

EARTHQUAKE RECOVERY (EQR) DOCUMENTATION

The documents within the Earthquake Recovery Documentation section, encompass all works completed under the Canterbury Home Repair Programme (CHRP). These contain assessments, contractor quotes, work orders and sign offs.

EQR Property Overview Report

Released Under the Official Information Act 1982

Company Fletcher EQR (division of FCC) as agent for EQC

Printed Date: 25-04-2018

EQC Property ID	Property Address	Vulnerable?	Property F Status	Property Finalisation Indicator		
2010065050	18 DOWNING STREET, HOON HAY		F3 - Complete & Finalised	Some Finalisation has taken place		
Main Contractor:	CLOSED OUT-Clockwork Construction Limited ***** (S077)		Property F2'd By:	Bruce Norton	F2 Completed Date:	17-06-2016
Cont Managing Hub:	<MULTIPLE>	Not Vulnerable	Property F3'd By:	Bruce Norton	F3 Completed Date:	17-06-2016

Adjustments

EQC Claim Number + Address	Project	Status	Unmapped Adjmt Lines	Original Budget			Budget Variation			Gross Claimed	Gross Certified
				Total OB	Allocated	Unallocated	Total BV	Allocated	Unallocated		
CLM/2010/065050 18 DOWNING STREET	E009	F3	0	26,086.96	26,086.96	0.00	11,750.54	11,750.54	0.00	37,837.50	37,837.50
Property Total			0	26,086.96	26,086.96	0.00	11,750.54	11,750.54	0.00	37,837.50	37,837.50

Assignments

EQC Claim Number + Address		Assignment	Subcontractor Hub Comments	Workflow Status	Contractor Quote	Adjustment Line Count	Gross Claimed	Gross Certified
CC + Hub Status								
CLM/2010/065050 18 DOWNING STREET		Substantive Works - Historical Contractor	CLOSED OUT-Hillview Construction Limited ***** (S282)	COMPLETIONS	28,296.00	4	28,296.00	28,296.00
		Transmitted To Hub -> Claim File Review Complete	EQC visit 2/4/13					
CLM/2010/065050 18 DOWNING STREET		Substantive Works - Primary	CLOSED OUT-Clockwork Construction Limited ***** (S077)	COMPLETIONS	9,541.50	1	9,541.50	9,541.50
		Transmitted To Hub -> Claim File Review Complete	SIGN OFF BOOKED FOR 06/03/14 AT 8.00AM. JW 26/02/14					
Property Total					37,837.50	5	37,837.50	37,837.50

Works Orders

EQC Claim Number	WO Number	Assignment	Subcontractor	Workflow Status	Issuing QS	WO Status	Issued Date	Works Order Value
CLM/2010/065050	E009-00778	Substantive Works - Primary - 16-Jul-2013	CLOSED OUT-Clockwork Construction Limited ***** (S077)	COMPLETIONS	Alex Urwin	Issued	24/07/2013	9,541.50
Property Total								9,541.50

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Cont Managing Hub:	<MULTIPLE>	Not Vulnerable	Property F3'd By:	Bruce Norton	F3 Completed Date:	17-06-2016

Claims / Certs / Payables

S282									CLOSED OUT-Hillview Construction Limited *****								
EQC Claim Num		Line Type	Approval Type		Claim No	Claimed By		Remaining	Claim Date	This Claim							
CLM/2010/065050		Subst OB	Substantive Works		24	EQR\LeeroyC		\$0.00	27-Oct-2011	\$26,086.96							
CLM/2010/065050		Subst BV	Under 10% Rule (Delegated)		24	EQR\LeeroyC		\$0.00	27-Oct-2011	\$2,209.04							
EQC Claim Num		Line Type	Approval Type		Cert No	Certified By		Remaining	Certified Date	This Cert	Cert Line Notes						
CLM/2010/065050		Subst OB	Substantive Works		20	EQR\LeeroyC		\$0.00	27-Oct-2011	\$26,086.96							
CLM/2010/065050		Subst BV	Under 10% Rule (Delegated)		20	EQR\LeeroyC		\$0.00	27-Oct-2011	\$2,209.04							

S282	CLOSED OUT-Hillview Construction Limited ***** Total	Claims	\$28,296.00	Certs	\$28,296.00	Payables	\$0.00
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S077								
CLOSED OUT-Clockwork Construction Limited *****								
EQC Claim Num	Line Type	Approval Type	Claim No	Claimed By	Remaining	Claim Date	This Claim	
CLM/2010/065050	Subst BV	Scope Addition	3	EQR\AlynR	\$0.00	19-Mar-2014	\$9,541.50	
EQC Claim Num	Line Type	Approval Type	Cert No	Certified By	Remaining	Certified Date	This Cert	Cert Line Notes
CLM/2010/065050	Subst BV	Scope Addition	4	EQR\AlynR	\$0.00	19-Mar-2014	\$9,541.50	#935885

S077	CLOSED OUT-Clockwork Construction Limited ***** Total	Claims	\$9,541.50	Certs	\$9,541.50	Payables	\$0.00
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Property Total	Claims	\$37,837.50	Certs	\$37,837.50	Payables	\$0.00
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No Open Complaints / Remedial Issues on this Property

EQR Property Overview Report

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Printed Date: 25-04-2018

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Cont Managing Hub:	<MULTIPLE>	Not Vulnerable	Property F3'd By:	Bruce Norton	F3 Completed Date: 17-06-2016

Finalisation Documents

EQC Claim Number	Document Type	Hub Zone	File Last Modified Date
CLM/2010/065050	Final Account Agreement	Westminster	07/12/2014
CLM/2010/065050	Defects Liability Certificate		30/05/2015
CLM/2010/065050	Defects Liability Certificate	Blenheim	02/12/2014
CLM/2010/065050	Practical Completion Certificate (PCC)	Blenheim	02/12/2014
CLM/2010/065050	Defects Liability Certificate	Blenheim	27/06/2014
CLM/2010/065050	Construction Completion Inspection	Blenheim	02/12/2014
CLM/2010/065050	Construction Completion Inspection		30/05/2015

Property Total Finalisation Documents Present: 7

No Technical Services Referrals on this Property

Asbestos Test Information

EQC Claim Number	Claim Address	Asbestos Test Required?	Asbestos Test Result
CLM/2010/065050	18 DOWNING STREET	<NOT SPECIFIED>	<NOT SPECIFIED>

Property Total Number of Claims: 1

Contractors

Contractor	Accreditation Status	Accreditation Number	Classification	Type of Work on the Property
S077 CLOSED OUT-Clockwork Construction Limited *****	Rationalised	EQRC0111	Main Contractor	Substantive Works
S282 CLOSED OUT-Hillview Construction Limited *****	Deaccredited	EQRC0227	Main Contractor	Substantive Works

Property Total Number of Contractors: 2



EARTHQUAKE COMMISSION

Statement of Claim Checklist / Repair Strategy

Date: 28-1-11

Author: SCHAUER

CLM/2010/065050

JEFFREY INBKERSELL

18 DOWNING STREET

HOON HAY

CHRISTCHURCH 8025

H: [REDACTED]

W:

M:

LA: SCHAUER

Estimator: McMILLIN

Room	Earthquake Damage	Walls	Ceiling	Floor	Repair Strategy
	Y/N	✓	✓	✓	
Lounge	Y	✓			Rake out and h&P above door. Strip Wallpaper from 3 walls. Supply & fit new Wallpaper to 3 walls. Paint 4 Walls. Soft seal Paint Door Frame.
Dining Room	/				
Kitchen	N				
Family Room	/				
Bedroom 1	Y	✓			Strip Wallpaper. Rake out and h&P. Supply and fit Wallpaper to 3 Walls. Paint 3 walls.
Ensuite	/				
Bedroom 2	Y	✓			Strip lining paper. Rake out and h&P. Supply and fit new lining paper. Paint all walls.
Bedroom 3	Y		✓		Rake out Flake, Soft seal around Scotia. Paint Scotia and Ceiling.

CLM/2010/065050

SOC / Repair Strategy – Page 2

JEFFREY INBKERSSELL
 18 DOWNING STREET
 HOON HAY
 CHRISTCHURCH 8025
 H: [REDACTED]
 W:
 M:

Room	Earthquake Damage	Walls	Ceiling	Floor	
	Y/N	✓	✓	✓	
Bedroom 4	/				
Bathroom	Y	✓			Soft Seal around Window Frame. Paint Window Frame.
Toilet 1					
Toilet 2	Y	✓			Rake out, soft seal, Paint Walls.
Office / Study	/				
Rumpus	/				
Entry / Hall(s)	N				
Stairwell	/				
Laundry	Y	✓			Rake out Flake, Soft Seal. Paint Walls
Garage	N				
Other	/				

.....
 Initials)

SOC / Repair Strategy - Page 3

CLM/2016/065051
 GEOFFREY INBKERSELL
 18 DOWNING STREET
 HOON HAY
 CHRISTCHURCH 8025
 H: [REDACTED]
 W:
 M:

Item		Event Damage Y / N	
Roof		N.	
EXTERNAL WALLS	X North	8.5m	Rake out flake, Soft Seal around all doors/windows joinery. Cracking to Stucco
	X South		Grindout, Inject Epoxy. Point All walls.
	X East	4m	
	X West	5m	
Decks		N.	
CHIMNEY	X Base	Y	External. Covered in External Walls
	Ceiling Cavity	N	
	X Above Roof	Y	2.5m Brick and Stucco. Emergency Removal Authorised. Rebuild to original.
	Fireplace	N	Decommissioned

SOC / Repair Strategy – Page 4

JEFFREY INKERSELL
 18 DOWNING STREET
 HOON HAY
 CHRISTCHURCH 8025
 H: [REDACTED]
 W:
 M:

Item	Event Damage	
	Y / N	
Foundations	N	
Piling	N	
Services	N	
Other Dwelling Items	/	
Outbuildings	/	
Land & Retaining Walls (Discuss with Supervisor)	N	

Supplementary Notes:

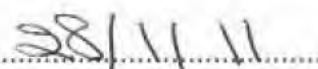
I confirm the rooms and areas listed above have been inspected by an EQC representative.

Damage caused by the event has been noted and to my knowledge there are no other areas of damage resulting from the event.

Signature of Claimant:



Dated:



.....
 (Initials)

NOTE: THIS FORM IS TO BE COMPLETED IN THE CLAIMANT'S PRESENCE.

OFFICE USE ONLY - LOSS ADJUSTER TO COMPLETE

Date: 28/1/11

Claim Number: 2010/065 050

Loss Adjuster: Schauer

Costing Estimate

\$ 3,000

Lounge

\$ N/A

Dining Room

\$ N/D

Kitchen

\$ N/A

Family Room

\$ 2,200

Bed 1

\$ N/A

Ensuite

\$ 2,500

Bed 2

\$ 300

Bed 3

\$ N/A

Bed 4

\$ 200

Bathroom/TOILET

\$ N/A

Toilet 1

\$ 400

Toilet 2

\$ N/A

Office/Study

\$ N/A

Rumpus

\$ N/D

Entry/Hall(s)

\$ N/A

Stairwell

\$ 500

Laundry

\$ N/D

Outbuildings/Garage

OFFICE USE ONLY - LOSS ADJUSTER TO COMPLETE

Date: 28/1/11 Claim Number: 2010/065 050
 Loss Adjuster: SCHWARTZ

\$ 5,850

EXTERIOR

\$ N/D

ROOF

\$ 6,000

CHIMNEY

\$

\$

\$

\$

\$

\$

Column Totals:

\$ 11,550

\$ 3,000

\$ 6,400

Sub Total: \$ 20,950.

P&G, Margin, GST: \$ 7,680.27

TOTAL: \$ 28,630.27

Date:

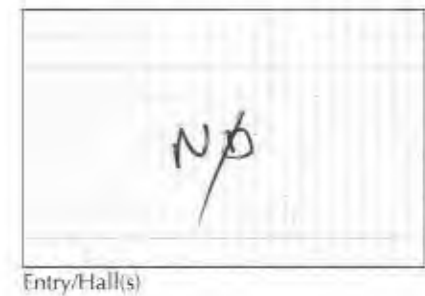
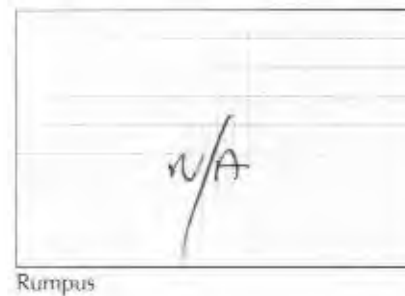
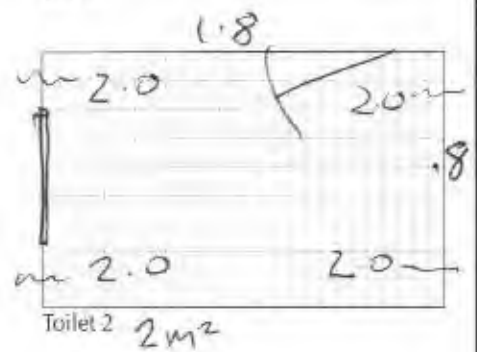
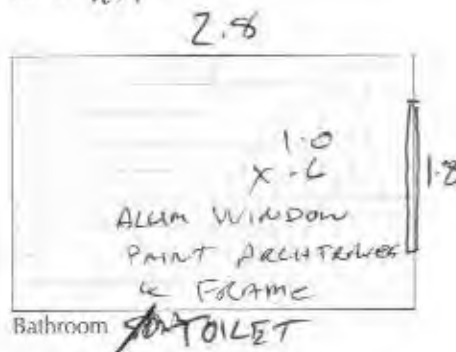
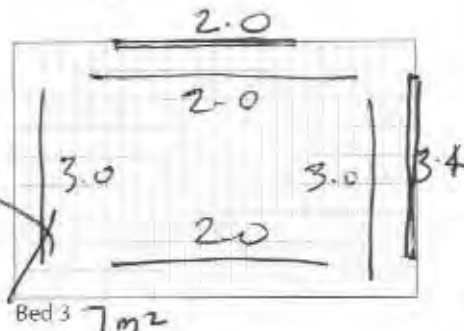
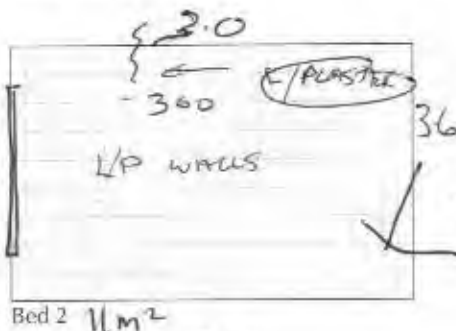
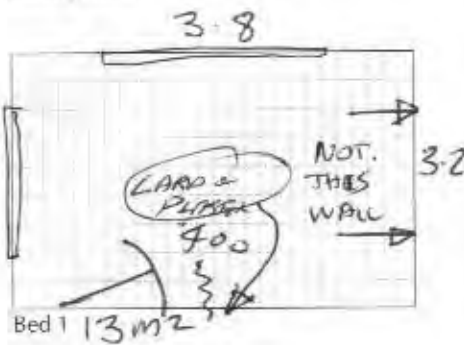
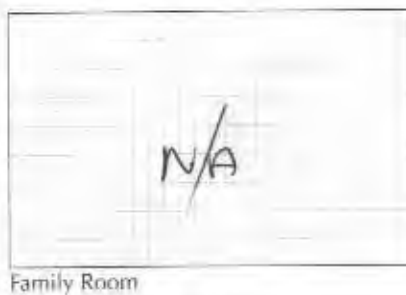
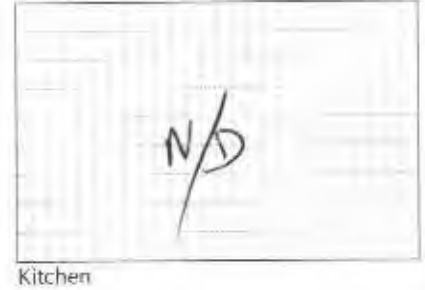
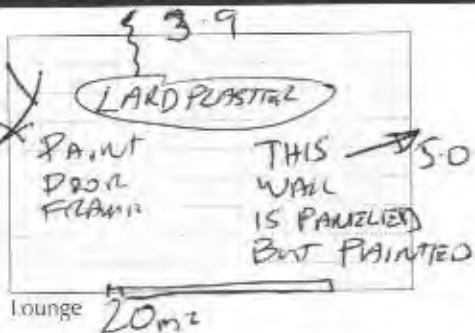
Claim Number: 2010/

Estimator Name:

28/1/11

2010/065 050

BARRY McMILLIN

Dwelling Inspection Checklist: Show measurements indicate damage

Date:

Claim Number: 2010/

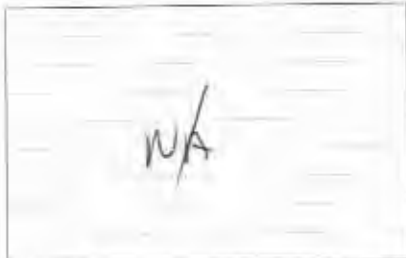
Estimator Name:

28/1/11

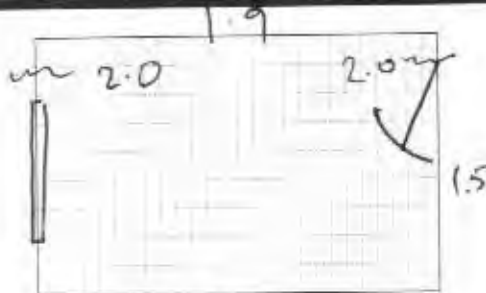
2010/065050

Barry McMILLIN

Dwelling Inspection Checklist: Show measurements indicate damage



Stairwell



Laundry 3m2



Outbuilding/Garage

CRACKING TO STUCCO
EXTERIOR WALL &
SIDES/GROUND OUT
SEAL & PAINT
HOUSE.

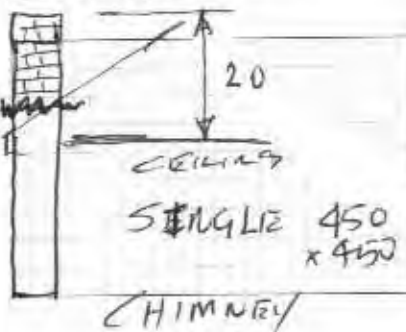
EXTERIOR

SOFT SEAL
AROUND ALL
EXTERNAL DOOR
& WINDOWS \$500

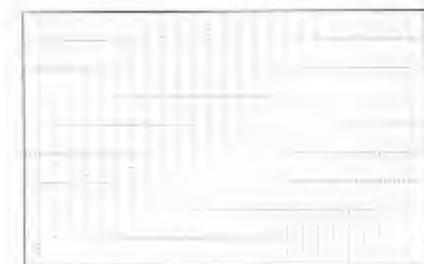
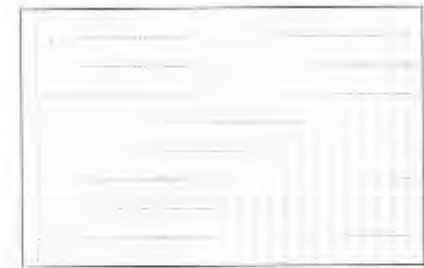
EXTERIOR



DECK



ROOF



Legend

—	Crack to ceiling (show length)
~~~~~	Crack to wall (show length)
X	External damage
O	Foundation damage

Date:

Claim Number: 2010/

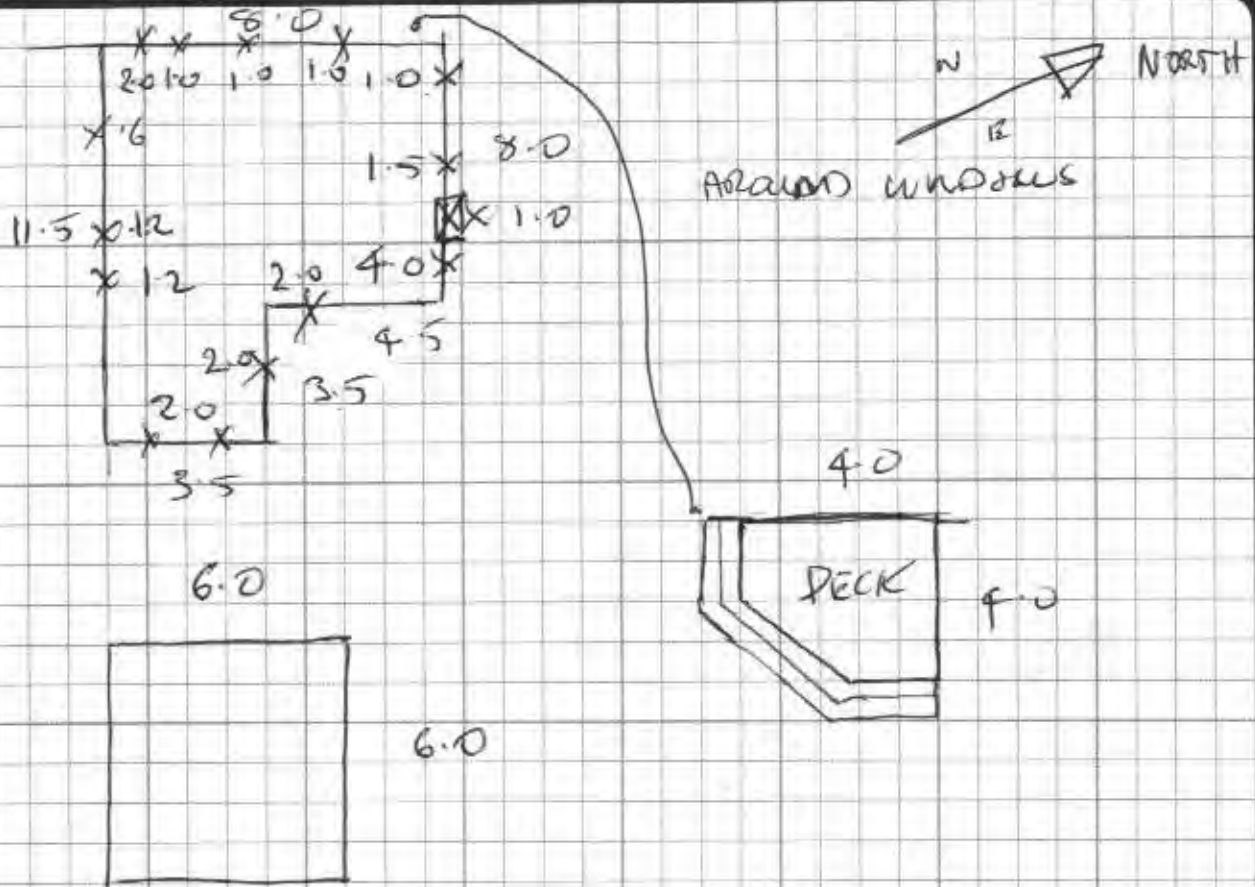
Estimator Name:

28/1/11

2010/ 065050

Barry McMillin

## Dwelling Inspection Checklist: Show measurements indicate damage



Area m2:

70 m²

Stud Heights:

2.8

Wall Finish:

Wallpaper

Plastered

Paint Finish

Other:

Services:

Specify Damage:

Chimneys:

Construction Type: BRICK &amp; STUCCO

Height 2.5m ABOVE CEILING

Damage Description: Above Roof Below Roof Total Repair

Foundations  
Damage:Timber Concrete Ring Concrete Slab Other (Specify):

Minor Moderate Severe

House Moved off Foundations? NO

Concrete Slab Cracked? Crack Width: ..... Crack Length: .....

Roof:

Framed TrussedType: Clay Tiles Concrete Tiles Rolled Metal Other

Damage:

Cladding Type:

Weatherboard

Brick Veneer

Hardi Plank

Other

STUCCO OVER BRICK



# Scope Change Summary

Claims No:	2010/065050 - 2011/060140	Contractor:	(SHAUN) HILLVIEW CONSTRUCTION
Claimant:	GEOFFREY INKERSELL		
Claimant Address:	18 DOWNING STREET	Phone:	
EQR Supervisor:	JOHN W. JOYCE	EQC visit	
Date:	17/06/2011	required:	

This Scope Change Summary should be read in conjunction with the EQC Statement of Claim. The work described in these two documents covers the full scope of work for the property. Please scan document and send through Aconex.

Room	No. of Walls	Ceiling	Floor	Amendments to 2010 scope
Lounge		✓	✓	REFIX SCOTIA & PAINT. 4.5m.
Dining Room		}		
Kitchen				ADJUST BACK DOOR
Family Room				
Bedroom 1				
Bedroom 2				REFIX WARDROBE CEILING. REPAIR & PAINT. 1.200 x 0.600
Bedroom 3 3.9 x 2.2				REFIX WALL PANELS
Bedroom 4				
Bedroom 5				
Ensuite				



# Scope Change Summary

Room	No. Of Walls	Ceiling ✓	Floor ✓	Amendments to 2010 scope
Bathroom 1				
Bathroom 2				
Toilet 1				
Toilet 2 2.2 x 9.00				SEAL SCOTIA TO CEILING PAINT CEILING.
Office /Study				
Rumpus				
Entrance				
Hallways				
Stairwell				
Laundry 3.0 x 2.4				CRACKING TO CEILING REPAIR & PAINT.
Garage				
Conservatory				



# Scope Change Summary

Room	No. of Walls	Ceiling ✓	Floor ✓	Amendments to 2010 scope
Other				
Roof				REPAIR & SEAL RIDGE CAPPING 50M. REFIT TILES APPROX 20 OF
External Walls North				FURTHER CRACKINGS PLUS 12M RAKE DRY & FILL
External Walls South				FURTHER CRACKING PLUS 10M
External Walls East				FURTHER CRACKING PLUS 15M.
External Walls West				FURTHER CRACKING PLUS 10M
Decks				
Chimney Base				
Chimney Cavity				
Chimney Above Roof				
Fireplace				
Foundation				

STUCCO  
FINISH.

# Scope Change Summary



Room	No. of Walls	Ceiling ✓	Floor ✓	Amendments to 2010 scope
Piling				
Services				
Other Dwelling Items				
Outbuildings				
Land & Retaining Walls				

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 Signature of Client

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 Date

18 Downing Street, Hoon Hay, Christchurch

## Scope Change Summary - SC05



18 DOWNING STREET.

Claim Number	2011/105792	Contractor Name	Davies Contractor
Customer Name	J Inkercell	Supervisor	
Main Contact		Date	3/04/2015
Property Address	18 Downing Street, Hoon Hay	Customer Email	
Phone		Page	1 of 1

This form is to record any scope changes or alternative repair methodologies to those described in the EQC assessment documentation. It is vital that for all amendments that photos are taken to assist with the EQC approval of the Scope Change.

Alternative Repair Strategy	Additional Damage	Non-Structural Damage	Room (Dimensions)	Walls	Ceiling	Floor	Changes to original EQC scope	E.G.C Approval
			Roof				Roof - Seal all ridge capping 5CLm - refit approx 20 tiles Roof - paint 25 m2 (chimney side) -	
			Lounge	✓			Walls- strip lining paper, skim and paint 3x walls only 20m2	
			Exterior North	✓			Walls- grind existing repair stucco repair (4.25 m2) resucco and paint 32.2 m2	
			Exterior South	✓			Walls- grind existing repair stucco repair (1.5 m2) resucco and paint 32.2 m2	
			Exterior East				Walls- grind existing repair stucco repair (2.0 m2) resucco and paint 20 m2	
			Exterior West				Walls- grind existing repair stucco repair (2.5 m2) resucco and paint 22.2 m2	

Fletcher FQR has recorded the above scope changes to the EQC claim assessment at this property.  
The above scope changes should be added to the EQC claim assessment for EQC to review approve prior to confirmation with customer and issue of any Works Order.

EQC Contracts Supervisor _____ Date: _____ Signature _____

Name of EQC Representative _____ O J SCOTT Date: _____ Signature _____

Role: Assessor

Key	EC	Scope Change		
	ARU	Alternative to EQC Repair Strategy		

**18 Downing Street**

			Description of the Works	Quantity	Unit	Rate	Amount	Hillview Value
			<b>INTERNAL WORKS</b>					
			<b>Lounge</b>					
/			Lining paper not replaced	45.00	m2	40.72	\$1,832.40	\$3,007.00
/			Only 3 walls painted, not 4	5.8	m2	19.45	\$112.56	
		0.00						
			<b>Bedroom 1</b>					
/			Lining paper not stripped and replaced	33	m2	40.72	\$1,341.12	\$1,993.00
		0.00						
			<b>Bedroom 2</b>	33.00	m2	40.72	\$1,343.76	\$2,809.00
			Lining paper not stripped and replaced					
		0.00						
/			<b>Toilet</b>	16.7	Lump	19.45	\$324.00	\$754.00
/			Walls not paint					
		0.00						
		0.00						
		0.00						
		0.00						
/								
/								
		0.00						
		C/F					\$4,953.84	

18 Downing Street

C/F	\$14,588.84
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**18 Downing Street**

[illegible]



# Contract Quotation

Claims No:	2010/065050	contractor:	HILLVIEW CONSTRUCTION.
Claimant:	JEFFREY WICKERSON	Address:	
Claimant address:	10 DOWNING ST.	Phone:	
EQR Supervisor:	Doug McDONNELL	Mobile:	027-222-6935.
Date:			

The Scope Change Summary should be read in conjunction with the EQC Statement of Claim. The work described in these two documents covers the full scope of work for the property and will be covered in your quotation. Please scan document and send through Aconex.

Rooms	Description of work	Earthquake 2010	Earthquake 2011
Lounge <i>now 1 p.m. removed</i>	L+P RAKE OUT STRIP WALL PAPER FROM WALLS SUPPLY + FIT WALL PAPER 3 WALLS PAINT 4 WALLS SOFT SEAL DOOR FRAME	2795	212
Dining Room			
Kitchen	Adjust door		85
Family Room			
Bedroom 1 <i>now 1 p.m. removed</i>	STRIP WALL PAPER RAKE OUT L+P SUPPLY FIT WALL PAPER TO 3 WALLS PAINT 3 WALLS	1,993	
Bedroom 2 <i>now 1 p.m. removed</i>	STRIP LINING PAPER RAKE OUT L+P SUPPLY + FIT NEW LINING PAPER PAINT ALL WALLS FIX WARDROBE LIFTING	2,312	497
Bedroom 3	RAKE OUT FLAKE, SOFT SEAL AROUND SCOTIA PAINT SCOTIA + CEILING FIX WALL PANELS.	325	300
Bedroom 4			
Bedroom 5			
En-suite Bathroom			

see P. 105

1

see P. 105

- no 1 p.m. in 10/10/10



# Contract Quotation

Room	Description of work	Earthquake 2010	Earthquake 2011
Bathroom 1	SOFT SEAL AROUND WINDOW FRAME PAINT WINDOW FRAME.	399	
Bathroom 2			
Toilet 1	RAKE OUT, SOFT SEAL, PAINT WALLS SEAL SCOTIA TO CEILING PAINT CEILING	489	265
Toilet 2			
Office/Study			
Rumpus			
Entry			
Hallway			
Stairwell			
Laundry	RAKE OUT FLAKE SOFT SEAL, PAINT CRACKING TO CEILING REPAIR + PAINT FIX GLAZING TO WINDOW.	649	300
Garage			
Conservatory			



# Contract Quotation

Room	Description of Work	Earthquake 2010	Earthquake 2011
Other			
Roof	SEAL ALL RIDGE CAPPING 50 Lm REFIT TILES		1,061
External Walls North - visible	-		
External Walls South	RAKE OUT FLAKE SOFT SEAL AROUND ALL DOORS/WINDOWS JOINERY CRACKING TO STUDS	5,699	1,341
External Walls East visible	GRIND + EPOXY PAINT ALL WALLS.		
External Walls West visible			
Decks			
Chimney Base			
Chimney Cavity			
Chimney Above Roof - not done	REBUILD TO ORIGINAL 6x tiles to replace	5,647	
Fireplace			
Foundation			



# Contract Quotation

Room	Description of work:	Earthquake 2010	Earthquake 2011
Piling			
Services			
Other Dwelling Items			
Outbuildings			
Land & Retaining Walls			
Preliminary and General items	SCAFFOLDING SIGNS LOCKUP BOX	3927.	
Subtotal Excluding GST		24,235	4061.00
Add 15% GST		3,635.25	609.15
Total Including GST		27,870.25	4670.15

Estimate Time of Completion

Days _____

32,540.40 incl GST

Start Date _____

Finish Date _____

X   
Signature of Contractor

Date _____

# Contract Quote

Revision



Claim No:	2011 105792	Contractor	MarkHamlyn
Claimant:	J Inbkersell	Address:	9a Charles St, Prebbleton
Site Location:	18 Downing St, Hoon Hay	Accreditation No:	111
EQR Supervisor:	Seth Booyens	Contractor Phone:	021 2648542
Hub:	Middleton	GST No:	101 988 929
Date:	10/05/2013	Total Price (Incl. GST)	\$10,972.73

This Scope Change Summary should be read in conjunction with the EQC Statement of Claim.

The work described in this document does not cover the full scope of work stated in EQC Statment of Claim.

Rooms	Description of Work/s	Dimension	\$ Rate	Contractors Quote	Room Total	Scope Change
Roof	Seal all ridge capping (m)	50	45			2250
	Paint	25	45			1125
	Roof edge protection					2058.75
				0	0	

## Contract Quotation

Address: 18 Downing St, Hoon Hay

Claim #: 2011 105792



Rooms	Description of Work/s	Dimension	\$ Rate	Contractors Quote	Room Total	Scope Change
Lounge Walls:						
	Strip lining paper, skim & paint (3x walls only)	20	42			840
				0	0	

## Contract Quotation

Address: 18 Downing St, Hoon Hay

Claim #: 2011 105792



Rooms	Description of Work/s	Dimension	\$ Rate	Contractors Quote	Room Total	Scope Change
Exterior North Wall						
	Grind existing repair stucco repair, restucco	4.25	85			361.25
	paint	32.2	35			1127
					0	
Exterior South Wall	Grind existing repair stucco					
	repair, restucco	1.5	85			127.5

Paint	32.2	35		1127
			0	

## Contract Quotation



Address: 18 Downing St, Hoon Hay

Claim #: 2011 105792

Rooms	Description of Work/s	Dimension	\$ Rate	Contractors Quote	Room Total	Scope Change
Exterior East Walls						
	Grind existing repair stucco					
	repair, restucco	2	85			170
	Paint	20	35			700
Exterior West Walls						
	Grind existing repair stucco					
	repair, restucco	2.5	85			212.5
	Paint	22.2	35			77

## Contract Quotation



Address: 18 Downing St, Hoon Hay

Claim #: 2011 105792

Rooms	Description of Work/s	Dimension	\$ Rate	Contractors Quote	Room Total	Scope Change
List P&G	Supervision			225		
	Floor protection			90		
	Commercial cleaners			150		
	Furniture moving (2x men/1 hrs)			90		
	Waste disposal			65		
				0		
				0	620	

Subtotal (excl. GST) \$620.00 \$8,921.50

Add 15% GST \$93.00 \$1,338.23

Total Incl. GST \$713.00 \$10,259.73

Grand Total with Scope Changes Ext GST \$9,541.50

Grand Total with Scope Changes Incl. GST \$10,971.73

NB: This quote is provided without access to the scope of works or a site inspection. Any additional costs incurred to correctly remediate the sub-standard repairs already carried out shall be covered by Fletchers EQR.

## Contract Quotation



**Address:** 18 Downing St, Hoon Hay

**Claim #:** 2011 105792

Estimated Time of Completion: _____ (days)

### Start:

Start Date: _____

Homeowner acknowledges the above list is the full scope of works based on EQCs assessment.

Homeowner

Signature (start): X _____ Homeowner Name: _____

### Finish:

Finish Date: _____

Homeowner acknowledges the above list is the full scope of works based on EQCs assessment & has been completed to a satisfactory standard.

Homeowner

Signature (finish): X _____ Customer Name: _____

Contractors

Signature: X _____ Contractors Name: _____  
Company: _____

Released Under the Official Information Act 1982

TO: Hillview Construction,  
2 Papakura Road,  
3326-779  
027-222-6

ORDER NUMBER

EQW 01863

Please quote on all invoices, correspondences etc

Authorised by:

Date :

DATE OF ISSUE	PROJECT SUPERVISOR	TELEPHONE NUMBER	HUB NUMBER	HUB CODE
			E	
EQC CLAIM NUMBER	DESCRIPTION OF WORKS TO BE UNDERTAKEN - THE SCOPE OF WORKS SHALL NOT BE INCREASED OR VARIED IN ANY MATERIAL MANNER WITHOUT FLETCHER CONSTRUCTION'S PRIOR CONSENT			
2011/082441	[REDACTED]			
2010/080140				
	18 Dunning Street 5/9/11 \$28,296 + GST - order by L. Casserly - Contractor has agreed EQC Price.			
	Am: Direct.			
<b>PRICING (excl GST)</b>				
AGREED FIXED PRICE	\$	or refer attachment		
SCHEDULE OF RATES	refer attachment			
<b>HOURLY RATES</b>				
TRADE QUALIFIED	(i.e. carpenter)	\$	p/h	
EXPERIENCED	(not trade qualified)	\$	p/h	
LABOURER	\$	p/h		
APPRENTICE	\$	p/h		

On behalf of Fletcher Construction  
as agent for Earthquake Commission

Please send all invoices and correspondence to: The Fletcher Construction Company Limited as agent for Earthquake Commission  
11 Deans Avenue, PO Box 80105, Riccarton, CHRISTCHURCH 8440. Telephone +64 3 341 9900, Facsimile +64 3 343 4167

This Works Order is subject to the terms and conditions contained in the short form agreement for engagement of contractors between the parties.

Works Order V1.0. 6/12/10



# Works Order

Fletcher EQR acting as agent for EQC  
(divn of FletcherConstruction)  
P O Box 80105  
CHRISTCHURCH 8440

Telephone 03 341 9900  
Facsimile 03 343 4167

**To:**  
**Clockwork Construction Limited**  
**9a Charles Street**  
**Prebbleton**  
**Christchurch**  
Phone (03) 344 0139  
Email mark.clockwork@gmail.com

**Order No E009-00778**

Please quote Works Order Number on  
all invoices, correspondences etc

Accreditation Number **EQRC0111**  
Contractor Code **S077**

**From:**  
Hub **Middleton Hub**  
Works Order Date **24-Jul-2013**

Project Number **E009**

**Please proceed with the works outlined in the attached approved Scope of Works for:**

EQC Claim Number	Address	Start Date	\$ Ex. GST
CLM/2010/065050	18 DOWNING STREET, HOON HAY	01-Nov-2013	9,541.50
NZ Govt Goods and Services Tax Is Not Included In This Total			<b>Total Cost 9,541.50</b>

The above stated contract price is deemed to be a complete price to undertake and complete the works as detailed within the attached Scope of Works. The Scope of Works shall not be varied without Fletcher EQR's prior written consent. No additional costs will be accepted unless approved by a written Variation Order issued and signed by Fletcher EQR. Any request for payment based on an invalid variation instruction will be refused.  
All Works shall be completed in accordance with the approved Scope of Works unless varied as above.

Authorised By **Alex Urwin**  
On behalf of Fletcher Construction  
as agent for Earthquake Commission Signature

## IMPORTANT

This Works Order is only valid when authorized and signed by a Fletcher EQR Quantity Surveyor.  
This Works Order is to be read in conjunction with the attached approved Scope of Works referencing this Works Order.  
If no Scope of Works is attached please contact the issuing Quantity Surveyor for a copy of the Scope of Works.  
This Works Order is subject to the terms and conditions contained in the Short Form Agreement for engagement of contractors between the parties.  
Please send all invoices and correspondence to the Fletcher EQR Hub responsible for issuing this Works Order.

The Contractor is responsible for all Warranties to be passed onto the homeowner.  
No additional private work is to be undertaken. Fletcher EQR reserves the right to terminate the contract and de-accredit any contractor working on site without approval.  
EQC and Fletcher EQR employ zero tolerance in relation to fraud and will prosecute offenders.

## Defects Liability Certificate

Contract: ~ Fletcher EQR  
Claim Number: ~ 2010/065050  
Location: ~ 18 Downing Street

### End of Defects Liability period

The Principal is required to issue a Defects Liability Certificate. The NBC SW Standard Conditions rule 13.1 states that:

The Principal must certify to the Contractor when in relation to the Contract Works or a Separate Section of them:

- (a) the Defects Liability Period has ended; and
- (b) the Contractor has completed all minor omissions and corrected all minor defects referred to in rule 12.1; and
- (c) the Contractor has completed agreed deferred work.

### This Certificate

This is to certify that in accordance with rule 13.1, the above named Contract Works the Defects Liability Period has ended, all deferred work has been completed and all defects have been corrected

The issuing of this certificate does not affect the Contractor's liability to fulfil any obligation in the Contract which remains unperformed or not properly performed.

The Principal has used all reasonable care and skill in the preparation of this Certificate

The certificate cannot be relied on for any other purpose.

Signed by/date:



13-01-12

(Date signed)

*Note: For the purposes of this contract the Principal is represented by the Hub Supervisor.*

## Defects Liability Certificate

<b>Claim Number</b>	CLM/2010/065050		
<b>Date of Completion</b>	6/03/2014	<b>Date defect period ends</b>	4/06/2014
<b>Property address</b>	18 DOWNING STREET, HOON HAY		
<b>Main contractor</b>	Clockwork Construction Limited		
<b>Principal</b>	Earthquake Commission (EQC)		

### End of Defects Liability Period

The Principal is required to issue a Defects Liability Certificate. The NBC SW Standard Conditions rule 13.1 states that:  
The Principal must certify to the Contractor when in relation to the Contract Works or a Separate Section of them:-

- (a) the Defects Liability Period has ended; and
- (b) the Contractor has completed all minor omissions and corrected all minor defects referred to in rule 12.1; and
- (c) the Contractor has completed agreed deferred work.

### This Certificate

This is to certify that in accordance with rule 13.1, the above named Contract Works the Defect Liability Period has ended, all deferred work has been completed and all defects have been corrected.

The issuing of this certificate does not affect the Contractor's liability to fulfil any obligation in the Contract which remains unperformed or not properly performed.

The Principal has used all reasonable care and skill in the preparation of this Certificate

This certificate cannot be relied on for any other purpose.

**Contracts supervisor**

**Nick Johnson**

**Date of issue 27/06/2014**

**on behalf of Fletcher EQR acting as agent to EQC**

10

## MS-SF0702 CONSTRUCTION COMPLETION INSPECTION

Address  
Claim Number  
Contractor  
Contract Supervisor

18 Downing Street, Hoon Hay,  
CLM/2010/065050  
Clockwork Constructions  
Nick Johnson

Inspection completed by:

Date 06/03/14

Others present:

- This document is a record of the Construction Completion Inspection carried out at the above address. It documents that all work specified in the Scope of Work and authorised by the Works Order (including all Variations to that work order) and has been carried out by the Contractor to a workmanlike standard, is in accordance with any regulations, and is to the satisfaction of Fletcher EQR acting as agent to EQC

- |    |                                                                                                  |                                    |                                    |
|----|--------------------------------------------------------------------------------------------------|------------------------------------|------------------------------------|
| 1. | All work completed as per approved Scope of Work?                                                | <input checked="" type="radio"/> Y | N                                  |
| 2. | Line by Line check of Scope of Work and Scope Changes is completed                               | <input checked="" type="radio"/> Y | N                                  |
| 3. | All Variations completed (detail below)?                                                         | Y                                  | N                                  |
| 4. | Any quality issues or minor defects? (detail below)                                              | <input checked="" type="radio"/> Y | N                                  |
| 5. | Any significant deferred work? (detail below)                                                    | Y                                  | <input checked="" type="radio"/> N |
| 6. | All consented or restricted work carried out and associated inspections completed (if required)? | Y                                  | N                                  |

* Advise Contractor that PS3, Memorandum of Building and any Inspection records and evidence is required to be submitted at time of invoicing

## ALL VARIATIONS COMPLETED (BRIEF DESCRIPTION)

VO per  
scope

Quality

VO1  
VO2  
VO3  
VO4

## MINOR DEFECTS

Minor defects are considered those that can be remedied promptly and do not have any impact on the overall quality or finish of the work. The Contracts Supervisor is to follow-up and ensure all minor defects are rectified by the date shown below.

- |    |                                       |
|----|---------------------------------------|
| 1. | Grind out repair stucco and paint 1m2 |
| 2. |                                       |
| 3. |                                       |
| 4. |                                       |
| 5. |                                       |

Date that all minor defects will be rectified:

/ /

CA

10

## MS-SF0702 CONSTRUCTION COMPLETION INSPECTION

## SIGNIFICANT DEFERRED WORK

Significant Deferred Work is that work defined in the Scope of Work that cannot be completed until a later time (i.e. Garage rebuilds, external painting, awaiting components from overseas etc.).

Brief description:

Proposed Date for commencement of Significant Deferred Work: / /



## 10. SIGNATURES

This is to advise that the earthquake repair work performed under this contract has been reviewed and it has been agreed that works has been completed as per **Approved Scope of Work** and **Approved Variations**, excluding any minor defects noted.

Contract Supervisor

Nick Johnson

Contractor

[Signature]

06/08/14

Mark Hamlyn

Works Manager / EQC (if attending)

[Signature]

06/08/14

TREVOR JONES EQC QA

Homeowner (or their authorised representative)

[Signature]

06/08/14

GEOFF LINTASALL

Name

[Signature]

Signature

5/3/14

Date

If the Homeowners signature is not obtained for any reason please state the reason below:

[Blank space for reason]



## NOTES

This job was completed for defects repair

## FOR OFFICE USE

ECM UPDATED

ALL MINOR DEFECTS CONFIRMED AS RECTIFIED*

ALL ACTIONS COMPLETED (PCC Issued etc)

Initials

Date



**Project Sign - Off Form:**

Claim Number: 2010/065050 - 2011/080140

Home Owner: J. INKERSELL

Street Address: 18 DOWNING STREET

Contractor: (SHAWN) HILLVIEW CONSTRUCTION

**Completion Certificate:**

This is to advise that the earthquake repair work performed under this contract has been reviewed and it has been agreed that works has been completed to their satisfaction as per EQC Scope and EQC Variations.

The Homeowner/Occupant acknowledges that they will notify the Supervisor prior to the expiration of 90 working days from the date of this Certificate of any defects arising from the repair work which requires remedying and will permit the Contractor to perform such repairs.

**➤ Owner/Agent Signature:**

J. Inkersell X J. Inkersell 18 10 11  
Print Name Signature Date

**➤ Fletchers Construction Company LTD Signature:**

Joos M. Joosell X Joosell 18/10/2011  
Print Name Signature Date

**➤ Contractor Signature:**

Shawn Campbell X Shawn Campbell 18/10/2011  
Print Name Signature Date

## Contractor's Producer Statement for Construction PS3

---

Contract: J Inbkersell  
Location: 18 Downing St, Hoon Hay, Christchurch

### Issued by

Contractor: CLOCKWORK CONSTRUCTION LTD  
LBP Licence No 104034

### Preamble

The Contractor is required to complete this Producer Statement for Construction PS3 within 5 days of the completion of the Contract Works and issue it to the Hub Supervisor.

This Producer Statement will be relied upon to confirm that the Building Works has, to the best of the Contractor's knowledge, been performed in compliance with the NZ Building Code.

**Statement** I, **MARK A. HAMLYN** undertook or supervised the following building work and confirm that I am satisfied on reasonable grounds that the work performed is in compliance with the NZ Building Code and, where a building consent is applicable, in compliance with the Building Consent.

### Description of the work covered by this statement:

Claim Number: 2011/105792 14/065050

— As per remedial Works Order E009-00778 dated 24 July 2013. —

Signed by/date:



13/3/14

Schedule **E1(a) Contractor's Producer Statement for Construction PS3**

Contract: ~ *Scope*  
Location: ~ *18 DOWNING STREET.*

**Issued by**

Contractor: ~ *HILLVIEW CONSTRUCTION.*  
LBP Licence No ~ *BP 102864.*

**Preamble**

The Contractor is required to complete this Producer Statement for Construction PS3 within 5 days of the completion of the Contract Works and issue it to the Hub Supervisor.

This Producer Statement will be relied upon to confirm that the Building Works has, to the best of the Contractors knowledge, been performed in compliance with the NZ Building Code.

**Statement**

I *Shann Campbell* (name of LPB) undertook or supervised the following building work and confirm that I am satisfied on reasonable grounds that the work performed is in compliance with the NZ Building Code and, where a building consent is applicable, in compliance with the Building Consent.

**Description of the work covered by this statement:**

Claim Number: *2011/102886*

*works completed as per Scope painting and decorating and exterior cladding repaired and painted.*

Signed by/date:

*Shann Campbell*

*18/10/2011.*

(Date signed)

**FINAL ACCOUNT AGREEMENT**

** All amounts are GST EXCLUSIVE unless otherwise noted

Claim No: 2011T05792 2010/065050  
Claim Address: 18 Downing Street  
Hoon Hay  
Christchurch  
Date: 12 Mar 2014

Contractor: Clockwork Construction  
Accreditation No: EQRC0111  
Mobile No: 021 2648542  
Hub: Blenheim Rd  
EQR Site Supervisor: Nick Johnson

**AMOUNTS:**

Original Contract Value (excl. GST)	9541.5
plus Variation VO1 (excl. GST)	
plus Variation VO2 (excl. GST)	
plus Variation VO3 (excl. GST)	
plus Variation VO4 (excl. GST)	
Final Contract Value (excl. GST)	\$ 9,541.50
less Previous Payments (excl. GST)	
Amount for Final Payment (excl. GST)	\$ 9,541.50
plus GST Amount	\$ 1,431.23
Amount for Final Payment (incl. GST)	\$ 10,972.73

We hereby confirm that this statement represents the full and Final Contract Value and amount outstanding for all matters relating to this subcontract.

Contract Start Date: 4/02/2014

Contract Finish Date: 12/02/2014

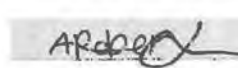
Contractor name: Mark Hamlyn - Clockwork Construction Ltd

Date: 12/03/2014

Signature: **OFFICE USE ONLY**

QS name: ALYN ROBERTS

Date: 19/3/14

Signature: 



MS-SF0409

# EXEMPT BUILDING WORK FILE RECORD

CLAIM NUMBER:

2	0	1	0	0	6	5	0	5	0
---	---	---	---	---	---	---	---	---	---

THIS IS A RECORD OF THE DECISION TO COMPLETE EARTHQUAKE REPAIRS WITHOUT BUILDING CONSENT. THE WORKS DESCRIBED HAVE BEEN DETERMINED AS EXEMPT FROM THE NEED FOR BUILDING CONSENT.

PROPERTY ADDRESS: 18 Downing Street

DATE

25/7/13

HUB

Middleton

PROPERTY CONTACT NAME:

CONT. SUPERVISOR

Seth Booyens

CONTACT DETAILS: PH.(1)

EMAIL:

PH.(2)

CONTRACTOR: Clockwork Construction

SITE SUPERVISOR NAME:

CONTACT DETAILS: PH.

EMAIL:

A brief description of the work is as follows (and as otherwise described within the body of the claim file);

As per defects

**Accordingly I have determined that this work is exempted under Schedule 1(.....)of the Building Act 2004**

This assessment and record was completed by myself as an authorised agent of The Fletcher Construction Company Limited, acting under the delegated authority of the company to determine exempted work on behalf of the owner.

Provided to homeowner/agent Name)..... Date 6-3-14  
(provided to the property owner or his/her authorised agent on request only).

**Note¹** The homeowners/agents authority to apply Exemption status is given in the Building Act 2004, Schedule 1, this exemption information is augmented by supplementary guidance issued by The Department of Building & Housing and by the relevant Councils (i.e. - CCC Form B390).

**Note²** Only work prescribed within Schedule 1(a-j) and (m & n) of the Building Act 2004 is recorded on this form.

**Note³** Work Exempted under Schedule 1(k) of the Building Act 2004 is not to be recorded on this form. Claimants should refer to the formal "Exemption from building consent" records of the relevant City or District Council. (viewing EQR Aconex File Recording System may assist).

**Note⁴** For background information refer to 'Your guide to the repair process (with Fletcher EQR)' the home owners information bulletin provided by EQR staff, usually the Community Liaison Officer, just prior to or at the time of the scoping of the works.

**Note⁵** This record applies to earthquake damaged residential buildings in the Canterbury Region following earthquake events of 2010/2011.

**Note⁶** Building remediation work for the majority of Fletcher EQR projects is completed by Licensed Building Practitioners (LBP's)

**Note⁷** This record will usually be completed by the Contracts Supervisor, but may be completed by his/her immediate (Hub) Works Manager.

**Note⁸** This record is held in the Fletcher EQR Aconex File Recording System (an online information management system).

## FILING AN EXEMPT BUILDING WORK RECORD EXPLANATORY NOTE

Every EQR project is required to comply with both the Building Act (2004) and its Regulation (1992).

Building work usually entails the issuing of a building consent to the property owner or their authorised agent. On completion of the work the local or district Council 'signs off' that work and issues a Code Compliance Certificate (a CCC) confirming compliance with the Building Act. The Council is also compelled to hold that information on its property files. This record is heavily relied on for its completeness at the time that properties change hands.

It's estimated that 90%¹ of Fletcher EQR Projects won't need a Building Consent because they're exempted under criteria set in the first Schedule of the Building Act. The majority² of all exempted work may be completed "as of right", no Council approval is required (the exception is Schedule 1 Item [K] of the Act).

This creates a unique situation and potential problem for homeowners as Fletcher EQR customers.

The issue is that the Exemption process has no requirement to create file records of the sort that Councils keep on individual property files. The property file is used to detail "all that the Council knows" when a LIM³ is requested. A LIM⁴ can be requested by anyone, it's most commonly sought by a potential buyer at the time of a possible sale.

In the EQR 'Homeowners Guide' (p2, 'Building Consent Issues') we have specifically discussed the issue of Consents and exemptions. We have undertaken to act as agent in making Consent or Exemption decisions. We have also undertaken to assist with documentation and to make available that record if the homeowner wishes. The record is supplied for the homeowner's personal file but they may choose to lodge it as a formal record with their Council.

For consistency and ease of process we will use the 'Exempt Building Work' form. This should be completed by the Contracts SuperSupervisor at (or about) the time of the scoping exercise as this will usually be the point at which a decision about the need for a consent is made (if the form is not completed then, there's a risk it will be overlooked).

This 'adequacy of file records' is an unfamiliar issue for homeowners, few will understand the significance of the availability of suitable documentation and the importance of filing that information with their respective Councils.

This EQ event is unprecedented and purchaser's legal representatives will be looking for a form of documentation related to repair works. We are assisting Homeowners by anticipating their requests, be they current or future by consistently completing the 'Exempt Building Work' File Record. It must be filed in the Aconex filing system.

When completing the form, the majority of EQR work (99.9%) will fall within the Schedule 1(a) category, it becomes 1(k) only when Council approval has been asked for and given.

---

**Note¹** this stems from the current estimate that somewhere between 10 – 12% of all EQR works will require a Building Consent

**Note²** Work prescribed within Schedule 1(a- j) and (m & n) of the Building Act 2004. Schedule 1(k) requires Councils (discretionary) approval.

**Note³** When each house is transacted, a Land Information Memoranda (a LIM), will be requested by the purchaser's lawyer as a standard part of the conveyance procedure. The LIM records all works completed under a Building Consent (and any item 'K' Exemption where applicable) as well as a myriad of other information relevant to that property. The LIM uptake in Canterbury is one of the highest in New Zealand.

**Note⁴** The gaining of a LIM to facilitate a property transaction is driven by LGOIMA, this stands for – 'Local Government Official Information and Meetings Act 1987 No 174 (as at 01 November 2010), Public Act'. S4 (a) requires Councils "to provide for the availability to the public of official information held by local authorities"....4 (b) "to provide for proper access by each person to official information relating to that person". This Act compels the authorities to disclose "what's known" about a property.

# CASH SETTLED CLAIM(S)

The following information contains documents relating to claim(s) that were cash settled for the property.

If you require sign off or repair completion documents, they may be obtainable from the contractors who completed the substantive repairs at the property.

(F) 2010/065050 E

(pg1)

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## TAX INVOICE

McConchie Builders Ltd  
9 Kain St  
Pines Beach  
Kaiapoi, 7630

N & G Inkersell  
18 Downing Street  
Hoonhay

GST REG No: 91 147 211

Date: 7th February 2011

Invoice Number: 460	
Remove chimney and repair roof	
Timber battens 50x25 H3.2 4m@\$1.42	\$5.68
Dump	\$19.00
Tiles	\$36.00
Labour 12hrs @\$45/hr	\$540.00
Travel 40kms@ \$1.50	\$60.00
AGENCY COMMISSION   18 FEB 2011	
Subtotal	\$660.68
g.s.t	\$99.10
<b>Total</b>	<b>\$759.78</b>

### REMITTANCE ADVICE

McConchie Builders Ltd  
9 Kain Street  
Pines Beach  
Kaiapoi  
7630

Payment: N&G Inkersell

Invoice number: 460

**Total: 759.78**

ANZ: 01-0797-0431763-00

OR: Internet bank transfer to a/c:

McConchie Builders Ltd

Claim No

CAW/2010/065050

# REMEDIAL DOCUMENTATION

The following documentation contains information relating to remedial claims against this property.

Remedial claims refer to concerns raised by homeowners following the settlement of their original Canterbury claim(s).

- NHC Toka Tū Ake settlement did not include all earthquake damage
- NHC Toka Tū Ake repair work or repair strategy hasn't or won't repair the earthquake damage to the standard required by the EQC Act
- NHC Toka Tū Ake wasn't or isn't sufficient to meet the reasonable costs of undertaking NHC Toka Tū Ake repair strategy

## REPAIR STRATEGY AND PRICING

Date: 18/07/2017

Address: 18 Downing Street, Hoon Hay

EQC Claim No.

To: Anna Inkersell

Sinclair Builders accreditation number EQRC0463

Sinclair Builders GST Number 106-703-035

18 Downing

Hoon Hay

Christchurch

Room	Room Size	Description	M2	Rate	Costs	Total Room Costs (GST Excl)
Bedroom 1	3.65 x 3.3 x 2.4	Cracking to walls above and below window, loose lath and plaster in wardrobe				\$4,248.80
		Rake out and stop cracks in wall (l/m)	17	\$15.00	\$255.00	
		Strip, dispose, replace lining paper to walls	33.36	\$54.65	\$1,823.12	
		Paint walls	33.36	\$25.00	\$834.00	
		Paint ceiling	12	\$25.00	\$300.00	
	2.7 x 0.6 x 2.4	Remove, dispose lath and plaster in wardrobe ceiling and replace with plasterboard	1.62	\$158.50	\$256.77	
		Paint wardrobe ceiling	1.62	\$25.00	\$40.50	
		Strip, dispose and replace lining paper in wardrobe on walls	7.4	\$54.65	\$404.41	
		Paint wardrobe walls	7.4	\$25.00	\$185.00	
		Remove and refit shelving	1	\$150.00	\$150.00	
Entry Hall	5.5 x 1.5 x 2.4	No Damage				
Bathroom	2.8 x 1.8 x 2.4	No Damage				
Bedroom 2 (2nd left up hall)	3.3 x 3.3 x 2.4	Cracking to walls				\$3,020.56
		Strip, dispose and replace lining paper on walls	31.68	54.65	\$1,731.31	
		Rake out and stop walls	15	\$15.00	\$225.00	
		Paint walls	31.68	\$25.00	\$792.00	
		Paint ceiling	10.89	\$25.00	\$272.25	
Kitchen/Dining	5 x 3.6 x 2.4	Gap, fill and paint ceiling	18	\$29.00	\$522.00	\$672.00
		Refix pinex tile	1	\$150.00	\$150.00	
Laundry	2.0 x 1.8 x 2.4	No Damage				
Sun Room (off living)	3.6 x 2.05 x 2.4	Paint trim and window frame	8	\$15.00	\$120.00	\$1,147.68
		Lift, store and relay carpet for floor works	7.38	\$36.00	\$265.68	
		Cut access hole in Rimu T & G and patch with Rimu T & G - required for subfloor repair	1	\$762.00	\$762.00	
Lounge	5.2 x 3.9 x 2.4	Cracking to walls and cornice				\$1,398.12
		Rake out and stop walls	2	\$15.00	\$30.00	
		Paint 3 walls only	31.2	\$25.00	\$780.00	
		Gap fill and paint ceiling	20.28	\$29.00	\$588.12	

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Garage		Remove and dispose garage - included in Skyline Garage quote				\$39,978.28
		Replace as per attached Skyline Garage quote + 10%	1	\$29,660.78	\$29,660.78	
		New stormwater connection as per attached Easyflow quote + 10%	1	\$2,805.00	\$2,805.00	
		Council exemption consent	1	\$800.00	\$800.00	
		Replace concrete driveway to garage	30	\$145.00	\$4,350.00	
		Replace strip of Asphalt	1	\$800.00	\$800.00	
		Disconnect/reconnect overhead cables	1	\$962.50	\$962.50	
		Generator hire	1	\$600.00	\$600.00	
		Electrical - included in Skyline Garage quote				
Exterior	Elevations	No Damage				\$980.00
	Chimney	Removed to ceiling - tiles patched requires 1m2 of painting	1	\$180.00	\$180.00	
		Scaffolding	1	\$800.00	\$800.00	
Floor piling/levelling		<b>Settlement between lounge and kitchen</b>				\$2,860.00
		Jack and pack approximately 6 piles - note: no allowance for replacing piles	1	\$2,860.00	\$2,860.00	
Allowances/Services		Asbestos testing - base fee and 3 tests for lath and plaster	1	\$920.50	\$920.50	\$2,720.50
		Electrical Disconnection/Reconnection	1	\$1,800.00	\$1,800.00	
		Temporary power - owner supplied power				
		Portaloo hire - using home owner toilet				
Sub Total as per EQC Scope Excluding GST (A)						\$57,025.95
<b>Sums</b>						
		Health and Safety			\$180.00	
		Dump costs - general rubbish			\$600.00	
		Scoping and Quoting Fee			\$650.00	
		Project Management 19 hours			\$1,520.00	
		Floor Protection			\$400.00	
		Site Fencing			\$520.00	
		Cleaning			\$850.00	
		<b>Sums Total</b>			<b>\$4,720.00</b>	
<b>Grand Total Scope and Repair Pricing - Excluding GST</b>						<b>\$61,745.95</b>
<b>Grand Total Scope and Repair Pricing - Including GST</b>						<b>\$71,007.84</b>

**Notes and General**

- No allowance for furniture removal
- No allowance for removal or reinstatement of blinds/curtains or furniture etc - these will need to be removed before works commence
- If any further earthquakes occur after the repairs are carried out- regardless of magnitude- we cannot and will not guarantee the work completed ie If cracks re appear then it will be approved by EQC/Insurance and any costs involved approved prior to repair carried out.
- No allowance to rectify any existing damage unless stipulated in the quote, only damage as noted
- No allowance for contracts works insurance - this is to be arranged by the homeowner through their insurance and must be in place before works commence
- No allowance for carpet replacement if relaying of existing carpet is unable to be done due to the condition/age of it
- No allowance for any site remediation of any landscaping/plants, top soil, tidying of lawns or gardens
- Note there are tags and exclusions in each of the sub contractors quotes. Please refer to each of the quotes for any exclusions

Completed By:	Eric Dann	Claim Number:	CLM/2010/065050
Role:	ESTIMATOR	Customer Name:	GEOFFREY INKERSELL
Date:	23/10/2018	Address:	18 DOWNING STREET HOON HAY CHRISTCHURCH

Description	Garage SOW only
-------------	-----------------

[illegible]

## Scope of Works - Building

Completed By:	Eric Dann	Claim Number:	CLM/2010/065050
Role:	ESTIMATOR	Customer Name:	GEOFFREY INKERSELL
Date:	23/10/2018	Address:	18 DOWNING STREET HOON HAY CHRISTCHURCH

Garage SOW only

Summary Page

	Elements	P&G	Margin	GST	Totals
Page 1 total	\$2,628.75	\$138.30	\$276.71	\$456.56	\$3,500.32
Page 2 total					
Page 3 total					
Page 4 total					
Page 5 total					
Page 6 total					
<b>Grand total</b>	<b>\$2,628.75</b>	<b>\$138.30</b>	<b>\$276.71</b>	<b>\$456.56</b>	<b>\$3,500.32</b>

30 July 2018

Job No: 18-324

Anna Inkersell  


Dear Anna,

**RE: STRUCTURAL ASSESSMENT – 18 DOWNING STREET, HOON HAY, CHRISTCHURCH 8025.**

We confirm that a structural assessment was carried out by Cephas Rock Limited on 24 July 2018 at the above property. Our assessment included a visual inspection of the exterior and interior of the building to determine the extent of any structural damage caused by the earthquakes from September 2010 up to the inspection date.

**BUILDING DESCRIPTION**

This building is a single storey dwelling situated on a flat site to the northwest of Downing Street in Hoon Hay. The dwelling is believed to have been built circa 1950. The dwelling has a timber floor founded upon concrete piles, and a perimeter concrete foundation (Type B foundation as per the MBIE Guidance). The dwelling superstructure consists of timber-framed walls. The exterior of the dwelling is clad with medium-weight stucco plastered panels. The roof structure of the dwelling is clad with concrete tiles.

The detached garage at the southeast corner of the site appears to have been built in later stage. The garage is founded on a concrete slab-on-grade foundation (Type C foundation as per the MBIE Guidance). The garage superstructure consists of timber-framed walls. The exterior of the garage is clad with light-weight metal weatherboards. The roof structure of the garage is clad with metal sheets.

The site is classified as “Green Zone, Technical Category 2, yellow” area as given by the Canterbury Earthquake Recovery Authority (CERA). This means that minor to moderate land damage from liquefaction is possible in future significant earthquakes.

EQC liquefaction and lateral spreading observations show “no observation (uncoloured)” following the September 2010 earthquake events and “no observed ground cracking or ejected liquefied material” following the February 2011 earthquake events. No site specific geotechnical investigation was undertaken as part of this assessment.

**OBSERVED DAMAGE - DWELLING*****Exterior***

The exterior of the perimeter concrete foundation could not be observed, as it was covered by stucco plaster at the time of our site inspection.

The repair works to the external cladding had been carried out prior to our site inspection. Evidence of the repair works was identified on site. Some of the repaired cracks were observed to have re-opened.

### ***Interior***

It was informed on site that the repair works to the internal linings had been completed prior to our site inspection. However, there was still damage to the internal linings observed as follows:

- Minor to moderate cracking damage to the plasterboards. Some of these cracks were around the window and door openings.
- Vertical, horizontal and diagonal cracking damage to the wall linings around the window and door openings.
- Door misalignment identified at one location.
- Cracking damage to the scotia.
- Minor separation at the juncture between the scotia and ceiling, and scotia and wall.
- Minor separation at the juncture between the skirting board and timber floor.
- Cracking damage along the window frames.

### ***Floor***

A floor level survey using Zip-Level Pro-2000 instrument of a typical accuracy of  $\pm 3\text{mm}$  was carried out during the inspection and is presented in the Floor Level Plan attached in this report. It should be noted that the purpose of the floor level survey is to provide assistance in determining possible structural damage of the building and therefore should be treated as indicative only. Where a high-level dependence and an accurate and credible presentation of the survey information are required, a registered professional surveyor should be engaged to carry out the survey.

The floor levels measured across the timber floor of the dwelling, showed maximum floor level variations of 50mm (+14, -36), achieving the 50mm suggested threshold of “no foundation re-level is necessary” set out in Table 2.3 of the MBIE Guidance. The floor slopes exceeding 1:200 (0.5%) were identified along the northwest wall in the lounge. The general trend of the floor level variations appeared to be relatively minor, except the northwest wall in the lounge, where significant floor sagging was noted.

### ***Subfloor***

A visual subfloor inspection was carried out during our site inspection. It appeared that there was no foundation re-levelling work previously carried out in the subfloor. There was no significant structural issue identified to the subfloor structure.

There was a concrete base observed under the northwest lounge wall, where the significant floor sagging was identified. This appeared to be a historical chimney base. The slopes along the door frames were measured around this area, and the results showed a consistency between the localised floor slopes and door frame slopes. Considering the damage observed in this area, such as the diagonal crack to the wall linings around the door opening and the movement to the scotia, Cephas Rock is of the opinion that the floor level variations in this area is, more likely than not, attributed to the settlement of the concrete base, and the earthquake-related exacerbation to the concrete base settlement cannot be ruled out.

### **Roof Space**

A limited visual assessment of the roof from the ground level and from the ceiling opening to the roof cavity identified no evidence of earthquake-related damage where readily visible. No evidence of water penetration from the roof to the inside of the house was observed during our investigation, confirming that no significant earthquake-related damage to the roof cladding had occurred.

### **OBSERVED DAMAGE – GARAGE**

Detached to the dwelling, the garage is rated an Importance Level 1 (IL1) building (refer to Section 5.6 of the MBIE Guidance). The key findings to the garage structure were as follows:

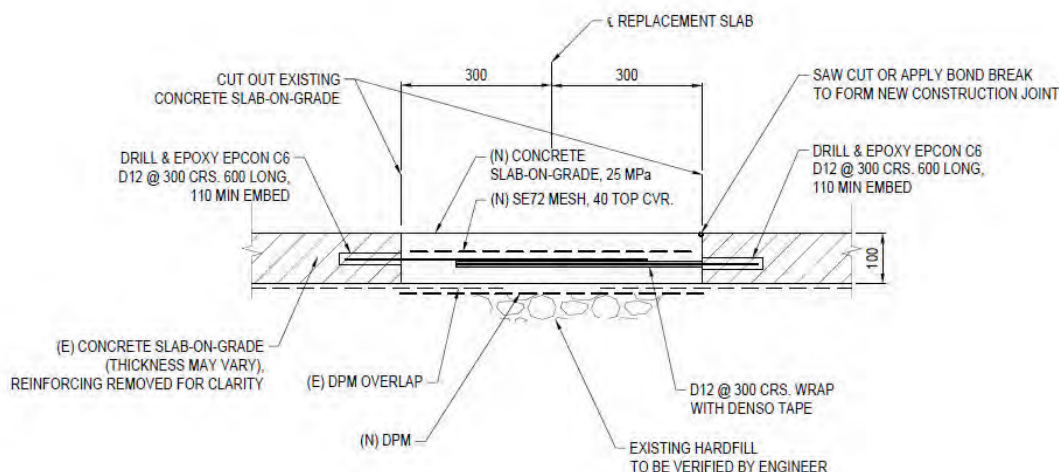
- Maximum floor level variation of 22mm (+22, 0) was recorded.
- No floor slope exceeding 0.5% was identified.
- The floor slab appeared to have settled differently along the construction joint. Vertical offset was observed across the construction joint.
- Garage door misalignment was noted.
- Cracking damage to the driveway outside of the garage entry was observed.

Considering the conditions of the garage, Cephas Rock is of the opinion that the garage foundation has likely settled due to the seismic events but the settlement would be minor. Refer to “Conclusion and Recommendations” section of this report for the proposed remediation solution.

### **CONCLUSIONS AND REMEDIATIONS**

It was observed that the dwelling and garage on this property has sustained minor to moderate earthquake-related damages prior to the completion of the repair works, including floor level variations and damage to the interior / exterior. We consider that the current state of the building is able to provide sufficient structural integrity for immediate use. However, we recommend the following structural repairs to the dwelling for continued occupancy and tenancy:

- The timber subfloor framing shall be disconnected from the concrete base, and new timber bearer and floor joists can be installed if required. New piles shall be installed to support the subfloor framing. The soil bearing capacity shall be confirmed by a suitably qualified engineer.
- The timber floor around the sagging area can be re-levelled by jacking and packing pile methodology as per the MBIE Guidance if necessary. Adequate bearer-to-pile and packer-to-bearer connections shall be installed. DPC sheets between the timber packers and concrete piles are required.
- The vertical offset along the construction joint of the garage slab can be remediated by partial replacement of the garage slab along the construction joint. The slab partial replacement details are shown below:



- The non-structural elements, such as cracking damage to the external cladding, internal linings and driveway, shall be repaired by a suitably qualified person as per manufacturer's specifications.

Please refer to the MBIE Guidance and manufacturer's specifications for detailed repair methodologies. The suitability for occupancy must be re-assessed by a structural engineer after any future moderate earthquakes. It should be noted that this assessment was not intended to be a full scope of repairs and therefore should not be treated as such.

Inspection and report by,

**Leo Zhang**  
Junior Structural Engineer  
BEngTech (Civil)

Checked and verified by,

**Joshua Wong**  
Structural Engineer / Director  
BEng (Hons) CPEng IntPE (NZ) CMEngNZ

Disclaimer:

This report has been prepared on behalf of and for the exclusive use of Anna Inkersell, and is subject to and issued in accordance with the provisions of the contract between Cephas Rock Limited and Anna Inkersell. Cephas Rock accepts no liability or responsibility, whatsoever, for or in respect of any use or reliance upon this report by any third party.

This report is the copyright of Cephas Rock Limited. Except for the use of Anna Inkersell and subject to the conditions in the agreement, no part of this publication may be copied without the express permission in writing from Cephas Rock Limited.

The above report does not constitute our confirmation that the building is "safe", "earthquake resistant" or similar.

We have not checked the level of actual structural compliance with the current Building Code, nor assessed the level of actual past seismic activity at the particular site on which the building is situated. We have carried out visual non-destructive inspection of readily accessible areas and have used our professional judgement to assess the extent of structural earthquake damage (if any) sustained from 4 September 2010 to date. We are unable to predict the severity of any future seismic activity on your site, and how the building and site may perform in such an event, or series of events. If engaged to do so, we can carry out further structural investigation (which may include invasive methods) and desktop analysis work to ascertain level of structural compliance of the building in its current state, and identify structural vulnerabilities (if any) that may compromise the building's structural performance in the future.

The scope of any foundation re-levelling is to return the building foundations to as close to as reasonably practicable to its structural pre-earthquake condition (i.e. NZBC Section 112 repair). This clause states that the repair strategy does not have to improve the overall performance of the structure; rather it cannot be made any worse than it was prior to the earthquake sequence. The re-levelling of the foundations will not lead to any "betterment" of the existing foundation structure. Similar performance is likely to be observed, should we experience a further significant seismic event.

### **Reference**

- Canterbury Earthquake Recovery Authority. My Property web page for land zone and technical category. <http://cera.govt.nz/my-property>
- Canterbury Geotechnical Database. Earthquake Commission (EQC) Liquefaction interpreted from aerial photography. (data supplied by Tonkin and Taylor for Canterbury Earthquake Recovery Authority)
- Google Map <https://maps.google.co.nz/>
- Ministry of Business, Innovation and Employment (MBIE). (2012). Repairing and rebuilding of houses affected by the Canterbury earthquakes – Technical Guidance (Part A). <http://www.dbh.govt.nz/guidance-on-repairs-after-earthquake> Wellington, New Zealand.
- QV.co.nz. (2018). Property details for 18 Downing Street, Hoon Hay, Christchurch 8025. <https://www.qv.co.nz/property/18-downing-street-hoon-hay-christchurch-8025/1271390>

## Appendix



Photo 1. 18 Downing Street, Hoon Hay, Christchurch (Google Maps).



Photo 2. Southeast elevation view of the dwelling from the driveway.



**CERA**  
Canterbury Earthquake  
Recovery Authority

**EQC**  
EARTHQUAKE COMMISSION  
Kaitiaki Takekōwhiri

**TT**  
Tonkin & Taylor



### Ground Surface Observations

- ☒ No observed ground cracking or ejected liquefied material
- ☒ Minor ground cracking but no observed ejected liquefied material
- ☒ No lateral spreading but minor to moderate quantities of ejected material
- ☒ No lateral spreading but large quantities of ejected material
- ☒ Moderate to major lateral spreading; ejected material often observed
- ☒ Severe lateral spreading; ejected material often observed
- ☐ No observations (uncoloured)

Photo 3. EQC liquefaction and lateral spreading observations show “no observation (uncoloured)” following the September 2010 earthquake events and “no observed ground cracking or ejected liquefied material” following the February 2011 earthquake events.



Photo 4. Perimeter concrete foundation covered by stucco plaster.



Photo 5. Crack repaired then re-opened.



Photo 6. Cracking damage to the plasterboard.



Photo 7. Cracking damage to the wall lining around the door opening.



Photo 8. Movement and cracking damage to the scotia.



Photo 9. Separation between the skirting board and sagging floor.



Photo 10. Cracking damage along the window frame.



Photo 11. View of the roof cavity.



Photo 12. View of the subfloor.



Photo 13. Concrete base observed underneath the sagging floor.



Photo 14. Southeast view of the garage.



Photo 15. View of the interior of the garage.



Photo 16. Vertical offset along the construction joint of the garage slab.



Photo 17. View of the garage roof structure.

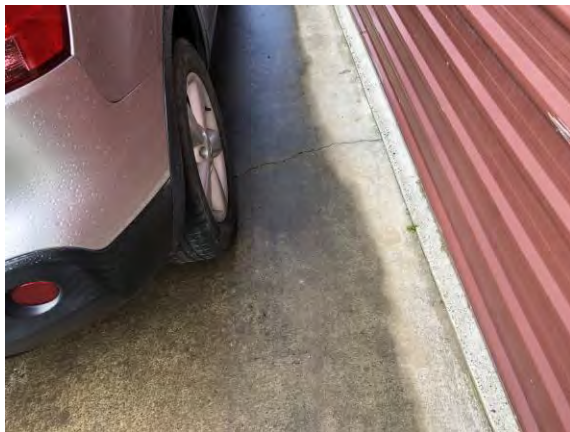


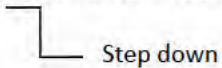
Photo 18. Cracking damage to the driveway by the garage entry.

**Note :**

1) Measurements location are approximate and indicative only

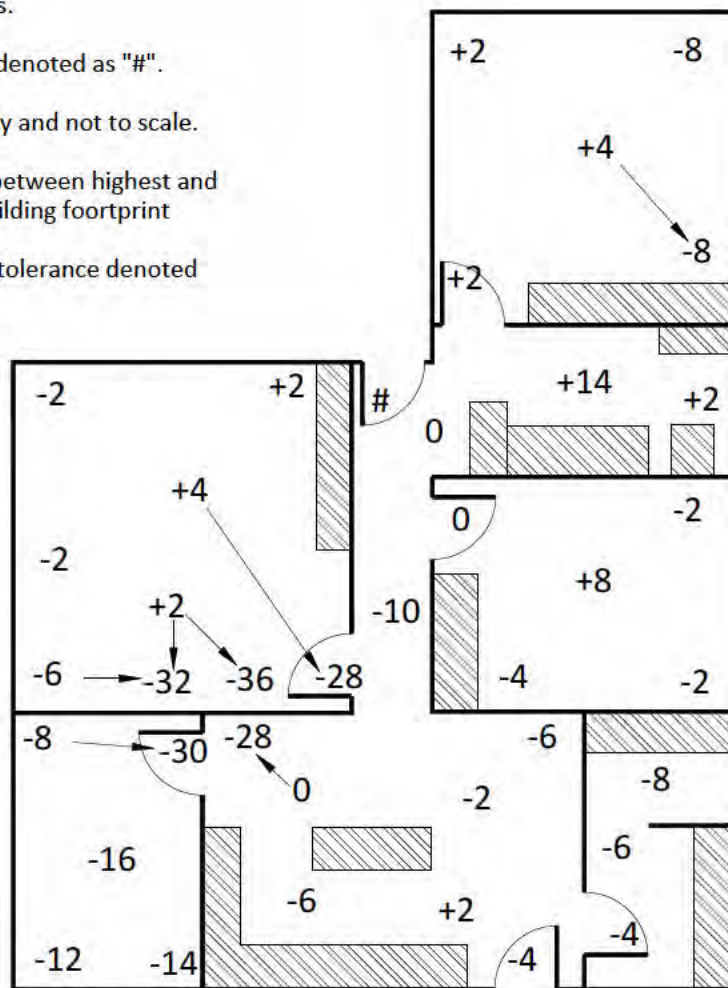
2) Instrument used for measurement has a rated accuracy of  $\pm 3.0\text{mm}$  (ZIP level Pro 2000). Other sources of variation to the measurements can include construction tolerances, carpet, wear, and atmospheric temperature changes.

3) All measurements have been adjusted to the floor covering type at the datum. Adjustments made to raw measurements are indicated in sketch as follow :



Notes :

- 1) levels indicated are in millimeters.
- 2) Reference point zero millimeter denoted as "#".
- 3) Floor plan layout is indicative only and not to scale.
- 4) Floor levels relative differences between highest and lowest point is 50 mm for entire building footprint
- 5) The Floor slope exceeded 1/200 tolerance denoted as "↙" (indicative only)



DWELLING: FLOOR LEVEL PLAN

LEVEL SURVEY PLAN  
(NTS)



Cephas Rock Limited  
Structural Engineers

PO Box 37174, Christchurch 8425  
P: (03) 338 5387, 0211031200  
E: admin@cephasrock.co.nz

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ADDRESS : 18 Downing Street, Hoon Hay, Christchurch.

JOB NO : 18-324

DRAWN BY : AEN

DATE : 24/07/2018

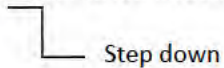
CHECK BY : JW

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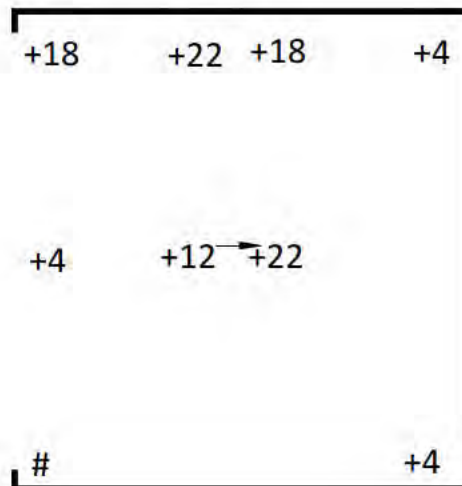
Note :

- 1) Measurements location are approximate and indicative only
- 2) Instrument used for measurement has a rated accuracy of +/- 3.0mm (ZIP level Pro 2000). Other sources of variation to the measurements can include construction tolerances, carpet, wear, and atmospheric temperature changes.
- 3) All measurements have been adjusted to the floor covering type at the datum. Adjustments made to raw measurements are indicated in sketch as follow :



Notes :

- 1) levels indicated are in millimeters.
- 2) Reference point zero millimeter denoted as "#".
- 3) Floor plan layout is indicative only and not to scale.
- 4) Floor levels relative differences between highest and lowest point is 22 mm for entire garage footprint
- 5) The Floor slope exceeded 1/200 tolerance denoted as "↗" (indicative only)

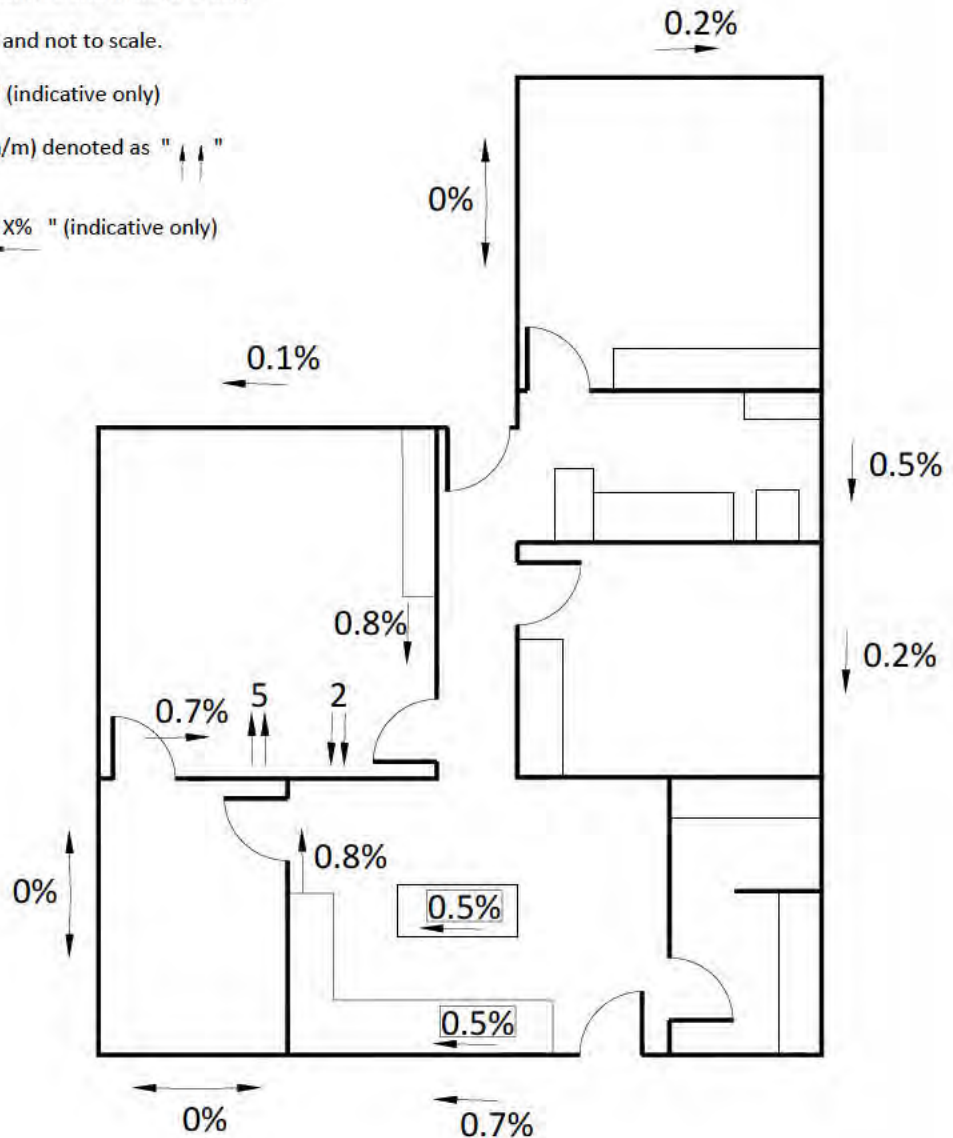


GARAGE: FLOOR LEVEL PLAN



Notes :

- 1) levels indicated are in millimeters.
- 2) Measurements location are approximate and indicative only
- 3) Floor plan layout is indicative only and not to scale.
- 4) Bench level denoted as "  $\boxed{X\%}$  " (indicative only)
- 5) Wall horizontal displacement (mm/m) denoted as "  $\uparrow \uparrow$  " (indicative only)
- 6) Window sill level denoted as "  $\leftarrow X\%$  " (indicative only)



DWELLING: WALL VERTICALITY AND AMENITY SLOPE MEASUREMENT PLAN

25 July 2018

Job No: 18-324

Anna Inkersell  
[REDACTED]

Dear Anna,

**RE: STRUCTURAL REPAIRS – 18 DOWNING STREET, HOON HAY,  
CHRISTCHURCH 8025.**

Please find attached our documentation for the above project.

### **CONSTRUCTION MONITORING**

For dwelling repairs, we recommend a construction monitoring level “CM2”. This is an audit of a sample of work, rather than a detailed inspection of every component. On this project, we propose the following inspections:

#### **Proposed inspections for structural repairs at above property:**

1. Geotechnical inspection to confirm the soil bearing capacity for pile installation.
2. Pre-pour inspection for partial garage slab replacement.
3. Final sign off inspection, including subfloor connections, final floor levels, internal linings and any other structural repair items as per Cephas Rock’s structural assessment report.

The number of inspections for the above will depend on the contractor’s method of construction, concrete pour sequencing, etc. and shall be agreed with the contractor as the works progress.

A producer statement (PS4 Construction Review) could be issued once the above inspections have been completed.

Please confirm if you would like for us to carry out the construction monitoring. We ask that the contractor notify us at least 24 hours in advance of all major items of work before they are concealed.

Please note we cannot accept photographs of building works prior to concealment as adequate evidence of construction unless where specifically requested by our engineer. Where requested, please provide ample photographs (10-20 photos per each stage of work) to demonstrate that works have been carried out to a satisfactory standard.

For any construction queries or inspection notifications, please contact our office.

Yours faithfully



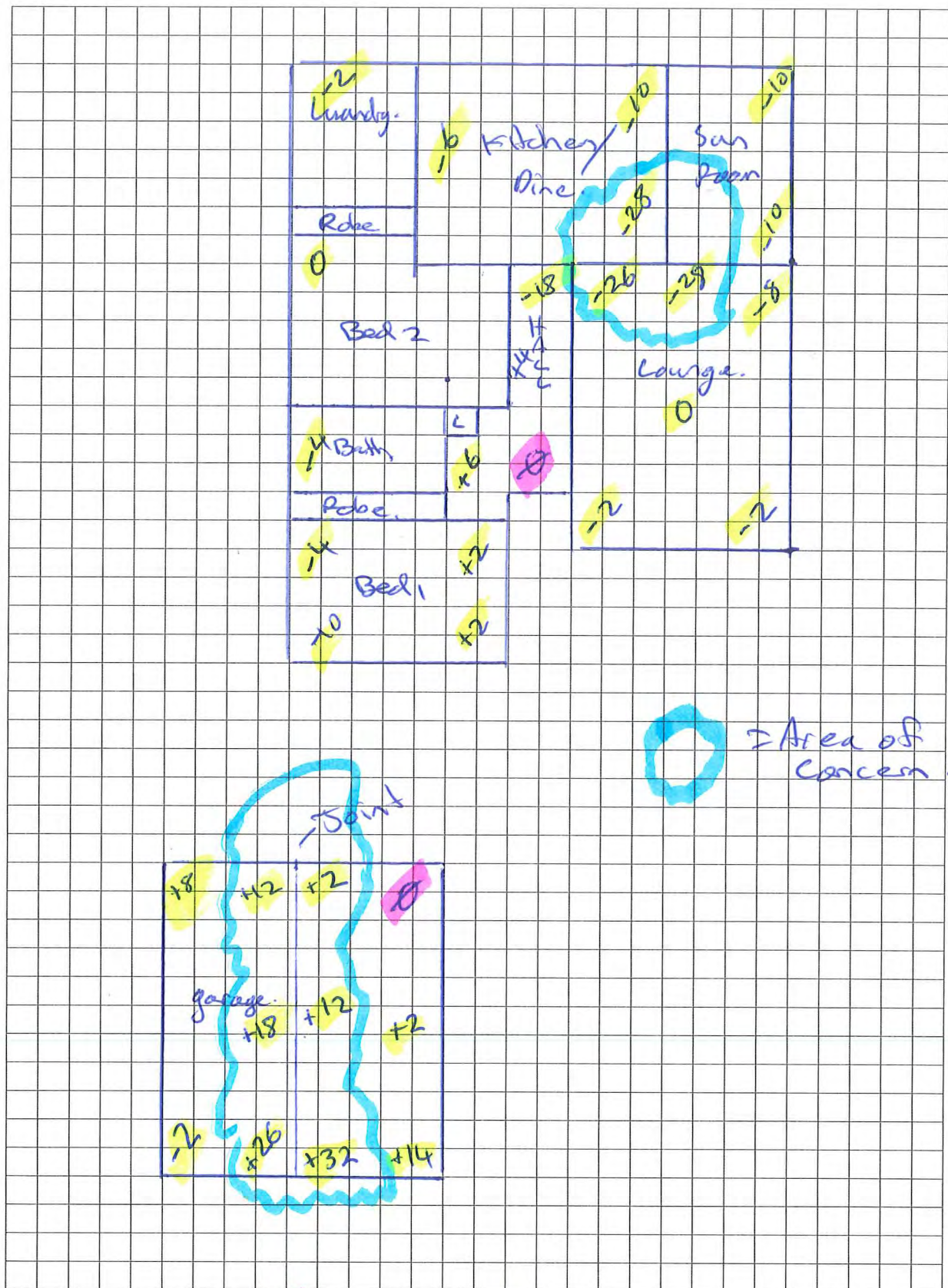
**Joshua Wong**  
**BEng (HONS) CPEng IntPE(NZ) CMEngNZ**

# Floor Plan

Not to scale

Released Under the Official Information Act 1982

**Sinclair**  
BUILDERS



Ø = Datum

□ = Levels in mm



Address: 33 Coleridge Street, Christchurch  
 Phone: 03 943 3979  
 Fax: 03 943 3978  
 Email: chris@sinclairbuilders.co.nz

GST: 106703035  
 NZQA: 0098857456  
 License No.BP101784



## VARIATION SUBMITTAL

<b>To:</b> Anna Inkersell 18 Downing Street Hoon Hay Christchurch		<b>From:</b> Chris Sinclair Sinclair Builders 33 Coleridge Street Sydenham Ph: 022 651 6005	
Variation Number:	1	Trade:	Builders
Site Address:	18 Downing Street	Date:	17/05/2019

### Variation Description

Detailed description of work/explanation/reason for variation	We jacked and packed piles as quoted but found when pressure of house rested on new packed piles, it pushed pile into ground. Extra work required to remove and replace pile.
---------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

### Price Breakdown

Item	Description	Qty	Unit	Rate	Amount
	Remove and replace pile as per invoice + 10%	1		\$ 935.00	\$ 935.00
	Admin fee	1		\$ 55.00	\$ 55.00
					\$ -
					\$ -
					\$ -
					\$ -
					\$ -
					\$ -
<b>Total Variation (excluding GST)</b>					<b>\$990.00</b>

### Section 1

### Completed by Client

Instruction given for work to proceed	Yes	No	Work Sighted	Yes	No
---------------------------------------	-----	----	--------------	-----	----

Notes:

Name _____ Date _____ Signature _____

Contractors Signature:

*C Sinclair*

Date:

17/05/2019