are required to a suitable drafting standard.

Note: If you do not have the appropriate skills to prepare drawings, please engage a professional
2 copies of all documentation is required (3 if Res.Consent req'd)

REQUIREMENTS	Owner Supplied	Council Check			Council Recheck		
	Date	Date			Date		
	/ /	/ /	/ /	/ /	/ /	/ /	
	Tick where applicable under Yes, No or Not applicable						
	Y	N	N/A	Y	N	N/A	Y
1. Building Consent Application form (1 copy) - fully filled in and signed	☒	☐	☐	☐	☐	☐	☐
2. Application fee	☐	☐	☐	☐	☐	☐	☐
3. Copy of Certificate of Title (1 copy)	☐	☐	☐	☐	☐	☐	☐
4. Site plan – to scale, fully dimensioned showing drainage, north point, street vehicle crossing, site coverage, distance to boundaries, levels	☐	☐	☐	☐	☐	☐	☐
5. Floor Plan – to scale, fully dimensioned, rooms named, windows/doors, bracing, fixtures, smoke detector positions	☐	☐	☐	☐	☐	☐	☐
6. Elevations – to scale. All sides to be shown, windows/door, heights, materials, daylight plane, ground contours (before and after)	☐	☐	☐	☐	☐	☐	☐
7. Cross Sections – through key building points, heights, materials, timber treatment/grades	☐	☐	☐	☐	☐	☐	☐
8. Drainage long sections – crown of road, stormwater (septic tank design), depths, cover	☐	☐	☐	☐	☐	☐	☐
9. Specific details – weathering, window/door details, flashings, parapet, deck, junctions, cavity?, foundations etc.	☐	☐	☐	☐	☐	☐	☐
10. Bracing Schedule – walls and roof (subfloor when required)	☐	☐	☐	☐	☐	☐	☐
11. Roof truss layout/design certificate – fixings	☐	☐	☐	☐	☐	☐	☐
12. Risk Matrix calculation sheet – weathertightness	☐	☐	☐	☐	☐	☐	☐
13. Specific Engineering Design – Engineers calculations (+ PS1) - Level of construction monitoring to be carried out by engineer	☐	☐	☐	☐	☐	☐	☐
14. Specification – comprehensive, references to Codes, Standards (Specific to project)	☐	☐	☐	☐	☐	☐	☐
15. Manufacturers specification for woodburners, sewerage pumps, specialized processes etc.	☐	☐	☐	☐	☐	☐	☐
Plans OK to accept for processing ☐	Notes:						
Officer: _____	Dated: _____						

PTO for Commercial/Industrial

Check Sheet – Commercial/Industrial (in addition to the previous page)

Commercial and Industrial buildings are often extremely complex projects.

This is a preliminary vetting sheet only to establish if there is sufficient information of an acceptable quality before it is received for lodgment and processing. This is not a comprehensive list of requirements. This prelodgement form is designed to reduce processing time and save you on processing costs.

Note: If you do not have the appropriate skills to prepare drawings, please engage a professional
2 copies of all documentation is required

REQUIREMENTS	Owner Supplied	Council Check	Council Recheck						
	Date	Date	Date						
	/ /	/ /	/ /						
	Tick where applicable under Yes, No or Not applicable								
	Y	N	N/A	Y	N	N/A	Y	N	N/A
A. Fire Design Analysis - (3 copies required for NZFS-DRU if alternative solution)	☐	☐	☐	☐	☐	☐	☐	☐	☐
B. Toilet Calculation (G.1.) Separate facilities?, unisex?, accessibility	☐	☐	☐	☐	☐	☐	☐	☐	☐
C. Access and Facilities for people with disabilities toilets, ramps, counters.	☐	☐	☐	☐	☐	☐	☐	☐	☐
D. If Change of Use refer to additional requirements (see section 114, 115)	☐	☐	☐	☐	☐	☐	☐	☐	☐
E. Specialist Services Details f/alarm, auto doors, lift, e/lighting, lighting, H.1. energy efficiency, HVAC, signs, (health, dangerous goods)	☐	☐	☐	☐	☐	☐	☐	☐	☐
F. Compliance Schedule Details - fill in application form also	☐	☐	☐	☐	☐	☐	☐	☐	☐
G. Specialist Engineering (PS1, PS2) portal frames, precast concrete, blockwork, specific details	☐	☐	☐	☐	☐	☐	☐	☐	☐
H. Carparking calculations for numbers, commercial vehicle crossing, accessible carpark, drainage, loading bay.	☐	☐	☐	☐	☐	☐	☐	☐	☐
I. Requirement for Certificate for Public Use (see 363) - staging, use of building before CCC	☐	☐	☐	☐	☐	☐	☐	☐	☐
J. Stormwater Design, E1 calculations, for yards and buildings etc.	☐	☐	☐	☐	☐	☐	☐	☐	☐
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Wapganui District Council

1801 Lakeside Wapganui

Phone: (09) 545 0001

Visit our Web Site www.wapganui.govt.nz

OFFICIAL RECEIPT

Council Reg No: 10001711

4/09/2007

Receipt No: 237516

To: K & F Wilson

Type	Reference	Amount
GL Receipt	NGGI RECONSULT	\$290.00
38 Pouni St		
Total		\$290.00

Amounts Tendered

Cheque	\$290.00
Total	\$290.00
Reimbursing	\$0.00
Change	\$0.00



PREPAID - TAX INVOICE

GST Number 51-668-324

Payers Name:

D. Wilson
21 BENEFIELD
WANGANUI

For Building Consent:

Reference No:

Date: 4.9.07

YOUR APPLICATION WILL NOT BE PROCESSED UNLESS THE FEE IS PAID

Location of project

Description of project

38 AURIA

Reference	Details	Amount (Incl GST)
1.	Building Consent Project Type – application fee (refer to 'Fees 2A and Charges' Form)	\$ 290.00
2.	Resource Consent - deposit	
	• Land use - Non-Notified	\$
	• Subdivision - Notified	\$
3.	Other - Aerial photographs	\$
	- Plan pack Searches	\$
	- Rural Rapid Numbers (New)	\$
	- Large Plan photocopying A2	\$
	A0 – A1	\$
4.	Certificate of Title	\$
Total Payable		\$ 290.00.

WHEN PAID THIS FORM WILL BE PART OF YOUR CONSENT APPLICATION AND MUST BE ATTACHED TO THE CONSENT APPLICATION BEFORE IT WILL BE PROCESSED.

PLEASE RETURN TO CUSTOMER SERVICES



TOTAL INSPECTION TIME REPORT

Building Consent Number BCon07/1308

Total Estimated Inspection Time	100
Total Actual Inspection Time	0
Inspection Time Difference	100
At BC Issue Time to be charged.	
At Completion Positive amount = time to be credited	
Negative amount = time to be charged	

Signed for and on behalf of the Wanganui District Council

110

FILE NOTE:
ASSESSMENT OF BUILDING CONSENT

Applicants
Name

Kathana Wilson

Activity/Use

Carport

Date

20/9/07

BC#

07/1308

Address

38 Purni Street

Subject

Activities in Residential zones

THIS NOTE RECORDS THE INITIAL ASSESSMENT MADE OF THE CONSENT APPLICATION. IT ASSESSES WHETHER THE APPLICATION INCLUDES ALL OF THE INFORMATION REQUIRED TO PROCESS THE RESOURCE CONSENT FURTHER.

Zone:

Residential

Road

Classification:

Secondary / District Arterial

Site Area:

833m²

Site Coverage:

40%

92.4 ÷ 833 × 100 =

11.1%

✓

Maximum Height:

10 metres

✓

2m

Structures

Front Boundary

(Height Recession
Plane):

✓

At rear

Side Boundary

✓

710m away

Side Boundary

✓

0.3m away

Rear Boundary

✓

715m away

(plus exemptions)

Multi Unit
Development
(detached):

Height recession plane applies from a
notational boundary

N/A

Accessory
Building

Garage or accessory building located in
front of principal building

✓

No

Conjoined multi
unit developments
and residential
care facilities

D = L = 3H/10

- i. Site amenity 30m²
- ii. Upper story units
- iii. Storage space

N/A

Noise:

Light:

Advertising

Access: Minimum 1 access to be provided
3.5 metres maximum

Parking: 1 per dwelling unit

Easements

Development Contribution The value of 20m² of land for each
additional household unit created

N/A

✓ existing

✓

None

N/A

Decision and any other matters not contained in table above including further
information for building consent purposes:

Complies.
Carolyn 20/9/07.

Further Information Received? Yes/No
Decision:

Is resource consent required? Yes No
Letter sent out? Yes/No Date:

File Number: 4/101/

Assessed as:

Restricted Discretionary Activity
Breaches:

Non-complying Activity
Breaches

- 4 SEP 2007

RECEIVED



COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952



Search Copy

R. W. Muir
Registrar-General
of Land

Identifier **36762**
Land Registration District **Wellington**
Date Issued **24 May 2002**

Prior References
WN701/15

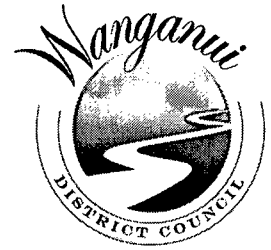
Estate Fee Simple
Area 833 square metres more or less
Legal Description Lot 5 Deposited Plan 19997

Proprietors
Katharina Reimer

Interests

Subject to Part IVA Conservation Act 1987
Subject to Section 11 Crown Minerals Act 1991

101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



26 September 2007

**Mr D Wilson
21 Benefield St
WANGANUI 5001**

Dear Sir or Madam:

1st Request for further information on Application.

Project Number: BCon07/1308
Project Location: 38 Puriri St WANGANUI 5001
Project Description: Construct a Carport

The documentation supplied for the above project has been reviewed and raises the following comments:

- 1: Please state your MSG/VSG timber gradings, otherwise they will be accessed as the lowest, and in this case your 200x50 outside beams are overspanned. (Bill Leslie - Building Control Officer)**
- 2. Please see NZS3604 post uplift, your total volume is less than required. (Bill Leslie - Building Control Officer)**

We have placed this application on hold until we receive your advice regarding the above comments, and the issues raised have been resolved. To improve our service to you (and reduce cost) please itemise in an accompanying letter all amendments made and clearly highlight the amendments on the plans and specifications. If you have any queries please contact this office and quote Project Number BCon07/1308

Yours sincerely

A handwritten signature in black ink, appearing to read 'Louise Woodthorpe'.

Louise Woodthorpe
Customer Services Advocate

Wanganui District Council
27 SEP 2007
RECEIVED

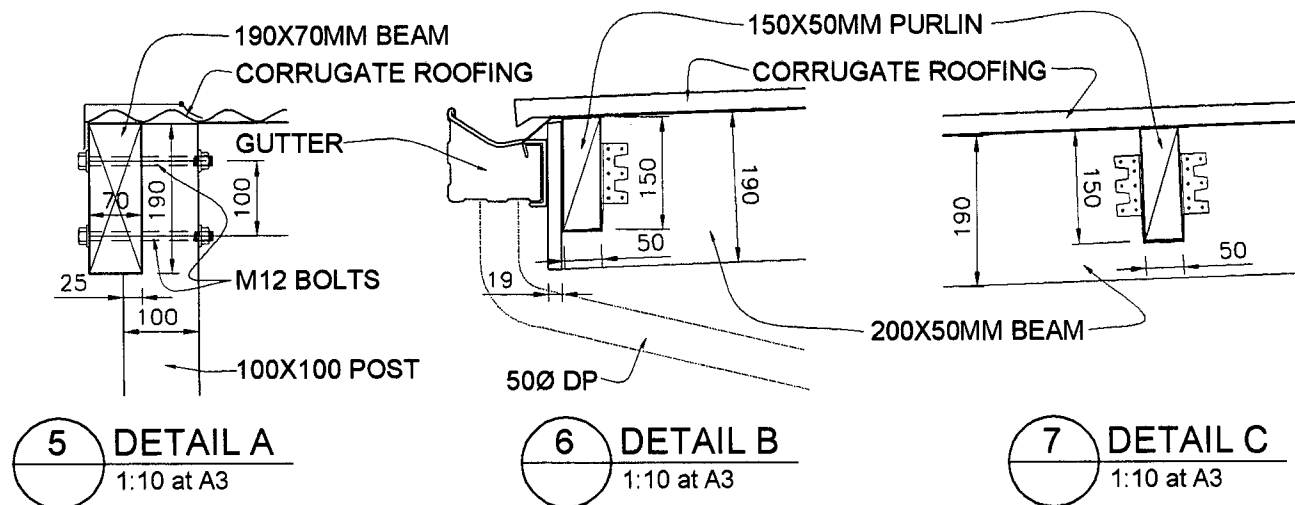
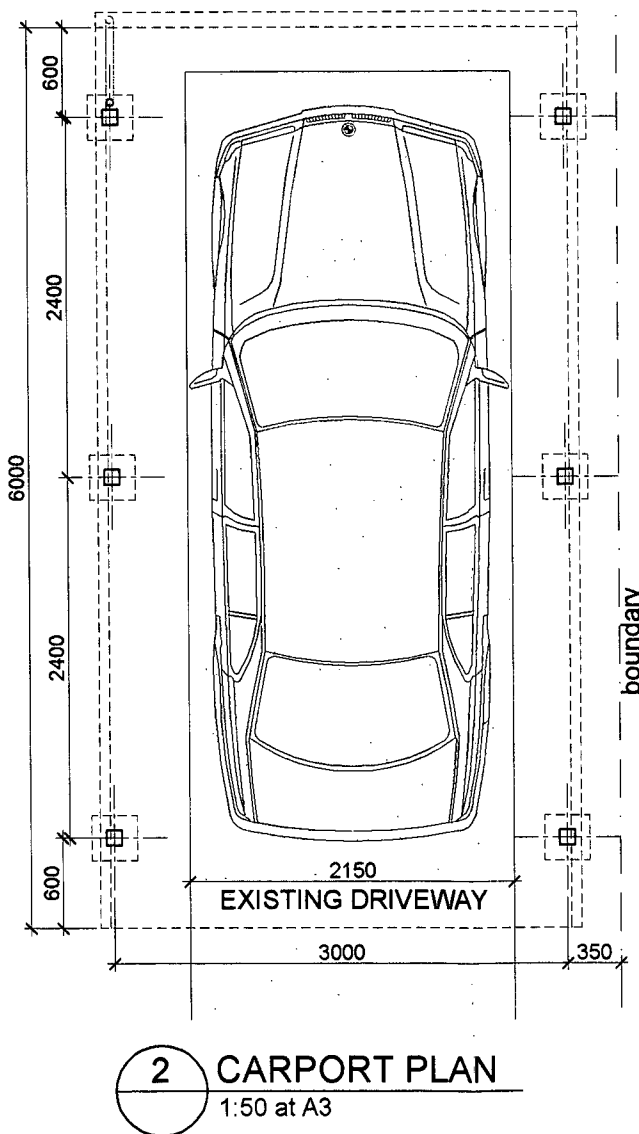
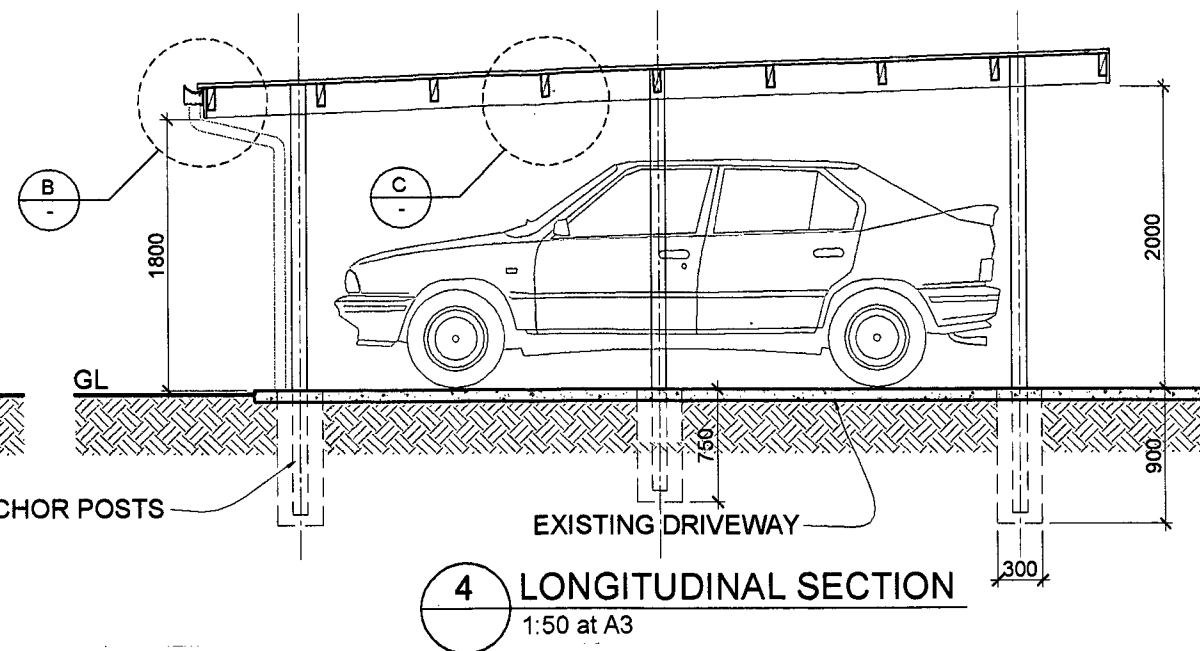
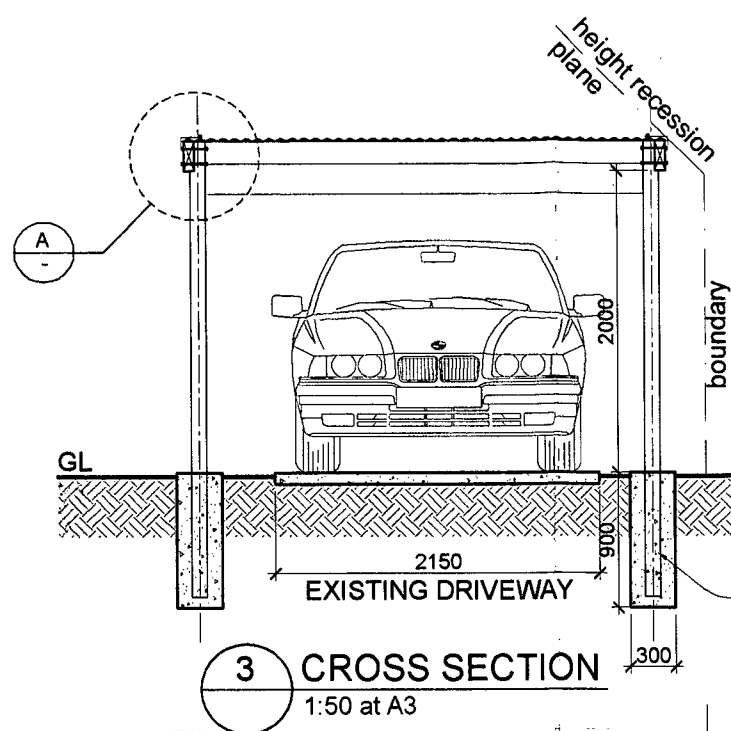
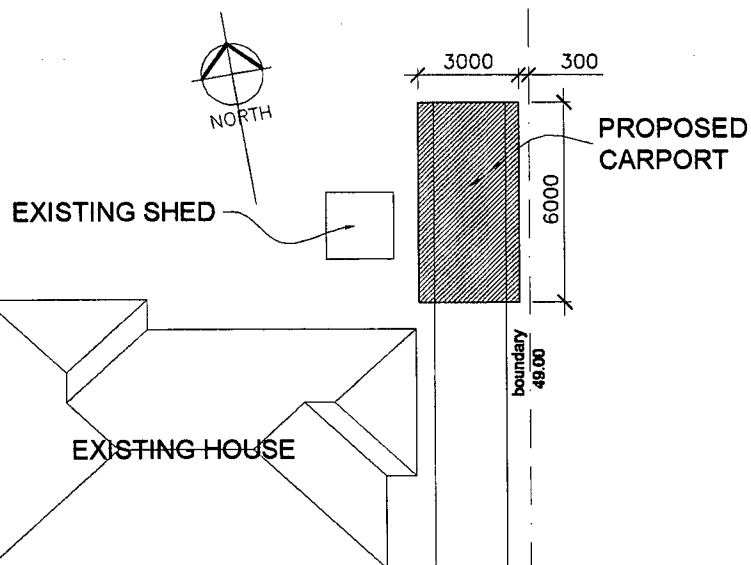
LEGAL DESCRIPTION:

LOT 5
DP 19997
AREA 833 SQ.M.

38 PURIRI STREET
WANGANUI

APPROVED
07 / 1308

Consent No.



GENERAL SPECIFICATION:

- FOUNDATIONS - CONCRETE FOOTINGS, 300X300X900 FOR ANCHOR POSTS, 300X300X750 FOR ORDINARY POSTS; EXISTING CONCRETE PAVED DRIVEWAY (NO NEW SLAB)
- VERTICAL SUPPORTS - 100X100 H5 TIMBER POSTS ENCASED IN CONCRETE FOOTINGS; ANCHOR POSTS (4 OF) @ CORNERS
- FRAMING - 190X70 H3.2 MSG8 OR VSG8 TIMBER BEAMS BOLTED TO POSTS WITH 2/M12; 150X50 H1.2 TIMBER PURLINS, CUT IN BETWEEN BEAMS @ NOM 750 CRS; 200X20 FASCIA BOARD FRONT AND REAR
- ROOF - 0.55 BMT CORRUGATED COLORSTEEL ROOFING; FIT BARGE COVER ROLL ON EDGES
- STORMWATER - FIT SPOUTING @ REAR AND 50Ø DOWNPIPE; CONVEY STORMWATER TO EXISTING SW SYSTEM.

PROPOSED CARPORT FOR MR & MRS WILSON
38 PURIRI STREET, WANGANUI

SITE PLAN
PROPOSED CARPORT

Scale:	Date:	Drawn:
SHOWN	26/09/07	AC
Job No.	Drawing No.	Revision No.
W711	A1	B

ac DESIGN

Level G, 2/64 Harrison Street, Wanganui.
Ph. (06) 345 8707 Mob. 0-21 24242 12



INSPECTION RECORD

This record, together with the Building Consent and approved plans, is to remain on the construction site at all times.

Project Location	TO BOOK AN INSPECTION PLEASE PHONE WDC BUILDING CONTROL	BCon07/1308
38 Puriri St WHANGANUI	ON 349 0001 AND QUOTE THE FOLLOWING APPLICATION NUMBER:	
Description of Work	Construct a Carport	

Applicant	Mr D Wilson 21 Benefield Street, Whanganui East, Whanganui 4500
Builder	Mr D Wilson 21 Benefield Street, Whanganui East, Whanganui 4500

SUMMARY OF CONDITIONS

Building Consent Number BCon07/1308

PIM Conditions

Code	Condition
	All work on the project must comply with the requirements of the NZ Building Code.
	A PIM only document is not an approval to build. A Building Consent is required before building work commences.
	W.D.C will follow up on building work not completed within two years of building consent issue.
	A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
	If the building is public premises it may not be occupied until either a code compliance certificate or certificate for public use has been issued.
	Please note [Electrical, and Gasfitting subtrades do not form part of the building consent inspection process. However, Council is required to receive 'Energy Certificates' from both of these trades before issue of a Code Compliance Certificate].

Building Consent Information

Code	Information
BCStormH2O	[Informative note: That the stormwater is to be disposed, so as not to be detrimental to the new and existing building foundations, nor a nuisance to neighboring properties (Council is not liable for stormwater disposal via soak holes)]
BCWin2yrs	[Informative note: Building Consents must now be completed within 2 years] *ALERT to be deleted when 'hardwired'

101 Guyton Street
P O Box 637, Whanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@whanganui.govt.nz
Web: www.whanganui.govt.nz



**WHANGANUI
DISTRICT COUNCIL**
Te Kaunihera a Rohe o Whanganui

--	--

Your project's inspections are listed on the next page...



Please Note: A minimum of 48 hours' notice is required for the booking of an inspection. The inspection record sheet and accompanying building consent documentation must be on site for use by the inspector at the time of the inspection.

All inspections are to be carried out by BCA Building Inspectors unless prior arrangements have been made by the BCA to have an approved qualified person inspect specific items (eg. Engineer). Inspections shall be carried out in accordance with the attached schedule of inspection types. It is the owner's responsibility to ensure all necessary inspections are carried out as required. Please contact WDC if you are unsure what requires inspection – do not cover or enclose any building work without inspection.

Note: Further inspections may incur additional cost at time of Code Compliance Certificate issue.

Inspections Record For Building Consent Number BCon07/1308								
<i>Inspection</i>	<i>When to Request</i>	<i>Date</i>	<i>Inspector</i>	<i>Complies with Code</i>	<i>Reinspect</i>	<i>Notes</i>		
PILE AND/OR POST INSPECTION	Prior to placing Concrete	29/02/2008	Barry Thomas	YES	NO	Refer to SFP # 01466 - OK to proceed Note: advised owner pool in back yard required fencing, BC etc see notes on checklist		
FINAL BUILDING INSPECTION	On Completion	18/04/2008	Barry Thomas	YES	NO	Includes stormwater - refer to FPL # 0111 - stormwater to soak-pit (not seen) details with separate stormwater declaration for complete property		



INSPECTION TIME REPORT

Building Consent Number BCon07/1308

<i>Consent or Alteration Number</i>	<i>Estimated Inspection Time</i>	<i>Actual Inspection Time</i>	<i>Inspection Time Difference</i>
BCon07/1308	100	100	0
<i>Inspection Time Difference</i>			
At BC Issue	<i>Time to be charged.</i>		0
At Completion	Positive amount = time to be credited Negative amount = time to be charged		

Concrete Slab/Footing & Pile Post Inspection N° SFP 01466

Address

38 PURURI

Consent No	Date	Inspector
7/1308	29.2.08	FST

Concrete Slab/Footing		Comments
Siting/Boundaries	☒ OK ☐ N/A	- CAKPOKT TAKEN FROM EXISTING FENCE
Site wind zone	☒ OK ☐ N/A	M.
Contours	☒ OK ☐ N/A	ON RISE.
Soil Type	☒ OK ☐ N/A	SAND.
Ground Bearing	☒ OK ☐ N/A	OK
Ground Levels	☒ OK ☐ N/A	OK.
Footing Size	☒ OK ☐ N/A	300 x 300 x 400
Footing Steel	☐ OK ☒ N/A	
Slab Steel	☐ OK ☒ N/A	
Concrete Cover	☐ OK ☒ N/A	
Pile/Post Treatment	☐ OK ☐ N/A	H5 - POSTS.
se Pipe Locations	☐ OK ☒ N/A	
Fall to Waste Pipes	☐ OK ☒ N/A	
Water Supply Pipes	☐ OK ☒ N/A	
Gulley Traps	☐ OK ☒ N/A	
Stack Base Bends	☐ OK ☒ N/A	
Underslab Heating	☐ OK ☐ N/A	

Comments

CAKPOKT PILE/POST INSPI
OK TO PROCEED.

Re Check		Compliance
☒	☐ YES ☐ NO	Yes
Pile/Post		Comments
Siting/Boundaries	☐ OK ☐ N/A	
Site wind zone	☐ OK ☐ N/A	
Contours	☐ OK ☐ N/A	
Soil Type	☐ OK ☐ N/A	
Ground Bearing	☐ OK ☐ N/A	
Ground Levels	☐ YES ☐ NO	
Pile/Post Layout	☒ OK ☐ N/A	
Footing Size	☐ OK ☐ N/A	
Anchor/Braced Piles	☐ OK ☐ N/A	
Pile/Post Treatment	☐ OK ☐ N/A	

Comments

ENTERED

SPOKE WITH OWNER RE POOL IN BACK YARD: BUILDING CONSENT REQ - TO MEET FENCING OF POOLS ACT - POOL TO BE EMPTIED TO LOWEST MAX WATER LEVEL IN INTERIOR.

Wanganui District Council



CARPORT FINAL

Deck--Verandah - Pergola Inspection

Nº FPL 0111

Address

38 Rurua ST

Consent No

7/1308

Date

18.4.08 MBT

Inspector

Re-Check

☐ YES ☒ NO

Compliance

Yes

Footings

Comments

Contours

☐ OK ☐ N/A

Ground Bearing

☐ OK ☐ N/A

Ground Levels

☐ OK ☐ N/A

Post Layout

☐ OK ☐ N/A

Footings Size

☐ OK ☐ N/A

Anchor/Braced Piles

☐ OK ☐ N/A

Pile/Post Treatment

☐ OK ☐ N/A

Verandah/Pergola

CARPORT FINAL

Site Wind Zone

☒ OK ☐ N/A

M.

Post Size and Fixing

☒ OK ☐ N/A

100x100

Beam Size and Fixing

☒ OK ☐ N/A

200x75

Roof Framing

☒ OK ☐ N/A

Purlin Fixings

☒ OK ☐ N/A

150x50.

Bracing

☐ OK ☐ N/A

ROOF CLADDING SCREW EVERY 2ND CORRUGATION

Roofing

☒ OK ☐ N/A

COLONSTEEL.

Flashings

☒ OK ☐ N/A

Snouting/Downpipes

☒ OK ☐ N/A

Stormwater Disposal

☒ OK ☐ N/A

TO SOAKPIT - DETAILS WITH SEPERATE S/WATER DECLARATION

Deck Final

Siting/Boundaries

☐ OK ☐ N/A

Site Wind Zone

☐ OK ☐ N/A

Ground Bearing

☐ OK ☐ N/A

Ground Levels

☐ OK ☐ N/A

Pile/Post Layout

☐ OK ☐ N/A

Footings Size

☐ OK ☐ N/A

Anchor/Braced Piles

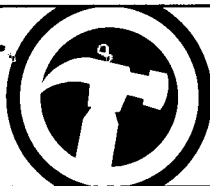
☐ OK ☐ N/A

Pile/Post Treatment

☐ OK ☐ N/A

Comments

ENTERED



1. The building consent

Building consent no.

07/1308

Description of work

CARPORT

2. Property owner details

Owner details

☒ Have not changed since the
building consent was lodged
Proceed to "Applicant details"

☐ Have changed since the building
consent was lodged

Name

Contact person

(If owner is a corporation,
partnership or trust)

Postal address

Contact numbers

Phone

Mobile

Fax

Email

Evidence of ownership
attached

(Only required if ownership has
changed)

☐ Certificate of Title (copy)

☐ Lease agreement

☐ Sale and purchase agreement

☐ Other document showing full name of legal
owner(s), such as a rate instalment notice

3. Applicant details

I am the

☒ Property owner

☐ Lessee
Provide details below

☐ Agent
Authorised by owner / lessee
Provide details below

Name

Postal address

Contact numbers

Phone

Mobile

Fax

Email

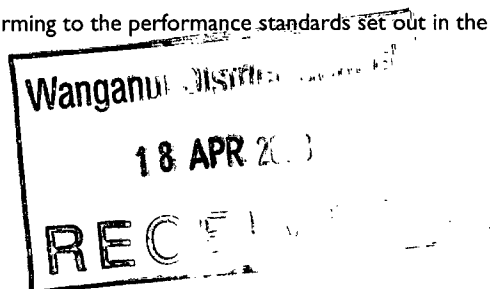
4. Attachments

The following documents are attached to this application:

☐ Certificates from the personnel who carried out the work

☐ Certificates that relate to the energy work

☐ Evidence that specified systems are capable of performing to the performance standards set out in the building
consent



5. Key building practitioners

Designer

Name / Registration no.

Contact details Address

Phone / Email

AC DESIGN

7/64 HARRISON ST WANGANNI

3458707

Builder

Name / Registration no.

Contact details Address

Phone / Email

OWNER

Drainlayer

Name / Registration no.

Contact details Address

Phone / Email

Plumber

Name / Registration no.

Contact details Address

Phone / Email

Gasfitter

Name / Registration no.

Contact details Address

Phone / Email

Electrician

Name / Registration no.

Contact details Address

Phone / Email

Other

Name / Registration no.

Contact details Address

Phone / Email

6. Application

Date building work completed

I request that you issue a code compliance certificate for the work under section 95 of the Building Act 2004. I understand that the code compliance certificate will be sent to the property owner.

Signature

Date

Name (print clearly)

OFFICE USE ONLY

Date received

Application #

Document #

Project #

Property ID

Legal ID

Receipt #

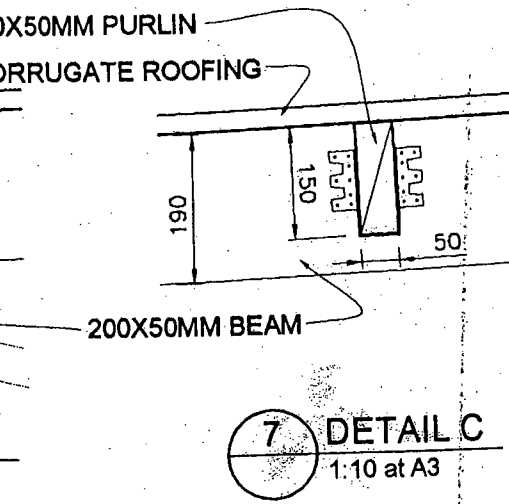
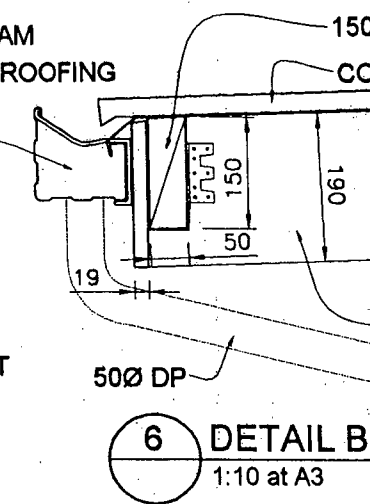
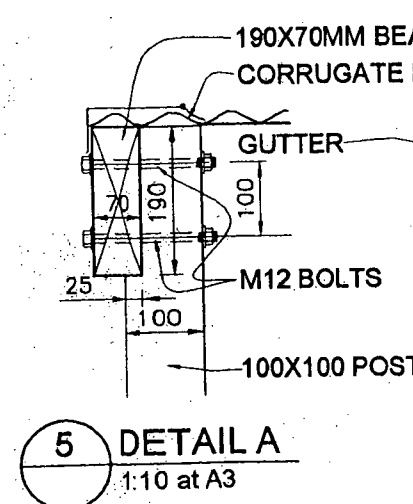
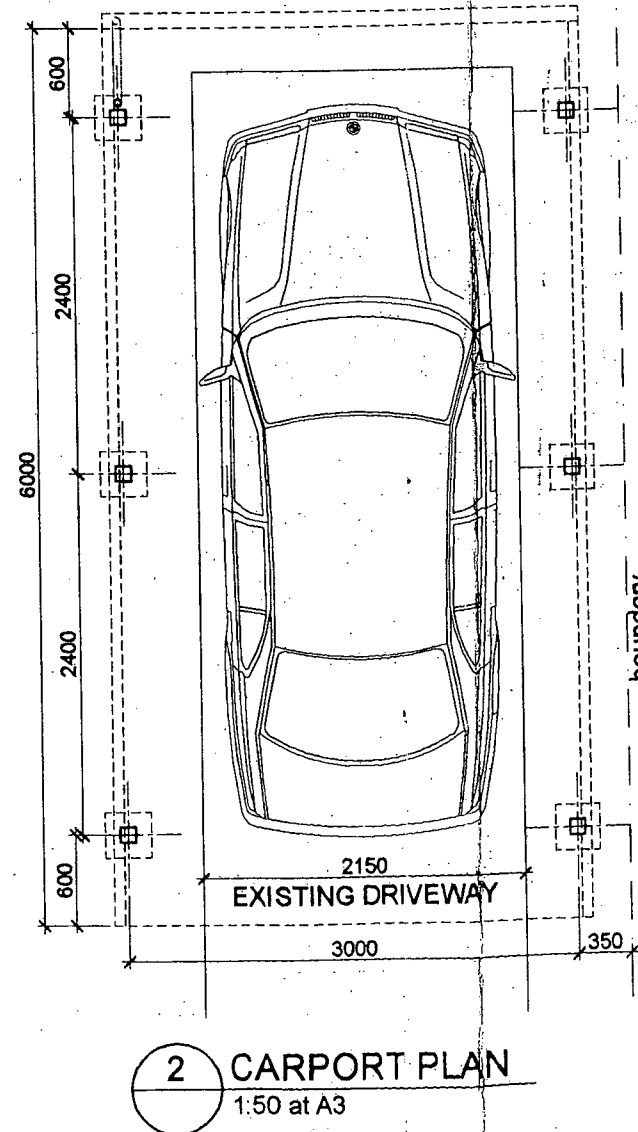
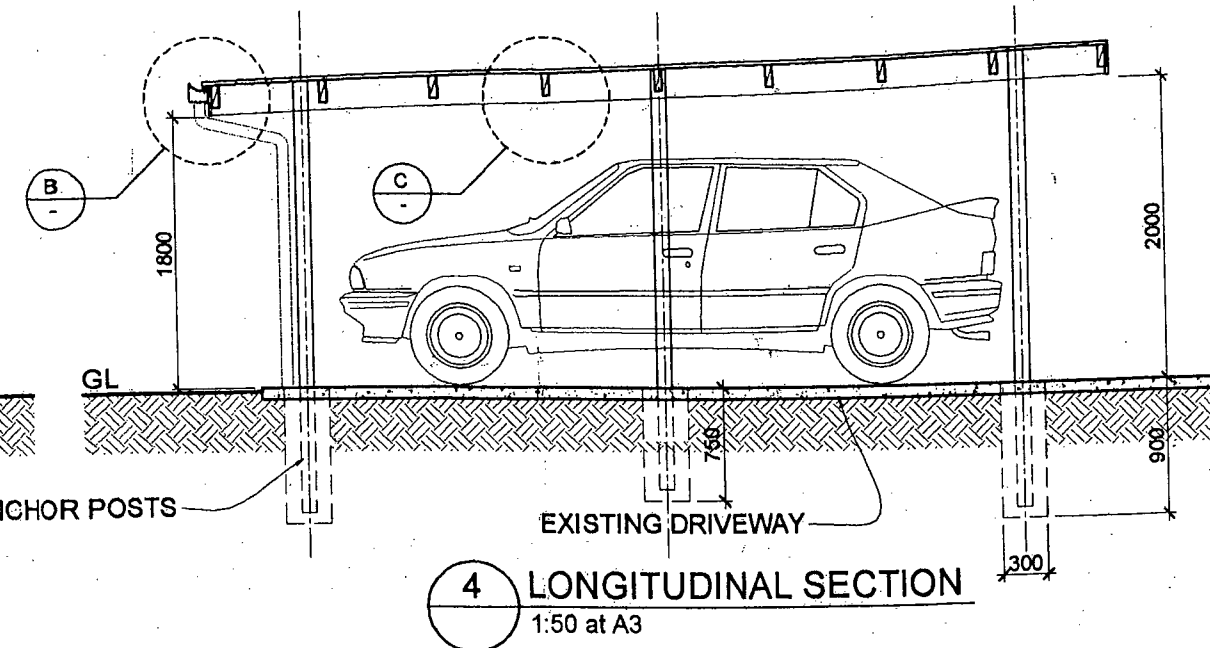
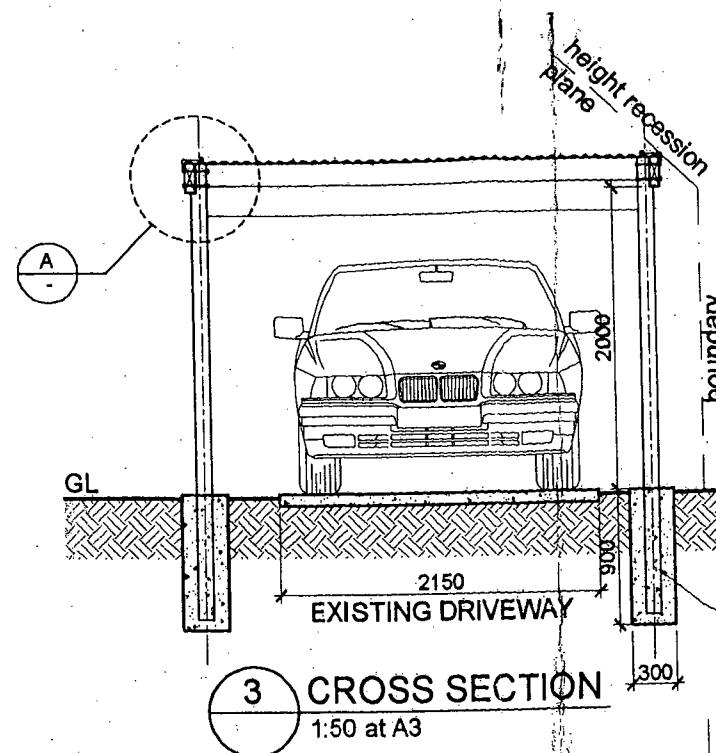
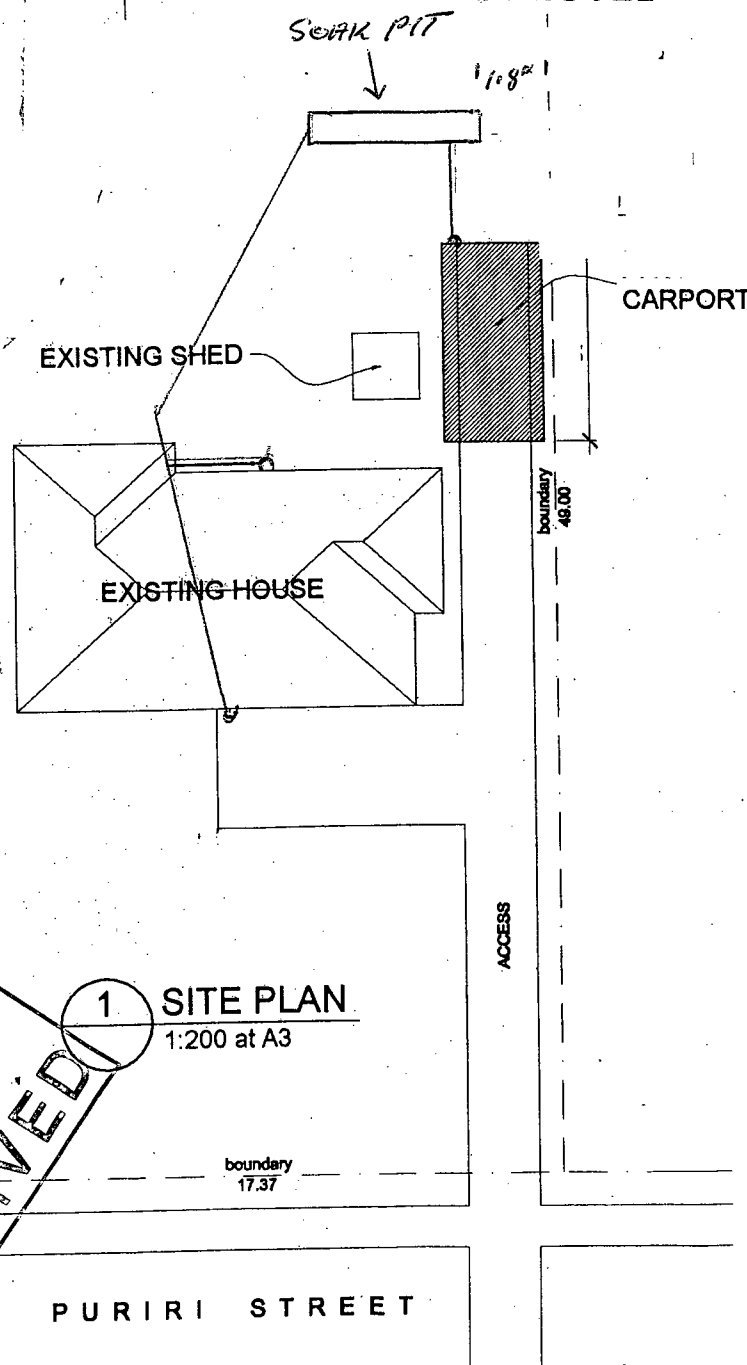
Amount Paid

\$

LEGAL DESCRIPTION:

LOT 5
DP 19997
AREA 833 SQ.M.

38 PURIRI STREET
WANGANUI



GENERAL SPECIFICATION:

- FOUNDATIONS - CONCRETE FOOTINGS, 300X300X900 FOR ANCHOR POSTS, 300X300X750 FOR ORDINARY POSTS; EXISTING CONCRETE PAVED DRIVEWAY (NO NEW SLAB)
- VERTICAL SUPPORTS - 100X100 H5 TIMBER POSTS ENCASED IN CONCRETE FOOTINGS; ANCHOR POSTS (4 OF) @ CORNERS
- FRAMING - 190X70 H3.2 MSG8 OR VSG8 TIMBER BEAMS BOLTED TO POSTS WITH 2/M12; 150X50 H1.2 TIMBER PURLINS, CUT IN BETWEEN BEAMS @ NOM 750 CRS; 200X20 FASCIA BOARD FRONT AND REAR
- ROOF - 0.55 BMT CORRUGATED COLORSTEEL ROOFING; FIT BARGE COVER ROLL ON EDGES
- STORMWATER - FIT SPOUTING @ REAR AND 500 DOWNPIPE; CONVEY STORMWATER TO EXISTING SW SYSTEM.

PROPOSED CARPORT FOR MR & MRS WILSON
38 PURIRI STREET, WANGANUI

SITE PLAN
PROPOSED CARPORT

Scale:	Date:	Drawn:
SHOWN	26/09/07	AC
Job No.	Drawing No.	Revision No.
W711	A1	B

ac DESIGN

Level G, 2/64 Harrison Street, Wanganui
Ph. (06) 345 8707 Mob. 0-21 24242 12

38 Pururu St

CODE COMPLIANCE ASSESSMENT CHECKLIST

Building Consent No. 7-1308

ITEM	OK	NO	N/A	REMARKS
1 Work complies with the approved BC documentation (sect. 94(1)).	✓			
2 All the required inspections have been completed.	✓			
3 BC conditions have been fulfilled.	✓			
4 PIM requirements have been complied with.	✓			
5 Damage deposit is released.			✓	
6 Development contributions have been paid (sect. 94(4)).			✓	
7 All documents have BC number on them.	✓			
8 Section 75 - 77 registered if applicable.			✓	
9 Section 72 - 74 registered on title if applicable.			✓	
10 Energy work certificate has been provided (if required) (sect. 94(3)).			✓	
11 All inspection fees have been paid.	✓			
12 Specified systems are capable of performing in accordance with performance standards (sect.94(1b)).			✓	
13 Is a compliance schedule required or requires amending (sect.100(2)).		✓	✓	
14 Has there been a change of ownership (sect. 364).		✓		
15 Any warnings or bans applied (sect.94(2)).		✓		
16 Has the territorial authority received any certificates issued by licensed building practitioners that related to restricted work (sect. 88(10 and (2)). Note: The restricted building work and licensed building practitioner provisions do not come into effect until 30 November 2009.			✓	
17 Check the territorial authority has been advised by a licensed building practitioner that building work carried out under a building consent does not comply with that consent.			✓	
18 Any amendments have been issued and whether documentation associated with these has been properly completed.		✓		
19 Any outstanding documentation still to be collected such as:		✓		
20 Photographs of elevations				
21 Survey certificates - siting, height in relation to boundary, maximum height of building or minimum floor level				
22 Concrete strength				
23 Pile driving				
24 Foundation observation				
25 Ground conditions				
26 Masonry - B grade				
27 Compaction				
28 Waterproofing				
29 Framing treatment level and location plans (supplied by pre-cutter)				
30 Truss layout				
31 Structural reviews				
32 Site welding				
33 Electrical or gas energy work certificates				
34 Hone heating (fires)				
35 Glazing				
36 Drainage				
37 Smoke alarms and sprinklers				
38 Emergency warning systems				

39	Fire doors				
40	Spread of flame				
41	Backflow				
42	Lifts (electrical and installation)				
43	Mechanical ventilation				
44	List of consultants				

Producer Statements:

A Producer Statement requires the following as a minimum requirement to be accepted by the Wanganui District Council:

- A written statement
- Header with 'Producer Statement'
- Who is issuing the Producer Statement (suitably qualified and author of Producer Statements)
- The Producer Statement must be addressed for the attention of the Wanganui District Council
- The applicable Building Consent number must be recorded
- Who has completed or designed the work identified (qualifications to undertake the work)
- The product name and specifications for application of product used
- What parts/clauses of the Building Code the work relates to
- Full legal description of the site where the work will be undertaken
- Clearly identifying what part of the Building Consent work is covered by the Producer Statement
- Provide the sum of Provisional Indemnity Insurance held
- The author's name and signature
 - qualifications
 - address
 - registration number
 - membership of professional organization
 - date the Producer Statement was produced

All information and documentation is present and correct.

A Code Compliance Certificate can be issued.

Name: Barry Thomas

Signature: [Handwritten Signature]

Date: 18 - 4 - 08



CODE COMPLIANCE CERTIFICATE NUMBER BCon07/1308

Section 95(3), Building Act 2004

Mrs K Wilson
21 Benefield St
WANGANUI 5001

**Building Consent
No:** BCon07/1308

Issue Date: 18/04/2008

Project Location	Assessment Number/Legal Description
38 Puriri St WANGANUI 5001	LOT 5 DP 19997 0.0833 Ha
Type of Work	Description of Work
Carport	Construct a Carport
Intended Life	Estimated Value
50 years	\$2000.00

This is a final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.

Signed for and on behalf of the Wanganui District Council:

A J Jamieson
Team Leader Building Services

Date: 18 April, 2008



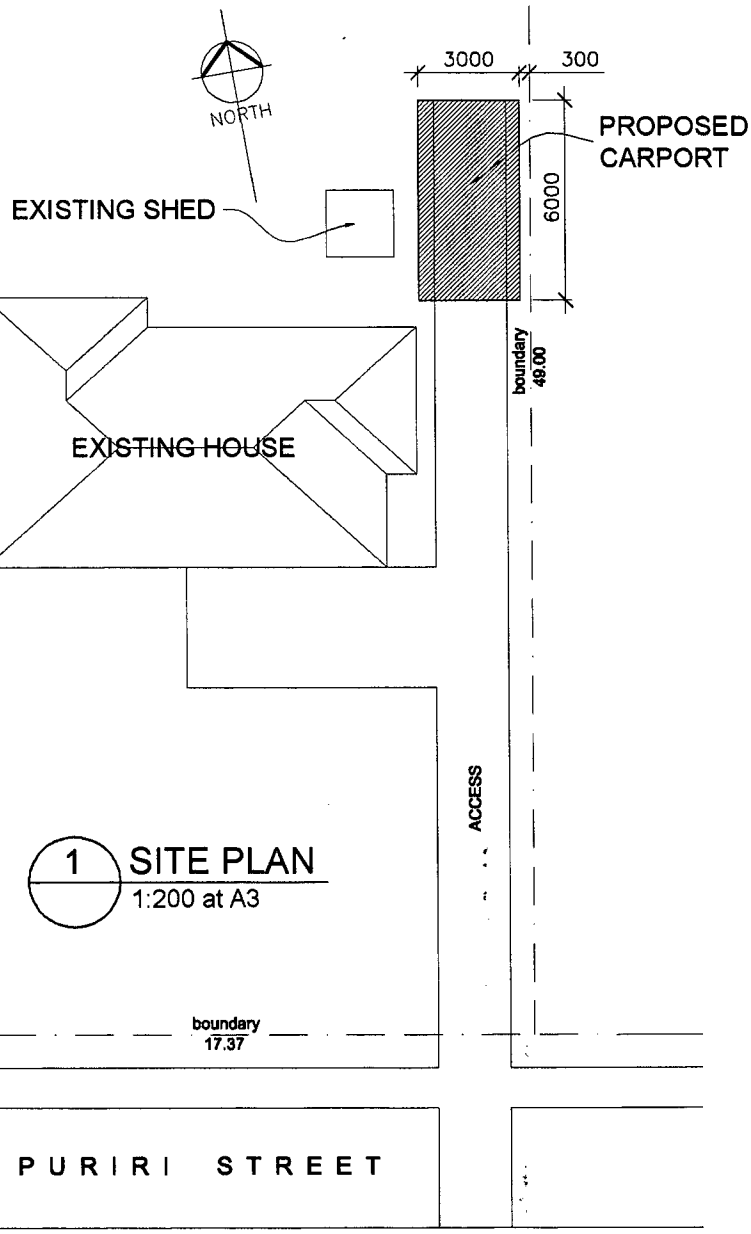
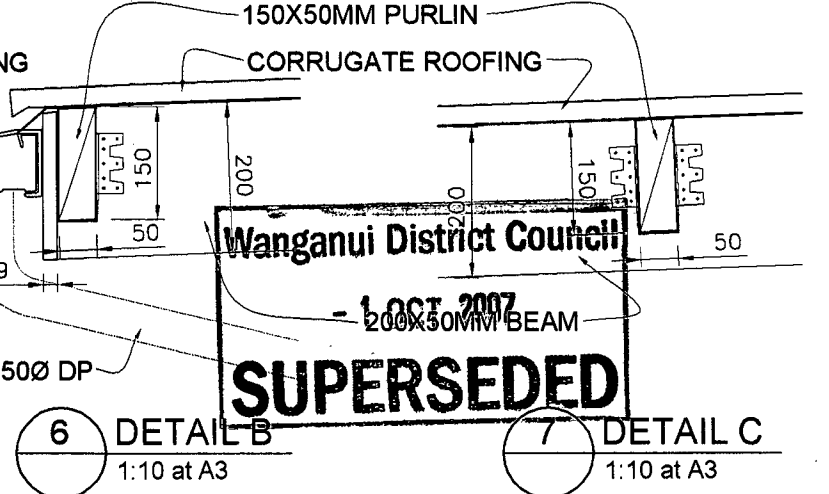
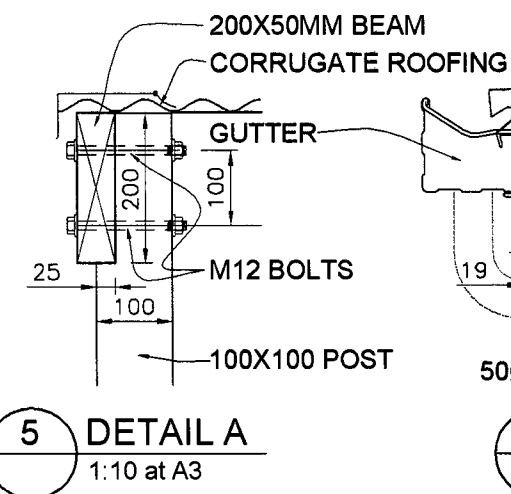
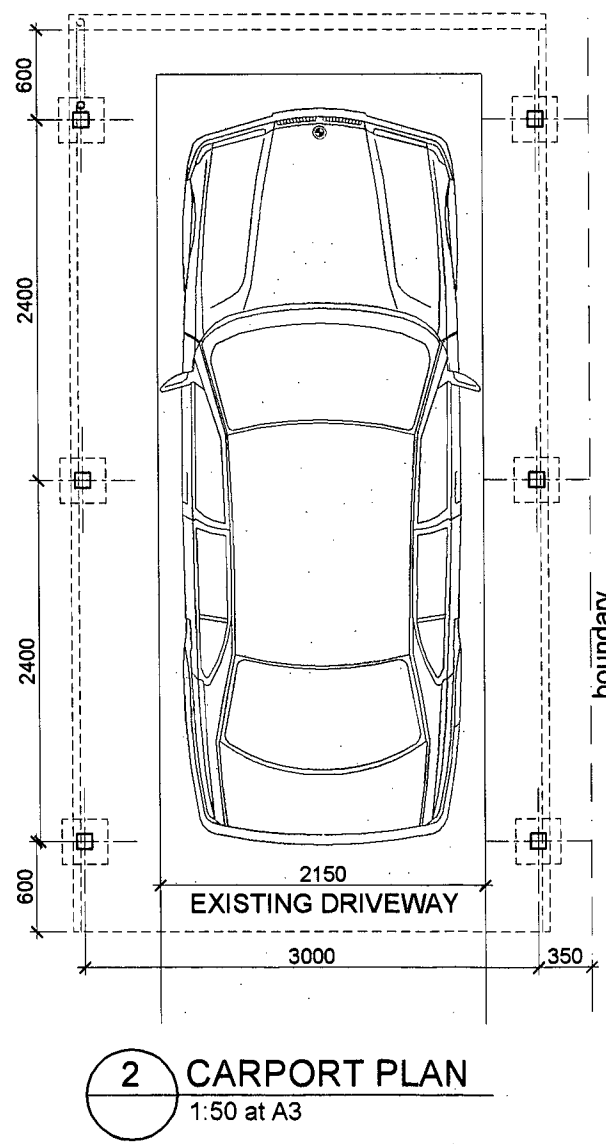
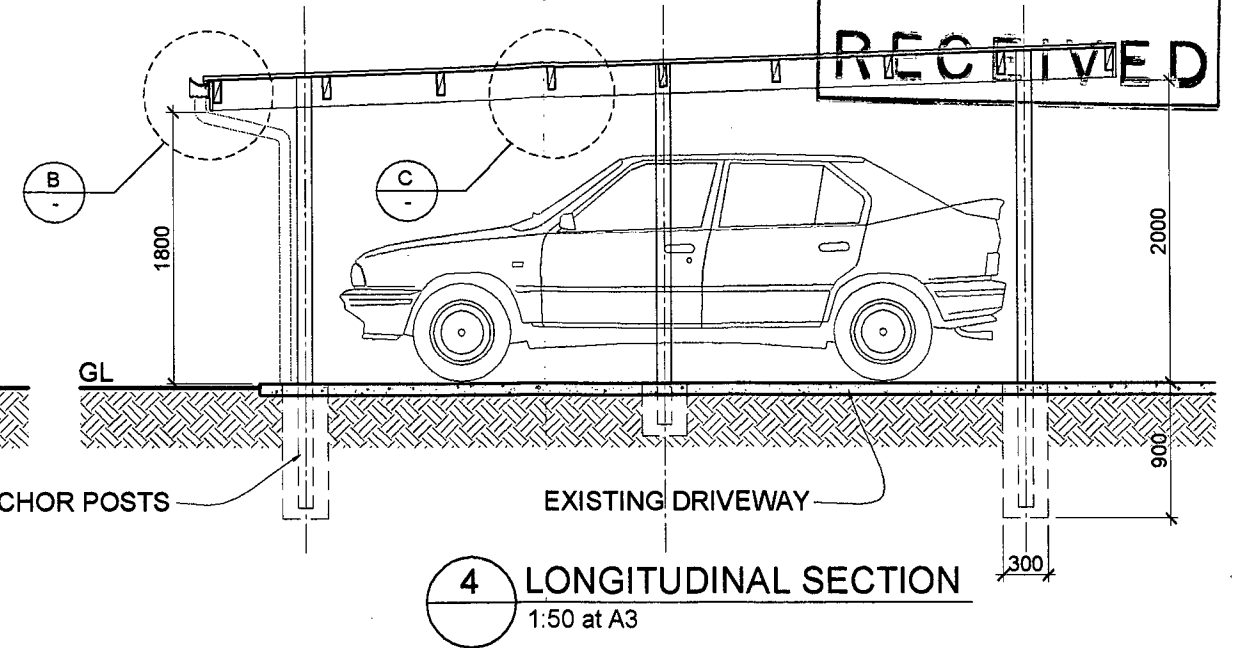
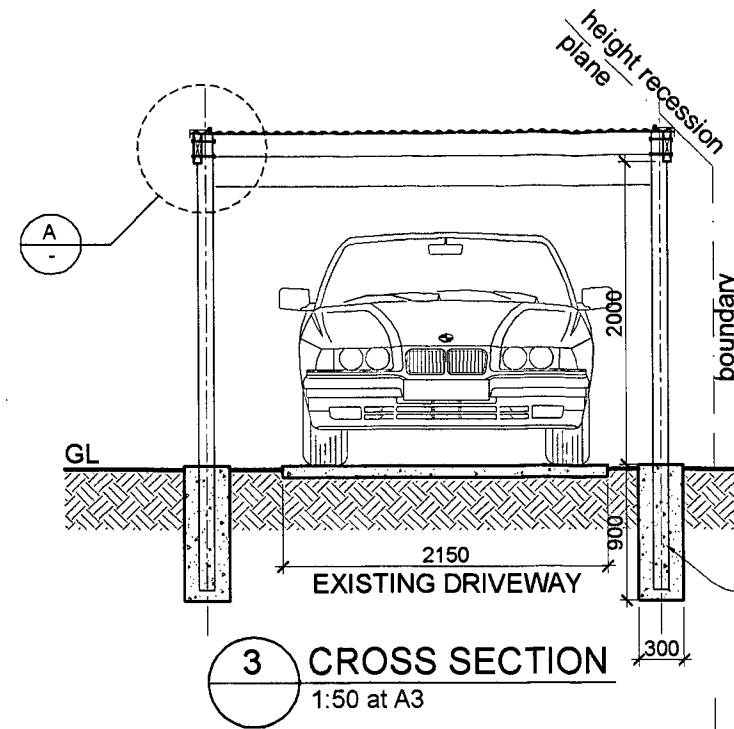
END OF BUILDING CONSENT FILE

BC No. 7/1308

LEGAL DESCRIPTION:

LOT 5
DP 19997
AREA 833 SQ.M.

38 PURIRI STREET
WANGANUI



GENERAL SPECIFICATION:

- FOUNDATIONS -** CONCRETE FOOTINGS, 300X300X900 FOR ANCHOR POSTS, 300X300X400 FOR ORDINARY POSTS; EXISTING CONCRETE PAVED DRIVEWAY (NO NEW SLAB)
- VERTICAL SUPPORTS -** 100X100 H5 TIMBER POSTS ENCASED IN CONCRETE FOOTINGS; ANCHOR POSTS (4 OF) @ CORNERS
- FRAMING -** 200X50 H3.2 TIMBER BEAMS BOLTED TO POSTS WITH 2/ M12; 150X50 H1.2 TIMBER PURLINS, CUT IN BETWEEN BEAMS @ NOM 750 CRS; 200X20 FASCIA BOARD FRONT AND REAR
- ROOF -** 0.55 BMT CORRUGATED COLORSTEEL ROOFING; FIT BARGE COVER ROLL ON EDGES
- STORMWATER -** FIT SPOUTING @ REAR AND 50Ø DOWNPIPE; CONVEY STORMWATER TO EXISTING SW SYSTEM.

PROPOSED CARPORT FOR MR & MRS WILSON
38 PURIRI STREET, WANGANUI

SITE PLAN
PROPOSED CARPORT

Scale:	Date:	Drawn:
SHOWN	07/02/07	AC
Job No.	Drawing No.	Revision No.
W711	A1	A

ac DESIGN

Level G, 2/64 Harrison Street, Wanganui
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